



Suite 403 • City County Building
 400 Main Street
 Knoxville, Tennessee 37902
 865 • 215 • 2500
 F A X • 215 • 2068
 www.knoxmpc.org

Downtown Knoxville Design Overlay District Certificate of Appropriateness

Name of Applicant: _____

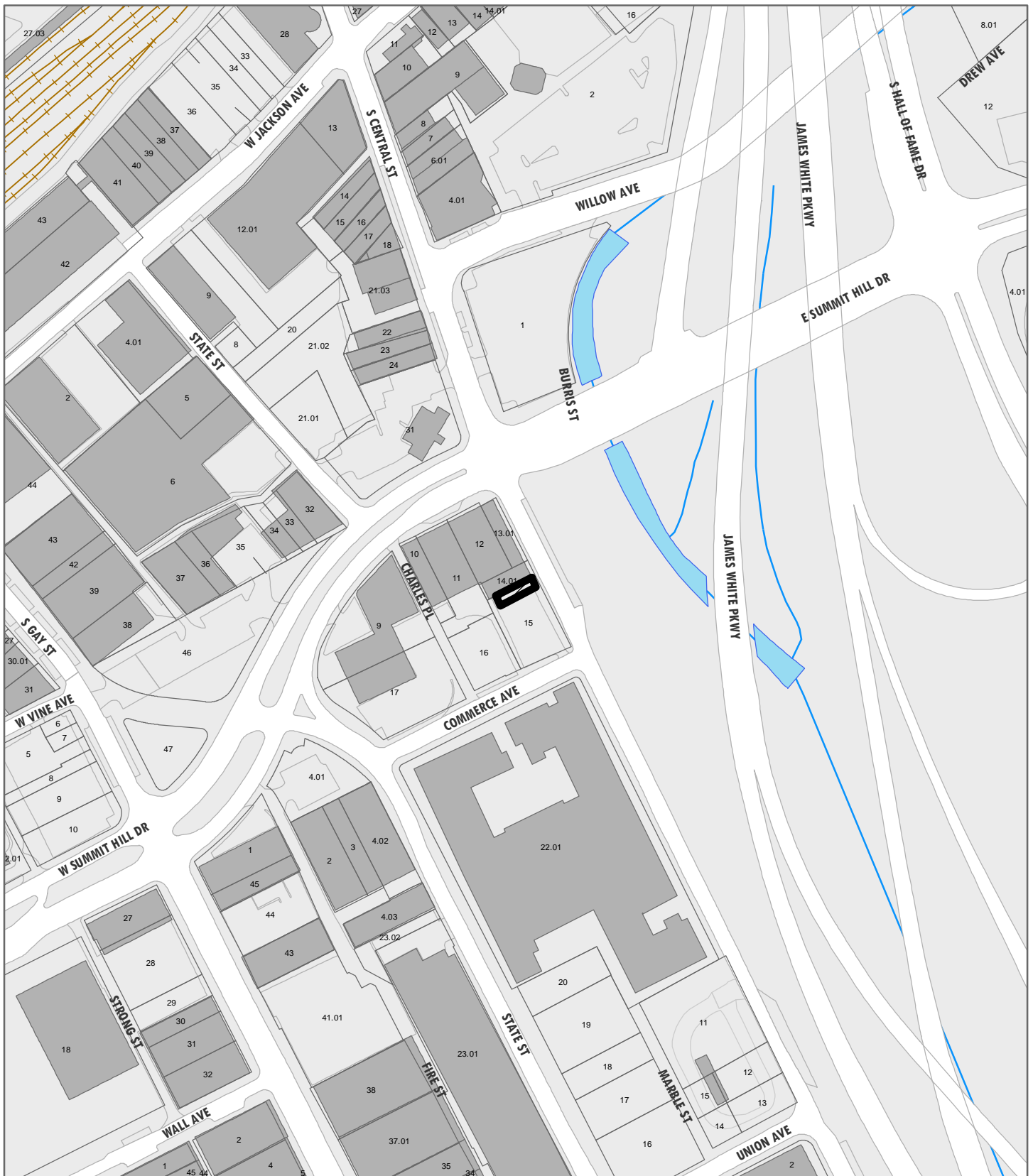
Owner Contractor Architect Engineer Other _____

Date Filed: _____ Application accepted by: _____

Fee Amount: _____ Review Date: _____ File Number: _____

PRE-APPLICATION CONFERENCE	Date Completed: <input style="width: 80%;" type="text"/>
<p style="text-align: center;">PROPERTY INFORMATION</p> <p>Building or Project Name: _____ _____</p> <p>Street Address: _____</p> <p>Parcel Identification Number(s): _____ _____</p>	<p style="text-align: center;">PROJECT ARCHITECT/ENGINEER</p> <p>PLEASE PRINT Name: _____</p> <p>Company: _____</p> <p>Address: _____</p> <p>City: _____ State: _____ Zip: _____</p> <p>Telephone: _____</p> <p>Fax: _____</p> <p>E-mail: _____</p>
<p style="text-align: center;">PROPERTY OWNER</p> <p>PLEASE PRINT Name: _____</p> <p>Company: _____</p> <p>Address: _____</p> <p>City: _____ State: _____ Zip: _____</p> <p>Telephone: _____</p> <p>Fax: _____</p> <p>E-mail: _____</p>	<p style="text-align: center;">PROJECT CONTRACTOR</p> <p>PLEASE PRINT Name: _____</p> <p>Company: _____</p> <p>Address: _____</p> <p>City: _____ State: _____ Zip: _____</p> <p>Telephone: _____</p> <p>Fax: _____</p> <p>E-mail: _____</p>
<p style="text-align: center;">ACCOMPANYING MATERIALS</p> <p>Please see the reverse side of this form for a list of information required as part of this application.</p>	<p style="text-align: center;">PROJECT CONTACT</p> <p>All application-related correspondence should be directed to:</p> <p>PLEASE PRINT Name: _____</p> <p>Company: _____</p> <p>Address: _____</p> <p>City: _____ State: _____ Zip: _____</p> <p>Telephone: _____</p> <p>Fax: _____</p> <p>E-mail: _____</p>
FOR OFFICE USE ONLY	
<p style="text-align: center;">PROJECT INFORMATION</p> <p>LEVEL 1: \$50</p> <p><input type="checkbox"/> Minor Alteration of an Existing Building/Structure <input type="checkbox"/> Sign</p> <p>LEVEL 2: \$100</p> <p><input type="checkbox"/> Major Alteration of an Existing Building/Structure <input type="checkbox"/> Addition to an Existing Building/Structure</p> <p>LEVEL 3: \$250</p> <p><input type="checkbox"/> Construction of New Building/Structure</p>	This cell is empty as per the image

NOTE: Payment is due at time of application. Please make check payable to Knoxville Knox County Metropolitan Planning Commission.



4-A-19-DT

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

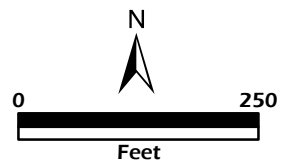
Petitioner: Alyssa Nealon / R2R Studio

**DOWNTOWN
DESIGN
REVIEW
BOARD**



211 S Central St
Level 2: Addition to an existing
building/structure

Original Print Date: 4/10/2019
Revised:
Metropolitan Planning Commission * City / County Building * Knoxville, TN 37902





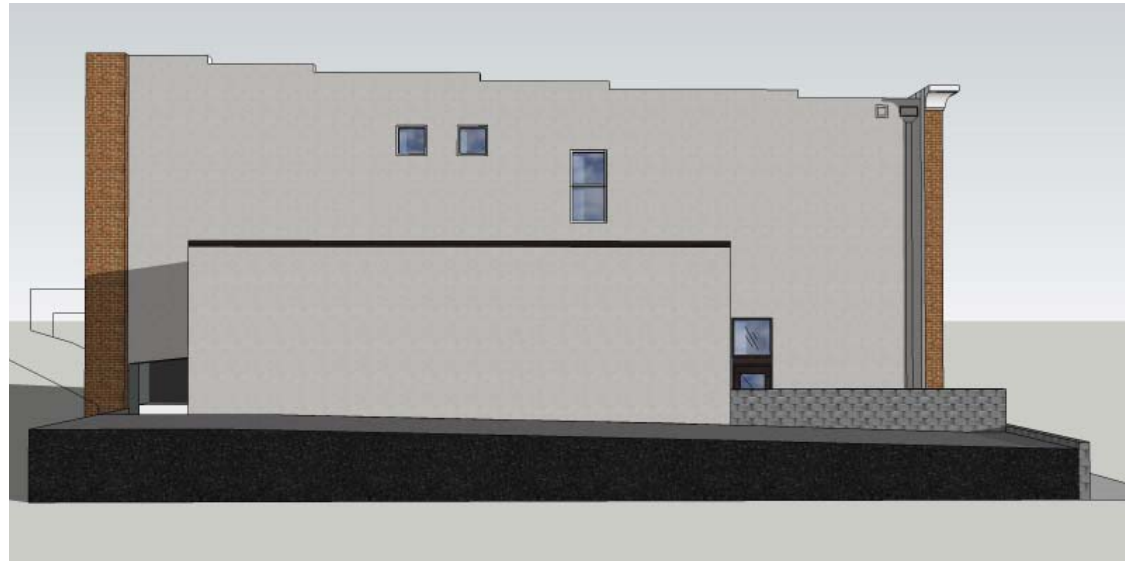
View West from S. Central Street: Existing Conditions
 Addition to be setback from front facade of the existing building to allow for patio seating along sidewalk.



View Northwest from Adjacent Lot: Existing Conditions
 Addition to be located along South elevation of the existing building.

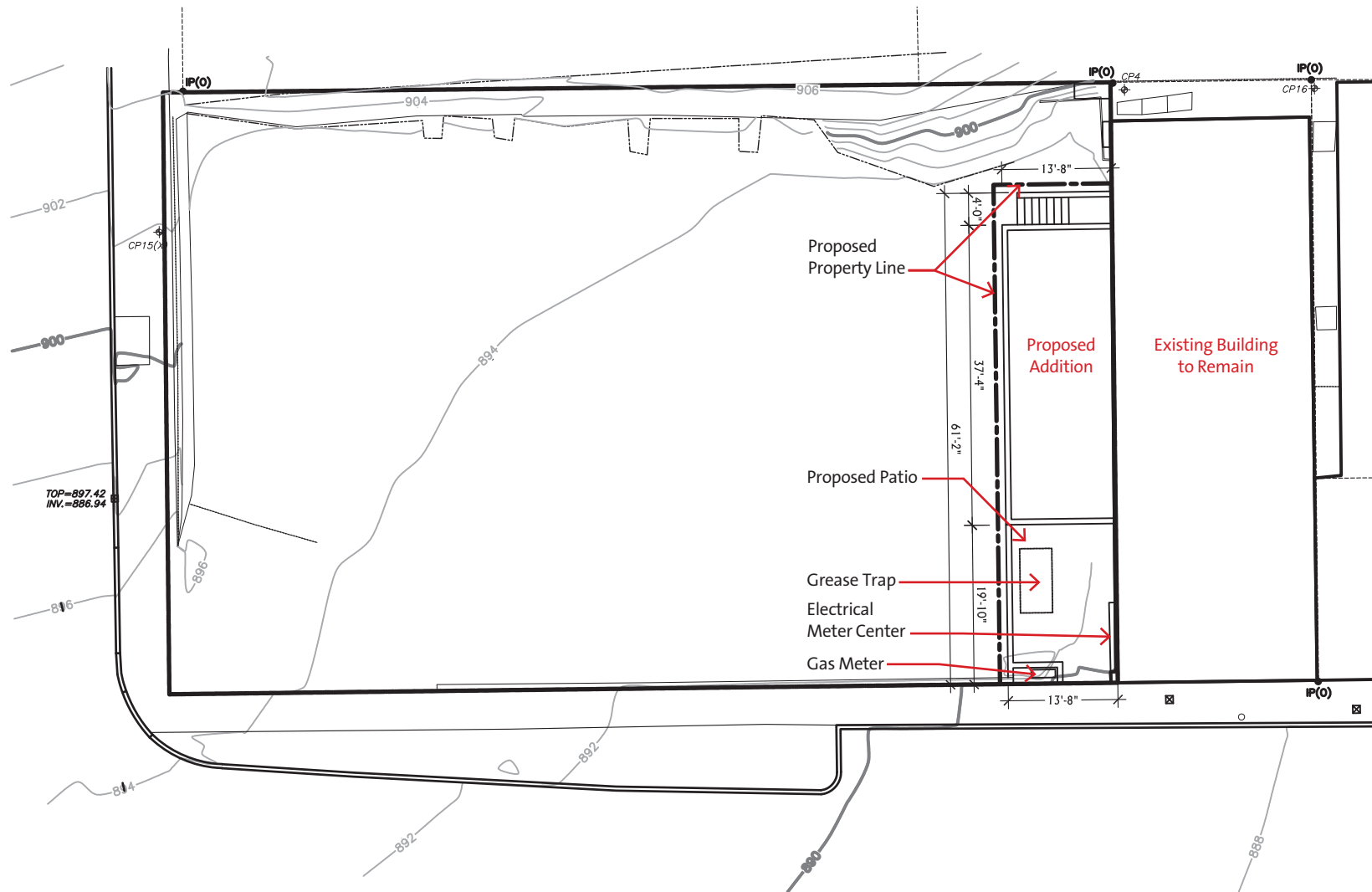


View West from S. Central Street: Proposed Addition

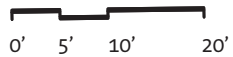


View Northwest from Adjacent Lot: Proposed Addition

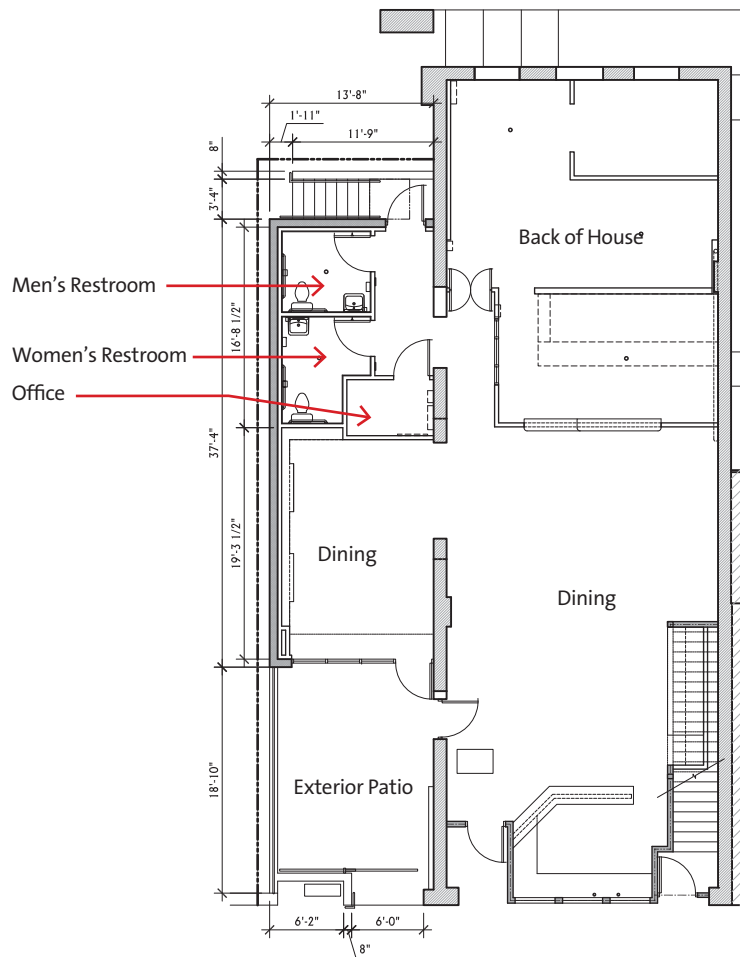
OliBea Restaurant
 Downtown Design Review Board
 Existing and Proposed Views



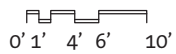
Site Plan - For Reference



OliBea Restaurant
 Downtown Design Review Board
 Site Plan



Floor Plan - For Reference

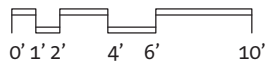


11-A-17-DT
COA Approved for Alterations
To Existing Building Issued
11/22/2017

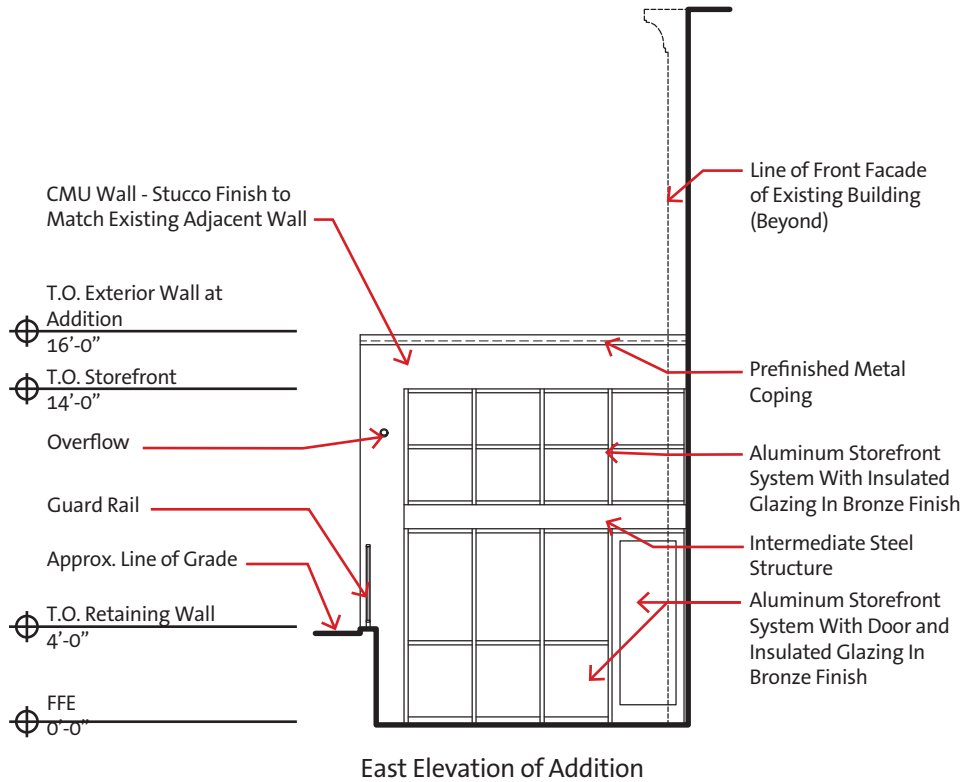
← Addition | Existing Building
to Remain →



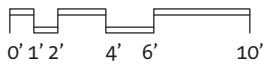
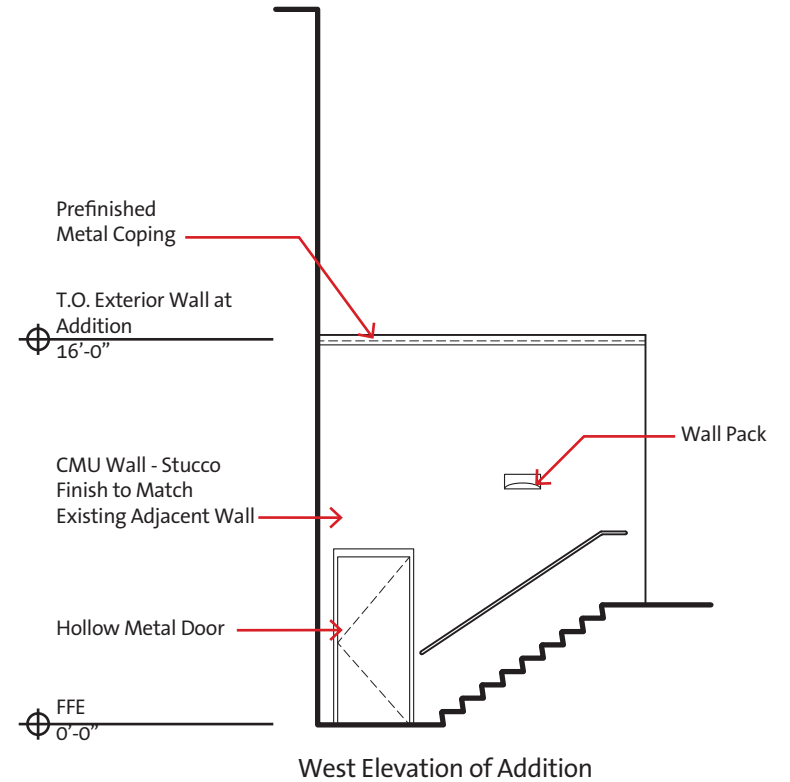
Complete East Elevation - For Reference

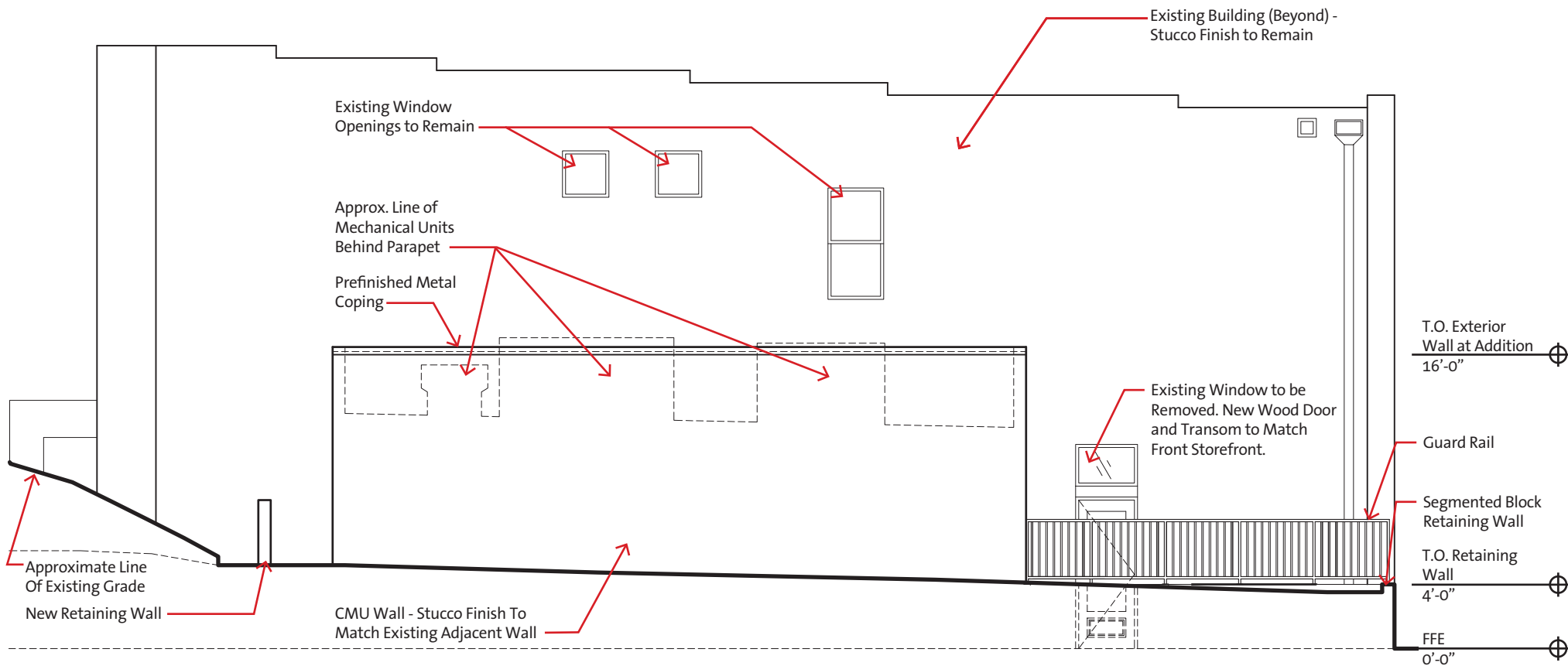


← Addition | Existing Building to Remain →

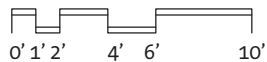


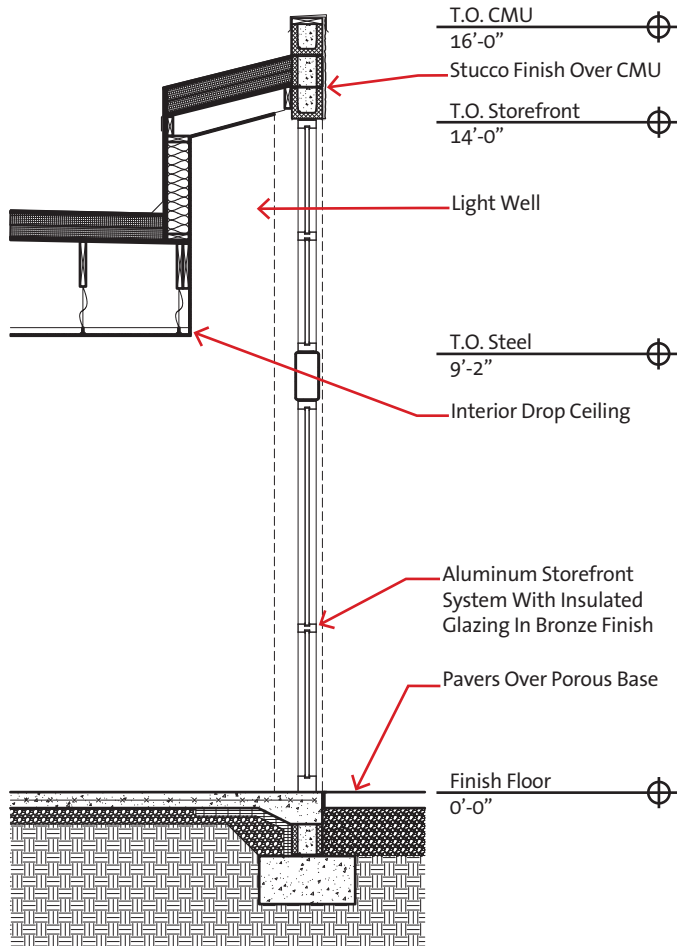
← Existing Building to Remain | Addition →





South Elevation of Addition





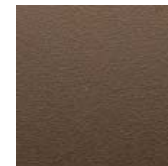
Storefront Section



Stucco Finish Over CMU
(color and finish to match adjacent)



Segmented Block Retaining Wall

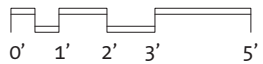


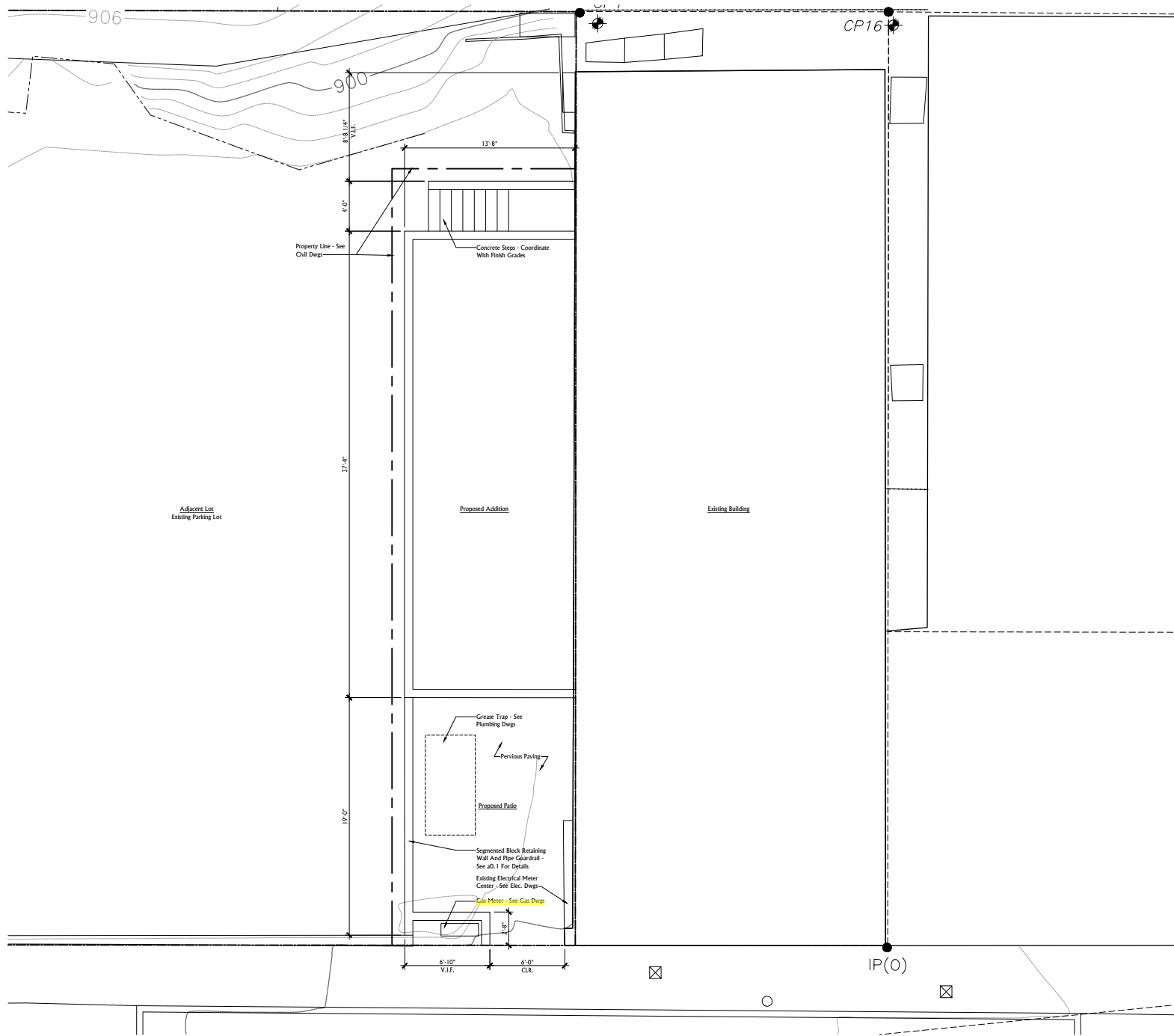
Aluminum Bronze Storefront



Pavers Over Porous Base

Proposed Materials

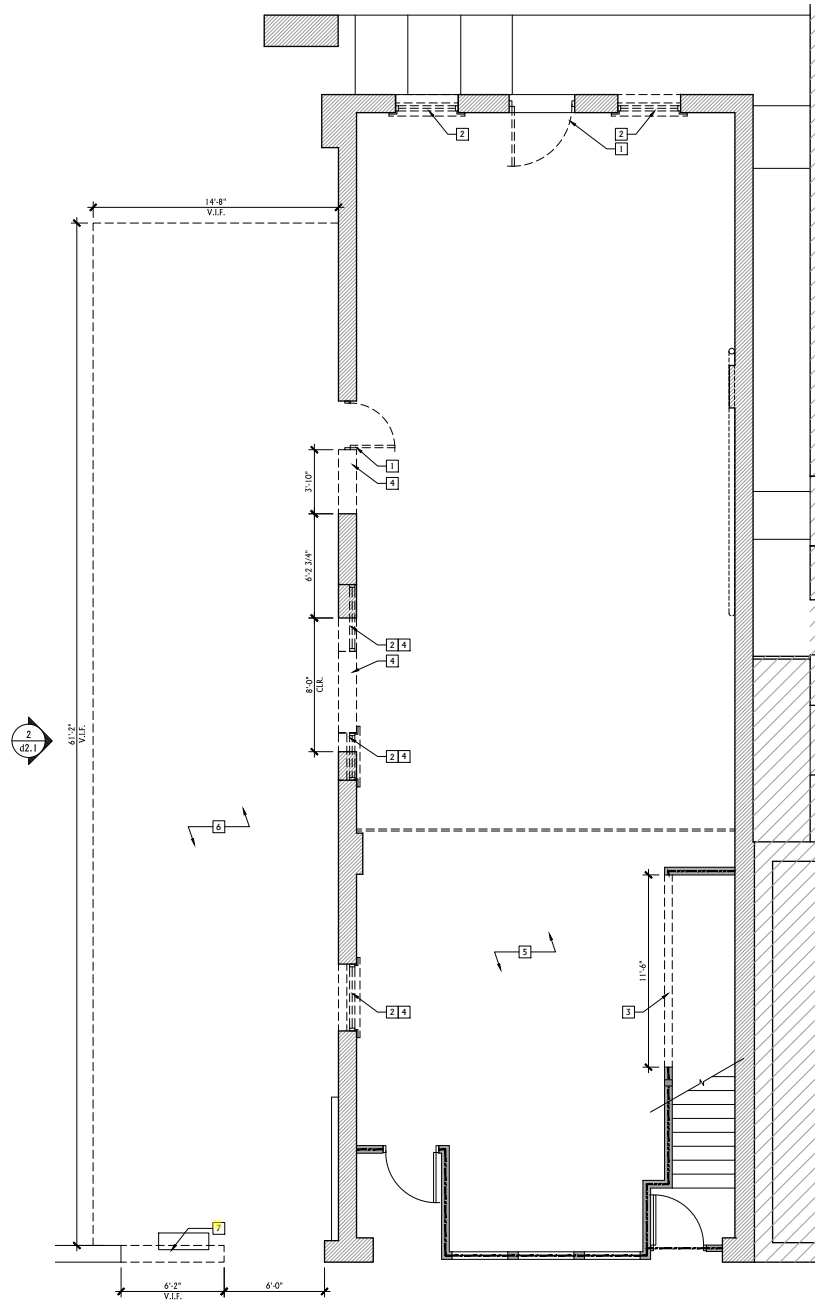








SITE PLAN
 SCALE: 1/4" = 1'-0"
 PROJECT NORTH

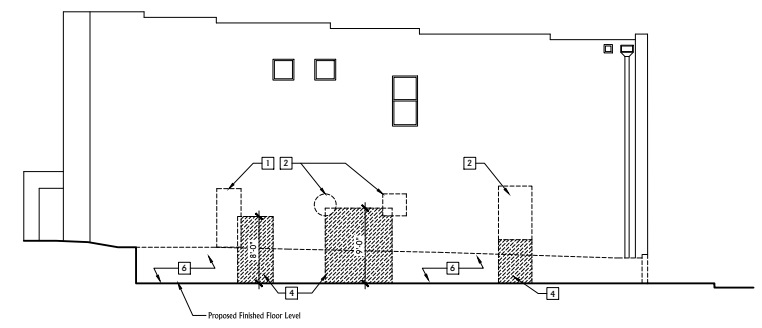
Site Plan for Reference Only.
 Refer to Civil Drawings for
 Additional Site Information.





DEMOLITION PLAN
 SCALE: 1/4" = 1'-0"

- General Demolition Notes:**
- Contractor To Verify Required Demolition In Area Designated For New Construction.
 - Representations Of Existing Site & Building Conditions Are Provided For The Contractor's Reference Only. The Owner & Architect Assume No Responsibility For The Accuracy & Completeness Of Such Data. Such Representations Are Not Intended To Supplement The Contractor's Firsthand Site Observations. The Contractor Shall Not Receive Extra Payments For Demolition/Patching Required That Can Be Reasonably Inferred From Examination Of Site Conditions & Contract Documents.
 - If Applicable, All Existing Plumbing Lines Are To Be Capped After Removal Of Existing Fixtures. All Utilities To Be Capped In Areas Affected As Required & Restored At Owner's Direction Depending On Final Layout.
 - If Applicable, Contractor To Cap Mechanical Systems As Necessary After Removal Of Ductwork In Area Of Work.
 - Any Existing Structure, Wall, Ceiling, Etc. To Remain Where Structural Stability May Be Lessened By Removal Noted On This Plan. The Existing Item(s) Will Be Braced & Left In A Stable Condition Until New Construction Commences.
 - Items Removed Shall Become The Property Of The Contractor & Disposed Of Off Site. Contractor To Provide Approved Disposal Containers For Collection Of Rubble During Demolition. Consult Owner For Container Placement On Site.
 - In The Event That A Condition On The Drawing Is Discovered To Be In Conflict, Consult The Architect For Resolution Prior To Executing Affected Work.
 - Remove Existing Walls As Required. Patch & Repair All Existing Walls Which May Become Damaged During Demolition. Shore Up Any Walls, Ceilings Or Roofs As Required Prior To Demolition. G.C. Shall Be Responsible For All Shoring Costs.
 - All Work Shall Be Properly Protected At All Times. Contractor Shall Follow All Accepted Methods Of Safety Practice, Including OSHA Standards. Provide Fences, Barricades, Etc. As May Be Needed To Protect Life & Property & As May Be Required By Authorities Having Jurisdiction Over This Work. Additionally, Contractor To Protect Interior Areas Adjacent To Work With Tarps, Blankets, Etc. As Needed To Insulate Dust & Protect Finishes. Contractor Shall Repair, At His Own Cost, Any Damages To The Premises Of Adjacent Work Caused By This Operation.
 - All Contractors' Work Shall Be Performed In A Class Workmanlike Manner, Cleaning All Surfaces Free Of Dirt & Debris Caused By Debris From The Removal Of Noted Items.

- Keyed Demolition Notes:**
- Existing Doors/Door Frames To Be Removed. Patch & Repair Wall As Required. See Architectural Drawings For New Layout.
 - Existing Window/Window Frame To Be Removed. Patch & Repair Wall As Required. See Architectural & Structural Drawings For New Layout and Shoring/Lintel Details.
 - Existing Interior Wall To Be Removed To Underneath Of Slab Structure. G.C. To Maintain Integrity Of All Existing Rated Walls & Ceilings During Demolition. Cap All Plumbing & Electrical As Required.
 - Portion Of Existing Brick Wall To Be Removed For New Opening. Patch & Repair Wall As Required. See Architectural & Structural Drawings For New Layout and Shoring/Lintel Details.
 - Existing Slab To Be Removed & Replaced As Required. Prepare Surface For New Finish. See Architectural & Plumbing Drawings For Layout.
 - Existing Grade To Be Removed For New Addition. See Architectural Site Plan For Easements.
 - Existing Retaining Wall To Be Removed. See Architectural Site Plan For New Layout.




DEMOLITION ELEVATION
 SCALE: 1/8" = 1'-0"