



Suite 403 • City County Building
 400 Main Street
 Knoxville, Tennessee 37902
 865 • 215 • 2500
 FAX • 215 • 2068
 www.knoxmpc.org

Downtown Knoxville Design Overlay District Certificate of Appropriateness

Name of Applicant: _____

Owner Contractor Architect Engineer Other _____

Date Filed: _____ Application accepted by: _____

Fee Amount: _____ Review Date: _____ File Number: _____

PRE-APPLICATION CONFERENCE		Date Completed: <input style="width: 150px;" type="text"/>
<p style="text-align: center;">PROPERTY INFORMATION</p> <p>Building or Project Name: _____ _____</p> <p>Street Address: _____</p> <p>Parcel Identification Number(s): _____ _____</p>	<p style="text-align: center;">PROJECT ARCHITECT/ENGINEER</p> <p>PLEASE PRINT Name: _____</p> <p>Company: _____</p> <p>Address: _____</p> <p>City: _____ State: _____ Zip: _____</p> <p>Telephone: _____</p> <p>Fax: _____</p> <p>E-mail: _____</p>	
<p style="text-align: center;">PROPERTY OWNER</p> <p>PLEASE PRINT Name: _____</p> <p>Company: _____</p> <p>Address: _____</p> <p>City: _____ State: _____ Zip: _____</p> <p>Telephone: _____</p> <p>Fax: _____</p> <p>E-mail: _____</p>	<p style="text-align: center;">PROJECT CONTRACTOR</p> <p>PLEASE PRINT Name: _____</p> <p>Company: _____</p> <p>Address: _____</p> <p>City: _____ State: _____ Zip: _____</p> <p>Telephone: _____</p> <p>Fax: _____</p> <p>E-mail: _____</p>	
<p style="text-align: center;">ACCOMPANYING MATERIALS</p> <p>Please see the reverse side of this form for a list of information required as part of this application.</p>		
FOR OFFICE USE ONLY		
<p style="text-align: center;">PROJECT INFORMATION</p> <p>LEVEL 1: \$50</p> <p><input type="checkbox"/> Minor Alteration of an Existing Building/Structure <input type="checkbox"/> Sign</p> <p>LEVEL 2: \$100</p> <p><input type="checkbox"/> Major Alteration of an Existing Building/Structure <input type="checkbox"/> Addition to an Existing Building/Structure</p> <p>LEVEL 3: \$250</p> <p><input type="checkbox"/> Construction of New Building/Structure</p>	<p style="text-align: center;">PROJECT CONTACT</p> <p>All application-related correspondence should be directed to:</p> <p>PLEASE PRINT Name: _____</p> <p>Company: _____</p> <p>Address: _____</p> <p>City: _____ State: _____ Zip: _____</p> <p>Telephone: _____</p> <p>Fax: _____</p> <p>E-mail: _____</p>	

NOTE: Payment is due at time of application. Please make check payable to Knoxville Knox County Metropolitan Planning Commission.

ACCOMPANYING MATERIALS

All applications must be accompanied by a written description of the request(s). The description may be brief but must include information on existing conditions and each element of the overall project. We require one (1) paper copy and one (1) PDF file OR 10 paper copies of ALL printed materials. A graphic scale is required for all scaled drawings.

LEVEL 1:

SIGNS:

1. Scaled drawings for proposed signs
 - a. Drawings for wall signs should include a scaled drawing of the facade(s) on which the signs will be placed.
 - b. For free-standing signs, a site plan should include the location of signs and the relationship to existing buildings and other site features on the property.
2. Fully labeled color photographs of the property and surrounding properties
3. A list of proposed materials and colors, including manufacturer's specifications.
4. Information illustrating the design and type of lighting, if any.

LEVEL 1 & LEVEL 2:

ALTERATION OF AN EXISTING BUILDING/STRUCTURE:

1. Scaled drawings, or a written narrative for simpler projects, indicating the extent of the proposed alteration.
2. Fully labeled color photographs of the property, with detailed photos of any existing elements that you wish to change.
3. A list of proposed materials.
4. Other information needed to explain your request such as labeled photos of existing elements that you wish to imitate from the subject property or any other property.

LEVEL 2:

ADDITION TO AN EXISTING BUILDING/STRUCTURE:

1. Site Plan, indicating the extent of the proposal and its relationship to any existing structures on the property and neighboring properties, as well as the relationship to property lines.
2. Building elevations for all sides. Drawings for additions should illustrate the relationship to the existing structure. Drawings should show the relationship to buildings on the property and adjacent lots.
3. Fully labeled color photographs of the property, with detailed photos of any existing elements that you wish to change.
4. A list of proposed materials.
5. Information illustrating the design and type of lighting and trim details.
6. Other information needed to explain your request such as labeled photos of existing elements that you wish to imitate from the subject property or any other property.

LEVEL 3:

CONSTRUCTION OF NEW BUILDING/STRUCTURE:

1. Site Plan, indicating the extent of the proposal and its relationship to any existing structures on the property and neighboring properties, as well as the relationship to property lines.
2. Building elevations for all sides. Drawings should show the relationship to buildings on the property and adjacent lots.
3. Fully labeled color photographs of the property, with detailed photos of any existing elements that you wish to change.
4. A list of proposed materials.
5. Information illustrating the design and type of lighting and trim details.
6. Other information needed to explain your request.

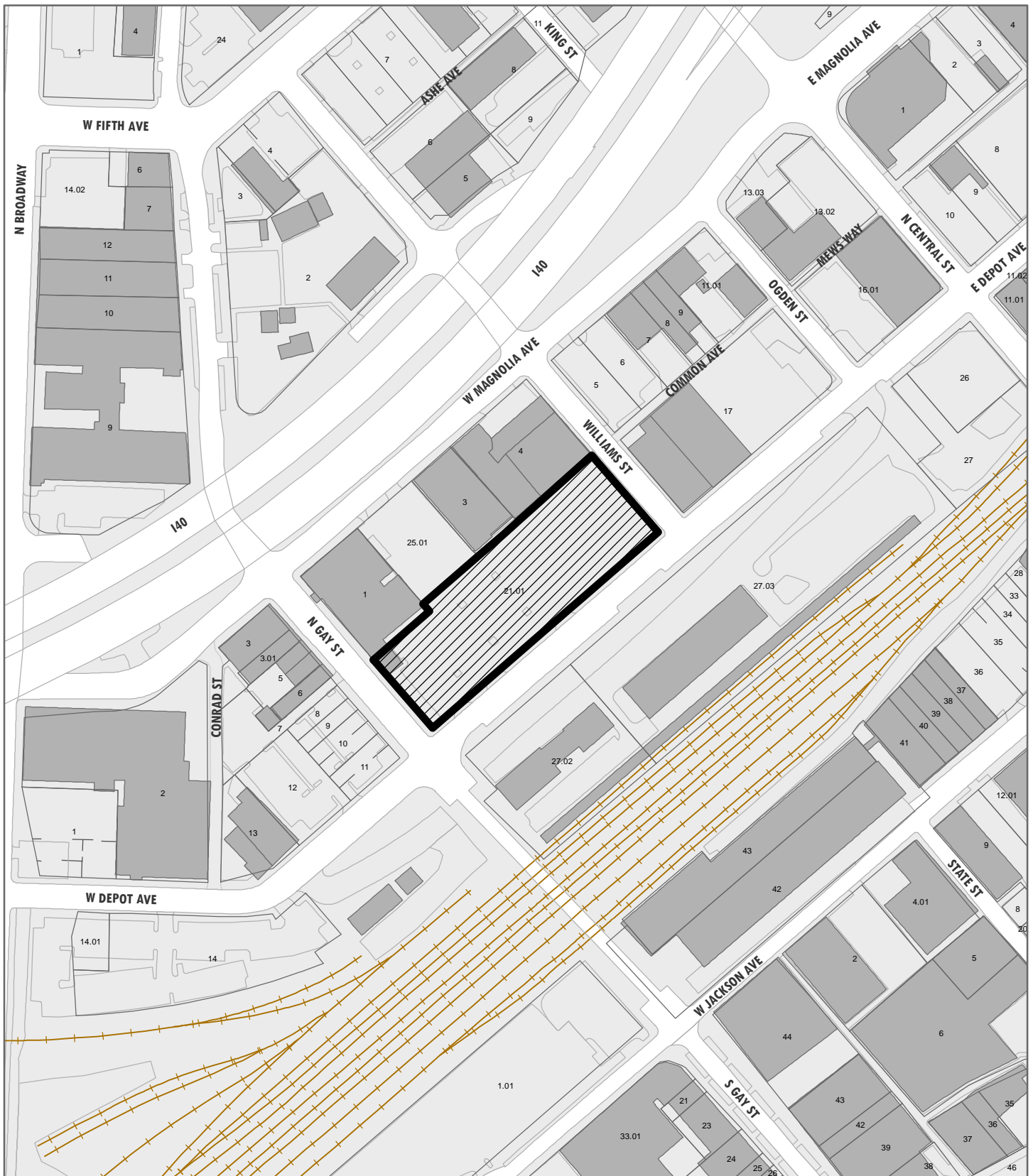
LEVEL 3:

SITE DESIGN, PARKING, PLAZAS, LANDSCAPE:

1. Site Plan, indicating the extent of the proposal and its relationship to any existing structures on the property, streets, public property, and any structures on immediate adjacent lots.
2. Landscape plan, indicating species and planting sizes, irrigation, lighting location and detail, hardscape materials and colors
3. Fully labeled color photographs of the property and surrounding properties
4. Information illustrating the design and type of lighting and other design elements.

NOTE: Demolition Of An Existing Building/Structure

Please check with local H-1 or National Register Districts before considering demolition of an existing structure.



**DOWNTOWN
DESIGN
REVIEW
BOARD**

9-E-18-DT

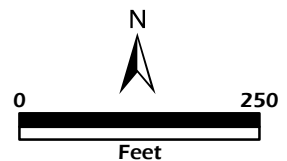
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



333 W Depot Ave
Level 1: Minor alteration of an existing building/structure

Original Print Date: 9/12/2018
 Revised:
 Metropolitan Planning Commission * City / County Building * Knoxville, TN 37902

Petitioner: Faris Eid, Design Innovation Architects





Design Innovation

ARCHITECTS + INTERIORS + PLANNING

September 12, 2018

Knoxville Knox County
Metropolitan Planning Commission
400 Main St., Suite 403
Knoxville, TN 37902

Re: **East revisions at first floor:**
DIA Project Number: 14018 File No. R18-0658

Dear Mike Reynolds,

We are making a revision to the first-floor east side of Regas Square, by expanding the interior footprint to a location that is still within the soffit above this area. Therefore, the overall building footprint does not change. The exterior building material and relationship between the different components is still relatively the same.

The wall that got moved to the east is 15'-2" away from the property line. The front doors are anticipated and planned to be at the front of the building, but that is subject to a future tenant design work, when the space is leased. The new back door is anticipated to be a future service access door. The reason for the wall without windows, facing east, is that it is anticipated that this will be the location of a future kitchen.

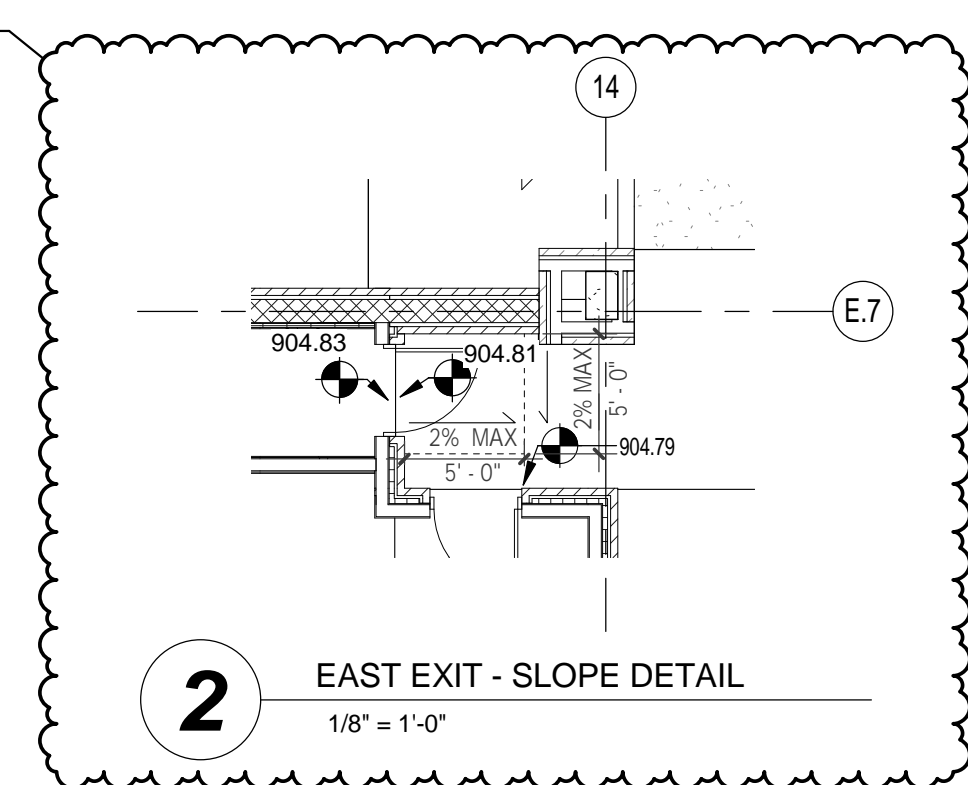
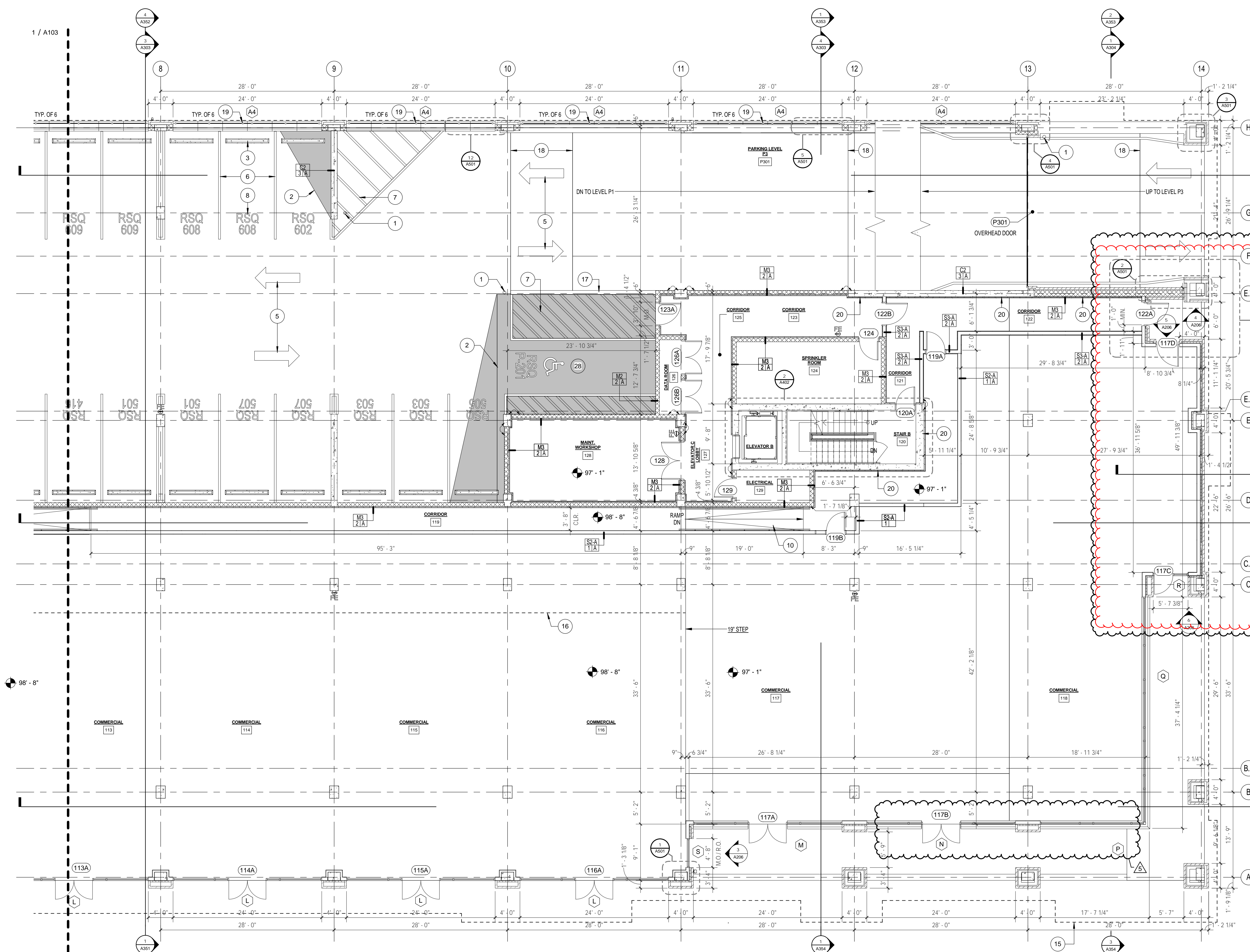
Project code information, life safety plan, floor plans, reflected ceiling plan, elevations, opening schedule and glazing elevations were updated to reflect the changes. New wall section 5/A355 was added.

Sincerely,
Design Innovation

(Signature)
Maria Ortiz, Assoc. AIA
Intern Architect

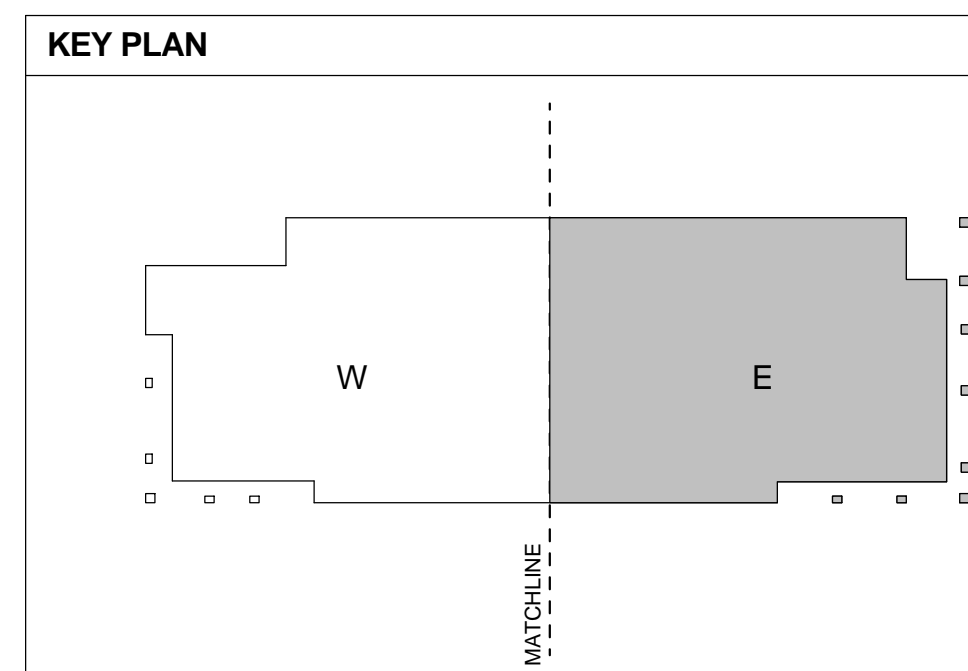
(Printed Name and Title)

EC: Faris Eid, Aaron Miller, Greg Campbell, file; Design Innovation



- KEYED NOTES - PARKING LEVEL**
- 1 PAINTED STEEL BOLLARD
 - 2 CONCRETE OVERBUILD - MAXIMUM SLOPE 1/4" = 1'-0"
 - 3 PRECAST CONCRETE WHEEL STOP (REFER TO CIVIL DWG)
 - 4 PAVEMENT STOP BAR (REFER TO CIVIL DWG)
 - 5 PAVEMENT ARROW (REFER TO CIVIL DWG)
 - 6 PAVEMENT PARKING SPACE STRIPING (REFER TO CIVIL DWG)
 - 7 PAVEMENT DIAGONAL STRIPING (REFER TO CIVIL DWG)
 - 8 PAVEMENT PARKING SPACE NUMBER (REFER TO FINISH PLANS)
 - 9 HANDICAP DECAL (REFER TO CIVIL DWG)
 - 10 CAST IN PLACE CONCRETE RAMP - MAX. SLOPE 1:12 WITH 1 1/2" DIAMETER HANDRAIL AND BRACKET SYSTEM (EACH SIDE)
 - 11 TRASH CHUTE AND CHASE, ABOVE.
 - 12 WASTE CONTAINER - PROVIDED BY OWNER
 - 13 RECESSED FRONT LOADING MAILBOX
 - 14 NOT USED
 - 15 HEAVY DASHED LINE INDICATES FACE OF BUILDING ABOVE, FOR REFERENCE ONLY
 - 16 HEAVY DASHED LINE INDICATES OVERHANG OF PARKING LEVEL P3, FOR REFERENCE ONLY
 - 17 LOW WALL - 3'-6" ABOVE ADJACENT FLOOR LEVEL
 - 18 SLOPE TRANSITION
 - 19 STEEL POST (REFER TO STRUCTURAL DWG), AND WELDED MESH SCREEN (SEE ARCHITECTURAL DWG)
 - 20 CONTINUE 2" GALVANIZED Z-FURRING WITH 2" XPS RIGID INSULATION TO DECK ABOVE.
 - 21 EGRESS STAIR AND LANDING TO BE PROVIDED BY FUTURE TENANT.
 - 22 6" CMU RETAINING WALL, REFER TO WALL SECTIONS AND STRUCTURAL DWG.
 - 23 CONTRACTOR TO PROVIDE TEMPORARY RAILING AT FLOOR STEP.
 - 24 MECHANICAL LOUVER, REFER TO MECHANICAL DWG
 - 25 MINIMUM HEAD ROOM AT HANDICAP PARKING SPACE = 10'-2" A.F.F.
 - 26 MINIMUM HEAD ROOM AT HANDICAP PARKING SPACE = 11'-0" A.F.F.
 - 27 MINIMUM HEAD ROOM AT HANDICAP PARKING SPACE = 10'-10" A.F.F.
 - 28 MINIMUM HEAD ROOM AT HANDICAP PARKING SPACE = 9'-5" A.F.F.

- GENERAL NOTES - FLOOR PLAN**
- 1 DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY / CONCRETE, UNLESS NOTED OTHERWISE.
 - 2 CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS CONCERNING THE SCOPE OF WORK OF THIS PROJECT PRIOR TO COMMENCING WITH THE ASSOCIATED WORK. IN THE EVENT THE DIMENSIONS ARE IN QUESTION OR IF ANY DISCREPANCIES ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK. FAILURE TO DO SO CONSTITUTES THE CONTRACTOR'S ACCEPTANCE OF THE WORK AS SHOWN.
 - 3 THE ROUGH OPENING OF A NEW DOOR GRAPHICALLY SHOWN IN THE CORNER OF A ROOM UNDIMENSIONED SHALL BE 0" OR 8" IN MASONRY WALLS (AS GRAPHICALLY INDICATED ON PLANS) OR 6" IN STUD FRAMED WALLS (AS GRAPHICALLY INDICATED ON PLANS), FROM THE INSIDE CORNER, UNLESS NOTED OR DIMENSIONED OTHERWISE.
 - 4 THE ROUGH OPENING OF A NEW DOOR GRAPHICALLY SHOWN IN THE CENTER OF A WALL UNDIMENSIONED SHALL BE CENTERED ON WALL, UNLESS NOTED OR DIMENSIONED OTHERWISE.
 - 5 IN SPACES OPEN TO EXPOSED STRUCTURE ABOVE, PERIMETER WALLS OF SPACE SHALL EXTEND TO UNDERSIDE OF ROOF / FLOOR DECKING ABOVE.
 - 6 "CJ" INDICATES 'CONTROL JOINT' & "EJ" INDICATES 'EXPANSION JOINT'.
 - 7 ALL WALLS, UNLESS NOTED OTHERWISE, ARE TO BE EXTENDED TO THE BOTTOM SIDE OF DECK (ROOF OR FLOOR) ABOVE AND SEALED TO SAME.
 - 8 ALL LOCATIONS WHERE BRICK VENEER BUTTS INTO CMU OR CAST STONE, A SOFT JOINT WITH BACKER ROD AND SEALANT SHALL BE PROVIDED (TYPICAL).
 - 9 ALL EXPOSED STEEL SHALL BE FULLY AND COMPLETELY PAINTED WITH HIGH PERFORMANCE & FIRE RESISTIVE COATINGS PRIOR TO INSTALLATION, UNO - REFER TO STRUCTURAL DRAWINGS & SPECIFICATIONS



A NEW DEVELOPMENT FOR:
REGAS SQUARE
 333 WEST DEPOT AVENUE
 KNOXVILLE, TN 37917

No.	Issued by	Date
1	PERMIT	01/30/17
2	ASI #02	04/24/2017
3	ASI #04	05/08/2017
4	ASIF14	03/23/2018
5	ASI #18	07/23/2018

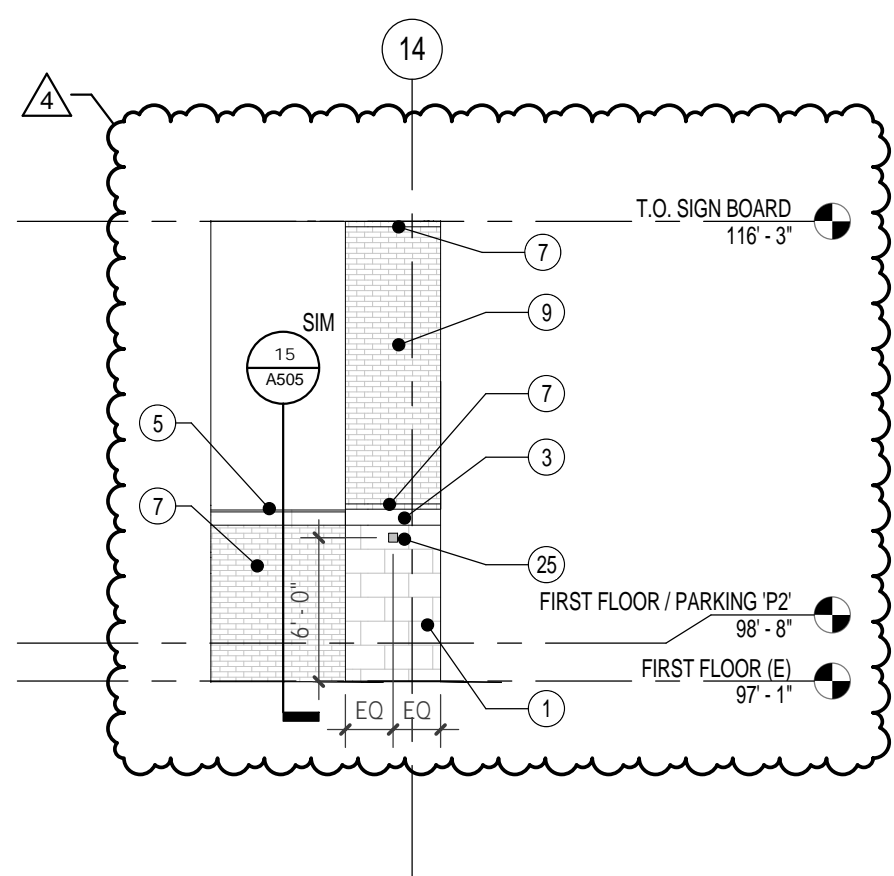
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Sheet Title
PARKING 'P2' / FIRST FLOOR PLAN - EAST

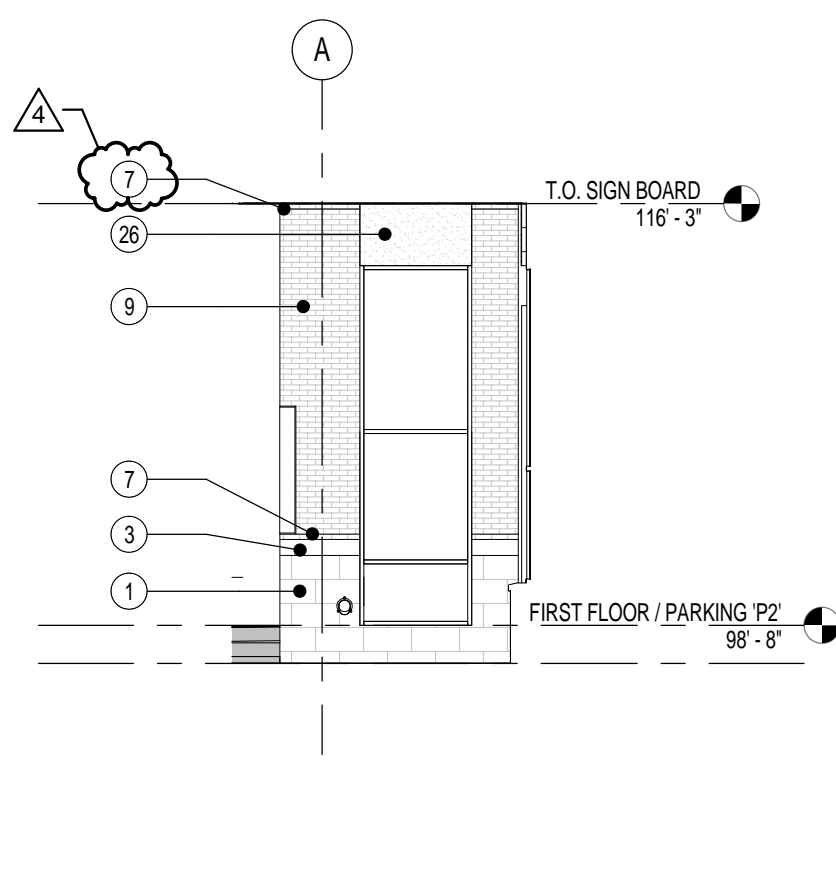
Project Number 14018	Sheet Number A104
Date 01/30/17	

1 PARKING LEVEL 'P2' / FIRST FLOOR PLAN - EAST
 1/8" = 1'-0"

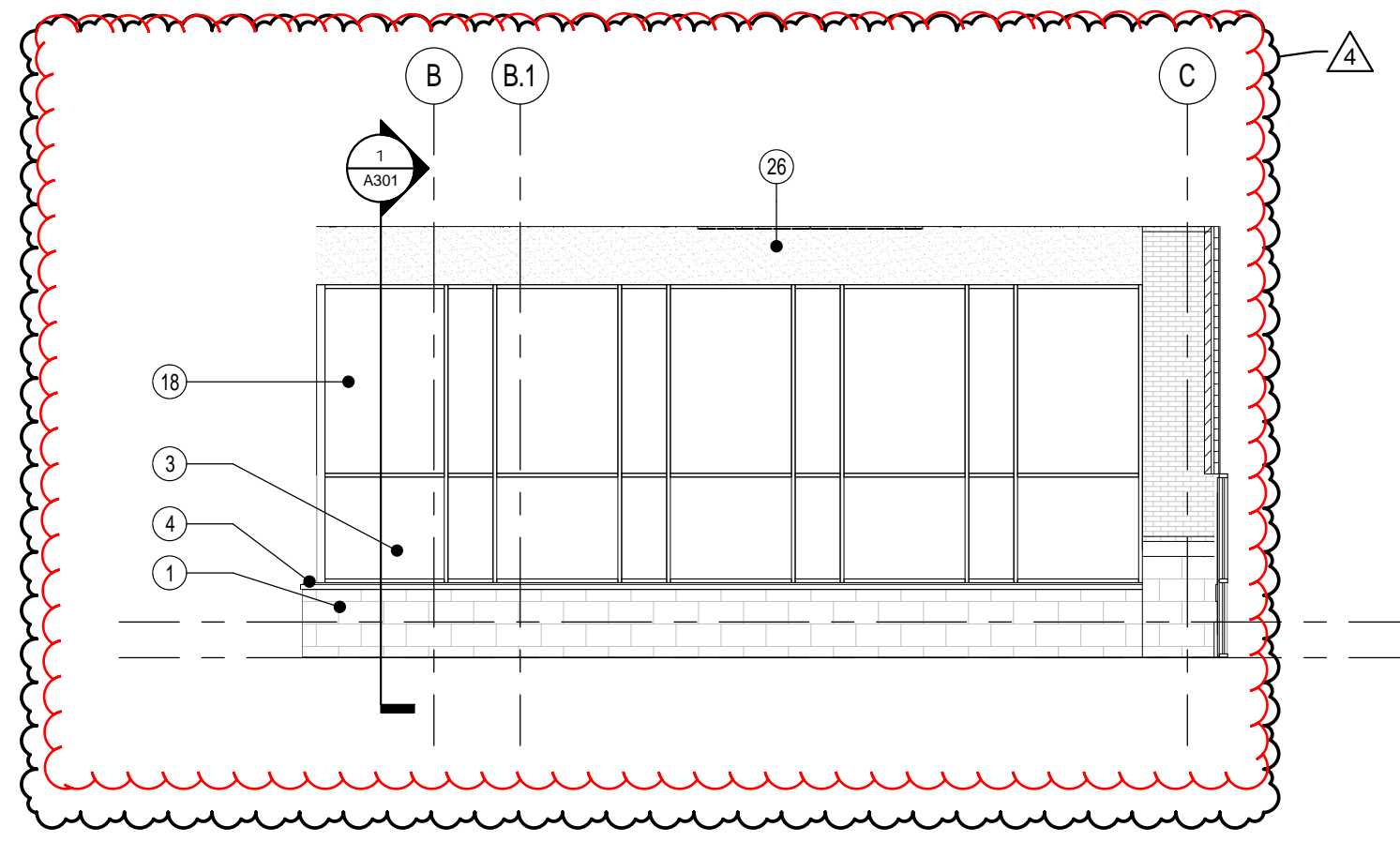
Proposed



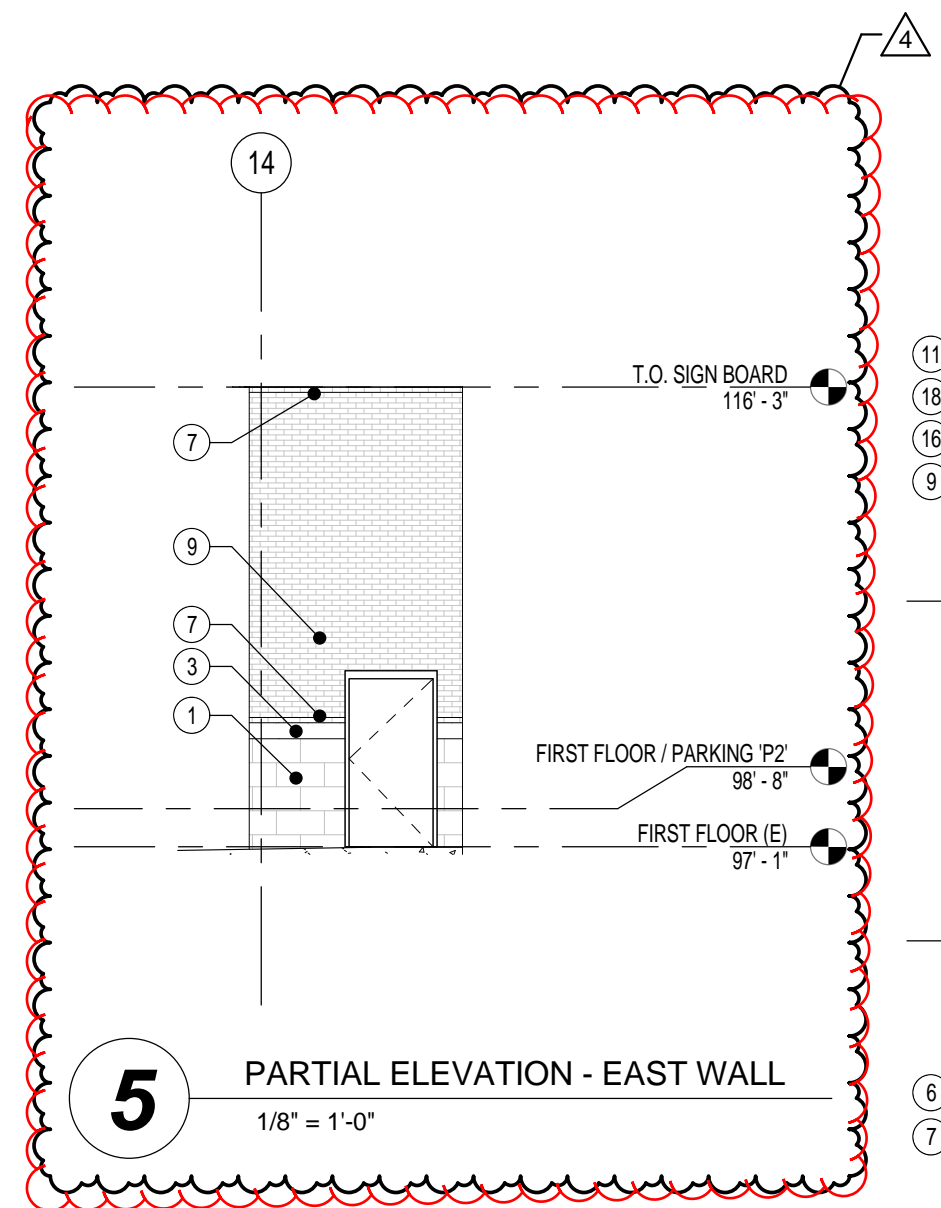
4 PARTIAL ELEVATION - KNOX BOX
1/8" = 1'-0"



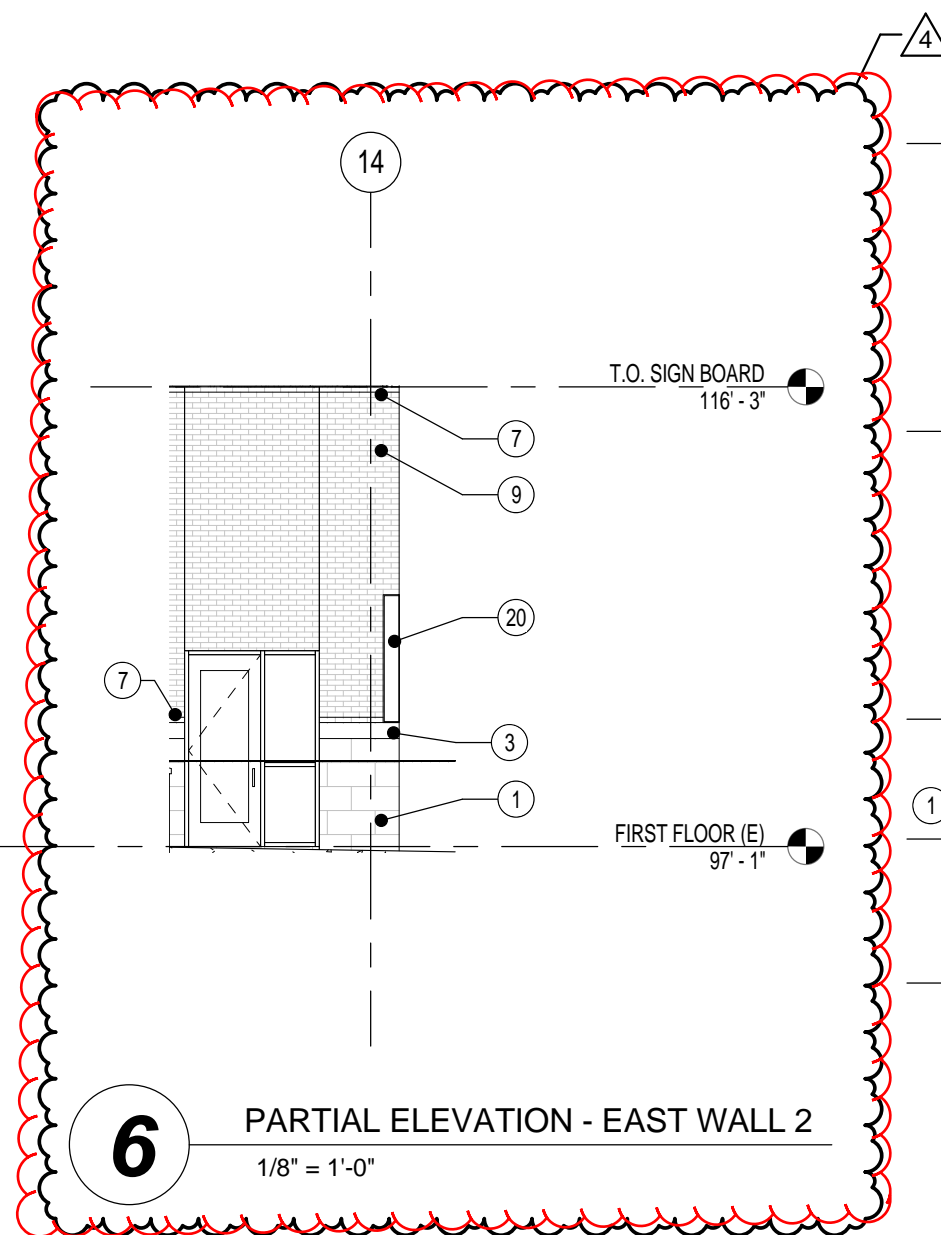
3 PARTIAL ELEVATION - EAST RETURN WALL
1/8" = 1'-0"



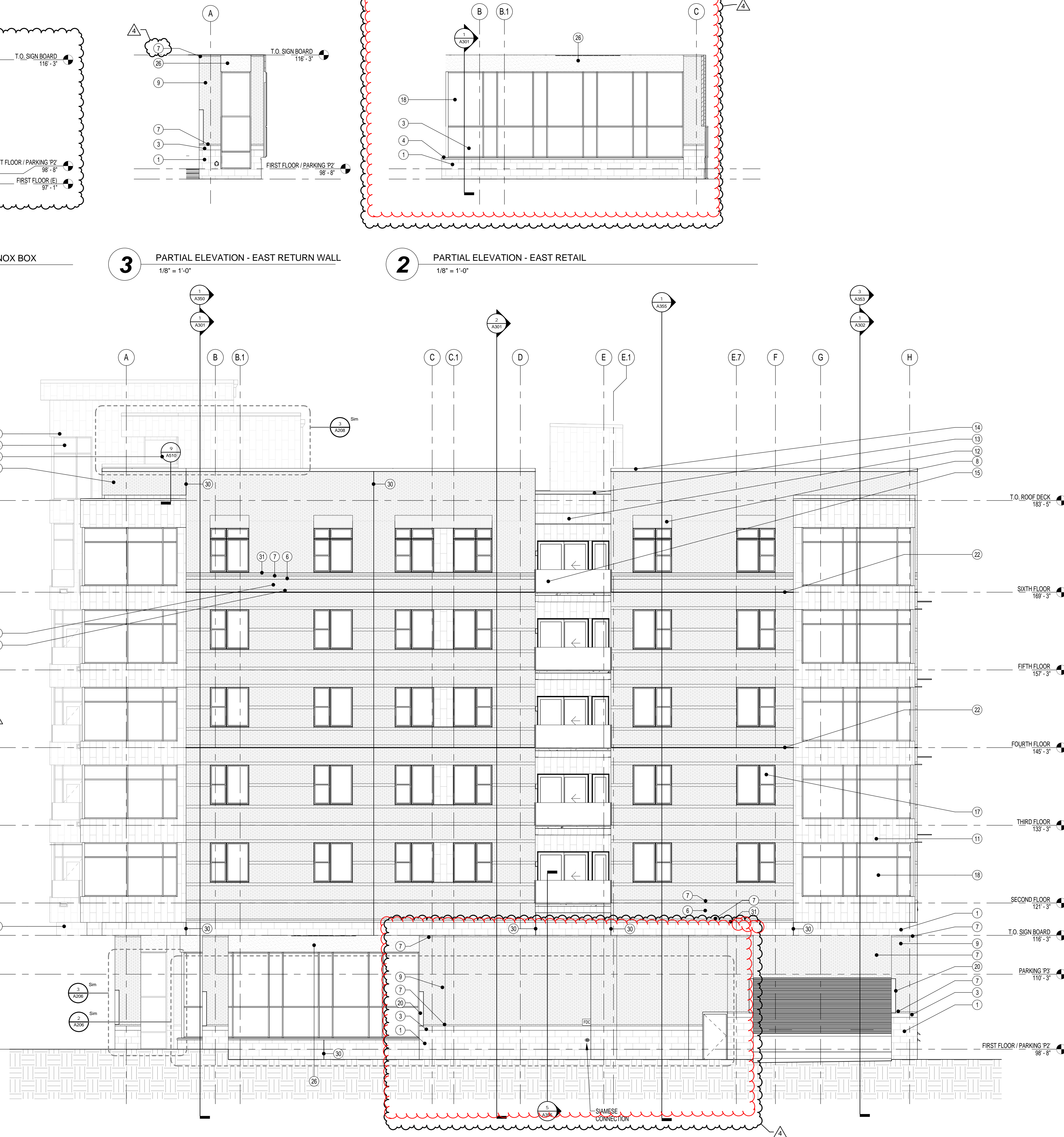
2 PARTIAL ELEVATION - EAST RETAIL
1/8" = 1'-0"



5 PARTIAL ELEVATION - EAST WALL
1/8" = 1'-0"



6 PARTIAL ELEVATION - EAST WALL 2
1/8" = 1'-0"

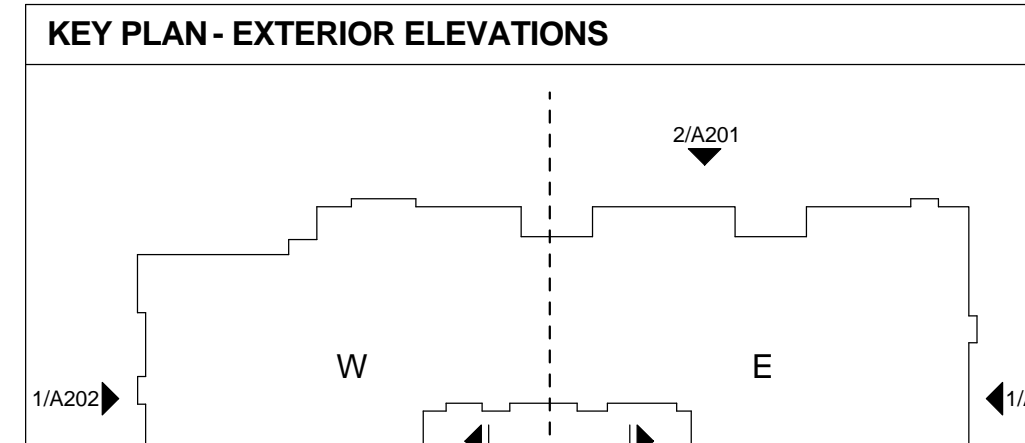


1 EAST ELEVATION (VIEW FROM WILLIAMS ST.)
1/8" = 1'-0"

LEGEND - EXTERIOR ELEVATIONS	
	CAST STONE 'A'
	CAST STONE 'B'
	BRICKS 'A', 'B', & 'C'
	BRICK 'B' BANDING
	BRICK 'B' TRIPLE SOLDIER COURSE
	STUCCO
	FLAT-LOCK METAL TILE
	WELDED WIRE SCREEN

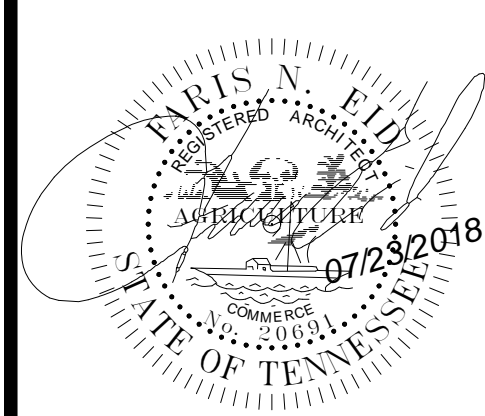
KEYED NOTES - EXTERIOR ELEVATIONS	
1	CAST STONE 'A' = ARRISCRRAFT LIMESTONE SMOOTH 12X24
2	NOT USED
3	CAST STONE 'B' = ARRISCRRAFT LIMESTONE ROCKED 8X24
4	CAST STONE SILL
5	CAST STONE CAP
6	BRICK 'A' = LHM RED CENTENNIAL
7	BRICK 'B' = MS CHESTNUT VELOUR
8	BRICK 'C' = MS GRAYSTONE VELOUR
9	SYNTHETIC STUCCO
10	FLAT-LOCK METAL TILE
11	METAL ROOF PANEL
12	METAL GRAVEL STOP
13	METAL COPING
14	GLASS RAILING SYSTEM
15	TRANSLUCENT GLASS DIVIDER
16	ALUMINUM-CLAD WINDOWS
17	ALUMINUM STOREFRONT SYSTEM
18	WELDED WIRE SCREEN
19	CUSTOM LIGHT FIXTURE
20	BRICK RELIEVING ANGLE
21	B.E.J. = BRICK EXPANSION JOINT
22	KNOX BOX
23	EFGS ALTERNATIVE
24	FLEMISH BOND PATTERN
25	EXTERIOR LIGHT FIXTURES
26	LOCATION OF GAS METERS, REF. TO PLUMBING
27	C.J. = CONTROL JOINT
28	4" BRICK 'B' ROWLOCK COURSE
29	OVERFLOW SCUPPER
30	WALL SCONCE
31	EMERGENCY LIGHTS
32	EXIT SIGN

GENERAL NOTES - EXTERIOR ELEVATIONS	
1.	"C.J." INDICATES THE LOCATION OF A "CONTROL JOINT". "E.J." INDICATES THE LOCATION OF AN "EXPANSION JOINT". "B.E.J." INDICATES THE LOCATION OF A "BUILDING EXPANSION JOINT".
2.	ALL MORTAR JOINTS TO BE CONCAVE UNLESS NOTED OTHERWISE.
3.	CORBELED BRICK LOCATIONS TO BE SET FORWARD 3/8" FROM FACE OF BRICK VENEER WITH A "WEATHERED" MORTAR JOINT ON BOTH EXPOSED SIDE AND CAVITY SIDE.
4.	WHERE BRICK VENEER IS ADJACENT AND PERPENDICULAR TO STOREFRONT SYSTEM, RECESSED BRICK COURSE(S) AT EXTERIOR AND INTERIOR FACES OF STOREFRONT SYSTEM TO ALIGN FLUSH FOR A MINIMUM 1/2 BRICK SO THAT THE FACE OF BRICK IS IN A SINGLE PLANE WHERE THE STOREFRONT SYSTEM INTERSECTS THE ADJACENT WALL.
5.	ALL EXPOSED STEEL ANGLES AND STEEL PLATES WITHIN BRICK VENEER SHALL BE PAINTED TO MATCH BRICK VENEER. VERIFY COLOR WITH ARCHITECT.
6.	ALL EXTERIOR STEEL SHALL BE FULLY AND COMPLETELY PAINTED WITH HIGH PERFORMANCE COATINGS PRIOR TO INSTALLATION. REFER TO SPECIFICATION.
7.	COORDINATE ALL DEVICE ROUGH-INS TO CENTER IN FLUSH AREAS OF MASONRY, AVOIDING OVERLAPS WITH REVEALS, RECESSES, ETC. REFER TO PLANS, DETAILS, AND ENLARGED ELEVATIONS FOR SIZES AND DIMENSIONS.
8.	REFER TO WINDOW ELEVATIONS ON A600 SERIES SHEETS FOR SIZES AND TYPE OF GLAZING SYSTEMS.
9.	REFER TO DOOR SCHEDULE AND ELEVATIONS ON A600 SERIES SHEETS FOR SIZES AND TYPE OF DOORS AND FRAMES.
10.	REFER TO A600 SERIES SHEETS FOR GLAZING TYPES.
11.	REFER TO A600 SERIES SHEETS FOR TYPICAL MASONRY AND METAL PANEL DETAILS.
12.	BRICK COLOR TO BE TYPE 'A', U.N.O.
13.	MECH. EQUIP. NOT SHOWN IN ELEVATIONS. SEE MECHANICAL.
14.	BRICK RELIEVING ANGLE TYPICAL AT FOURTH AND SIXTH FLOORS. REFER TO ELEVATIONS AND COORDINATE WITH STRUCTURAL DRAWINGS.



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DIA
Design Innovation
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402 S. Gay Street, Suite 201, Knoxville, TN 37902
ph 865.637.8540 or 865.291.2221 fx 865.544.3840
www.dia-arch.com



No.	Issued by	Date
1	PERMIT	01/30/17
2	ASI #02	04/24/2017
3	ASI#13	03/16/2018
4	ASI #18	07/23/2018

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Sheet Title
EAST ELEVATION

Project Number 14018	Sheet Number A206
Date 01/30/17	

Proposed

MAGNOLIA AVE.

N. GAY ST.

WILLIAMS ST.

DEPOT AVE.

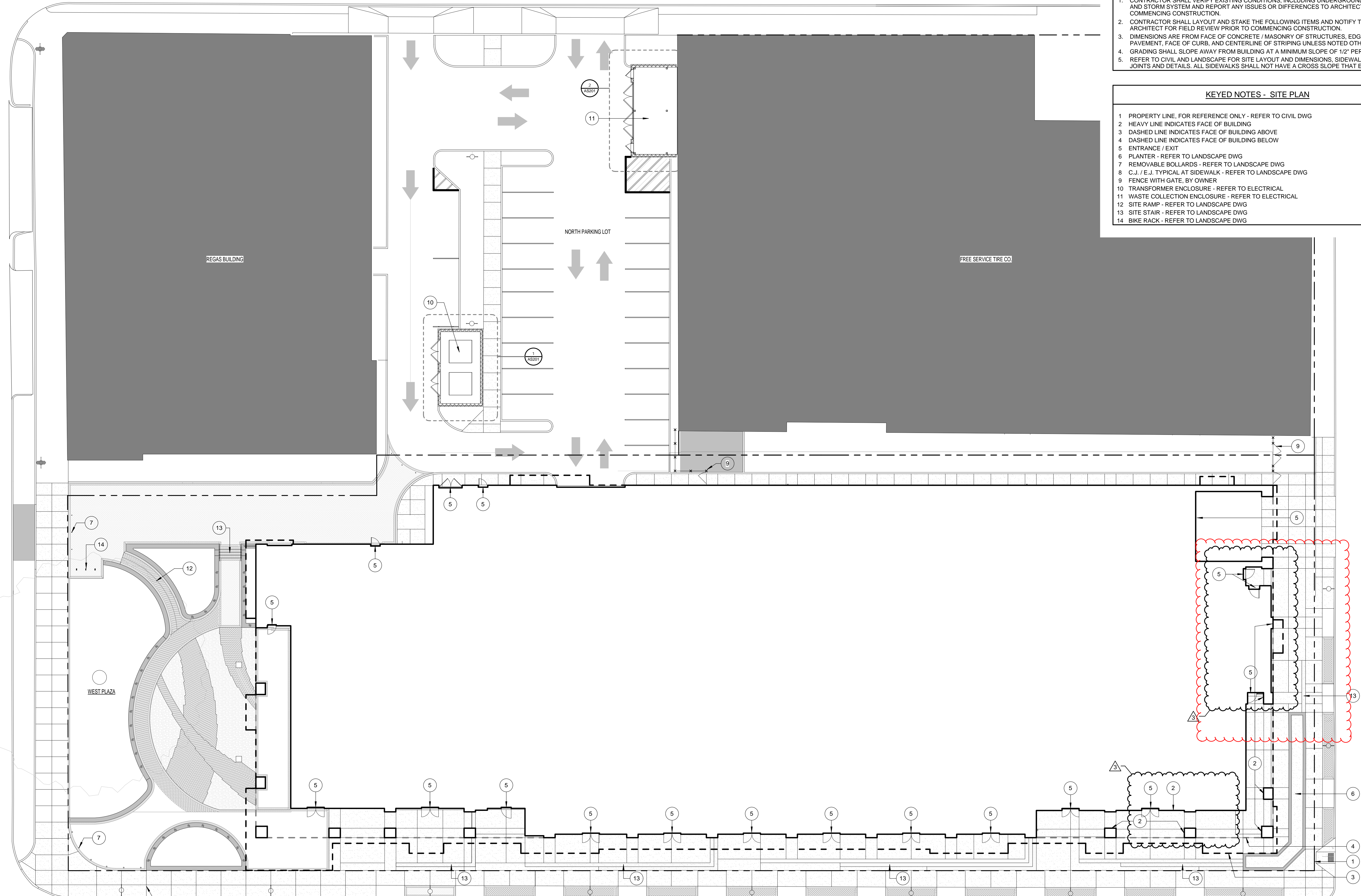
Proposed

GENERAL NOTES - SITE PLAN

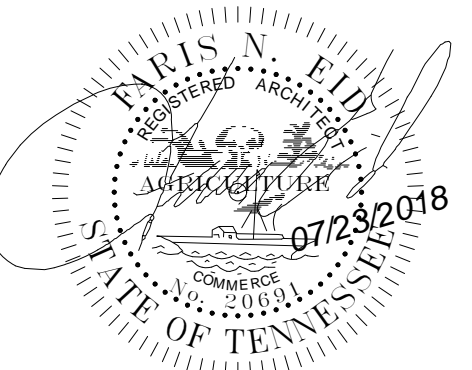
1. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS, INCLUDING UNDERGROUND UTILITIES AND STORM SYSTEM AND REPORT ANY ISSUES OR DIFFERENCES TO ARCHITECT PRIOR TO COMMENCING CONSTRUCTION.
2. CONTRACTOR SHALL LAYOUT AND STAKE THE FOLLOWING ITEMS AND NOTIFY THE ARCHITECT FOR FIELD REVIEW PRIOR TO COMMENCING CONSTRUCTION.
3. DIMENSIONS ARE FROM FACE OF CONCRETE / MASONRY OF STRUCTURES, EDGE OF PAVEMENT, FACE OF CURB, AND CENTERLINE OF STRIPING UNLESS NOTED OTHERWISE.
4. GRADING SHALL SLOPE AWAY FROM BUILDING AT A MINIMUM SLOPE OF 1/2" PER FOOT.
5. REFER TO CIVIL AND LANDSCAPE FOR SITE LAYOUT AND DIMENSIONS, SIDEWALK CONTROL JOINTS AND DETAILS. ALL SIDEWALKS SHALL NOT HAVE A CROSS SLOPE THAT EXCEEDS 2%.

KEYED NOTES - SITE PLAN

- 1 PROPERTY LINE, FOR REFERENCE ONLY - REFER TO CIVIL DWG
- 2 HEAVY LINE INDICATES FACE OF BUILDING
- 3 DASHED LINE INDICATES FACE OF BUILDING ABOVE
- 4 DASHED LINE INDICATES FACE OF BUILDING BELOW
- 5 ENTRANCE / EXIT
- 6 PLANTER - REFER TO LANDSCAPE DWG
- 7 REMOVABLE BOLLARDS - REFER TO LANDSCAPE DWG
- 8 C.J. / E.J. TYPICAL AT SIDEWALK - REFER TO LANDSCAPE DWG
- 9 FENCE WITH GATE, BY OWNER
- 10 TRANSFORMER ENCLOSURE - REFER TO ELECTRICAL
- 11 WASTE COLLECTION ENCLOSURE - REFER TO ELECTRICAL
- 12 SITE RAMP - REFER TO LANDSCAPE DWG
- 13 SITE STAIR - REFER TO LANDSCAPE DWG
- 14 BIKE RACK - REFER TO LANDSCAPE DWG



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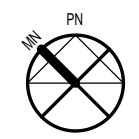
No.	Issued by	Date
1	ASI #02	04/24/2017
2	ASI #04	05/08/2017
3	ASI #18	07/23/2018

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Sheet Title
**ARCHITECTURAL
 SITE PLAN &
 NOTES**

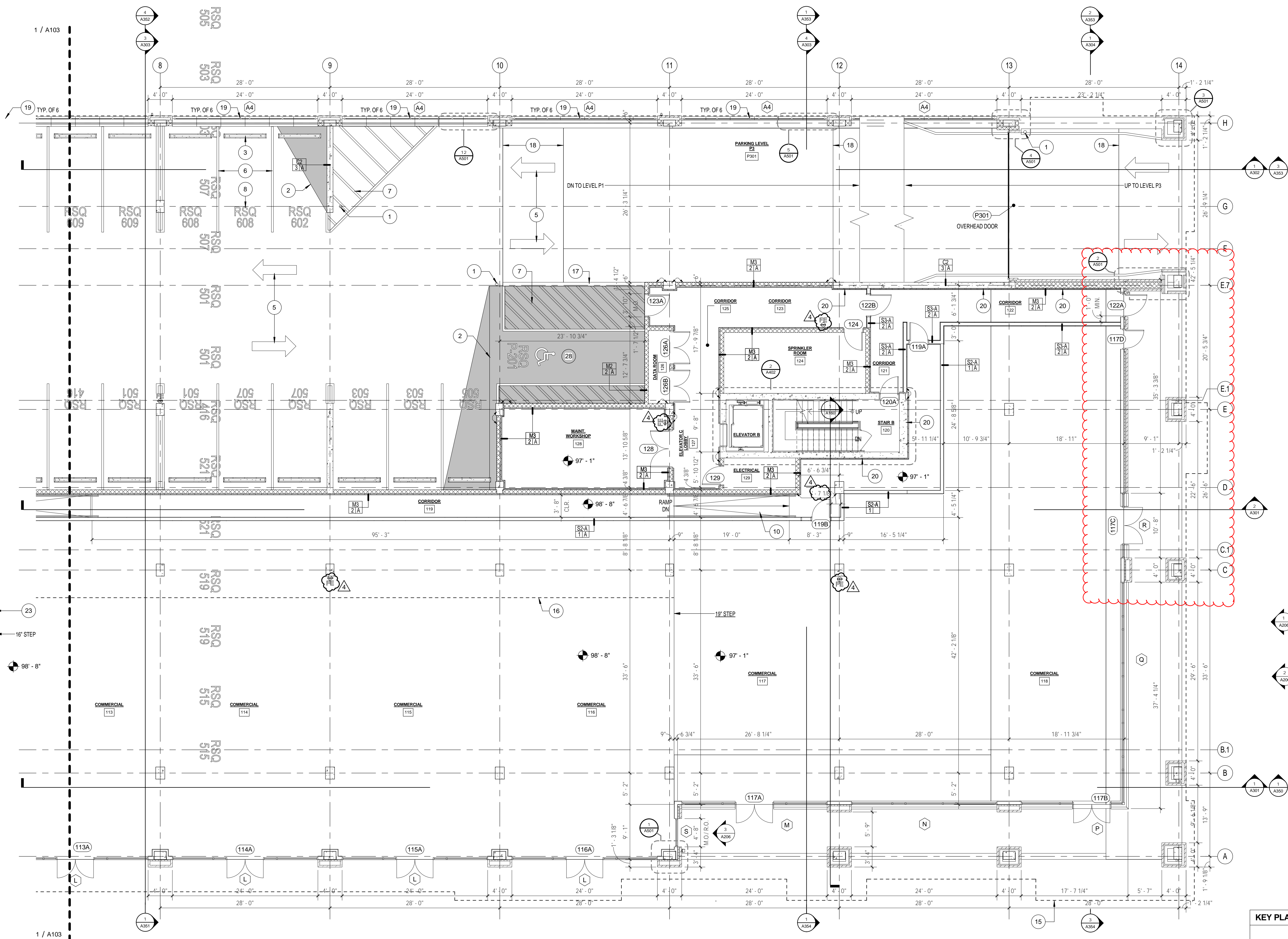
Project Number 14018	Sheet Number AS101
Date 01/30/17	

7/23/2018 5:40:41 PM



1

SITE PLAN - ARCHITECTURAL
1/16" = 1'-0"



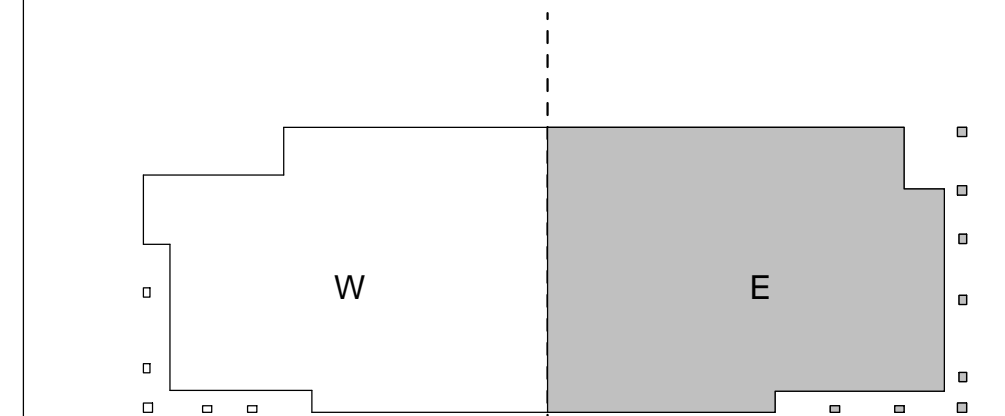
KEYED NOTES - PARKING LEVEL

- 1 PAINTED STEEL BOLLARD
- 2 CONCRETE OVERBUILD - MAXIMUM SLOPE 1/4" = 1'-0"
- 3 PRECAST CONCRETE WHEEL STOP (REFER TO CIVIL DWG)
- 4 PAVEMENT STOP BAR (REFER TO CIVIL DWG)
- 5 PAVEMENT ARROW (REFER TO CIVIL DWG)
- 6 PAVEMENT PARKING SPACE STRIPING (REFER TO CIVIL DWG)
- 7 PAVEMENT DIAGONAL STRIPING (REFER TO CIVIL DWG)
- 8 PAVEMENT PARKING SPACE NUMBER (REFER TO FINISH PLANS)
- 9 HANDICAP DECAL (REFER TO CIVIL DWG)
- 10 CAST IN PLACE CONCRETE RAMP - MAX. SLOPE 1:12 (WITH PLANS)
- 11 1 1/2" DIAMETER HANDRAIL AND BRACKET SYSTEM (EACH SIDE)
- 12 TRASH CHUTE AND CHASE, ABOVE.
- 13 WASTE CONTAINER - PROVIDED BY OWNER
- 14 RECESSED FRONT LOADING MAILBOX
- 15 NOT USED
- 16 HEAVY DASHED LINE INDICATES FACE OF BUILDING ABOVE, FOR REFERENCE ONLY
- 17 HEAVY DASHED LINE INDICATES OVERHANG OF PARKING LEVEL P3, FOR REFERENCE ONLY
- 18 LOW WALL - 3'-6" ABOVE ADJACENT FLOOR LEVEL
- 19 SLOPE TRANSITION
- 20 STEEL POST (REFER TO STRUCTURAL DWG), AND WELDED MESH SCREEN (SEE ARCHITECTURAL DWG)
- 21 CONTINUE 2" GALVANIZED Z-FURRING WITH 2" XPS RIGID INSULATION TO DECK ABOVE.
- 22 EGRESS STAIR AND LANDING TO BE PROVIDED BY FUTURE TENANT.
- 23 6" CMU RETAINING WALL, REFER TO WALL SECTIONS AND STRUCTURAL DWG.
- 24 CONTRACTOR TO PROVIDE TEMPORARY RAILING AT FLOOR STEP.
- 25 MECHANICAL LOUVER, REFER TO MECHANICAL DWG
- 26 MINIMUM HEAD ROOM AT HANDICAP PARKING SPACE = 10'-2" A.F.F.
- 27 MINIMUM HEAD ROOM AT HANDICAP PARKING SPACE = 11'-0" A.F.F.
- 28 MINIMUM HEAD ROOM AT HANDICAP PARKING SPACE = 10'-10" A.F.F.
- 29 MINIMUM HEAD ROOM AT HANDICAP PARKING SPACE = 9'-5" A.F.F.

GENERAL NOTES - FLOOR PLAN

- 1 DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY / CONCRETE, UNLESS NOTED OTHERWISE.
- 2 CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS CONCERNING THE SCOPE OF WORK OF THIS PROJECT PRIOR TO COMMENCING WITH THE ASSOCIATED WORK. IN THE EVENT THE DIMENSIONS ARE IN QUESTION OR IF ANY DISCREPANCIES ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK. FAILURE TO DO SO CONSTITUTES THE CONTRACTOR'S ACCEPTANCE OF THE WORK AS SHOWN.
- 3 THE ROUGH OPENING OF A NEW DOOR GRAPHICALLY SHOWN IN THE CORNER OF A ROOM UNDIMENSIONED SHALL BE 0" OR 8" IN MASONRY WALLS (AS GRAPHICALLY INDICATED ON PLANS) OR 6" IN STUD FRAMED WALLS (AS GRAPHICALLY INDICATED ON PLANS), FROM THE INSIDE CORNER, UNLESS NOTED OR DIMENSIONED OTHERWISE.
- 4 THE ROUGH OPENING OF A NEW DOOR GRAPHICALLY SHOWN IN THE CENTER OF A WALL UNDIMENSIONED SHALL BE CENTERED ON WALL, UNLESS NOTED OR DIMENSIONED OTHERWISE.
- 5 IN SPACES OPEN TO EXPOSED STRUCTURE ABOVE, PERIMETER WALLS OF SPACE SHALL EXTEND TO UNDERSIDE OF ROOF / FLOOR DECKING ABOVE.
- 6 "CJ" INDICATES "CONTROL JOINT" & "EJ" INDICATES "EXPANSION JOINT".
- 7 ALL WALLS, UNLESS NOTED OTHERWISE, ARE TO BE EXTENDED TO THE BOTTOM SIDE OF DECK (ROOF OR FLOOR) ABOVE AND SEALED TO SAME.
- 8 ALL LOCATIONS WHERE BRICK VENEER BUTTS INTO CMU OR CAST STONE, A SOFT JOINT WITH BAKER ROD AND SEALANT SHALL BE PROVIDED (TYPICAL).
- 9 ALL EXPOSED STEEL SHALL BE FULLY AND COMPLETELY PAINTED WITH HIGH PERFORMANCE & FIRE RESISTIVE COATINGS PRIOR TO INSTALLATION, UNO - REFER TO STRUCTURAL DRAWINGS & SPECIFICATIONS

KEY PLAN



A NEW DEVELOPMENT FOR:
REGAS SQUARE
333 WEST DEPOT AVENUE
KNOXVILLE, TN 37917

No.	Issued by	Date
1	PERMIT	01/30/17
2	ASI #02	04/24/2017
3	ASI #04	05/08/2017
4	ASI#14	03/23/2018

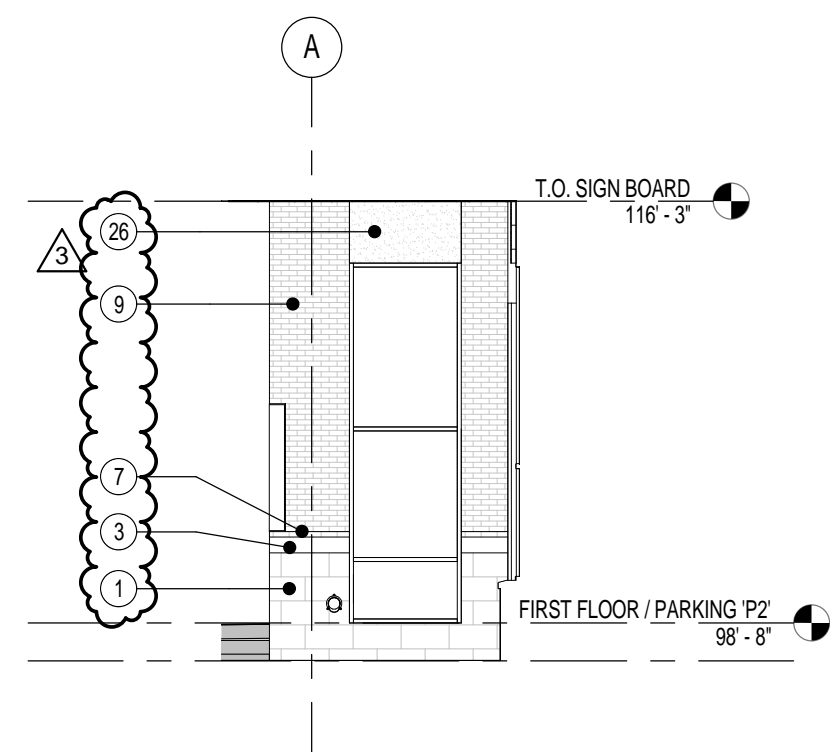
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Sheet Title
PARKING 'P2' / FIRST FLOOR PLAN - EAST

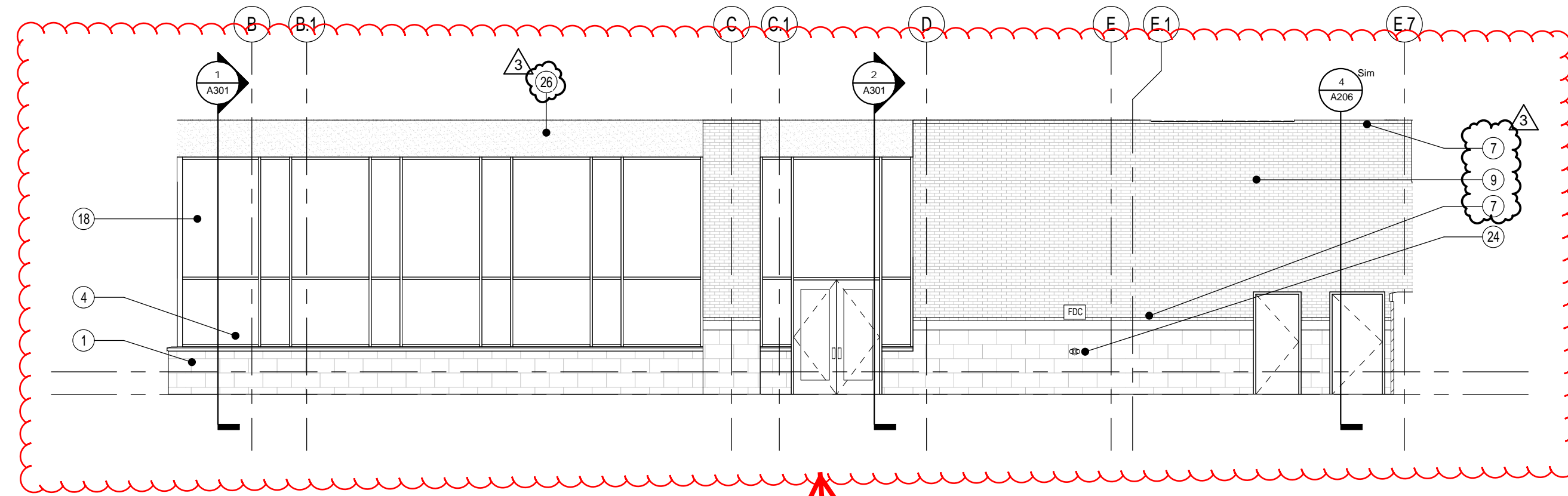
Project Number 14018	Sheet Number A104
Date 01/30/17	

1 PARKING LEVEL 'P2' / FIRST FLOOR PLAN - EAST
1/8" = 1'-0"

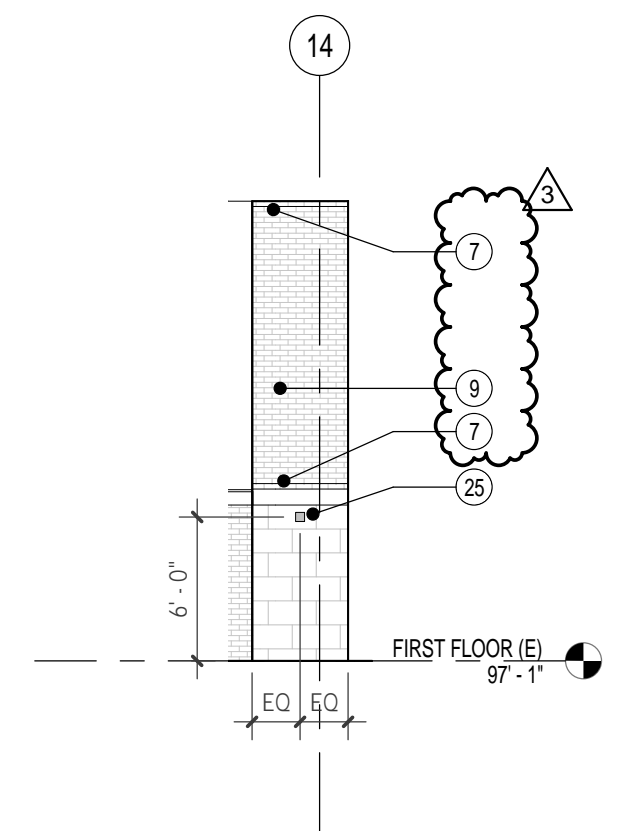
Previous Approval



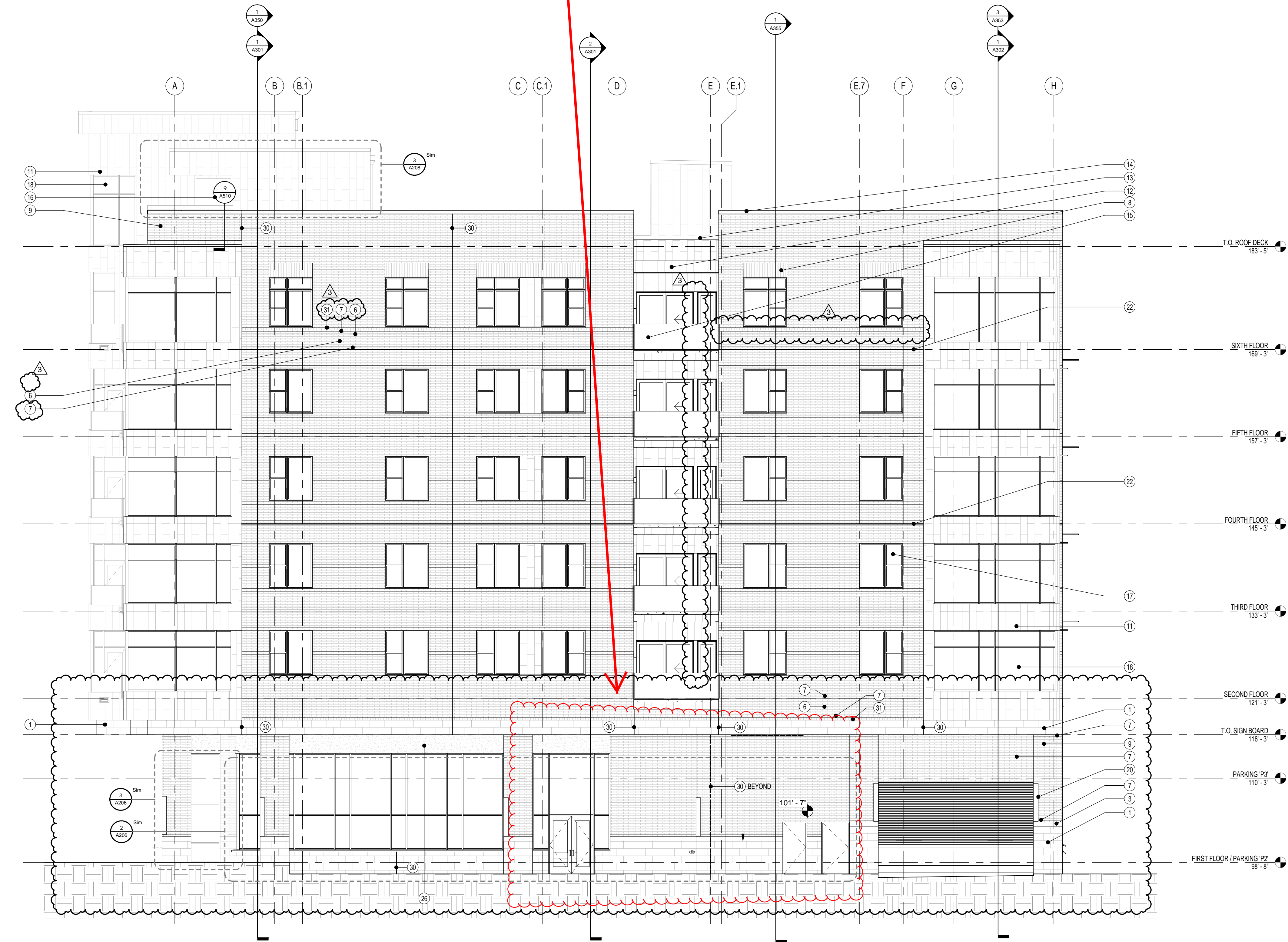
3 PARTIAL ELEVATION - EAST RETURN WALL
1/8" = 1'-0"



2 PARTIAL ELEVATION - EAST RETAIL
1/8" = 1'-0"



4 PARTIAL ELEVATION - KNOX BOX
1/8" = 1'-0"

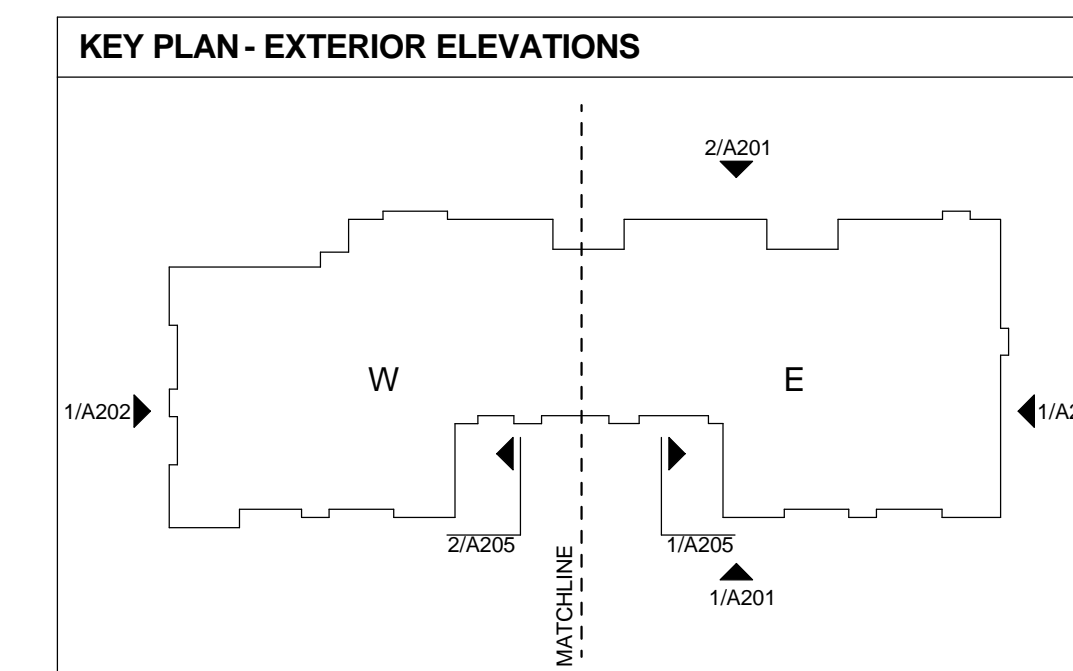


1 EAST ELEVATION (VIEW FROM WILLIAMS ST.)
1/8" = 1'-0"

LEGEND - EXTERIOR ELEVATIONS	
	CAST STONE 'A'
	CAST STONE 'B'
	BRICKS 'A', 'B', & 'C'
	BRICK 'B' BANDING
	BRICK 'B' TRIPLE SOLDIER COURSE
	STUCCO
	FLAT-LOCK METAL TILE
	WELDED WIRE SCREEN

KEYED NOTES - EXTERIOR ELEVATIONS	
1	CAST STONE 'A' = ARRISCRAFT LIMESTONE SMOOTH 12X24
2	NOT USED
3	CAST STONE 'B' = ARRISCRAFT LIMESTONE ROCKED 8X24
4	CAST STONE SILL
5	CAST STONE CAP
6	BRICK 'A' = LWM RED CENTENNIAL
7	BRICK 'B' = MS CHESTNUT VELOUR
8	BRICK 'B' TRIPLE SOLDIER COURSE
9	BRICK 'C' = MS GRAYSTONE VELOUR
11	FLAT-LOCK METAL TILE
12	METAL ROOF PANEL
13	METAL GRAVEL STOP
14	METAL COPING
15	GLASS RAILING SYSTEM
16	TRANSLUCENT GLASS DIVIDER
17	ALUMINUM-CLAD WINDOWS
18	ALUMINUM STOREFRONT SYSTEM
19	WELDED WIRE SCREEN
20	CUSTOM LIGHT FIXTURE
22	BRICK RELIEVING ANGLE
23	B.E.J. = BRICK EXPANSION JOINT
24	F.D.C.
25	KNOX BOX
26	EIFS ALTERNATIVE
27	FLESH BOND PATTERN
28	EXTERIOR LIGHT FIXTURES
29	LOCATION OF GAS METERS, REF. TO PLUMBING
30	C.J. = CONTROL JOINT
31	4" BRICK 'B' ROWLOCK COURSE
32	OVERFLOW SCUPPER
33	WALL SCONCE
34	EMERGENCY LIGHTS
35	EXIT SIGN

GENERAL NOTES - EXTERIOR ELEVATIONS	
1.	"C.J." INDICATES THE LOCATION OF A "CONTROL JOINT"; "E.J." INDICATES THE LOCATION OF AN "EXPANSION JOINT"; "B.E.J." INDICATES THE LOCATION OF A "BUILDING EXPANSION JOINT".
2.	ALL MORTAR JOINTS TO BE CONCAVE UNLESS NOTED OTHERWISE.
3.	CORBELED BRICK LOCATIONS TO BE SET FORWARD 3/8" FROM FACE OF BRICK VENEER WITH A "WEATHERED" MORTAR JOINT ON BOTH EXPOSED SIDE AND CAVITY SIDE.
4.	WHERE BRICK VENEER IS ADJACENT AND PERPENDICULAR TO STOREFRONT SYSTEM, RECESSED BRICK COURSE(S) AT EXTERIOR AND INTERIOR FACES OF STOREFRONT SYSTEM TO ALIGN FLUSH FOR A MINIMUM 1/2 BRICK SO THAT THE FACE OF BRICK IS IN A SINGLE PLANE WHERE THE STOREFRONT SYSTEM INTERSECTS THE ADJACENT WALL.
5.	ALL EXPOSED STEEL ANGLES AND STEEL PLATES WITHIN BRICK VENEER SHALL BE PAINTED TO MATCH BRICK VENEER. VERIFY COLOR WITH ARCHITECT.
6.	ALL EXTERIOR STEEL SHALL BE FULLY AND COMPLETELY PAINTED WITH HIGH PERFORMANCE COATINGS PRIOR TO INSTALLATION. REFER TO SPECIFICATION.
7.	COORDINATE ALL DEVICE ROUGH-INS TO CENTER IN FLUSH AREAS OF MASONRY, AVOIDING OVERLAPS WITH REVEALS, RECESSES, ETC.A. REFER TO PLANS, DETAILS, AND ENLARGED ELEVATIONS FOR SIZES AND DIMENSIONS.
8.	REFER TO WINDOW ELEVATIONS ON A600 SERIES SHEETS FOR SIZES AND TYPE OF GLAZING SYSTEMS.
9.	REFER TO DOOR SCHEDULE AND ELEVATIONS ON A600 SERIES SHEETS FOR SIZES AND TYPE OF DOORS AND FRAMES.
10.	REFER TO A600 SERIES SHEETS FOR GLAZING TYPES.
11.	REFER TO A6000 SERIES SHEETS FOR TYPICAL MASONRY AND METAL PANEL DETAILS.
12.	BRICK COLOR TO BE TYPE 'A', U.O.
13.	MECH. EQUIP. NOT SHOWN IN ELEVATIONS. SEE MECHANICAL.
14.	BRICK RELIEVING ANGLE TYPICAL AT FOURTH AND SIXTH FLOORS - REFER TO ELEVATIONS AND COORDINATE WITH STRUCTURAL DRAWINGS.



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A NEW DEVELOPMENT FOR:
REGAS SQUARE
333 WEST DEPOT AVENUE
KNOXVILLE, TN 37917

No.	Issued by	Date
1	PERMIT	01/30/17
2	ASH#02	04/24/2017
3	ASH#13	03/16/2018

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Sheet Title	
EAST ELEVATION	
Project Number	14018
Sheet Number	A206
Date	01/30/17

Previous Approval