



Suite 403 • City County Building
400 Main Street
Knoxville, Tennessee 37902
865 • 215 • 2500
FAX • 215 • 2068
www.knoxmpc.org

Downtown Knoxville Design Overlay District Certificate of Appropriateness

Name of Applicant: Century Partnership, LLC

Owner Contractor Architect Engineer Other

Date Filed: 4/27/2018 Application accepted by: Mike Reynolds

Fee Amount: 50.00 Review Date: 5/16/18 File Number: 5-C-18-DT

PRE-APPLICATION CONFERENCE		Date Completed:
<p style="text-align: center;">PROPERTY INFORMATION</p> <p>Building or Project Name: <u>Century Building</u></p> <p>Street Address: <u>312 S. Gay St</u></p> <p>Parcel Identification Number(s): _____</p>	<p style="text-align: center;">PROJECT ARCHITECT/ENGINEER</p> <p>PLEASE PRINT Name: <u>C3 Studio, LLC</u></p> <p>Company: <u>Greg Huddy</u></p> <p>Address: <u>133 W. Jackson Ave</u></p> <p>City: <u>Knoxville</u> State: <u>TN</u> Zip: <u>37902</u></p> <p>Telephone: <u>865 309 4461</u></p> <p>Fax: _____</p> <p>E-mail: <u>info@c3studios.com</u></p>	
<p style="text-align: center;">PROPERTY OWNER</p> <p>PLEASE PRINT Name: <u>Century Partnership, LLC</u></p> <p>Company: _____</p> <p>Address: <u>312 S. Gay St Suite 200</u></p> <p>City: <u>Knoxville</u> State: <u>TN</u> Zip: <u>37902</u></p> <p>Telephone: <u>865-771-9982</u></p> <p>Fax: _____</p> <p>E-mail: <u>brian.rowe@henryandwallace.com</u></p>	<p style="text-align: center;">PROJECT CONTRACTOR</p> <p>PLEASE PRINT Name: <u>Brian Rowe</u></p> <p>Company: <u>Century Building LLC</u></p> <p>Address: <u>312 S. Gay St Suite 200</u></p> <p>City: <u>Knoxville</u> State: <u>TN</u> Zip: <u>37902</u></p> <p>Telephone: <u>865-771-9982</u></p> <p>Fax: _____</p> <p>E-mail: <u>brian.rowe@henryandwallace.com</u></p>	
<p style="text-align: center;">ACCOMPANYING MATERIALS</p> <p>Please see the reverse side of this form for a list of information required as part of this application.</p>		
FOR OFFICE USE ONLY		
<p style="text-align: center;">PROJECT INFORMATION</p> <p>LEVEL 1: \$50</p> <p><input checked="" type="checkbox"/> Minor Alteration of an Existing Building/Structure</p> <p><input type="checkbox"/> Sign</p> <p>LEVEL 2: \$100</p> <p><input type="checkbox"/> Major Alteration of an Existing Building/Structure</p> <p><input type="checkbox"/> Addition to an Existing Building/Structure</p> <p>LEVEL 3: \$250</p> <p><input type="checkbox"/> Construction of New Building/Structure</p>	<p style="text-align: center;">PROJECT CONTACT</p> <p>All application-related correspondence should be directed to:</p> <p>PLEASE PRINT Name: <u>Contractor above</u></p> <p>Company: _____</p> <p>Address: _____</p> <p>City: _____ State: _____ Zip: _____</p> <p>Telephone: _____</p> <p>Fax: _____</p> <p>E-mail: _____</p>	

NOTE: Payment is due at time of application. Please make check payable to Knoxville Knox County Metropolitan Planning Commission.



5-C-18-DT

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Petitioner: Century Partnership, LLC

**DOWNTOWN
DESIGN
REVIEW
BOARD**



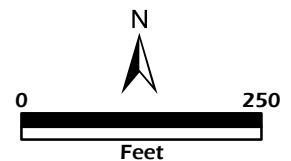
312 S Gay St

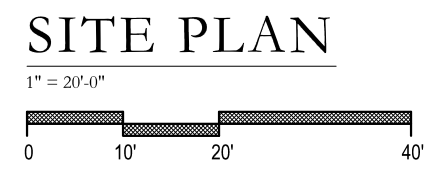
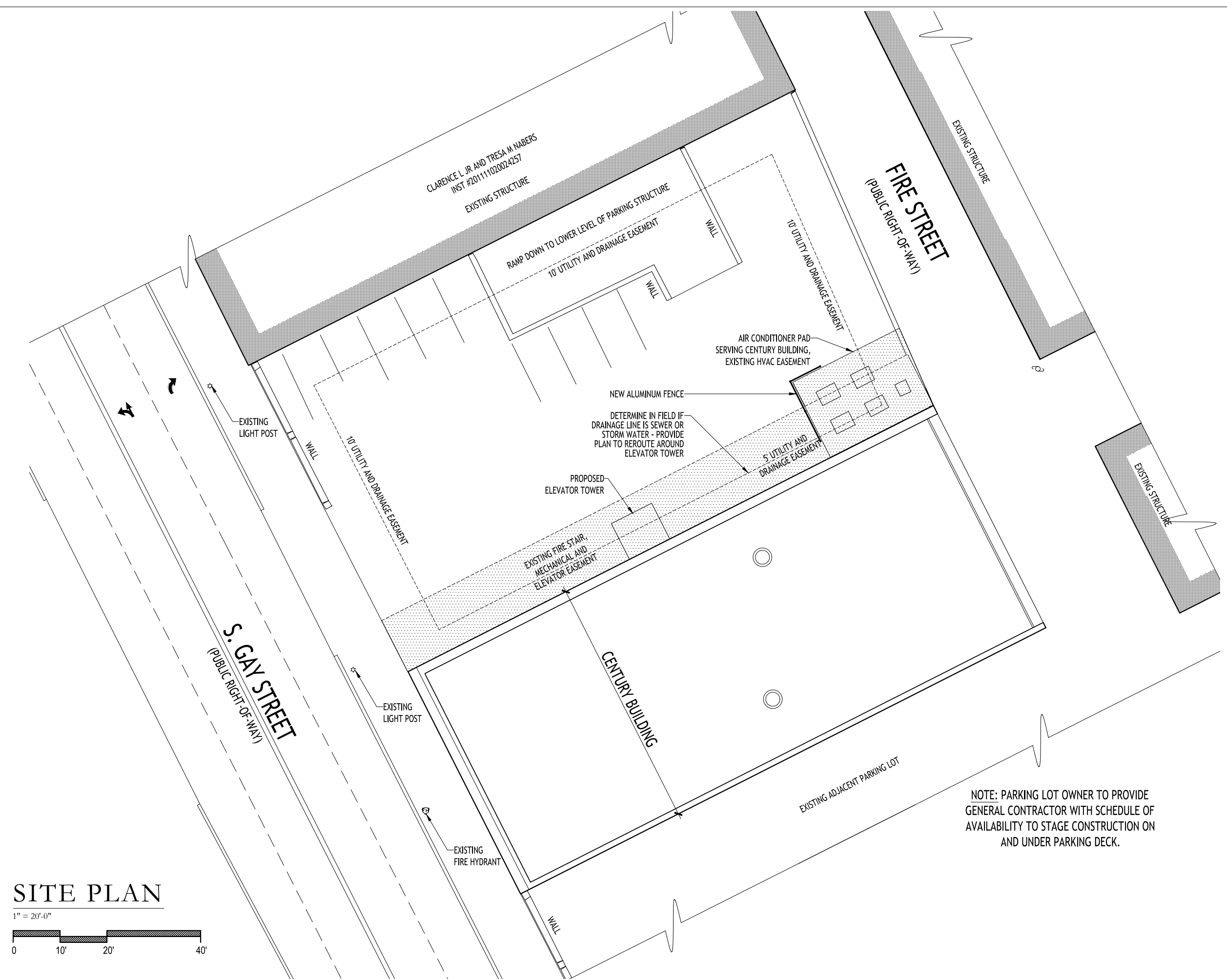
Level 1: Minor alteration of an existing building/structure

Original Print Date: 4/30/2018

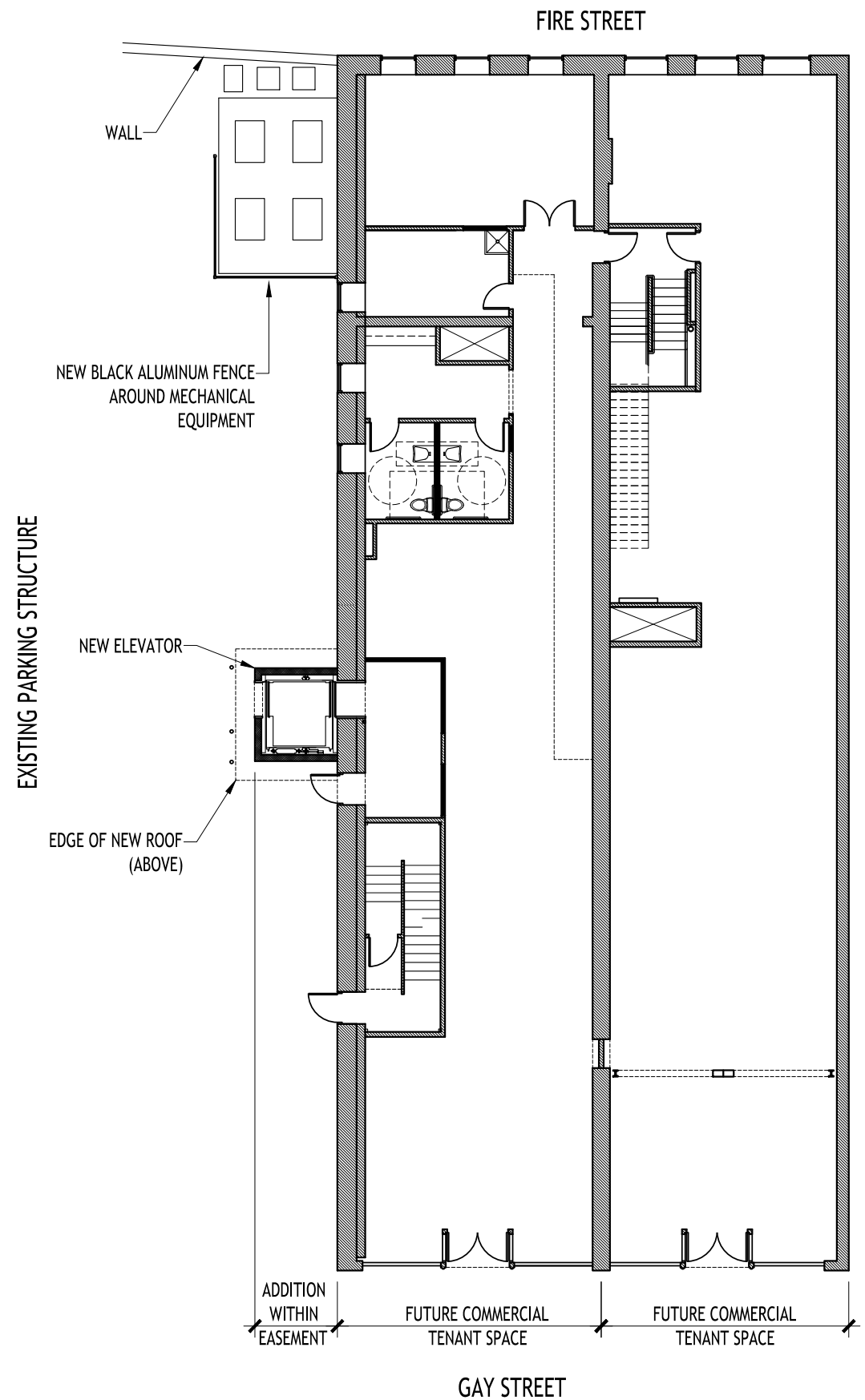
Revised:

Metropolitan Planning Commission * City / County Building * Knoxville, TN 37902

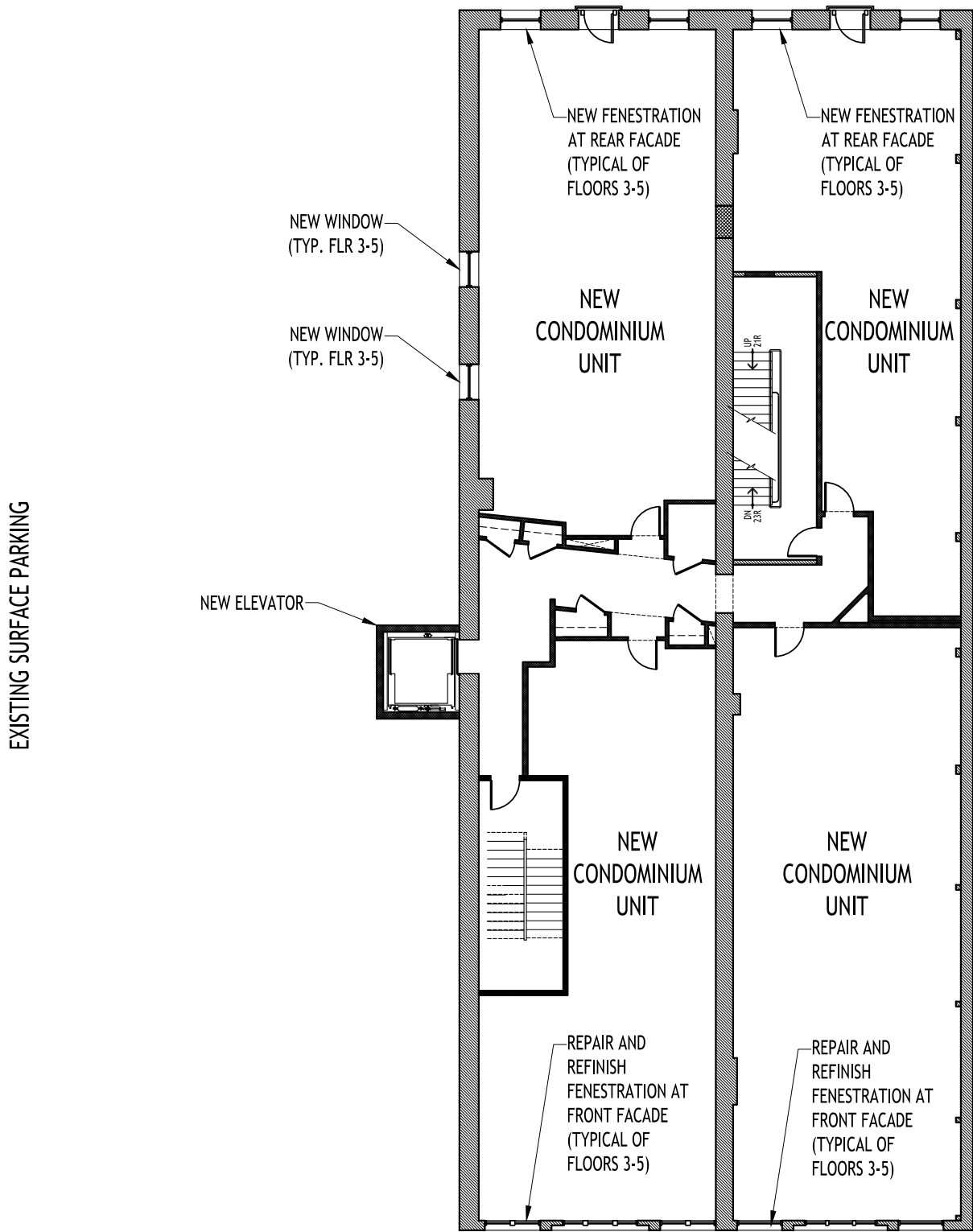




NOTE: PARKING LOT OWNER TO PROVIDE
 GENERAL CONTRACTOR WITH SCHEDULE OF
 AVAILABILITY TO STAGE CONSTRUCTION ON
 AND UNDER PARKING DECK.

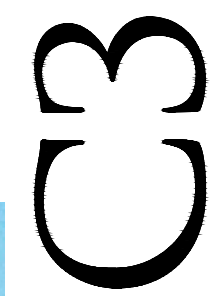


STREET LEVEL PLAN
 1/16" = 1'-0"
 0 8' 16' 32'

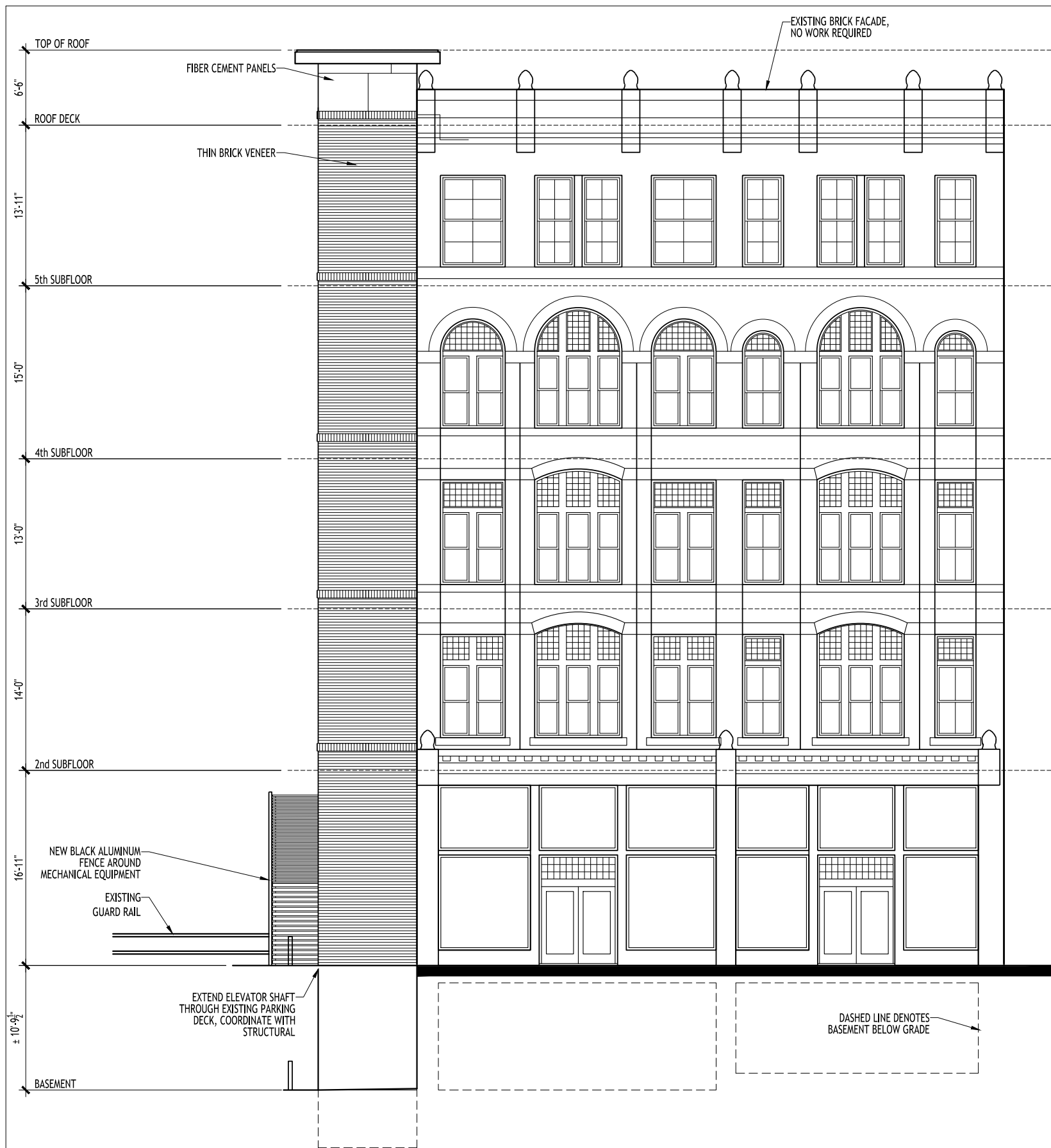


TYPICAL PLAN OF 3, 4 & 5
 1/16" = 1'-0"
 0 8' 16' 32'

Note:
 Mortar work will be completed
 in accordance with
 Preservation Brief #2 from the
 National Park Service. Any
 window repair will be
 completed in accordance with
 Preservation #9 from the
 National Park Service.

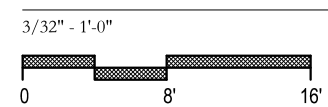


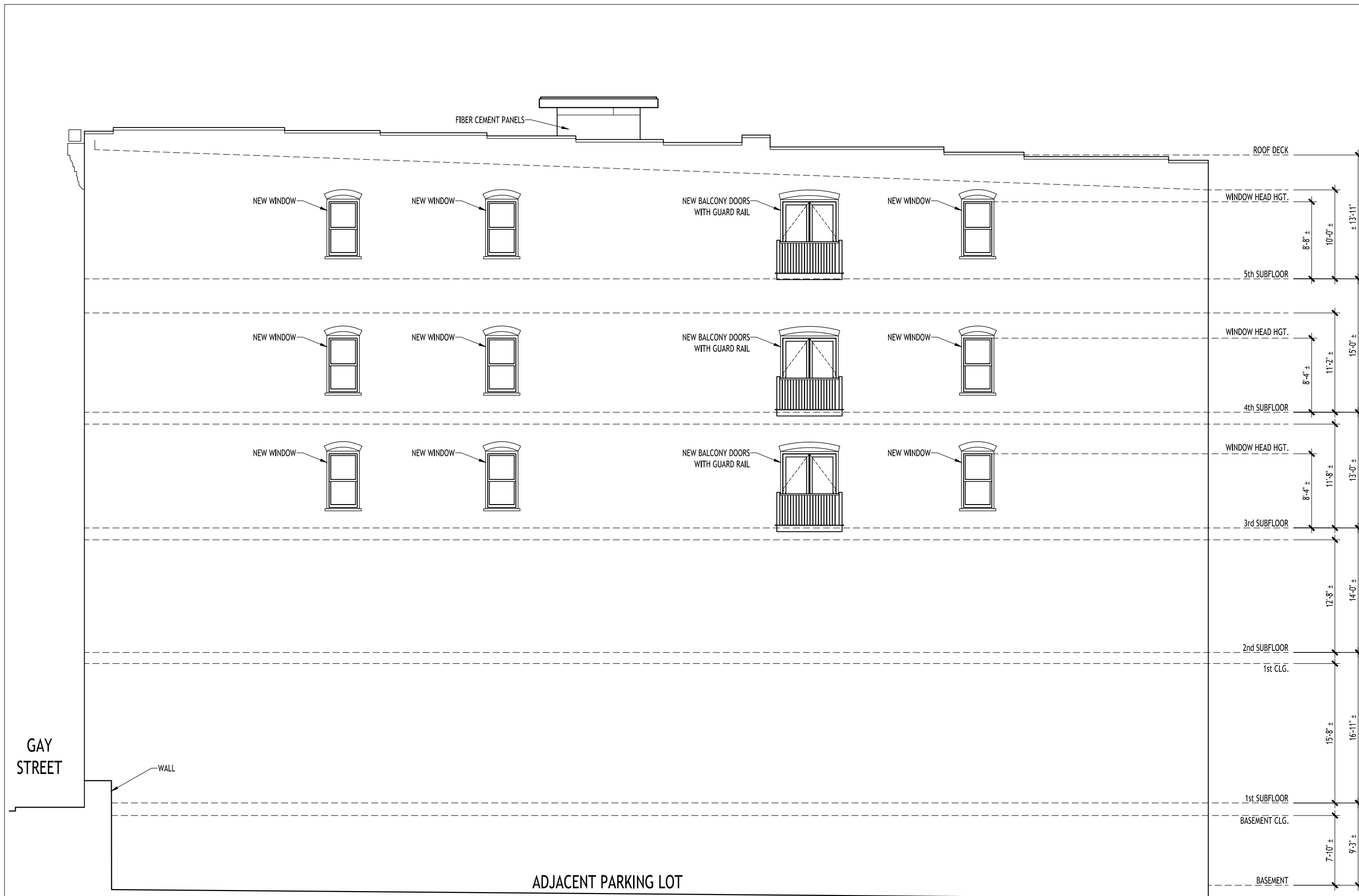
CENTURY BUILDING
 CONDO UNITS
 312 GAY ST. KNOXVILLE, TN



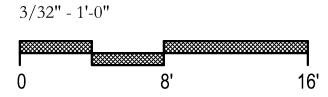
**EXISTING CONDITIONS OF FRONT
 AND NORTH ELEVATIONS**

FRONT ELEVATION





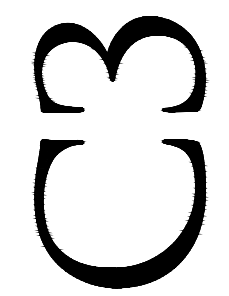
SOUTH ELEVATION



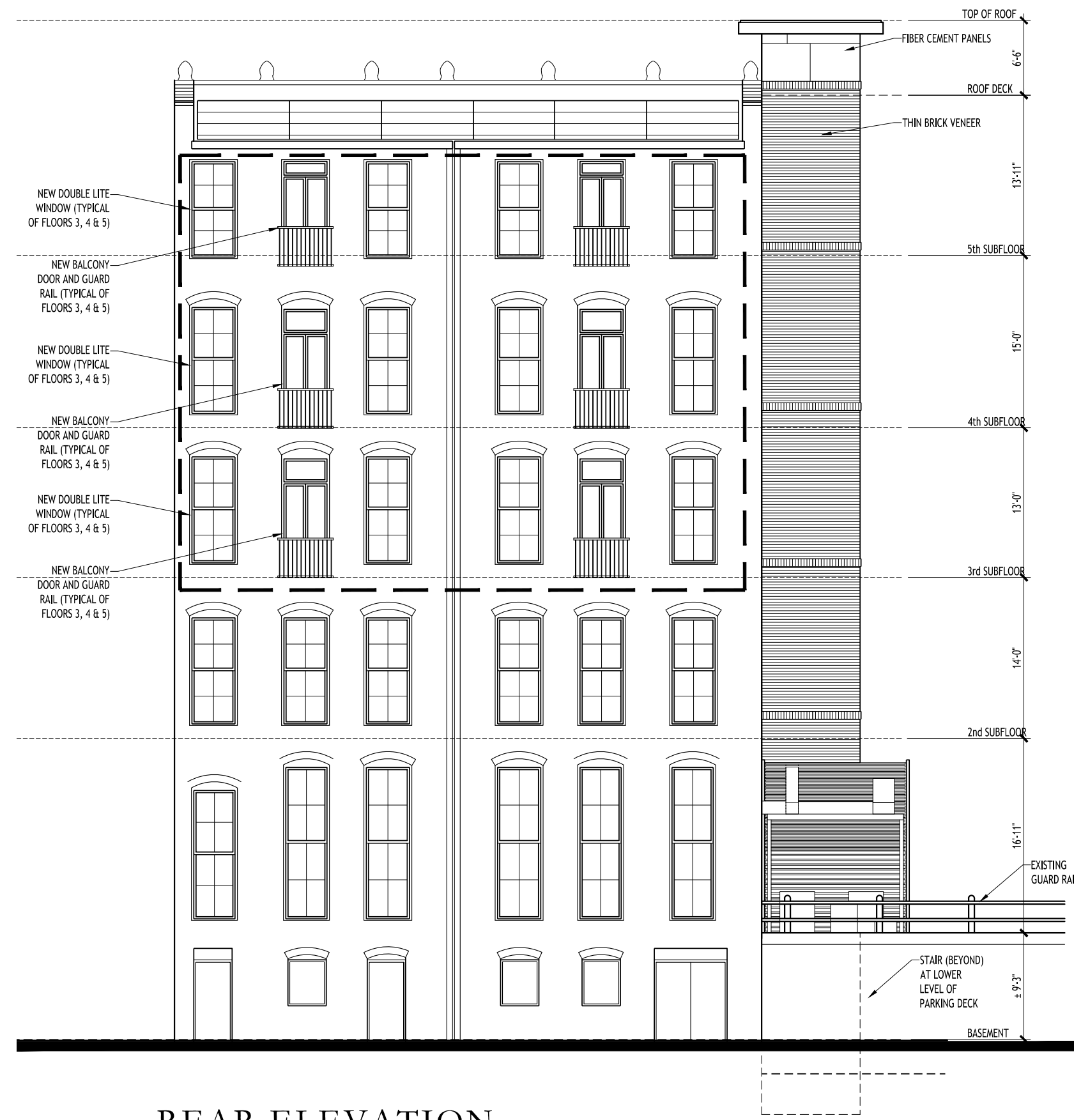
ADJACENT PARKING LOT

GAY STREET
 WALL

ROOF DECK
 WINDOW HEAD HGT.
 5th SUBFLOOR
 WINDOW HEAD HGT.
 4th SUBFLOOR
 WINDOW HEAD HGT.
 3rd SUBFLOOR
 2nd SUBFLOOR
 1st CLG.
 1st SUBFLOOR
 BASEMENT CLG.
 BASEMENT



CENTURY BUILDING
 CONDO UNITS
 312 GAY ST. KNOXVILLE, TN



NEW DOUBLE LITE WINDOW (TYPICAL OF FLOORS 3, 4 & 5)

NEW BALCONY DOOR AND GUARD RAIL (TYPICAL OF FLOORS 3, 4 & 5)

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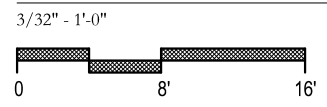
NEW BALCONY DOOR AND GUARD RAIL (TYPICAL OF FLOORS 3, 4 & 5)

NEW FENESTRATION TO REPLACE PLYWOOD

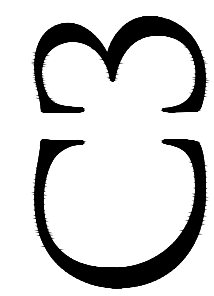


EXISTING CONDITIONS OF SOUTH AND REAR ELEVATIONS

REAR ELEVATION

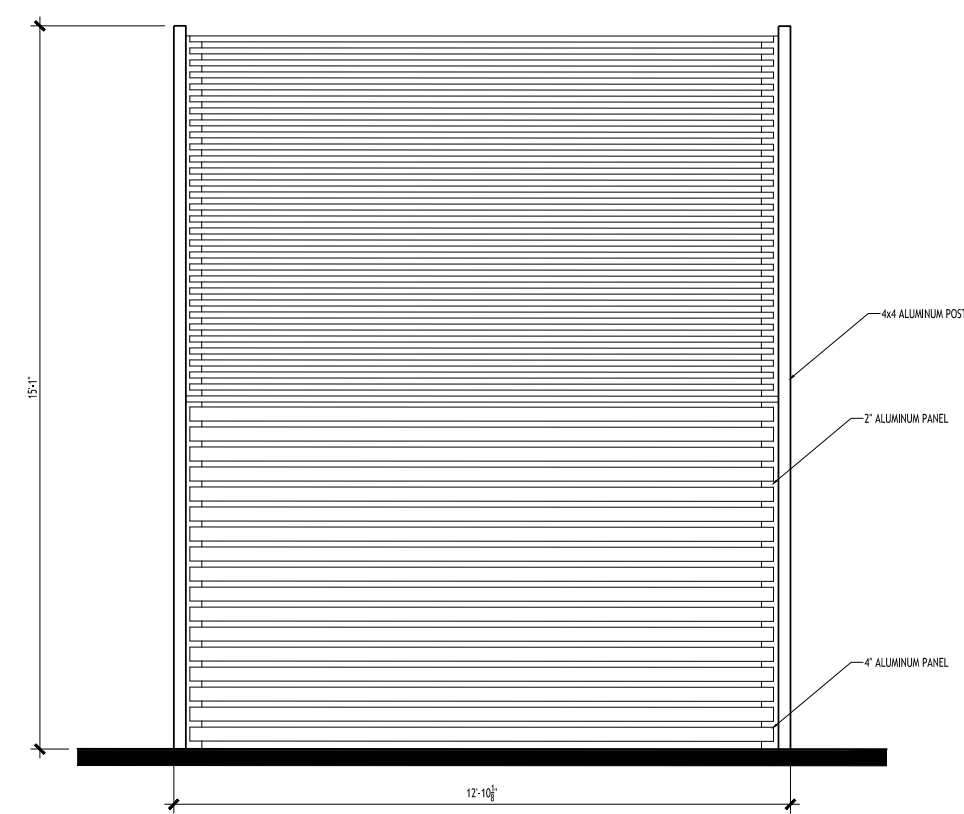


C3 Studio LLC
 133 W Jackson Ave
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 865-309-4461
 www.C3StudioLLC.com

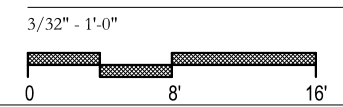


CENTURY BUILDING
 CONDO UNITS
 312 GAY ST. KNOXVILLE, TN

DESIGN REVIEW
 4/27/2018



PROPOSED BUILDING SECTION



ALUMINUM FENCE DETAIL

