

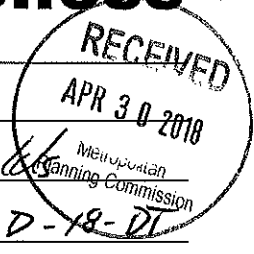
Downtown Knoxville Design Overlay District Certificate of Appropriateness

Name of Applicant: Joshua Wright

Owner Contractor Architect Engineer Other

Date Filed: 04/27/2018 Application accepted by: Mike Reynolds

Fee Amount: 50.00 Review Date: 5/16/18 File Number: 5-D-18-DI



PRE-APPLICATION CONFERENCE Date Completed: _____

PROPERTY INFORMATION

Building or Project Name: The Overlook

Street Address: 608 West Hill Ave.

Parcel Identification Number(s): 094MD017

PROPERTY OWNER

PLEASE PRINT
 Name: Joshua D Wright

Company: Knoxville Overlook LLC

Address: 519 Noelton Drive

City: Knoxville State: TN Zip: 37919

Telephone: 901-786-8946

Fax: _____

E-mail: josh@architectswright.com

ACCOMPANYING MATERIALS

Please see the reverse side of this form for a list of information required as part of this application.

FOR OFFICE USE ONLY

PROJECT INFORMATION

LEVEL 1: \$50
 Minor Alteration of an Existing Building/Structure
 Sign

LEVEL 2: \$100
 Major Alteration of an Existing Building/Structure
 Addition to an Existing Building/Structure

LEVEL 3: \$250
 Construction of New Building/Structure

PROJECT ARCHITECT/ENGINEER

PLEASE PRINT
 Name: Joshua Wright, AIA

Company: _____

Address: 519 Noelton Drive

City: Knoxville State: TN Zip: 37919

Telephone: 901-786-8946

Fax: _____

E-mail: josh@architectswright.com

PROJECT CONTRACTOR

PLEASE PRINT
 Name: _____

Company: Wright Makers LLC

Address: same as above

City: _____ State: _____ Zip: _____

Telephone: _____

Fax: _____

E-mail: _____

PROJECT CONTACT

All application-related correspondence should be directed to:

PLEASE PRINT
 Name: see architect above

Company: _____

Address: _____

City: _____ State: _____ Zip: _____

Telephone: _____

Fax: _____

E-mail: _____



5-D-18-DT

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

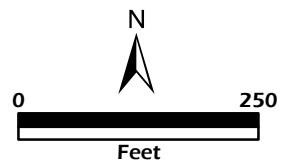
Petitioner: Joshua Wright, Wright Makers LLC

**DOWNTOWN
DESIGN
REVIEW
BOARD**



608 W Hill Ave
Level 1: Minor alteration of an existing building/structure

Original Print Date: 4/30/2018
Revised:
Metropolitan Planning Commission * City / County Building * Knoxville, TN 37902





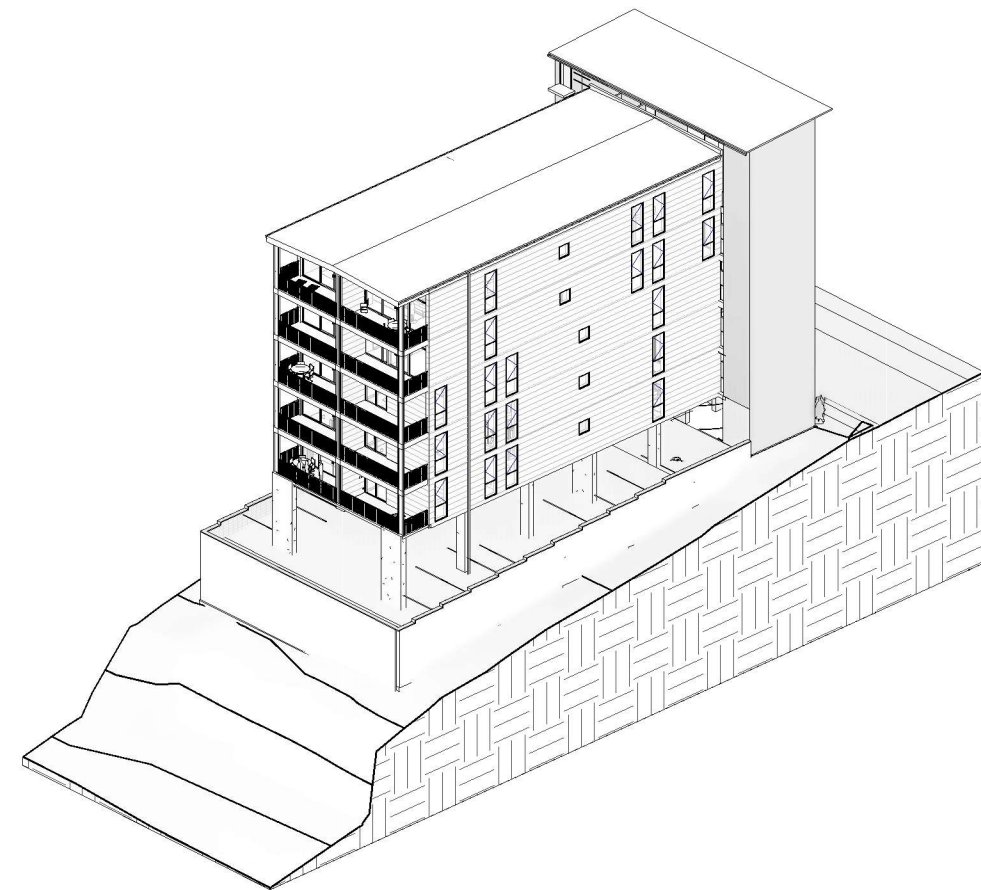
ARCHITECTS WRIGHT
519 NOELTON DRIVE
KNOXVILLE, TN 37919
865.321.9600

THE OVERLOOK
608 WEST HILL AVE.

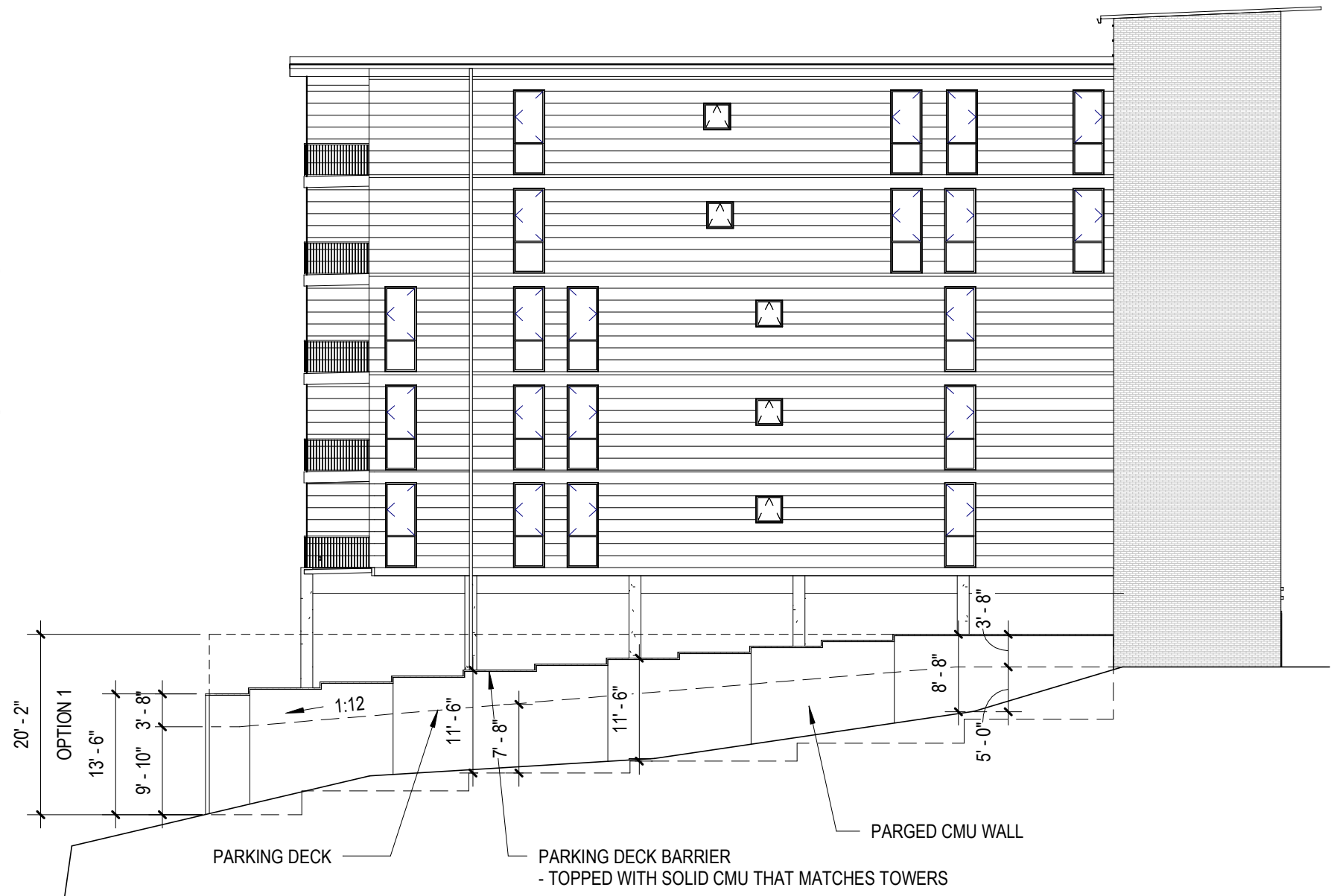
A7

Basement
Removal

04/27/18



1 AXON - PARKING DECK



3 EAST / WEST ELEVATION
1/16" = 1'-0"

The modifications remove the basement for the project.
To provide parking on this site the grade has to be modified to a minimum of 1:12 slope as shown in the above drawings.
To accomplish this we are placing retaining walls on the site to raise the grade up to match that slope and accomodate the required H.C. parking.
It may be structurally necessary to raise the grade higher or somewhere in between as shown by the dashed line above and the dimension labeled "OPTION 1".
The retaining wall will be placed on the property line.



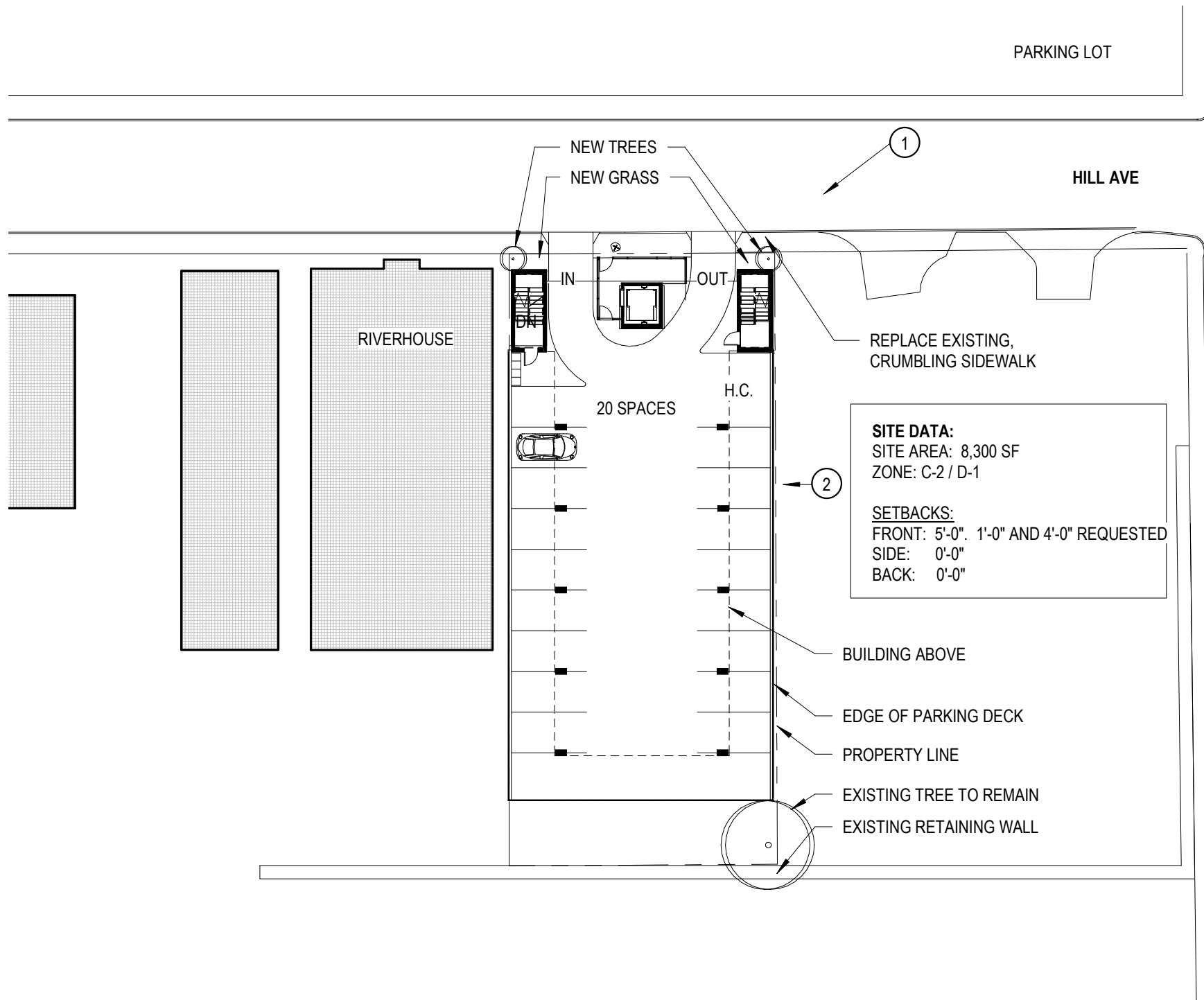
2 PERSPECTIVE - FROM STREET



Examples of parged CMU walls.



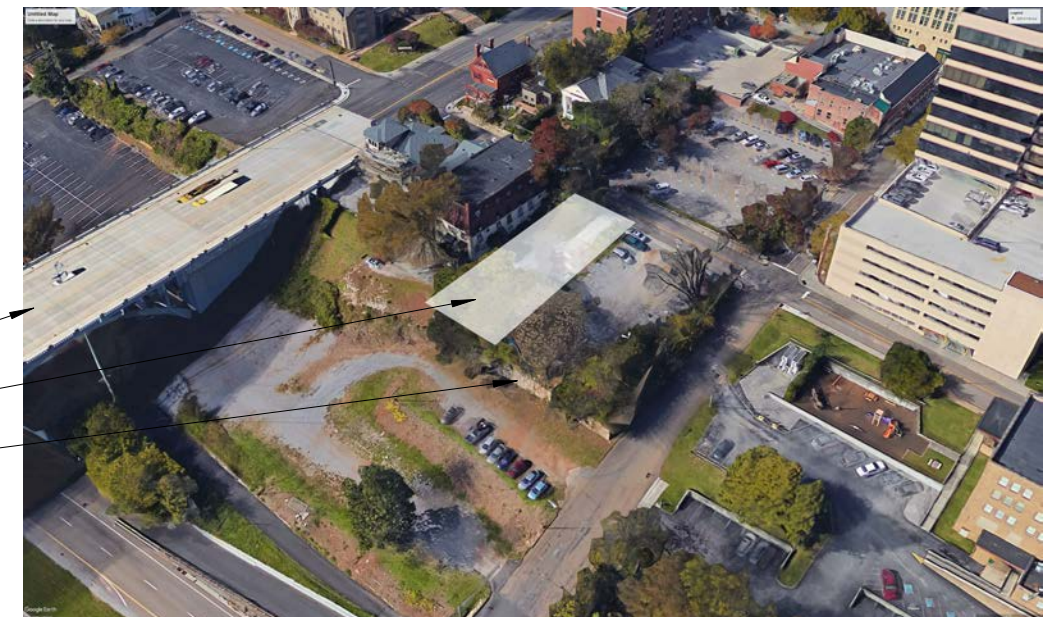
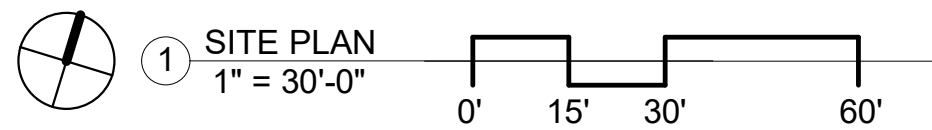
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1 FROM HILL AVE. LOOKING AT SITE



2 FROM SITE LOOKING AT RIVERHOUSE



HENLEY STREET BRIDGE
SITE
RETAINING WALL

SITE CONTEXT

THE OVERLOOK
608 WEST HILL AVE.

A1
SITE
CONDITIONS

06/29/17