



Suite 403 • City County Building
 400 Main Street
 Knoxville, Tennessee 37902
 865 • 215 • 2500
 FAX • 215 • 2068
 www.knoxmpc.org

Downtown Knoxville Design Overlay District Certificate of Appropriateness

Name of Applicant: Patrick Core

Owner Contractor Architect Engineer Other

Date Filed: 9/1/17

Application accepted by: Mike Reynolds

Fee Amount: \$100

Review Date: 9/20/17

File Number: P-A-17-DT

PRE-APPLICATION CONFERENCE		Date Completed: <u>n/a</u>
<p style="text-align: center;">PROPERTY INFORMATION</p> <p>Building or Project Name: <u>Renovation and Addition to 141 S. Gay St. (revised)</u></p> <p>Street Address: <u>141 S. Gay St.</u></p> <p>Parcel Identification Number(s): <u>094EJ0300</u></p>	<p style="text-align: center;">PROJECT ARCHITECT/ENGINEER</p> <p>PLEASE PRINT Name: <u>Patrick Core</u></p> <p>Company: <u>Design Innovation Architects</u></p> <p>Address: <u>402 S. Gay St., Suite 201</u></p> <p>City: <u>Knoxville</u> State: <u>TN</u> Zip: <u>37902</u></p> <p>Telephone: <u>(865) 637-8540 x 2011</u></p> <p>Fax: <u>(865) 544-3840</u></p> <p>E-mail: <u>pcore@dia-arch.com</u></p>	
<p style="text-align: center;">PROPERTY OWNER</p> <p>PLEASE PRINT Name: <u>Spike McCamy</u></p> <p>Company: <u>Acuity Investments</u></p> <p>Address: <u>124 S. Gay St.</u></p> <p>City: <u>Knoxville</u> State: <u>TN</u> Zip: <u>37902</u></p> <p>Telephone: <u>(865) 247-7068</u></p> <p>Fax: <u>-</u></p> <p>E-mail: <u>smcamy@koellmoore.com</u></p>	<p style="text-align: center;">PROJECT CONTRACTOR</p> <p>PLEASE PRINT Name: <u>Grant McMahan</u></p> <p>Company: <u>McCamy Construction</u></p> <p>Address: <u>124 S. Gay St.</u></p> <p>City: <u>Knoxville</u> State: <u>TN</u> Zip: <u>37902</u></p> <p>Telephone: <u>(865) 247-7068</u></p> <p>Fax: <u>-</u></p> <p>E-mail: <u>grant@mcamyconstruction.com</u></p>	
ACCOMPANYING MATERIALS		
Please see the reverse side of this form for a list of information required as part of this application.		
FOR OFFICE USE ONLY		
<p style="text-align: center;">PROJECT INFORMATION</p> <p>LEVEL 1: \$50</p> <p><input type="checkbox"/> Minor Alteration of an Existing Building/Structure</p> <p><input type="checkbox"/> Sign</p> <p>LEVEL 2: \$100</p> <p><input type="checkbox"/> Major Alteration of an Existing Building/Structure</p> <p><input checked="" type="checkbox"/> Addition to an Existing Building/Structure</p> <p>LEVEL 3: \$250</p> <p><input type="checkbox"/> Construction of New Building/Structure</p>	<p style="text-align: center;">PROJECT CONTACT</p> <p>All application-related correspondence should be directed to:</p> <p>PLEASE PRINT Name: <u>Patrick Core</u></p> <p>Company: <u>(SAME AS ABOVE)</u></p> <p>Address: _____</p> <p>City: _____ State: _____ Zip: _____</p> <p>Telephone: _____</p> <p>Fax: _____</p> <p>E-mail: _____</p>	

NOTE: Payment is due at time of application. Please make check payable to Knoxville Knox County Metropolitan Planning Commission.



Design Innovation

ARCHITECTS + INTERIORS + PLANNING

Project Name: **An Addition and Renovation of 141 S. Gay St.**
Project No: **17014** File No.: **I01**

Date / Time: 2017/09/01

To: Mike Reynolds, MPC
From: Patrick Core, Design Innovation (DIA)

PROJECT INFORMATION

Project location - 141 S. Gay St.
Existing use – mixed use, restaurant at ground level and residential at upper level
Proposed use – same as existing
Per Downtown Knoxville Design Guidelines the property is within the Grid District, within National Register Historic District, and is a National Register Historic Site.

From Downtown Knoxville Design Guidelines

B. PRIVATE REALM

3. BUILDING MATERIALS

New building materials should relate to the scale, durability, color, and texture of the predominate building materials in the area.

GUIDELINES:

- 3a. Use complimentary materials and elements, especially next to historic buildings.**
- 3b. Rehabilitate historic structures in accordance with the Secretary of Interior’s Standards (see Appendix A)**

Fibercement board siding will be used for new exterior walls. Colors will be complementary to adjacent painted gray brick building at corner of Vine Ave. and Gay St.

4. ARCHITECTURAL CHARACTER

Buildings should be visually interesting to invite exploration by pedestrians. A building should express human scale through materials and forms that were seen traditionally. This is important because buildings are experienced at proximity by the pedestrian.

GUIDELINES: 4f. Encourage the use of ‘green roofs’ and other sustainable practices, while minimizing the visual impact from the street.

Planters will be used at the rooftop level.

6. RESIDENTIAL BUILDINGS

Solely residential buildings, such as townhouses and apartment buildings, are rare in downtown Knoxville. Privacy and safety are concerns with residential units that meet the sidewalk. Mixed use buildings, with apartments above shops or offices, can avoid these challenges and add to downtown vitality

Existing mixed use configuration will be maintained. Privacy screens and / or planters at roof deck will be used for visual privacy at residential areas.

7. MECHANICAL EQUIPMENT AND SERVICE UTILITIES

Utilities can include telephone and electrical lines, ventilation systems, gas meters, air conditioners, fire protection, telecommunication and alarm systems. Adequate space for these

utilities should be planned in a project from the outset and they should be designed such that their visual and noise impacts are minimized.

No new penetrations are planned at the Gay St. elevation. If feasible, some of the existing equipment / conduit / piping etc. will be organized or concealed. New equipment and utilities will be concealed within the building or screened to the greatest degree possible.

C. HISTORIC RESOURCES

1. ROOFLINES AND ADDITIONS

Alterations of the rooflines of historic buildings are not appropriate. A one-story rooftop addition, including railings, may be possible on taller buildings if it is inconspicuous from the public right-of-way. Additions should be set back from the primary elevation of the building, and should not damage character-defining features, including parapets and side walls. These walls are often topped by coping stones offering contrasting color or texture, or contain cornices, decorative grills, chimneys, corbelled brickwork and other architectural elements. Rooftop additions are almost never appropriate on buildings less than four stories in height.

- 1a. Preserve or restore historic roofline features, including parapet walls and cornices.*
- 1b. Design rooftop additions to be complimentary to the historic building in terms of materials and color.*
- 1c. Avoid construction that maintains only the historic facade.*
- 1d. Do not alter, obscure or destroy significant features of historic resources when constructing additions.*
- 1e. Design rooftop additions so that they are not seen from adjoining streets and sidewalks.*

There will be no modifications to the Gay St. elevation. The new addition above the existing apartments will not be visible at the building's primary elevation from the pedestrian level of Gay St.

C. HISTORIC RESOURCES

5. MASONRY

Masonry features should be retained and repaired; materials, including mortar, should match the original mortar in color and composition. Mortar joints should be sized and struck to match the original. Belt courses, string courses, dripstones, quoins and contrasting brick and stone are common. These features should be preserved and repaired if necessary, and should be introduced on infill buildings.

GUIDELINES:

- 5a. Repair masonry with stone or brick and mortar that match the original.*
- 5b. Do not paint masonry that has never been painted.*

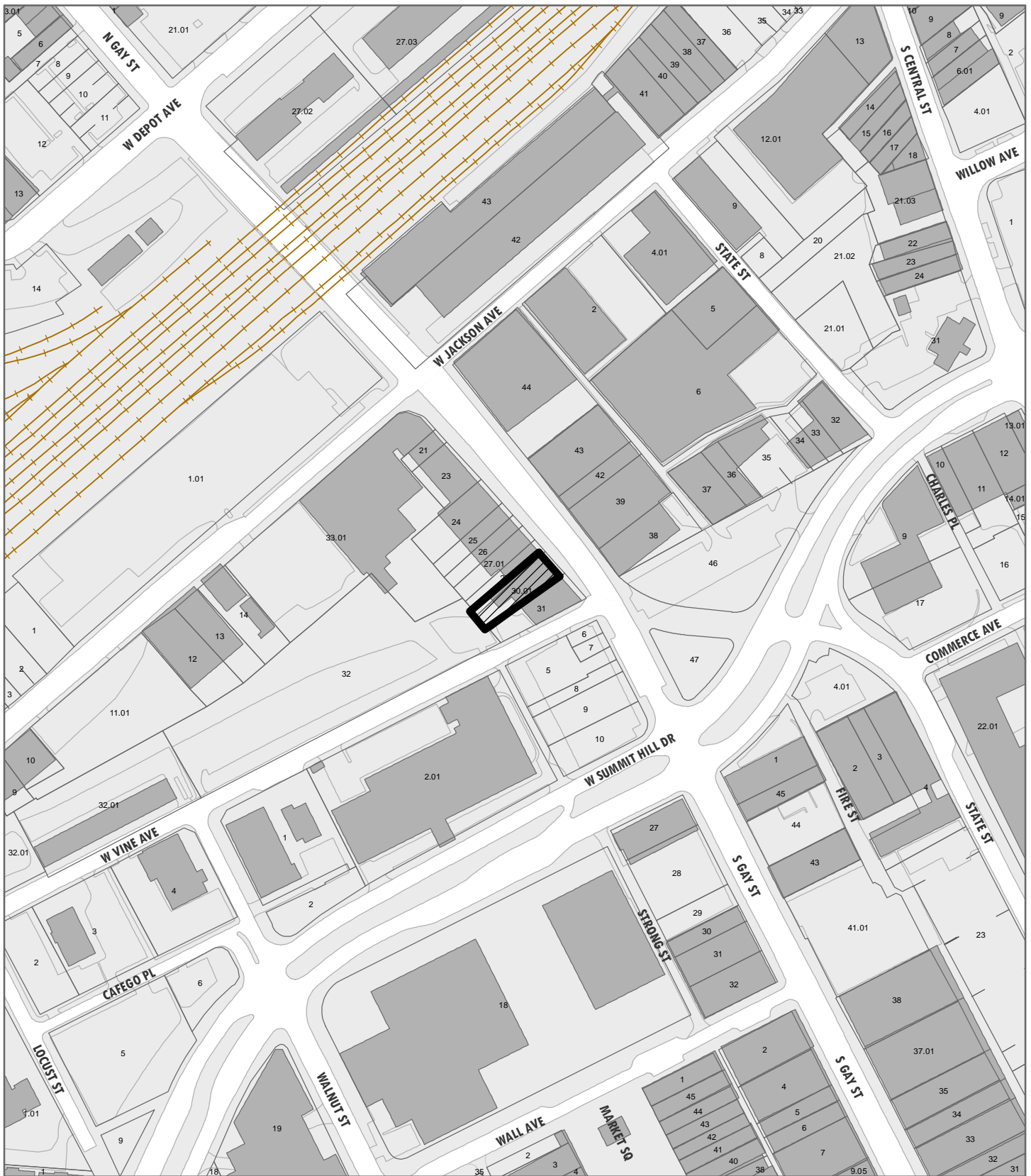
The existing brick walls of the storage room at the ground level will be repointed in select deteriorated areas. Mortar joints will match original in size and composition. Existing north wall of storage room may need to be demolished and replaced. A replacement wall will be constructed of cmu with brick veneer to complement the existing construction to remain.

9. LIGHTING

Storefront windows may be lit with interior fixtures, entrances may be lit with overhead fixtures, and gooseneck fixtures can be used to highlight signs. Illumination may also be used to wash the building in light, emphasizing its distinctive architectural finishes

No building lighting will be added along Gay St. Lighting at the addition will be recessed can lights in new ceilings.

End of memo



9-A-17-DT

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

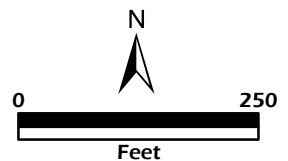
Petitioner: Design Innovation Architects,
Patrick Core

**DOWNTOWN
DESIGN
REVIEW
BOARD**



141 S Gay St
Level 2: Addition to an existing
building/structure

Original Print Date: 9/8/2017
Revised:
Metropolitan Planning Commission * City / County Building * Knoxville, TN 37902





Design Innovation

ARCHITECTS + INTERIORS + PLANNING

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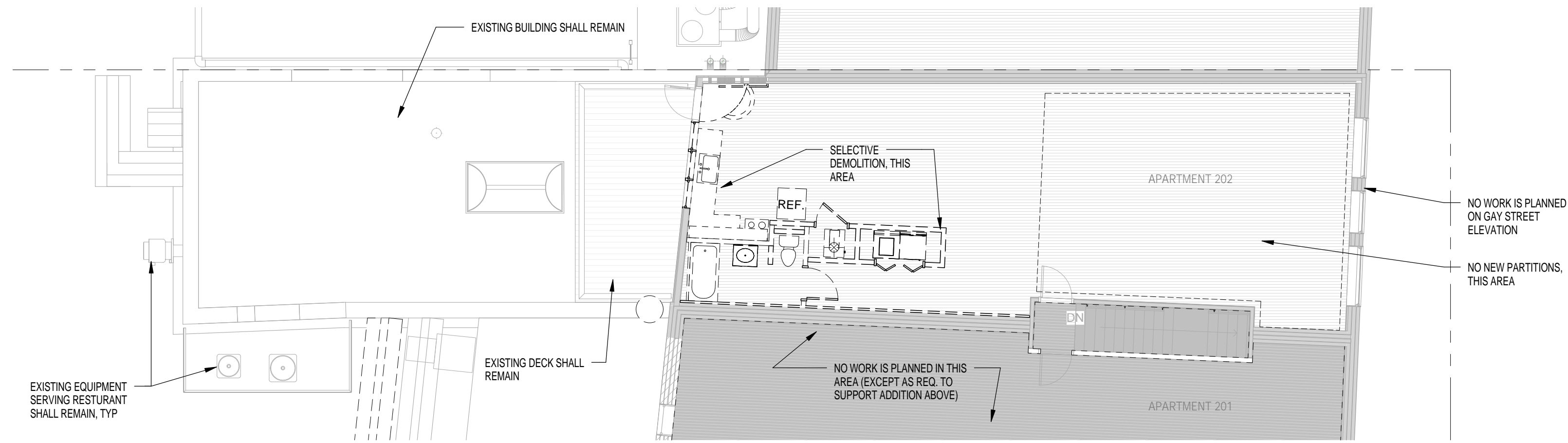
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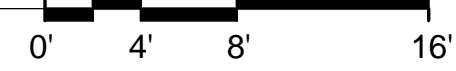
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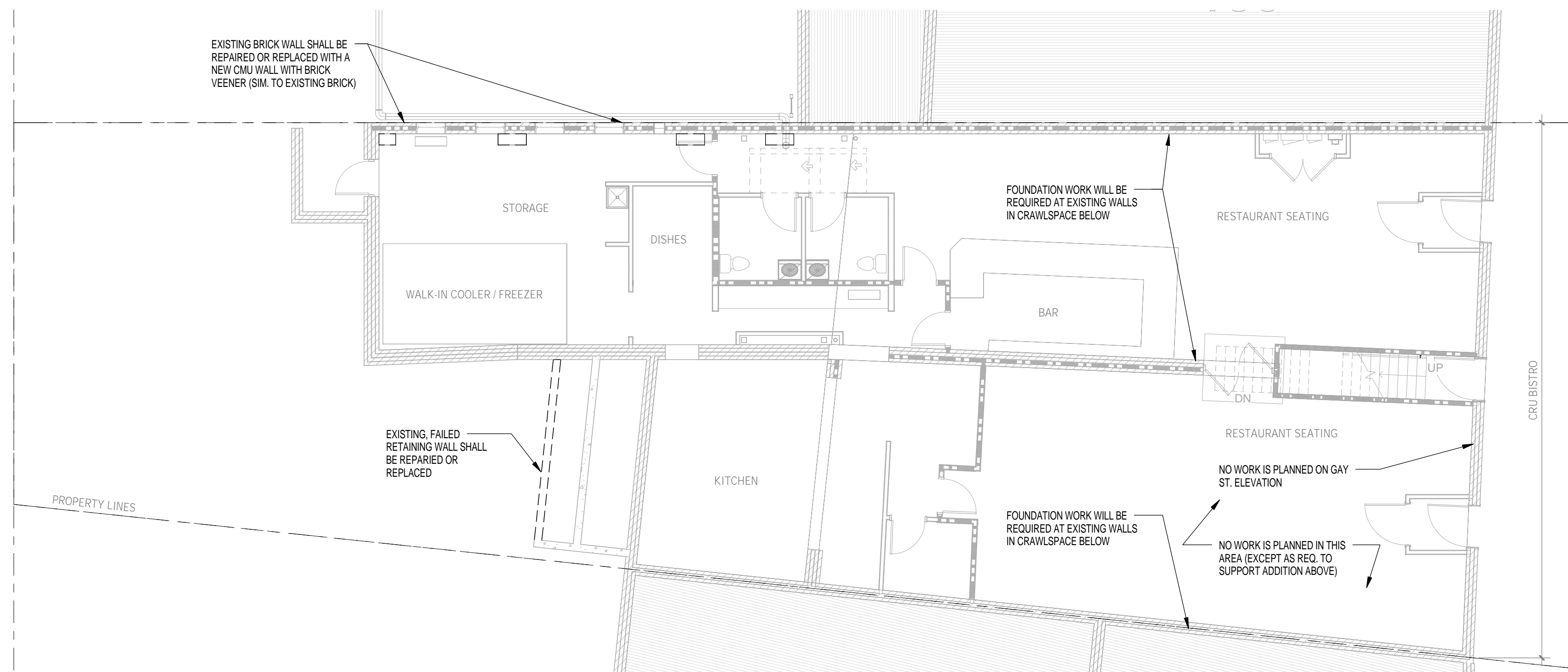
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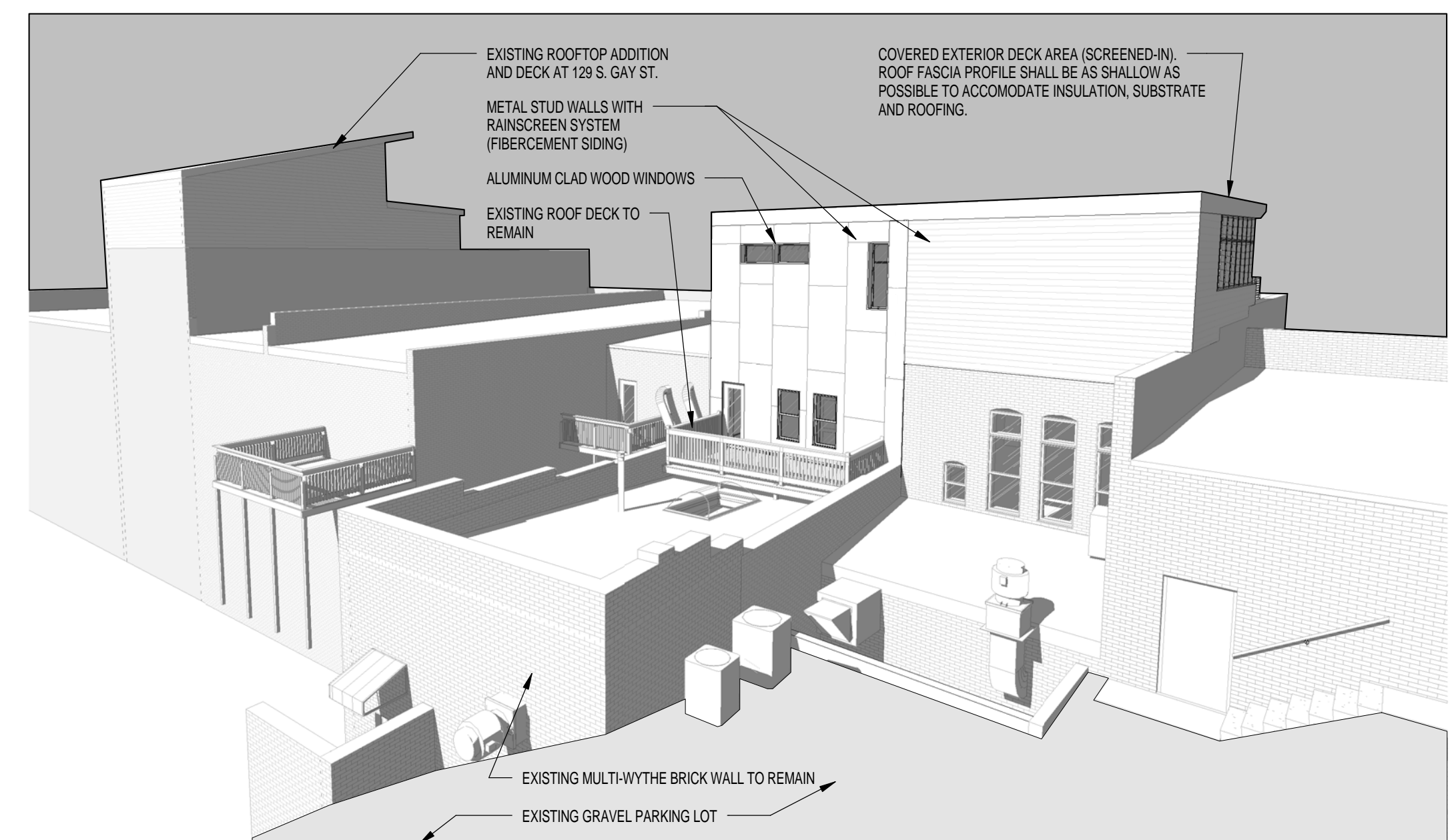
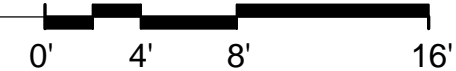
4 EXISTING APARTMENT LEVEL PLAN (PRESENTATION)



2 SITE LOCATION PLAN



3 EXISTING GROUND LEVEL PLAN (PRESENTATION)



1 PERSPECTIVE

NOT TO SCALE

PRELIMINARY NOT FOR CONSTRUCTION	
DATE	09/01/17
PROJECT #	17014
SHEET NUMBER	01

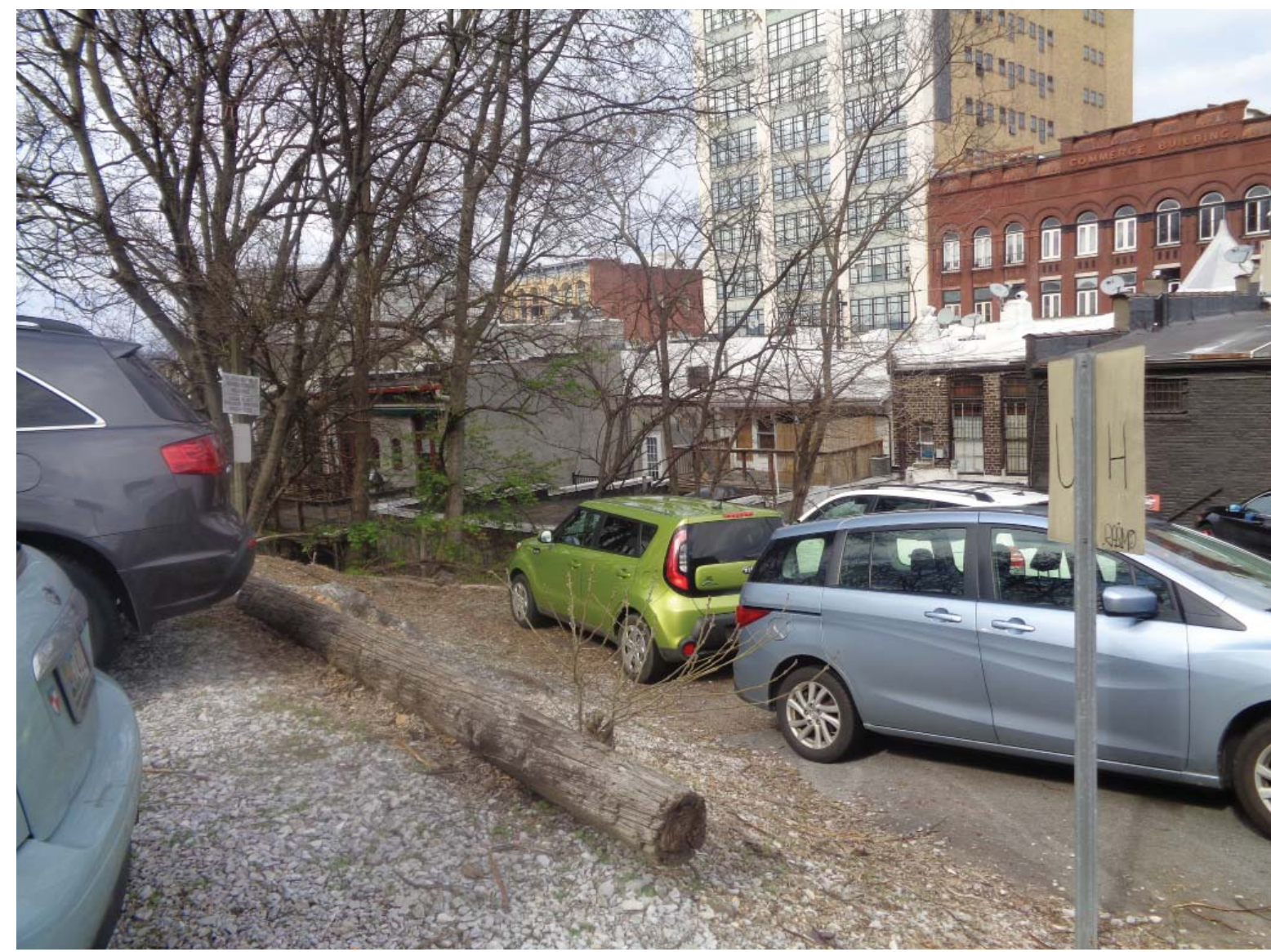
AN ADDITION AND RENOVATION OF
141 S. GAY ST.

9-A-17-DT
9/12/2017

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EXISTING STORAGE ROOM AND KITCHEN. APARTMENTS 201 AND 202 ABOVE.



VIEW FROM VINE AVE.



VIEW FROM VINE AVE.



VIEW FROM GAY STREET. APT 202 IS ABOVE AWNING - NO WORK PLANNED



VIEW FROM ADJACENT PARKING LOT ON VINE AVE., LOOKING EAST



EXISTING WEST WALL OF STORAGE ROOM - BRICK JOINTS WILL BE REPOINTED AS REQ.



VIEW FROM VINE AVE.



ENTRANCE TO APTS. FROM GAY STREET - NO WORK PLANNED



NORTH WALL OF STORAGE ROOM. SCOPE INCLUDES REMEDIAL STRUCTURAL WORK. (OR REPLACEMENT OF WALL)



EXISTING INTERIOR OF APARTMENT 202. LOOKING WEST.



VIEW FROM VINE AVE.

PRELIMINARY NOT FOR CONSTRUCTION

DATE	09/01/17
PROJECT #	17014
SHEET NUMBER	02

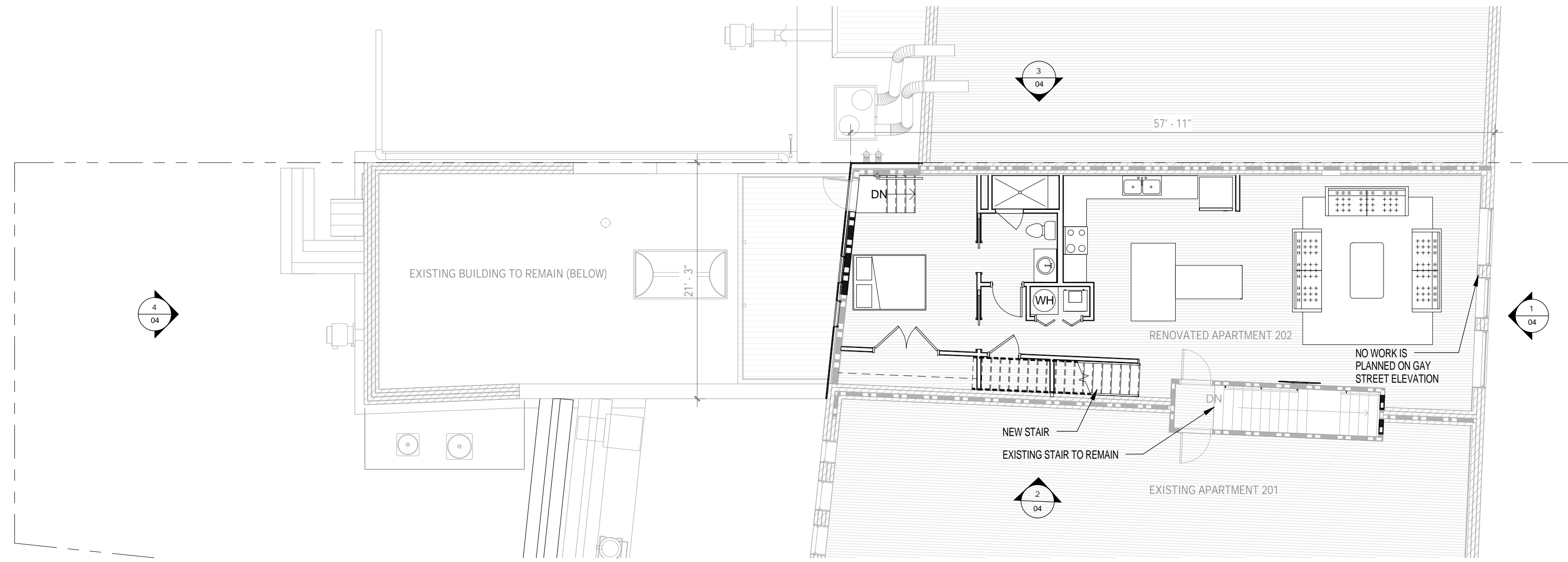
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AN ADDITION AND RENOVATION OF
141 S. GAY ST.

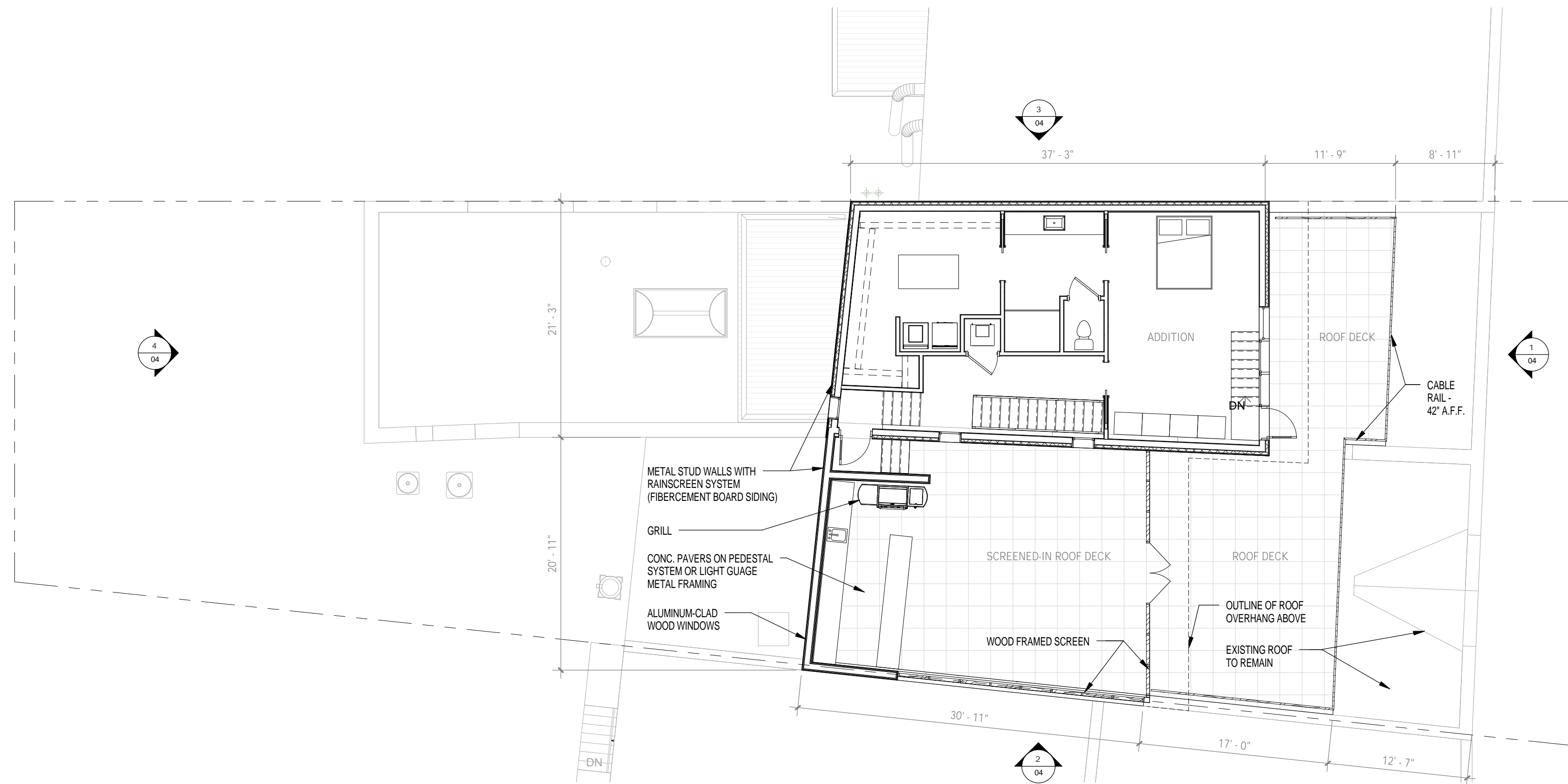
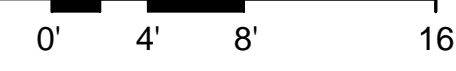
9-A-17-DT
9/12/2017

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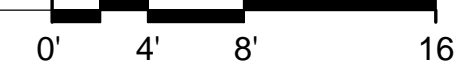
402 S. Gay Street, Suite 201, Knoxville, TN 37902
ph 865.637.8540 or 865.291.2221 fx 865.544.3840
www.dia-arch.com



3 APARTMENT UPPER LEVEL (PRESENTATION)
PROJECT NORTH



2 ROOF DECK LEVEL (PRESENTATION)
PROJECT NORTH



PAINTED CEMENT BOARD SIDING WITH REVEALS



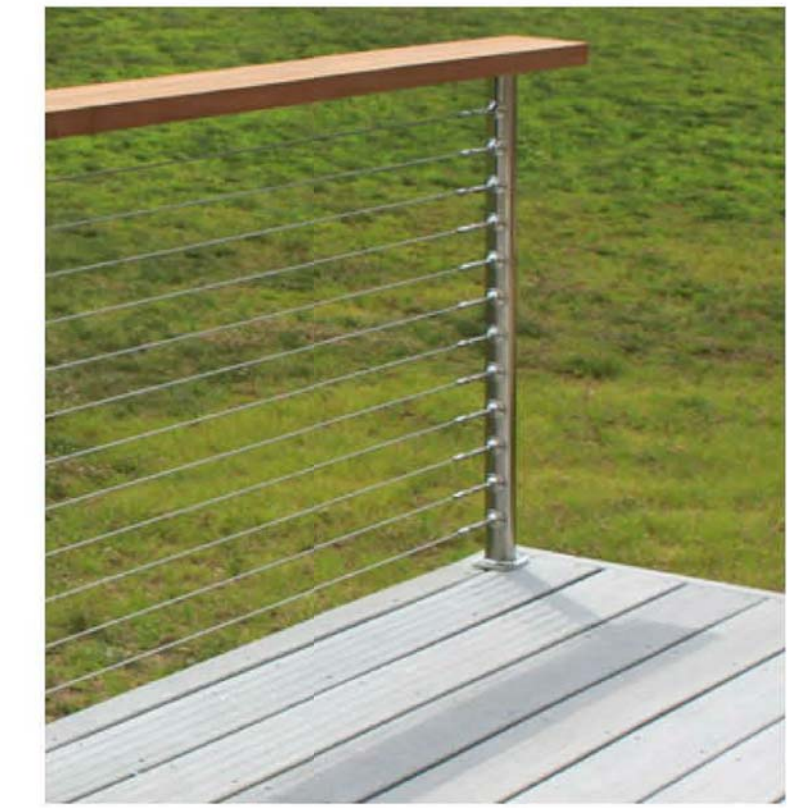
RAINSCREEN SYSTEM



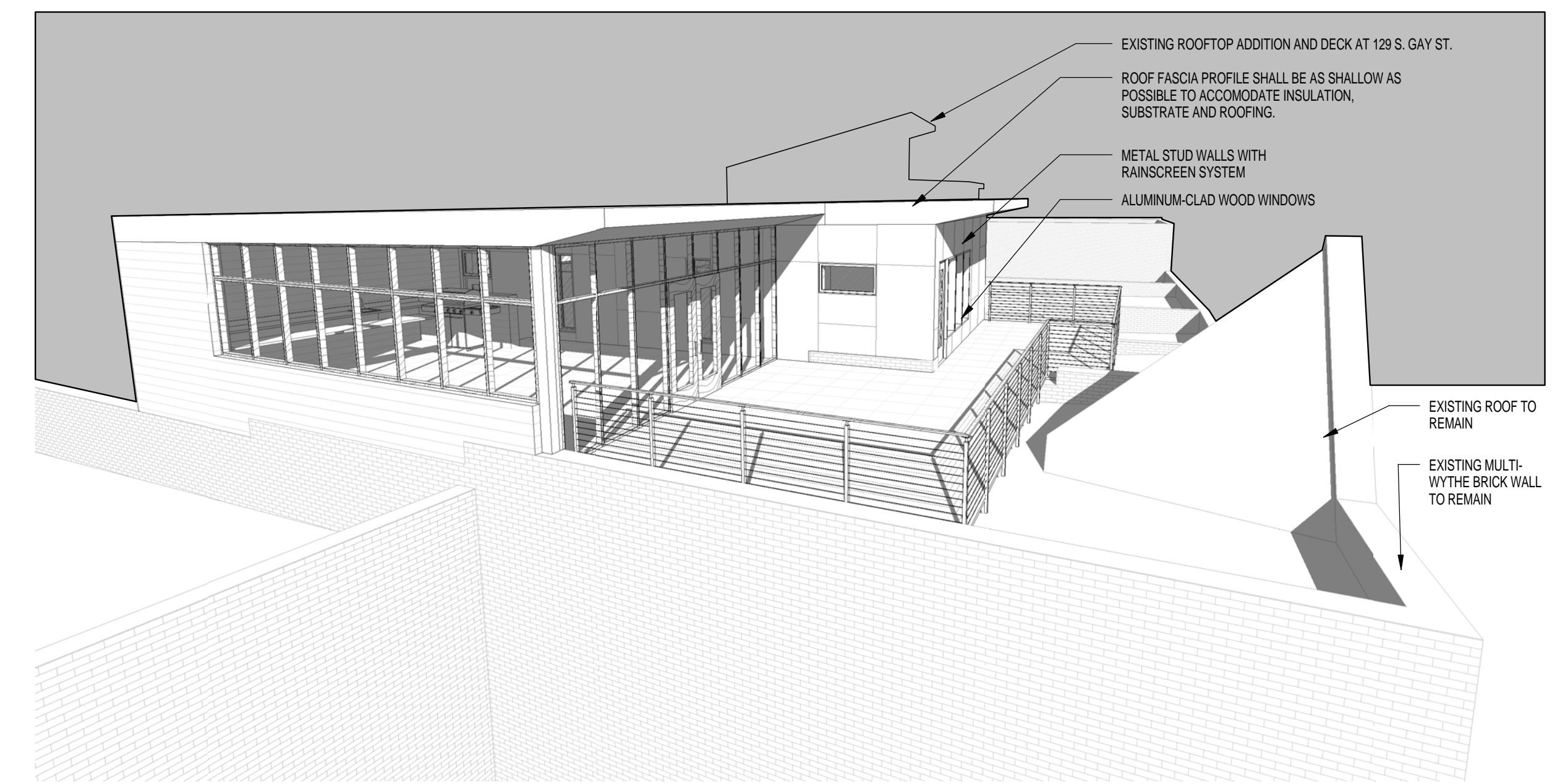
MODULAR WOOD DECKING ON PEDESTAL SYSTEM



ALUMINUM-CLAD WOOD WINDOW / WOOD SIDING



CABLE RAILING



1 PERSPECTIVE TWO

NOT TO SCALE

PRELIMINARY NOT FOR CONSTRUCTION

DATE	09/01/17
PROJECT #	17014
SHEET NUMBER	03

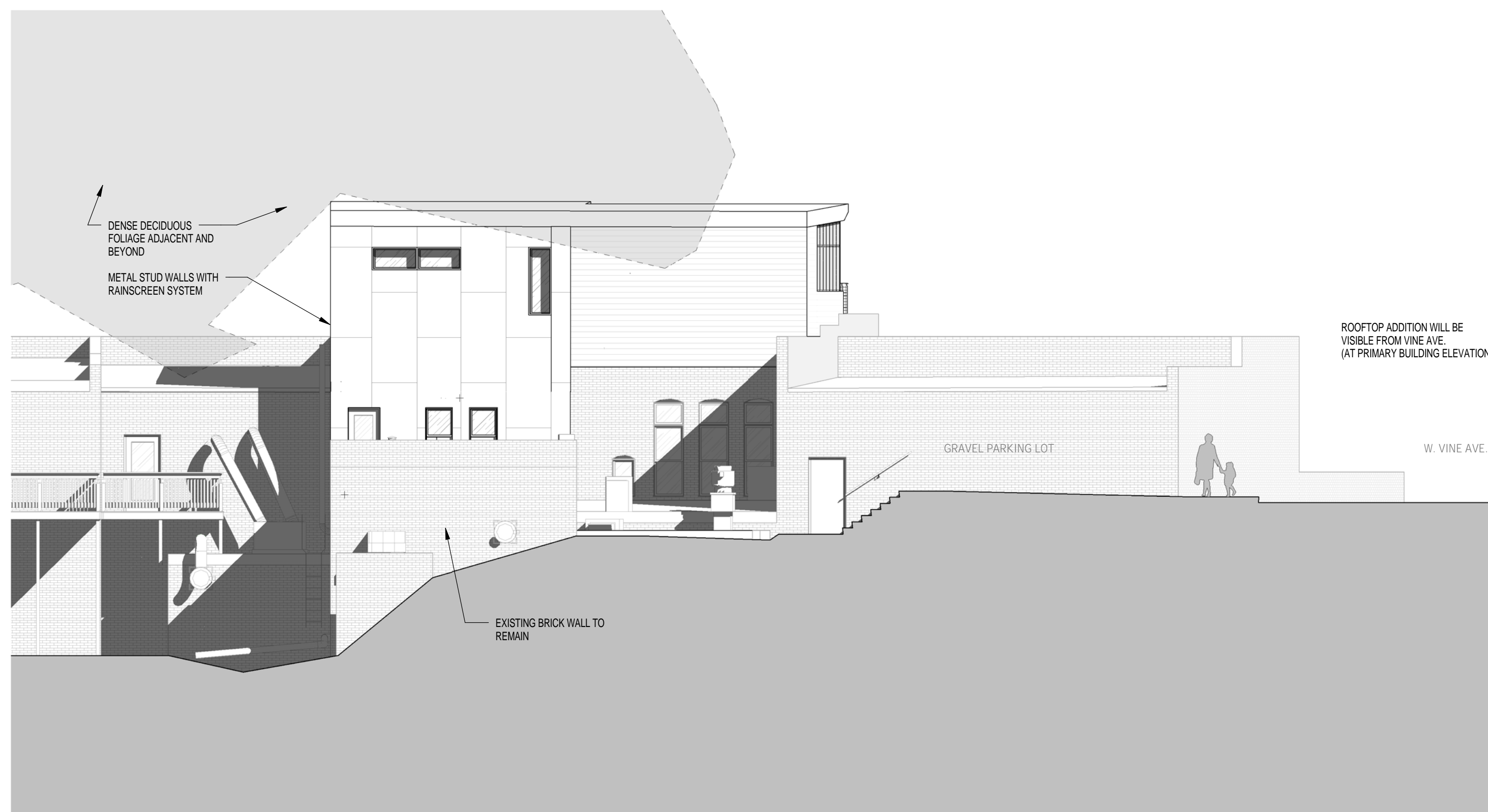
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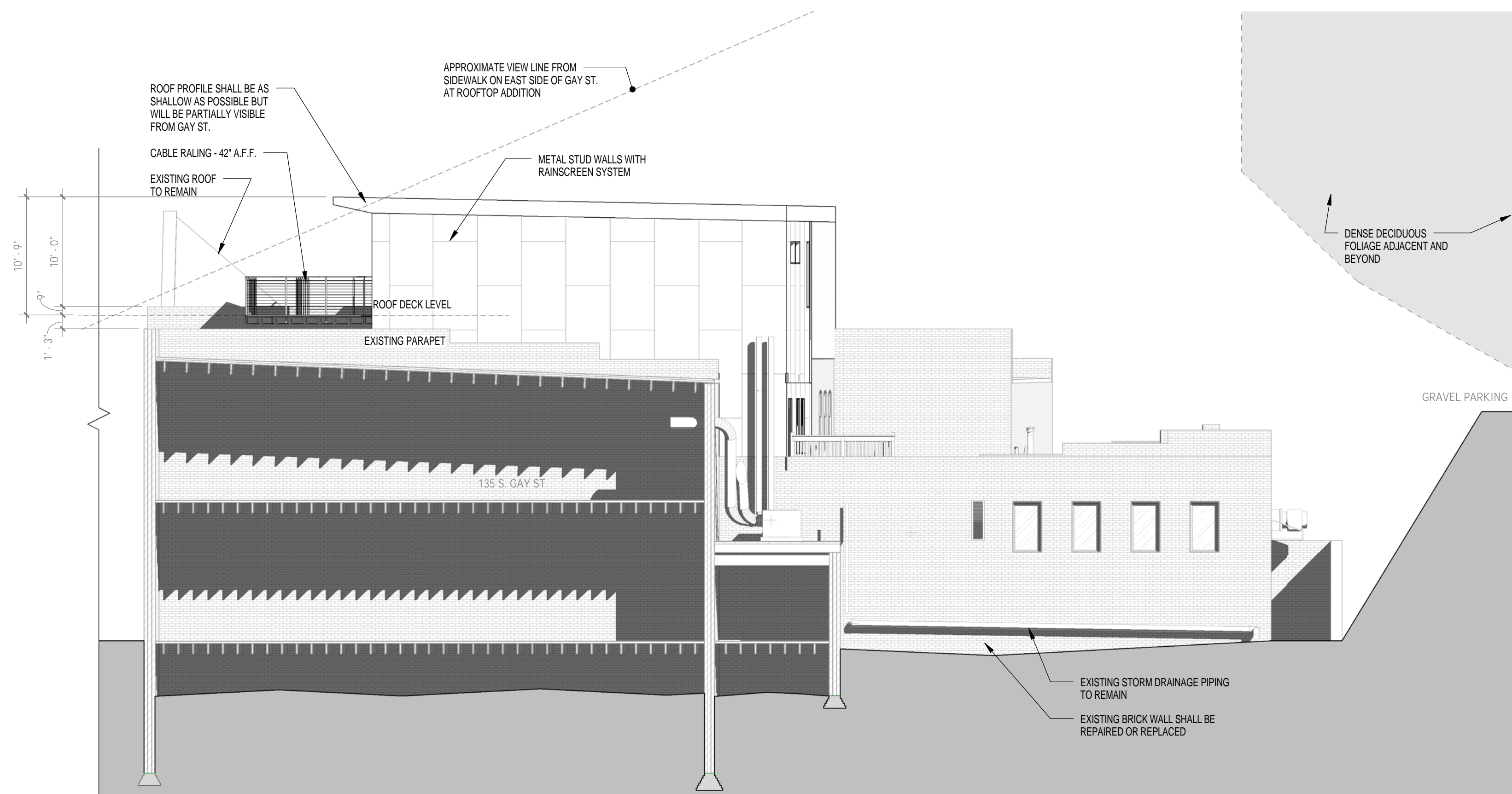
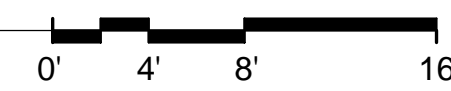
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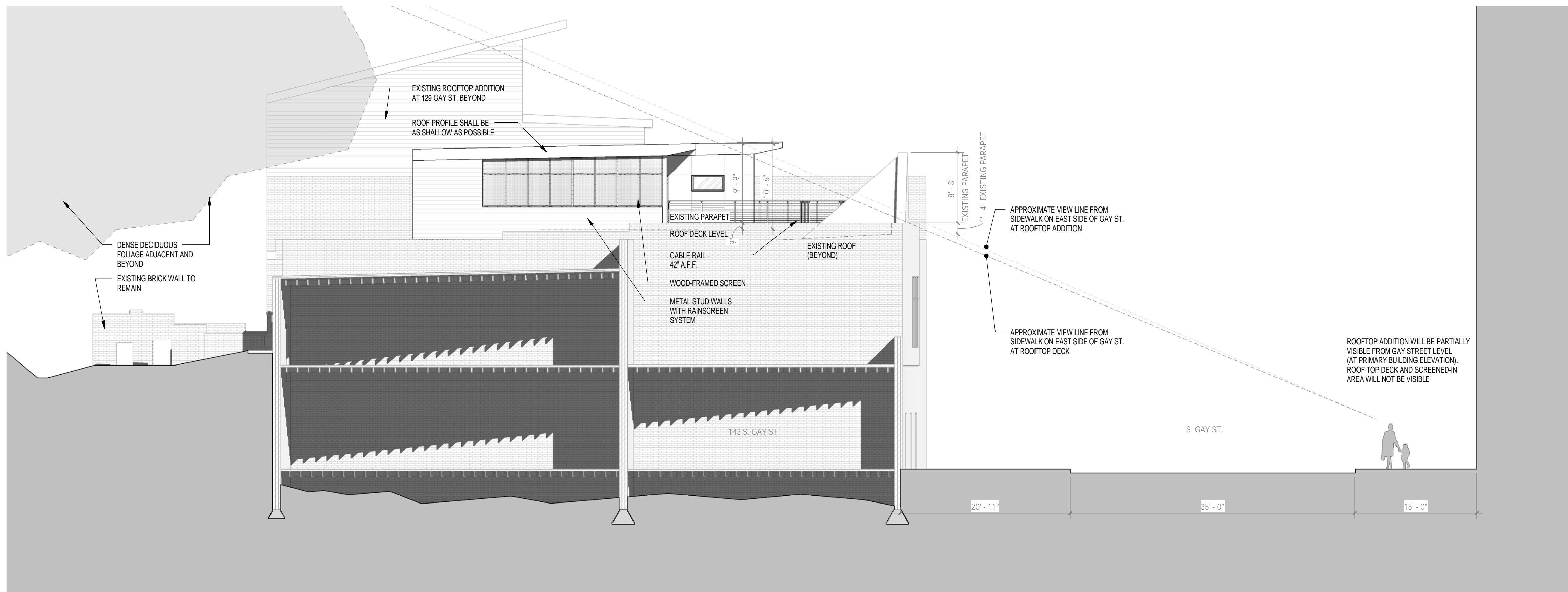
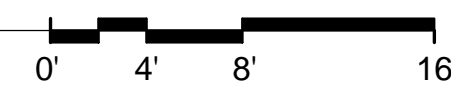
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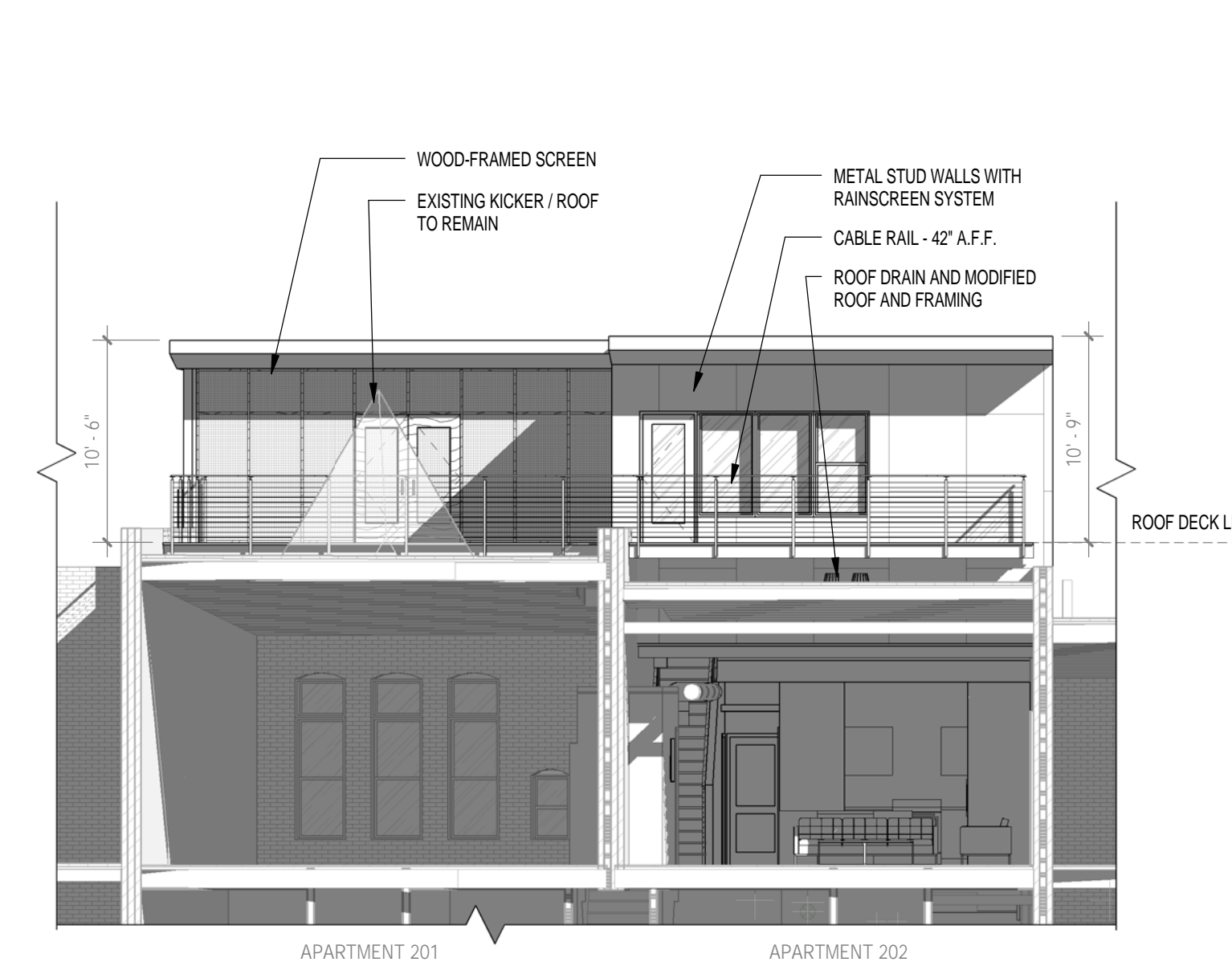
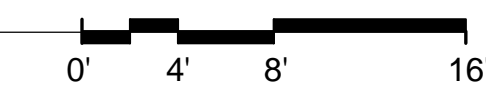
4 WEST ELEVATION



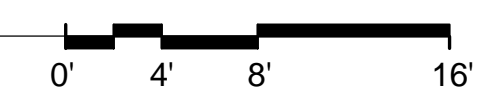
3 NORTH ELEVATION



2 SOUTH ELEVATION



1 EAST ELEVATION



PRELIMINARY NOT FOR CONSTRUCTION

DATE	09/01/17
PROJECT #	17014
SHEET NUMBER	04

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141 S. Gay Street





141 S. Gay Street

south side

north side

Front view from S. Gay Street



The front edge of the screened-in roof deck is located near this pilaster. The roof of the addition will be 9'-9" above the parapet wall. See detail #1 on sheet 03 for perspective.

View from S. Gay St. / Vine Ave. intesection