

Downtown Knoxville Design Overlay District Certificate of Appropriateness

Name of Applicant: Meagan Grohol

Owner Contractor Architect Engineer Other

Date Filed: 12/8/17 Application accepted by: Mike Reynolds

Fee Amount: 50.⁰⁰ Review Date: 12/20/2017 File Number: 12-E-17-DT

PRE-APPLICATION CONFERENCE		Date Completed:
<p style="text-align: center;">PROPERTY INFORMATION</p> <p>Building or Project Name: <u>Clinch River</u> <u>Brewing</u></p> <p>Street Address: <u>531 S. Gay Street</u></p> <p>Parcel Identification Number(s): _____</p>	<p style="text-align: center;">PROJECT ARCHITECT/ENGINEER</p> <p>PLEASE PRINT Name: <u>Scott Osborn</u></p> <p>Company: <u>R2R studio, llc</u></p> <p>Address: <u>2575 Willow Point Way, Ste 105</u></p> <p>City: <u>Knoxville</u> State: <u>TN</u> Zip: <u>37931</u></p> <p>Telephone: <u>865-769-8075</u></p> <p>Fax: <u>865-769-8076</u></p> <p>E-mail: <u>sosborn@r2rstudio.com</u></p>	
<p style="text-align: center;">PROPERTY OWNER</p> <p>PLEASE PRINT Name: <u>Brien & Lisa Shirey</u></p> <p>Company: <u>Clinch River Brewing, LLC</u></p> <p>Address: <u>P.O. Box 1527</u></p> <p>City: <u>Norris</u> State: <u>TN</u> Zip: <u>37728</u></p> <p>Telephone: <u>859-421-3851</u></p> <p>Fax: _____</p> <p>E-mail: <u>clinchriverbrewing@gmail.com</u></p>	<p style="text-align: center;">PROJECT CONTRACTOR</p> <p>PLEASE PRINT Name: <u>TBD</u></p> <p>Company: _____</p> <p>Address: _____</p> <p>City: _____ State: _____ Zip: _____</p> <p>Telephone: _____</p> <p>Fax: _____</p> <p>E-mail: _____</p>	
<p style="text-align: center;">ACCOMPANYING MATERIALS</p> <p>Please see the reverse side of this form for a list of information required as part of this application.</p>		
FOR OFFICE USE ONLY		
<p style="text-align: center;">PROJECT INFORMATION</p> <p>LEVEL 1: \$50</p> <p><input checked="" type="checkbox"/> Minor Alteration of an Existing Building/Structure</p> <p><input type="checkbox"/> Sign</p> <p>LEVEL 2: \$100</p> <p><input checked="" type="checkbox"/> Major Alteration of an Existing Building/Structure</p> <p><input type="checkbox"/> Addition to an Existing Building/Structure</p> <p>LEVEL 3: \$250</p> <p><input type="checkbox"/> Construction of New Building/Structure</p>	<p style="text-align: center;">PROJECT CONTACT</p> <p>All application-related correspondence should be directed to:</p> <p>PLEASE PRINT Name: <u>Meagan Grohol</u></p> <p>Company: <u>R2R studio, llc</u></p> <p>Address: <u>2575 Willow Point Way, Ste 105</u></p> <p>City: <u>Knoxville</u> State: <u>TN</u> Zip: <u>37931</u></p> <p>Telephone: <u>865-769-8075</u></p> <p>Fax: <u>865-769-8076</u></p> <p>E-mail: <u>mgrohol@r2rstudio.com</u></p>	

NOTE: Payment is due at time of application. Please make check payable to Knoxville Knox County Metropolitan Planning Commission.



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865.769.8075 v.
865.769.8076 f.
www.r2rstudio.com w.

December 5, 2017
Revised December 7, 2017

**Downtown Design Review Board
Mr. Mike Reynolds
400 Main Street
Knoxville, TN 37902**

Project: Clinch River Brewing

Re: Proposed Changes to Certificate of Appropriateness 3-A-17-DT & 9-B-16-DT

Mike: Please find attached drawings indicating revisions to the proposed alterations to the existing building located at 531 S. Gay Street.

From the previous submission for 3-A-17-DT, we have updated the elevation facing Strong Street to reflect accurate locations for mechanical louvers. We have also eliminated the opening for the roll up door and gate per the owner's direction with changes to the project layout. All new louvers and stucco shall be painted to match the existing building. The metal stand for the HVAC equipment has been enlarged based on requirements for equipment. Please see revised a1.0 indicating the proposed mechanical platform size. This platform will be painted black and will still be concealed with evergreen shrubs.

In response to conditions noted on the previous submission,

- 1.) A License Agreement has been obtained from City of Knoxville and approved by City Council.
- 2.) Proposed sills have been removed from the project.
- 3.) Brick infill will replace the existing sills where new doors will be cut in. Please also note that the proposed doors on the rear elevation will swing into the building and not into the alley.

From the previous submission for 9-B-16-DT, we have attempted to maintain the design and patio layout from the original submission. The locations of existing trees and clearance required by the License Agreement with the City dictated the need for recesses in the patio shown on sheet a1.0. Paint colors for the storefront and brick veneer shall be as shown on

the original submitted rendering. The patio railing shall match those of the existing balconies. Mechanical equipment and louver locations have been updated per the completed mechanical design (submitted for reference). Gooseneck lights referenced in the submission have been removed from the project and the exterior signage will be lit with recessed can lights above the signage. Please see attached a4.2 for reference. A sidewalk connection has been added from the main entrance and emergency exit to connect to the existing sidewalk at Krutch Park. It is understood this would need to be addressed in the License & Indemnity Agreement.

In response to conditions noted on the previous submission,

- 1.) It is understood all work must meet the requirements of the License & Indemnity Agreement approved on October 12, 2016.
- 2.) It is understood all landscaping must comply with requirements of the Public Works Department.
- 3.) Photos of the Owner-Provided Exterior lighting proposed for this project are attached. Wall mounted fixtures are shown on the attached drawing 3/a3.1 and a4.2. Pole mounted lights are shown on drawing 1/a3.1.
- 4.) The attached elevations depict all venting and intake louvers to be installed per the completed mechanical design.
- 5.) The signage package shall be submitted for staff review prior to installation. Window mullions and patio pattern shall be installed per the attached drawings.
- 6.) Transition above the storefront windows shall be installed per the attached drawings.

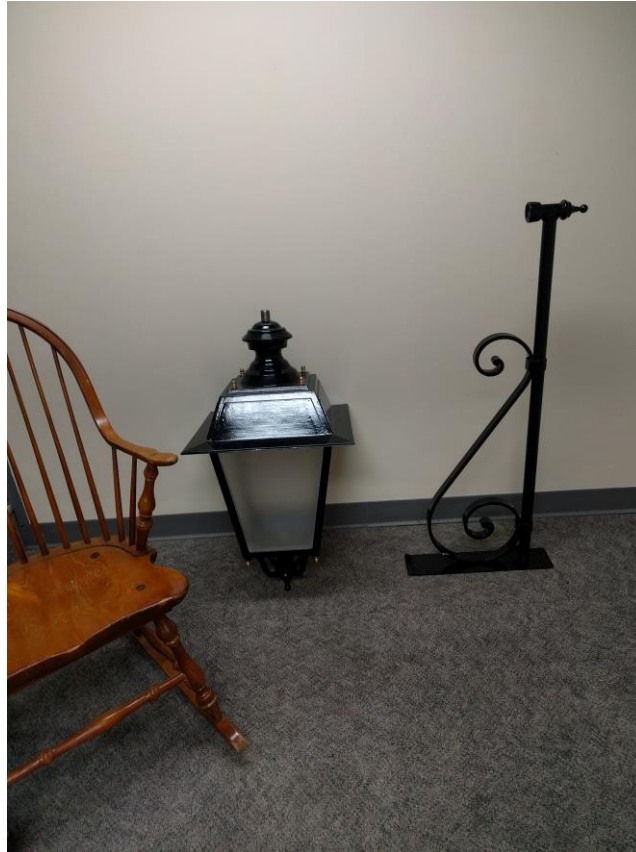
Please feel free to contact me if any additional information is required.

Yours truly,


Scott E. Osborn, AIA

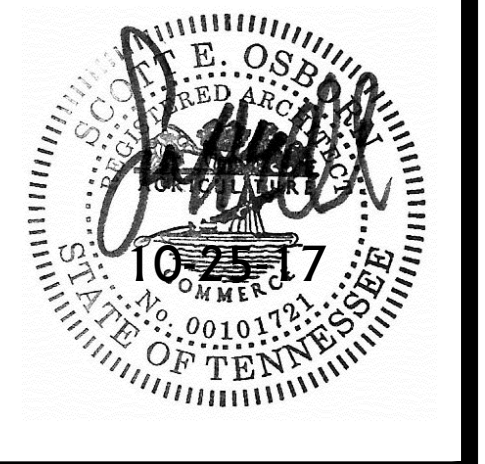
Cc: project file

Owner Provided Fixture – Wall Mount Arm Bracket:



Owner Provided Fixture – Pole Mount Bracket:



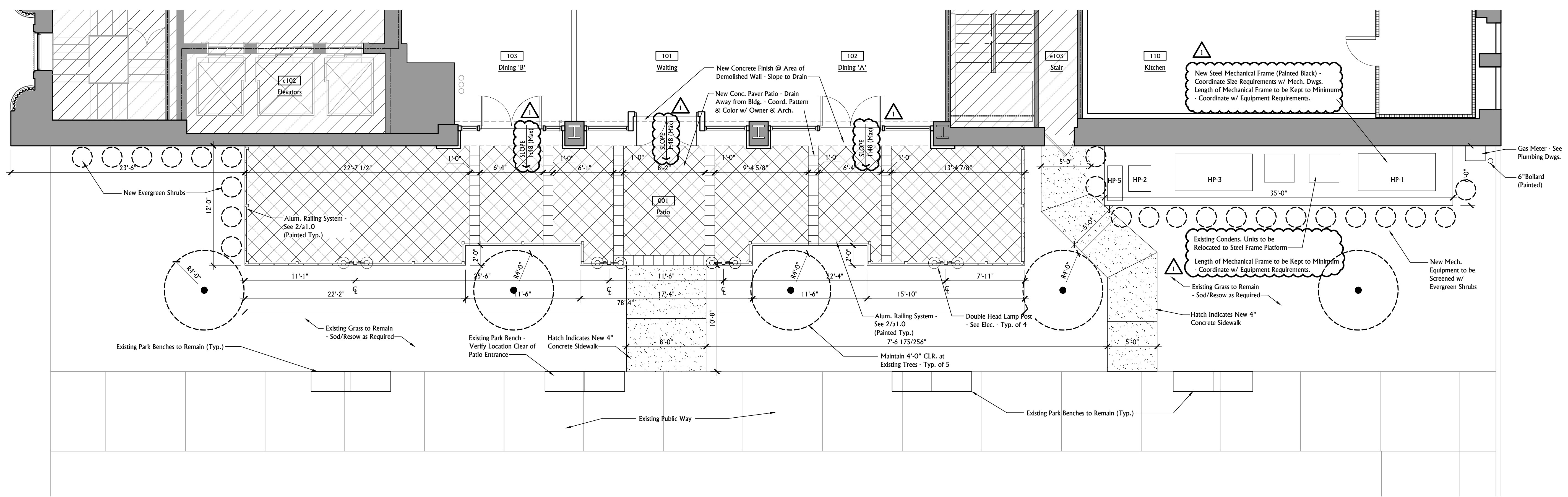


DATE: October 25, 2017
FILE NAME: ClinchRiver_a10
PROJECT NO: 2017-126
DRAWING TITLE:
Main Level Site Plan

REVISIONS:
December 7, 2017

A New Location for:
Clinch River Brewery & Restaurant
531 S. Gay Street
Knoxville, TN 37902

SHEET NO.
a1.0

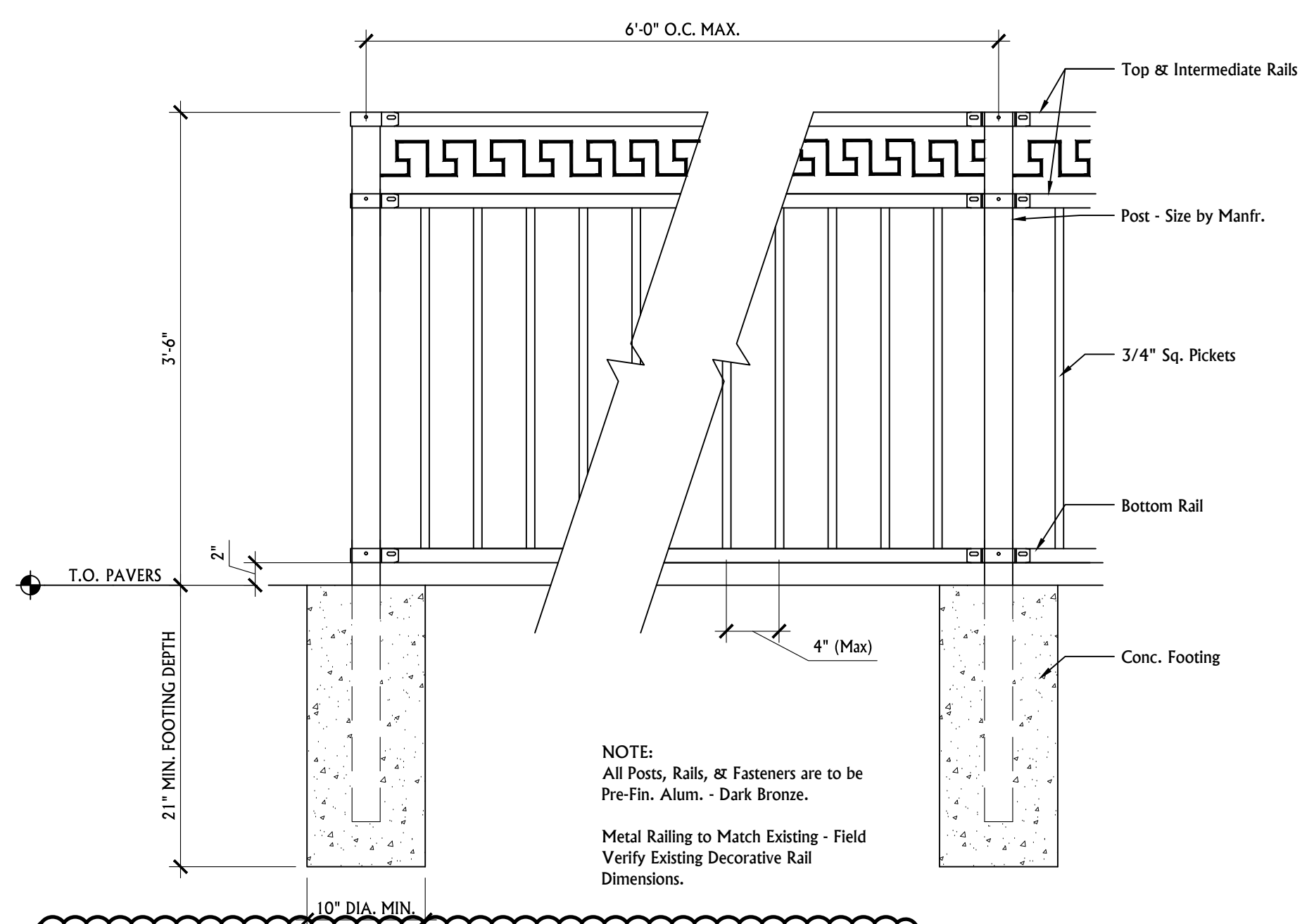


1 PARTIAL SITE PLAN - MAIN LEVEL
a1.0 SCALE: 3/16" = 1'-0"

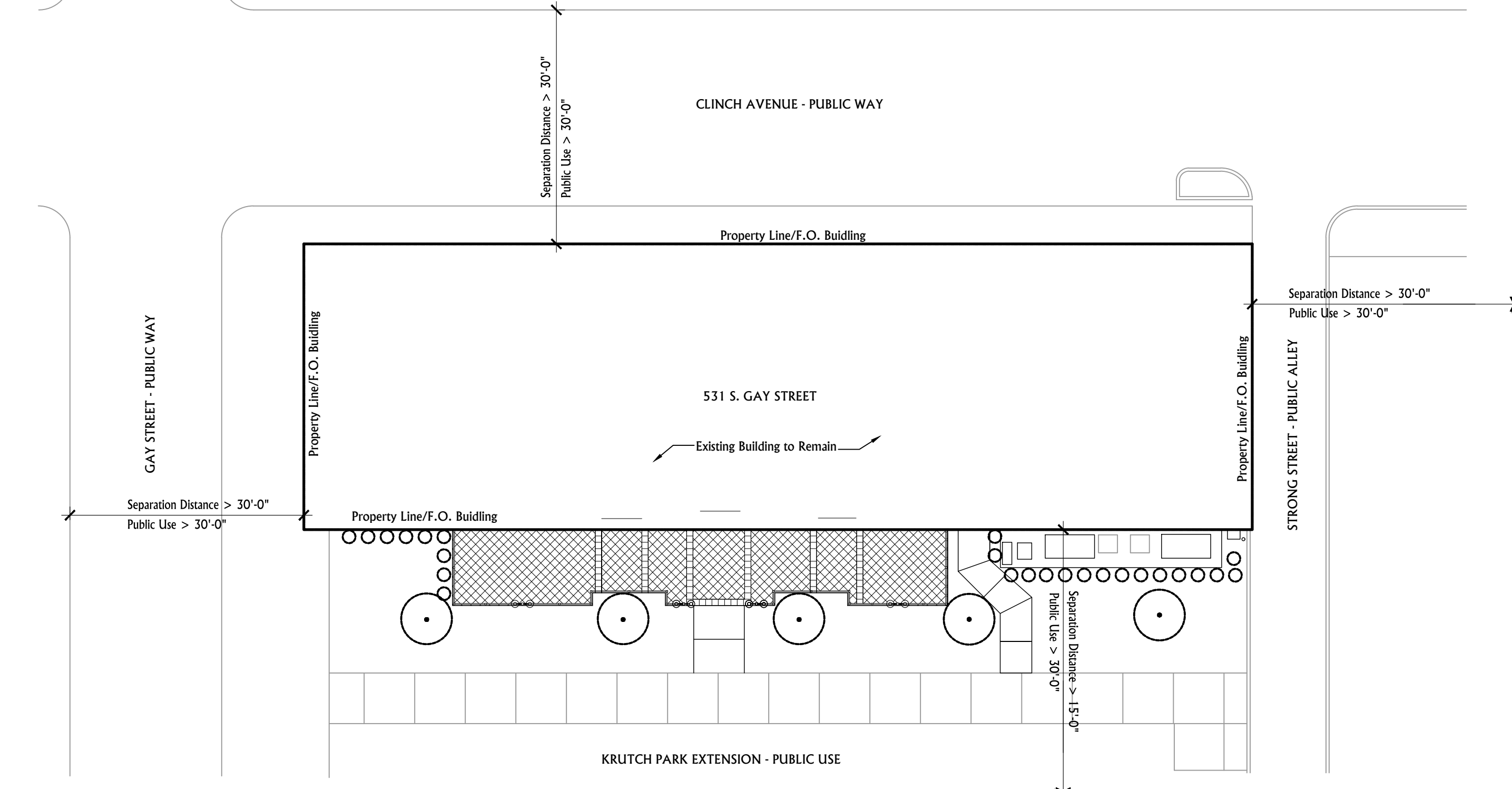
Note: Concrete Pavers to be 12" x 12" Base Price to Include (2) Colors. Color Selection by Owner.

Note: GC to Coordinate w/ City Engineering on Incorporation of Existing Storm Drains within Patio

Note: GC to Coordinate w/ City of Knoxville Public Works on Requirements for All Landscaping

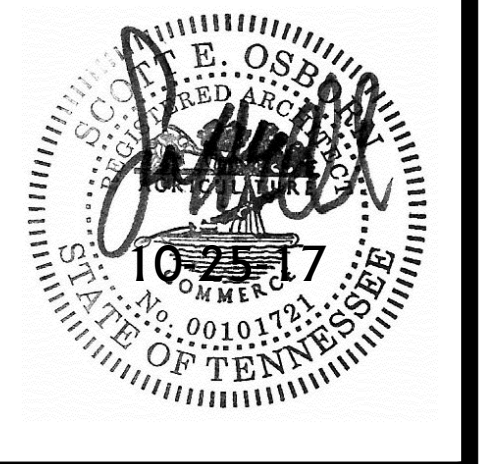


2 TYPICAL PATIO RAILING DETAIL
a1.0 SCALE: 1" = 1'-0"



3 OVERALL SITE PLAN
a1.0 SCALE: 1/16" = 1'-0"

PLOT SCALE:

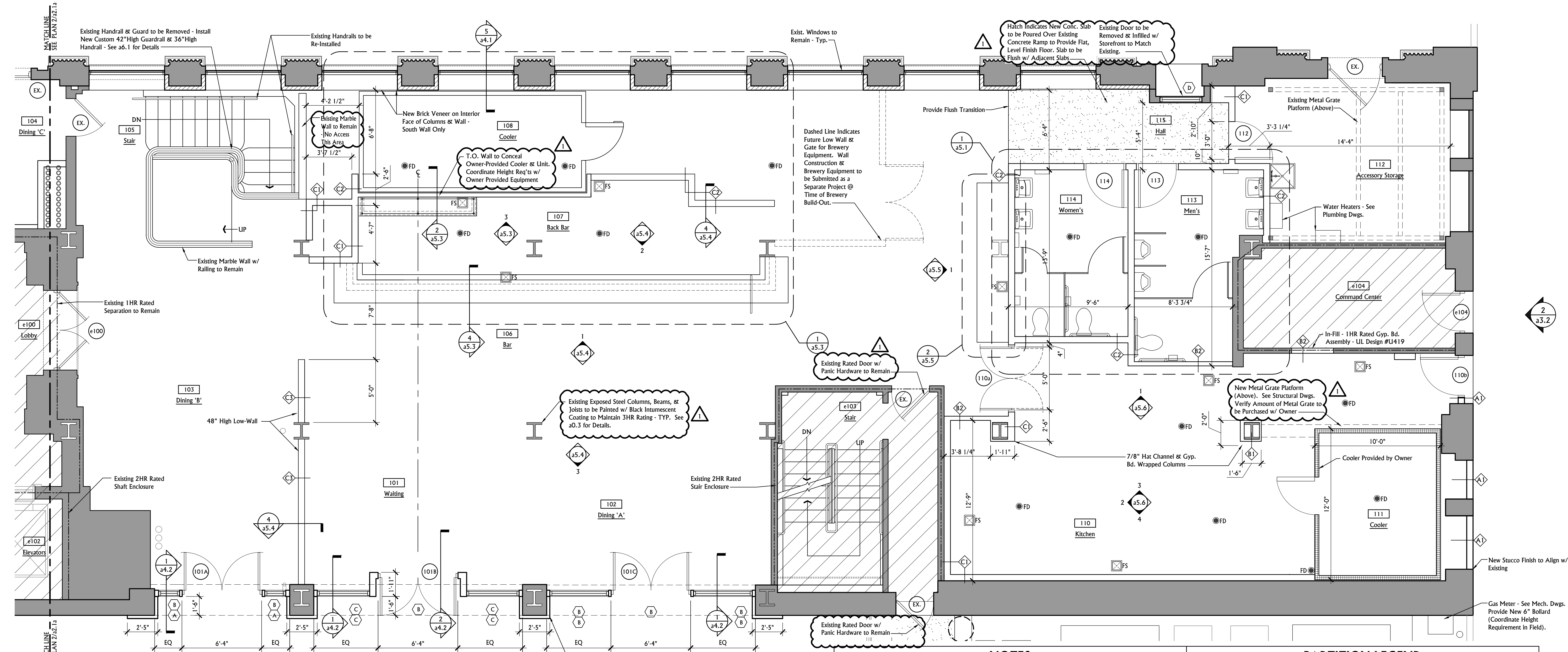


DATE: October 25, 2017
FILE NAME: ClinchRiver_a21a
PROJECT NO: 2017-126
DRAWING TITLE:
Main Level Floor Plan

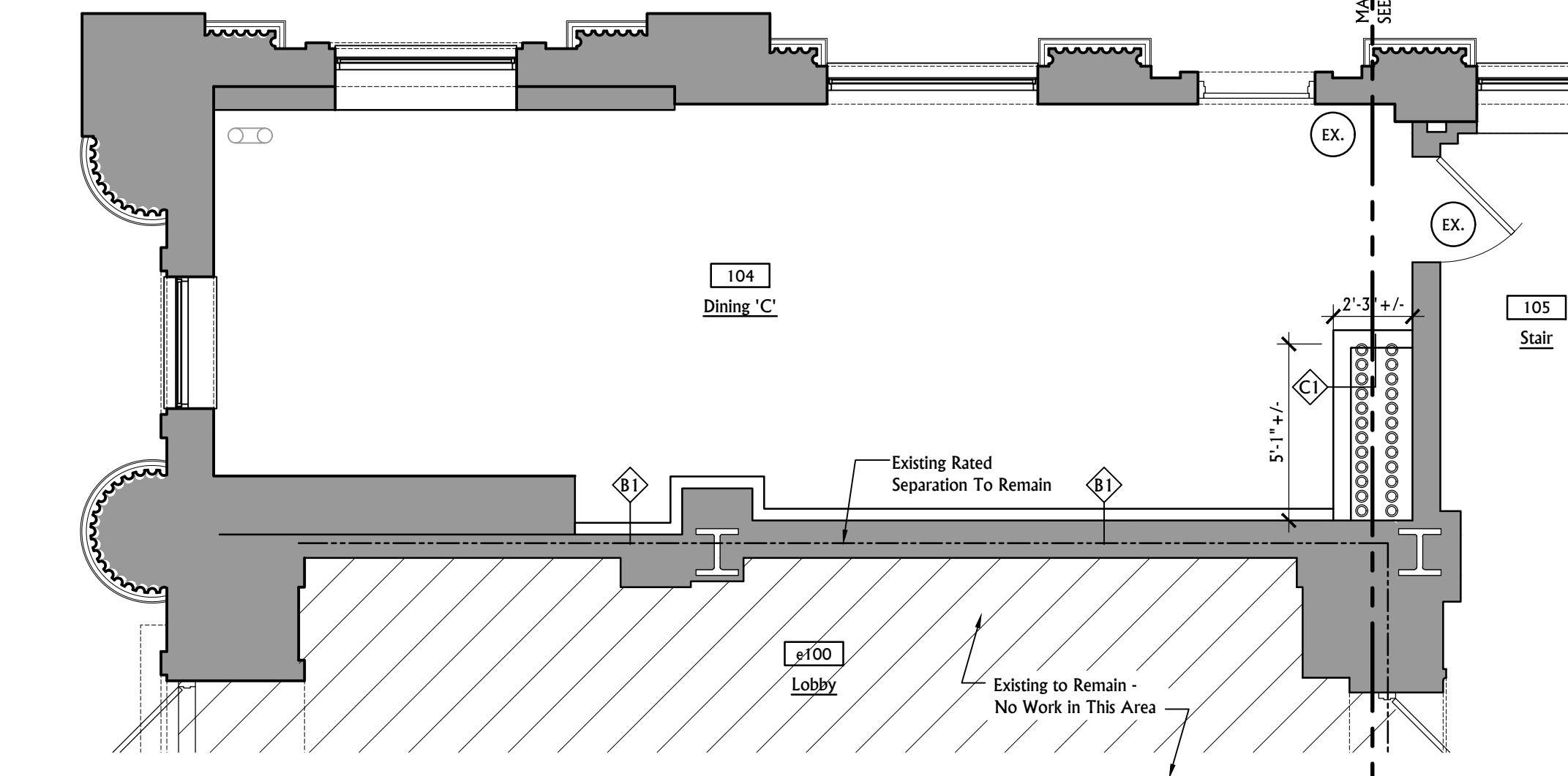
REVISIONS:
December 7, 2017

A New Location for:
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Knoxville, TN 37902

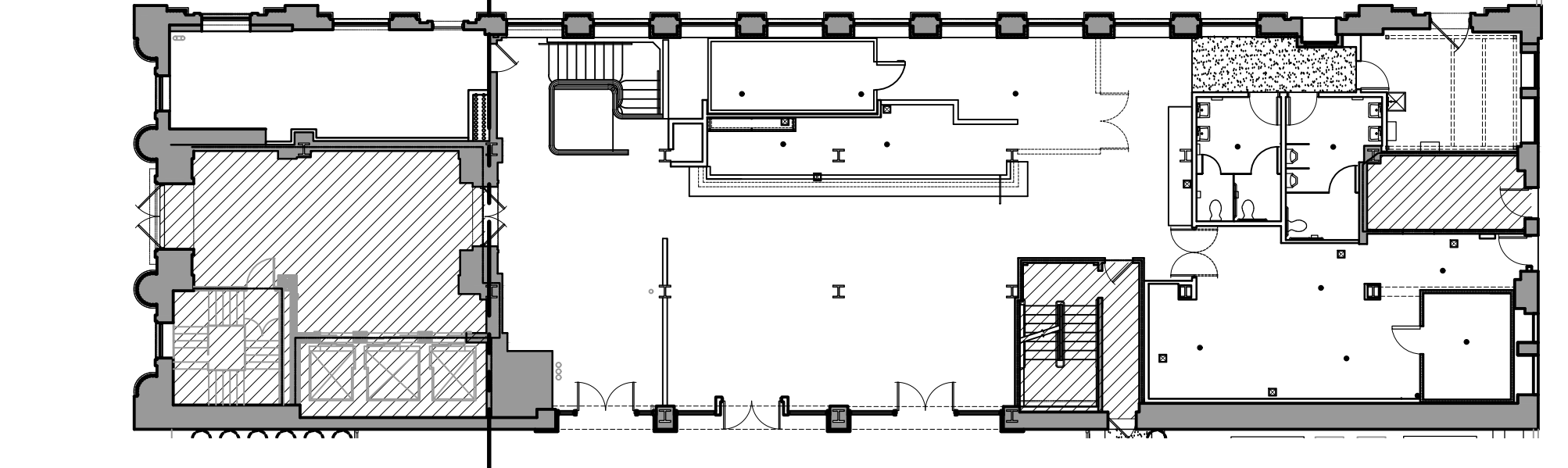
SHEET NO.
a2.1a



1 FLOOR PLAN - MAIN LEVEL
SCALE: 1/4" = 1'-0"



2 FLOOR PLAN - MAIN LEVEL
SCALE: 1/4" = 1'-0"

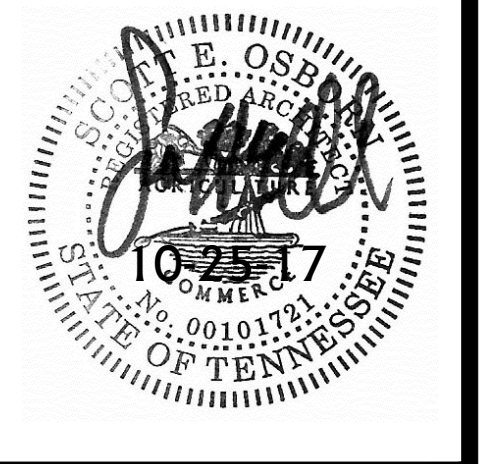
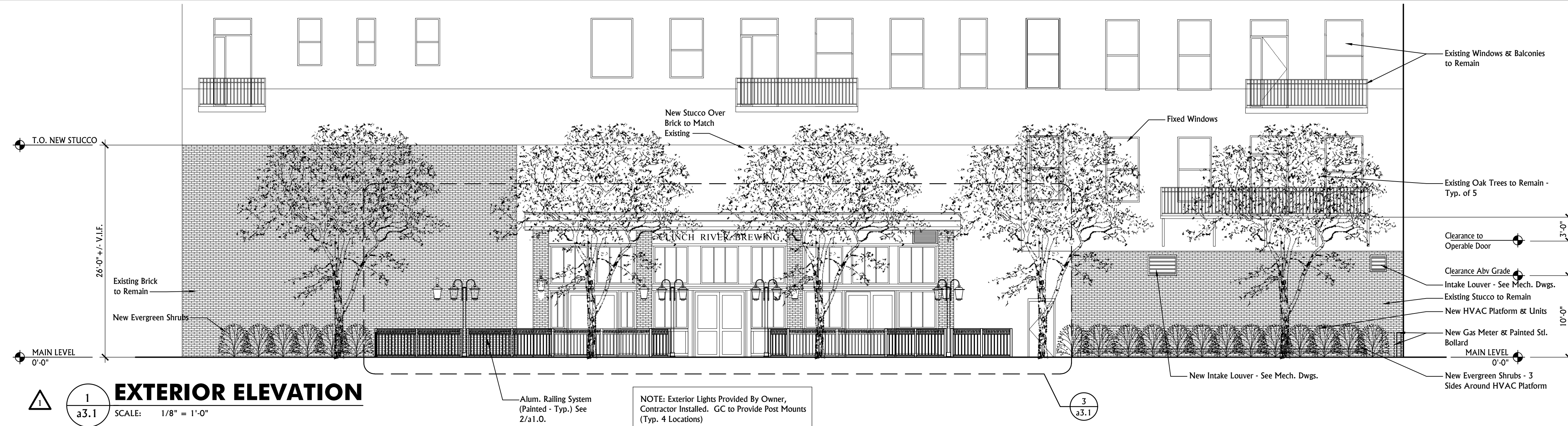


3 KEY PLAN - MAIN LEVEL
SCALE: NTS

- NOTES**
- GYP. BOARD AT RESTROOMS, MOP SINK/BACKFLOW PREVENTER, & KITCHEN TO BE MOISTURE RESISTANT. INSTALL TILE BACKER IN LIEU OF GYP. BD. AT ALL TILE LOCATIONS OR WHERE NOTED.
 - SEE EXTERIOR ELEVATIONS, FINISH SCHEDULE, INTERIOR ELEVATIONS, & FINISH PLANS FOR FINISH MATERIAL DESIGNATION.
 - SEE EXTERIOR ELEVATIONS, INTERIOR ELEVATIONS, & DETAILS FOR HEIGHTS OF FINISHES.
 - PARTITION & FINISH MATERIAL TO EXTEND TO DECK WHERE CEILING IS EXPOSED UNLESS OTHERWISE NOTED.
 - PROVIDE SOUND ATTENUATION BATT INSULATION AT ALL RESTROOM & MECHANICAL ROOM WALLS.
 - EXISTING EXPOSED STEEL COLUMNS, BEAMS, & JOISTS TO BE PAINTED W/ BLACK INTUMESCENT COATING TO MAINTAIN RATING AS REQUIRED SHEET A0.3.
 - ANY EXISTING PROTECTION STRUCTURE THAT IS DAMAGED OR PARTIALLY EXPOSED IS TO BE REPAIRED TO MAINTAIN FIRE RATING.
 - ANY EXISTING RATED WALLS ARE TO BE MAINTAINED & ANY NEW PENETRATIONS ARE TO BE PROTECTED PER APPLICABLE U.L. DESIGN.
 - SPRINKLER SYSTEM MODIFICATIONS ARE TO BE DESIGNED & PERFORMED BY A LICENSED SPRINKLER CONTRACTOR.
 - ALL EXISTING EXPOSED INTERIOR BRICK IS TO BE CLEANED, REPOINTED AS NEEDED, & SEALED.

PARTITION LEGEND	
GENERAL	
[Symbol]	RATED PARTITION EXISTING RATED WALLS TO BE MAINTAINED.
[Symbol]	PARTITION 3/5/8" MTL. STUDS @ 16" O.C. (MAX.) WITH ONE (1) LAYER OF 5/8" GYPSUM BOARD ON EACH SIDE. EXTEND STUDS TO DECK ABOVE UNLESS OTHERWISE NOTED. PROVIDE 6" STUDS WHERE NOTED ON DRAWINGS OR PARTITION TYPES LISTED BELOW.
[Symbol]	INTERIOR OR EXTERIOR WALL EXISTING WALLS TO REMAIN
SPECIFIC DESIGNATIONS	
[Symbol]	PARTITION TYPE A: EXTERIOR METAL STUD FRAMING. SEE SPECIFIC WALL FINISH BELOW. SEE GENERAL DESCRIPTION & NOTES ABOVE.
[Symbol]	EXTERIOR 3/5/8" MTL. STUDS @ 16" O.C. w/ 5/8" GYP. BD., EXTEND GYP. BD. TO TOP OF OPENING & SEAL (INTERIOR) - STUCCO ON METAL LATH (SEE ELEVATIONS) ON MOISTURE BARRIER OVER 5/8" DENS-GLASS SHEATHING (EXTERIOR) - INSULATION BETWEEN STUDS. TAPE & SEAL INSULATION JOINTS.
[Symbol]	PARTITION TYPE B: INTERIOR 3/5/8" MTL. STUDS @ 16" O.C.. SEE SPECIFIC WALL FINISH BELOW. SEE GENERAL NOTES ABOVE.
[Symbol]	3/5/8" MTL. STUDS @ 16" O.C. WITH 5/8" GYP. BD. ON EXPOSED SIDE.
[Symbol]	3/5/8" MTL. STUDS @ 16" O.C. 5/8" GYP. BD. ON BOTH SIDES. PROVIDE TYPE "X" GYP. BOARD ALL RATED WALLS PER UL L4119 WHERE INDICATED.
[Symbol]	PARTITION TYPE C: INTERIOR 6" MTL. STUDS @ 16" O.C.. SEE SPECIFIC WALL FINISH BELOW. SEE GENERAL NOTES ABOVE.
[Symbol]	6" MTL. STUDS @ 16" O.C. WITH 5/8" GYP. BD. ON EXPOSED SIDE.
[Symbol]	6" MTL. STUDS @ 16" O.C. WITH 5/8" GYP. BD. ON BOTH SIDES.
[Symbol]	6" MTL. STUDS @ 16" O.C. WITH 5/8" PLYWOOD PANELING BOTH SIDES.
[Symbol]	6" MTL. STUDS @ 16" O.C. WITH 5/8" PLYWOOD PANELING BAR SIDE & 5/8" MOISTURE RESISTANT GYP. BOARD BACK BAR/BREW TANKS SIDE.

PLOT SCALE:



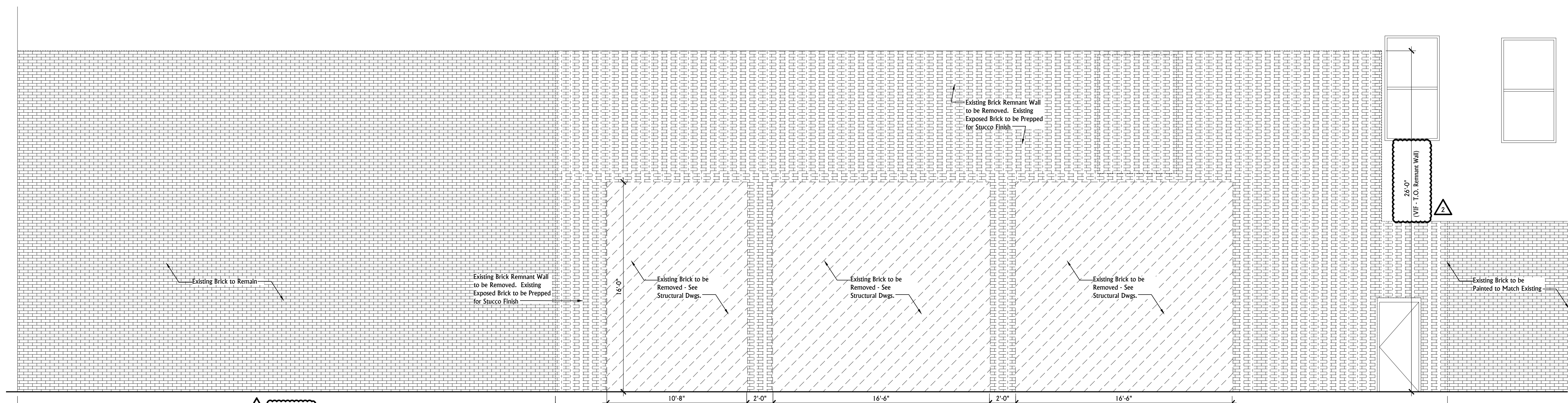
DATE: October 25, 2017
FILE NAME: ClinchRiver_a31
PROJECT NO: 2017-126
DRAWING TITLE:
Exterior Elevations

REVISIONS:
1 December 7, 2017
2 December 13, 2017

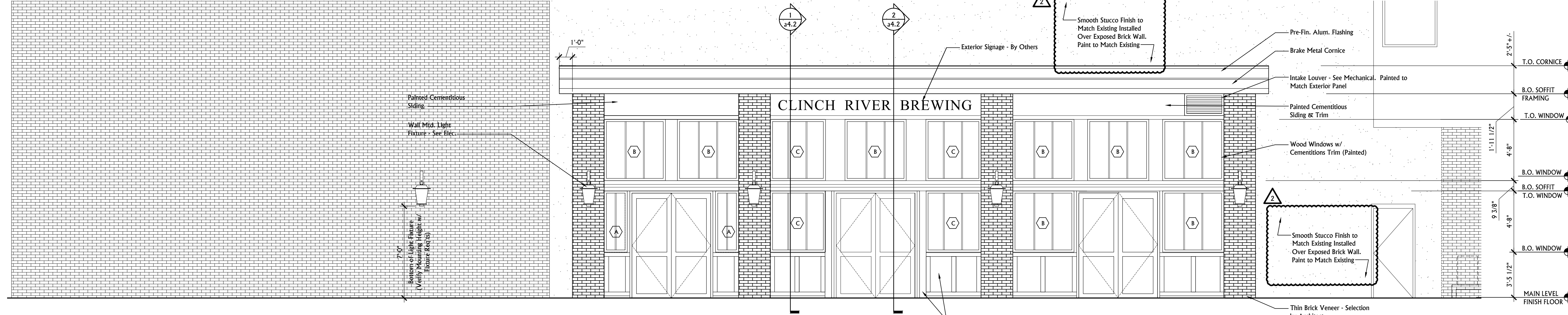
A New Location for:
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531 S. Gay Street
Knoxville, TN 37902

SHEET NO.
a3.1

Revised: 12/13/2017

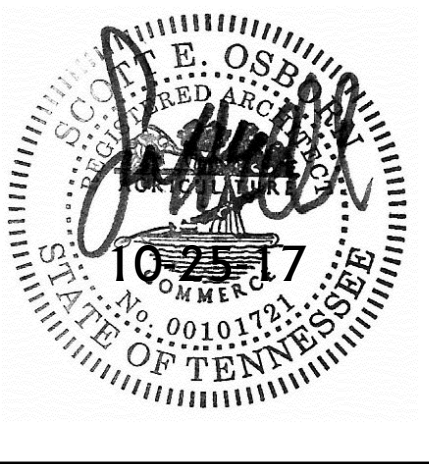


2 EXISTING EXTERIOR ELEVATION - DEMO
SCALE: 1/4\"/>



3 EXTERIOR ELEVATION
SCALE: 1/4\"/>

PLOT SCALE:

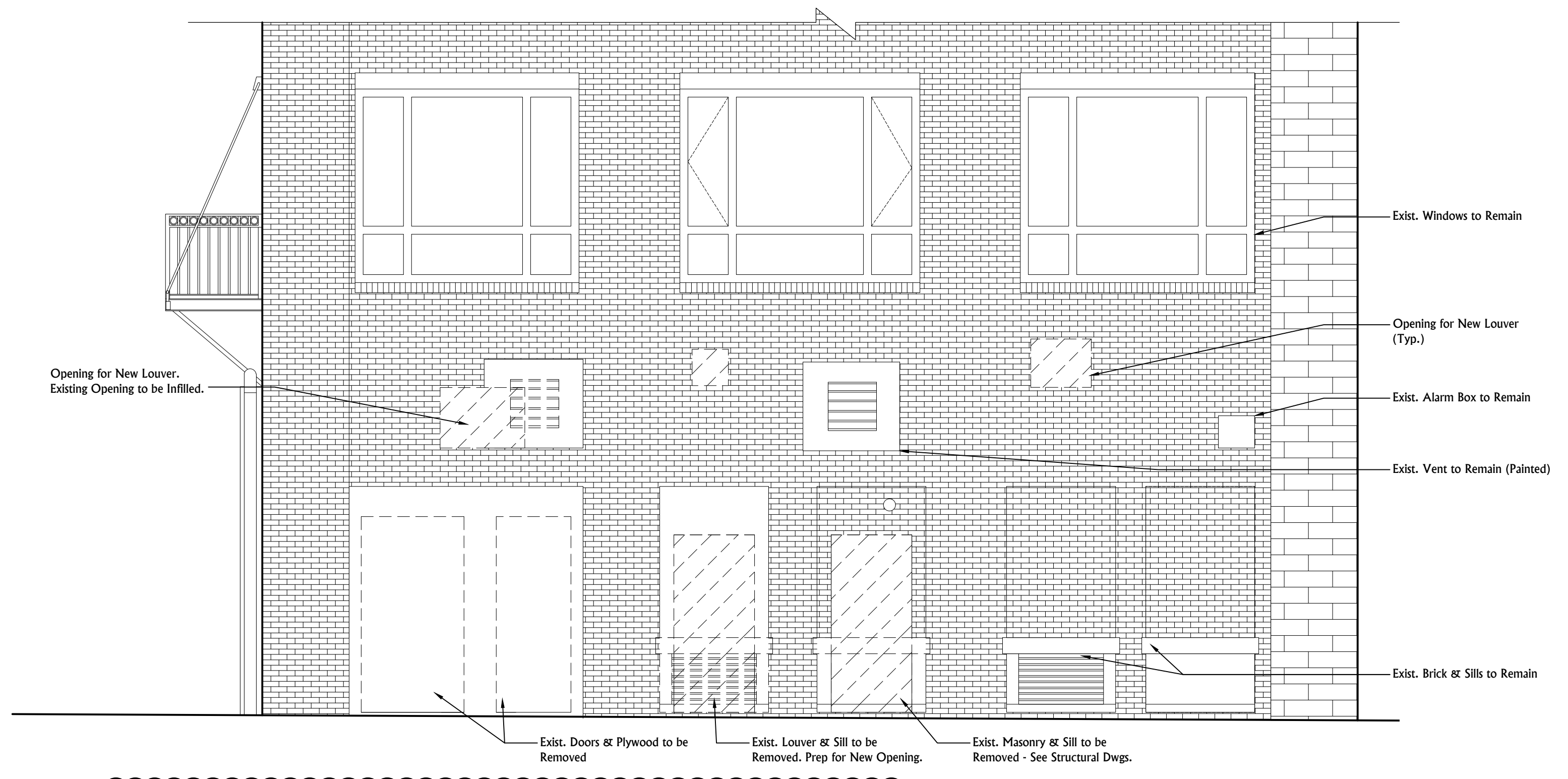


DATE: October 25, 2017
FILE NAME: ClinchRiver_a32
PROJECT NO.: 2017-126
DRAWING TITLE:
Exterior Elevations

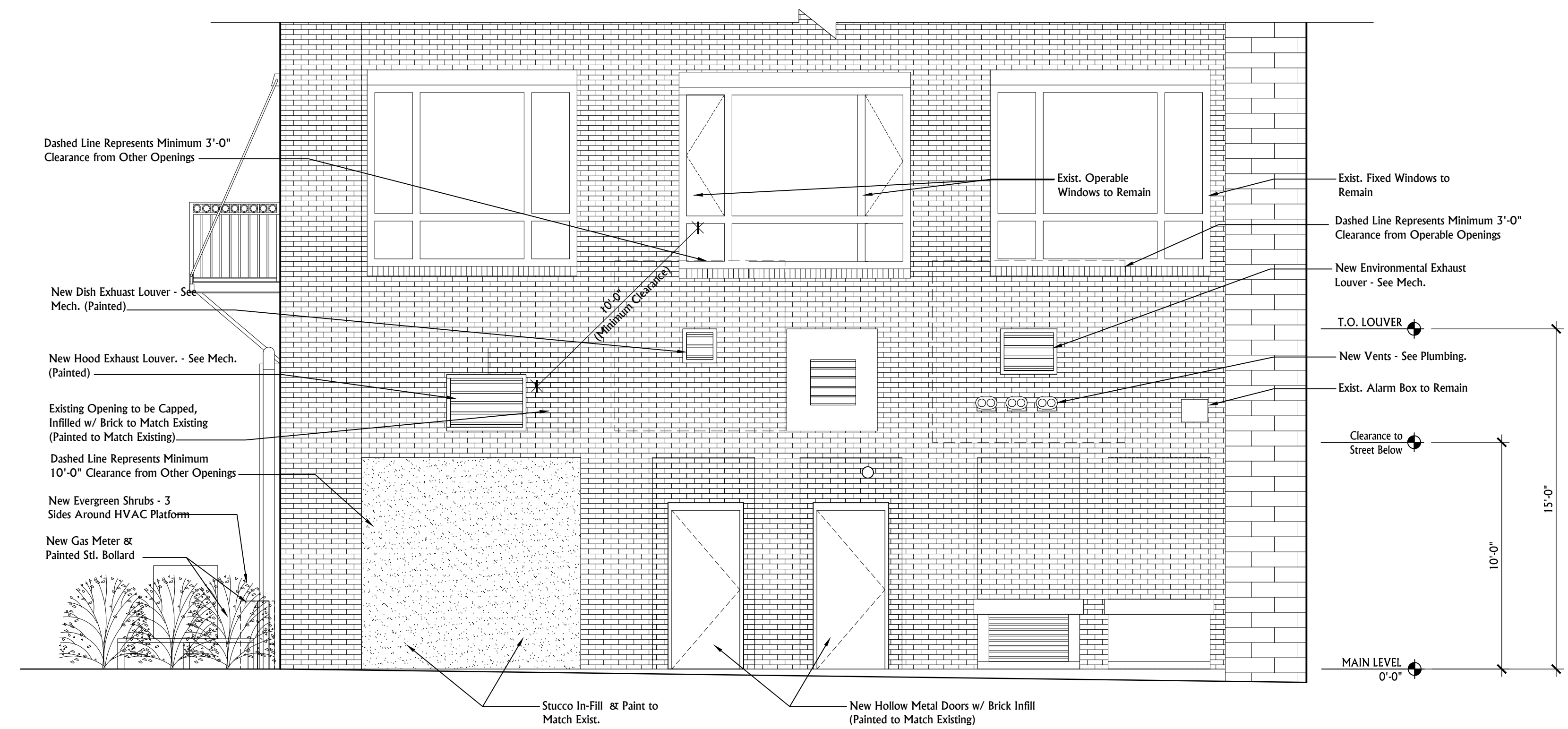
REVISIONS:
△ December 7, 2017

A New Location for:
Clinch River Brewery & Restaurant
531 S. Gay Street
Knoxville, TN 37902

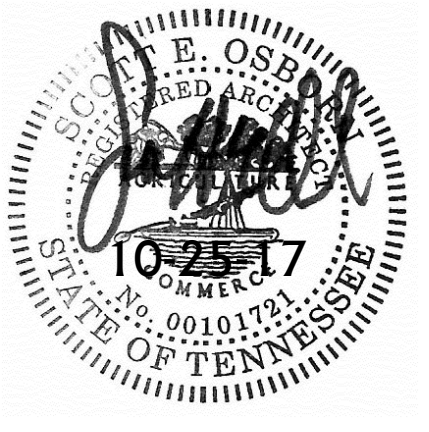
SHEET NO.
a3.2



△ 1
a3.2 SCALE: 1/4" = 1'-0"
EXISTING EXTERIOR ELEVATION - DEMO



△ 2
a3.2 SCALE: 1/4" = 1'-0"
NEW EXTERIOR ELEVATION



DATE: October 25, 2017

FILE NAME: ClinchRiver_a42

PROJECT NO: 2017-126

DRAWING TITLE:

Wall Sections

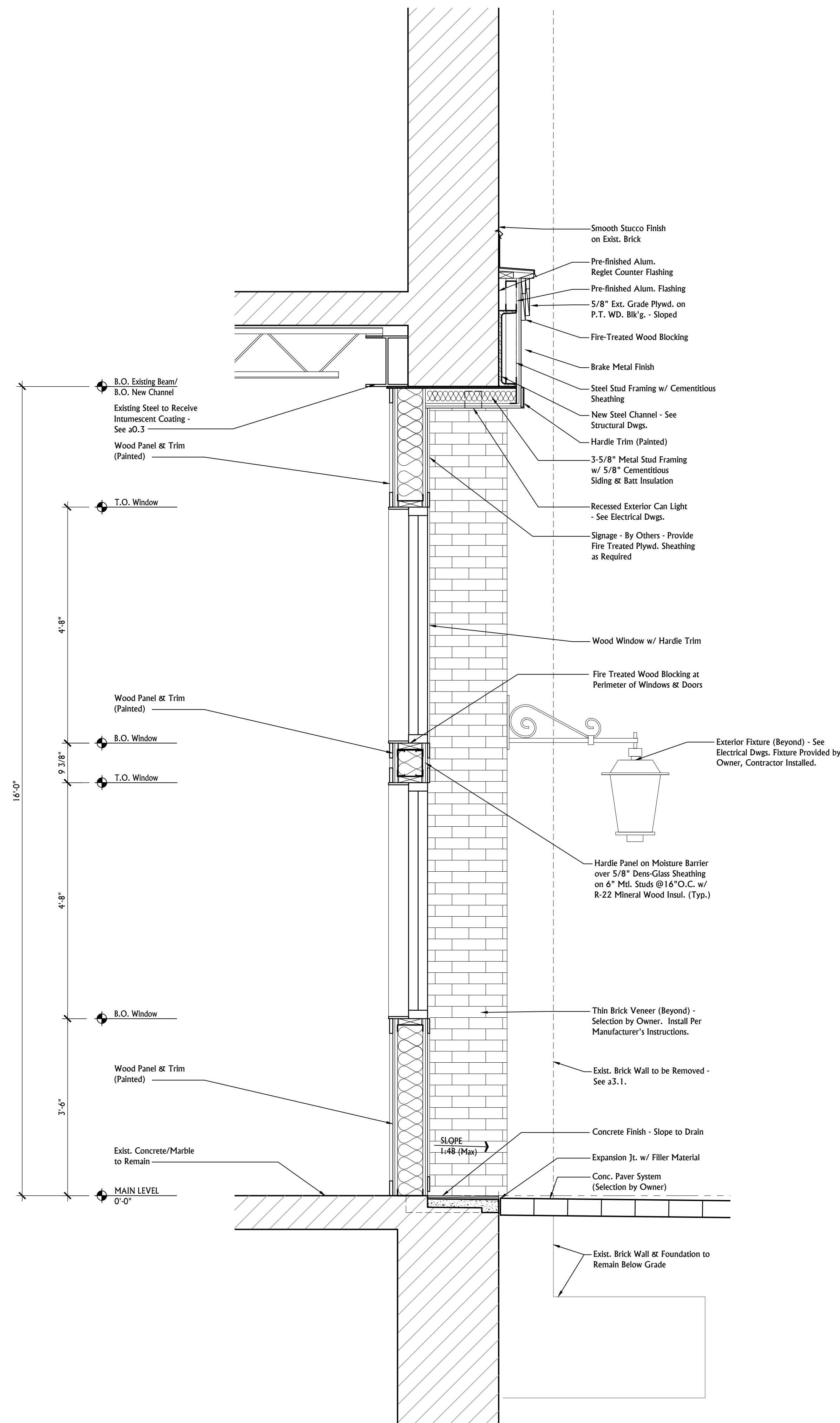
REVISIONS:

December 7, 2017

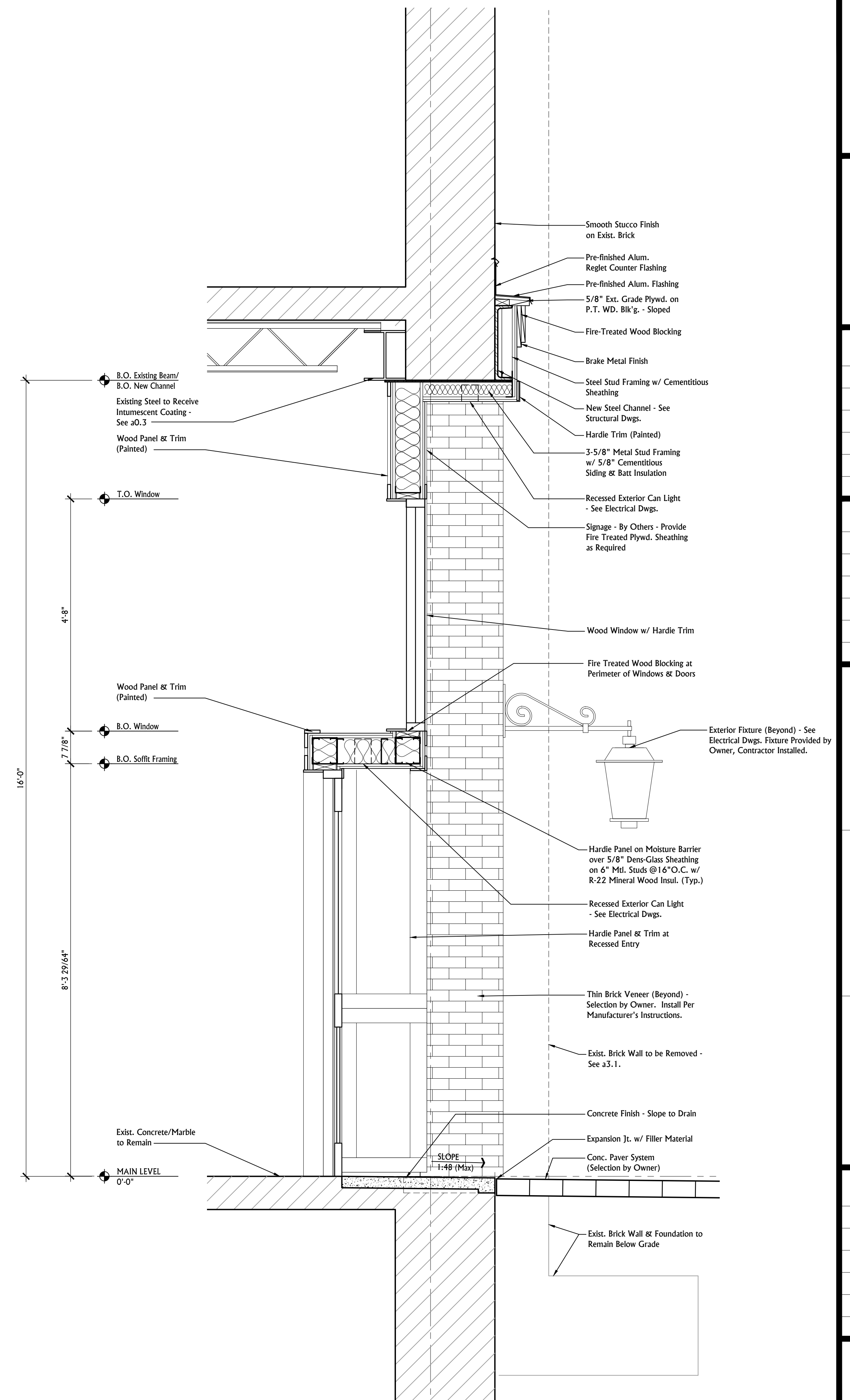
A New Location for:
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SHEET NO.

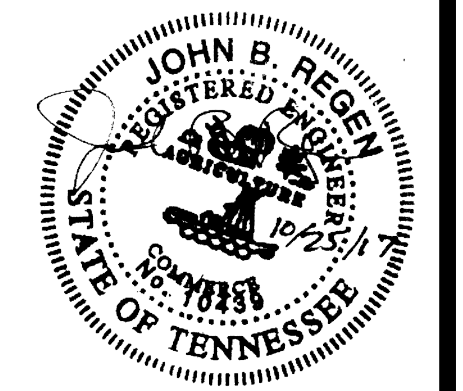
a4.2



1 WALL SECTION
SCALE: 3/4" = 1'-0"
Note: All Wood Blocking in Exterior Walls to be Fire Retardant Treated per First Fire District Requirements.



2 WALL SECTION
SCALE: 3/4" = 1'-0"
Note: All Wood Blocking in Exterior Walls to be Fire Retardant Treated per First Fire District Requirements.



17170 - Clinch River Brewery
xx-xx-xx

DATE: October 25, 2017

FILE NAME: ClinchRiver a21

PROJECT NO: 2017-xxxx

DRAWING TITLE:
Floor Plan - Mechanical

REVISIONS:
12-7-17

A New Restaurant for:
Clinch River Brewery
531 S. Gay Street
Knoxville, TN 37902

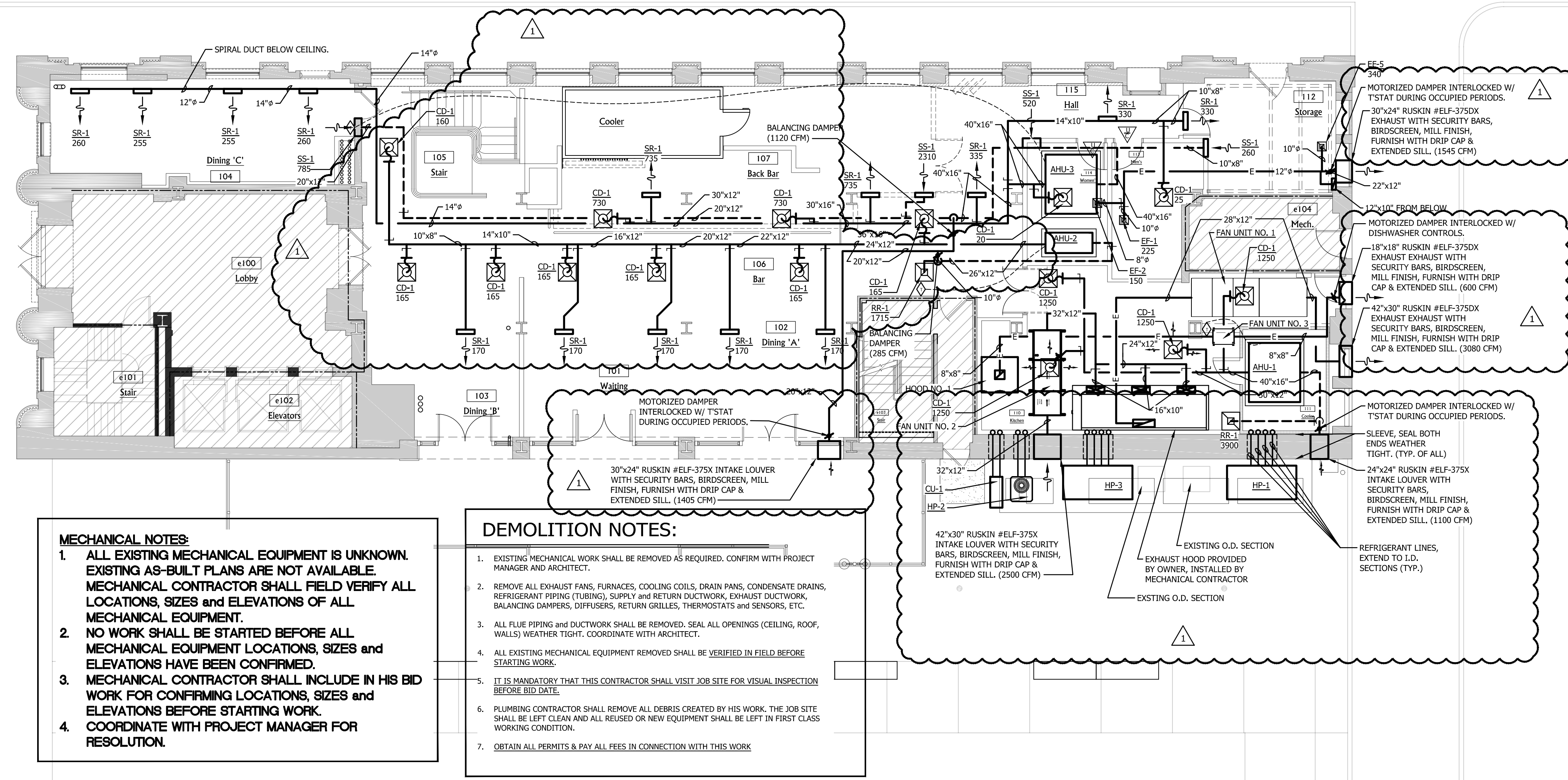
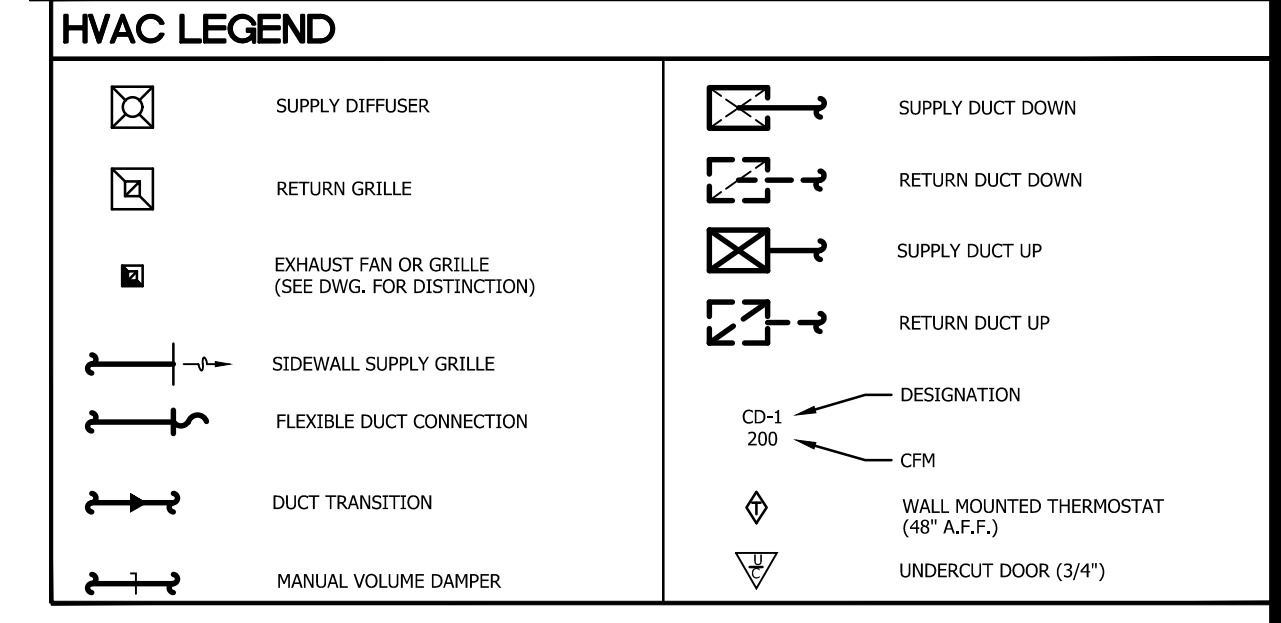
SHEET NO.

M1.1

CEILING DIFFUSER/RETURN/EXHAUST GRILLE SELECTION SCHEDULE							
SERVICE	NECK DIAMETER INCH	SUPPLY BRANCH DUCT SIZE (DIA INCH)	FACE SIZE IN. X IN.	SERVICE	BRANCH DUCT SIZE	FACE SIZE IN. X IN.	EXHAUST
0 - 100	6	6	24 x 24 12 x 12	0 - 100	6	24 x 24 12 x 12	6
101 - 200	8	8	24 x 24 12 x 12	101 - 200	8	24 x 24 12 x 12	8
201 - 380	10	10	24 x 24 12 x 12	201 - 380	10	24 x 24 12 x 12	10
381 - 600	12	12	24 x 24	381 - 600	12	24 x 24	12
601 - 900	14	14	24 x 24	601 - 900	14	24 x 24	14
				951 - 1400	See Plans	24 x 24	16 x 16
				1401 - 2800	See Plans	24 x 24	24 x 24

SIDEWALL GRILLE SELECTION SCHEDULE				
CFM	LENGTH	HEIGHT	DUCT SIZE	
0 - 120	6	6	6	
101 - 200	10	6	8	
201 - 300	10	8	10	
301 - 475	14	10	12	
600 - 860	20	10	16	

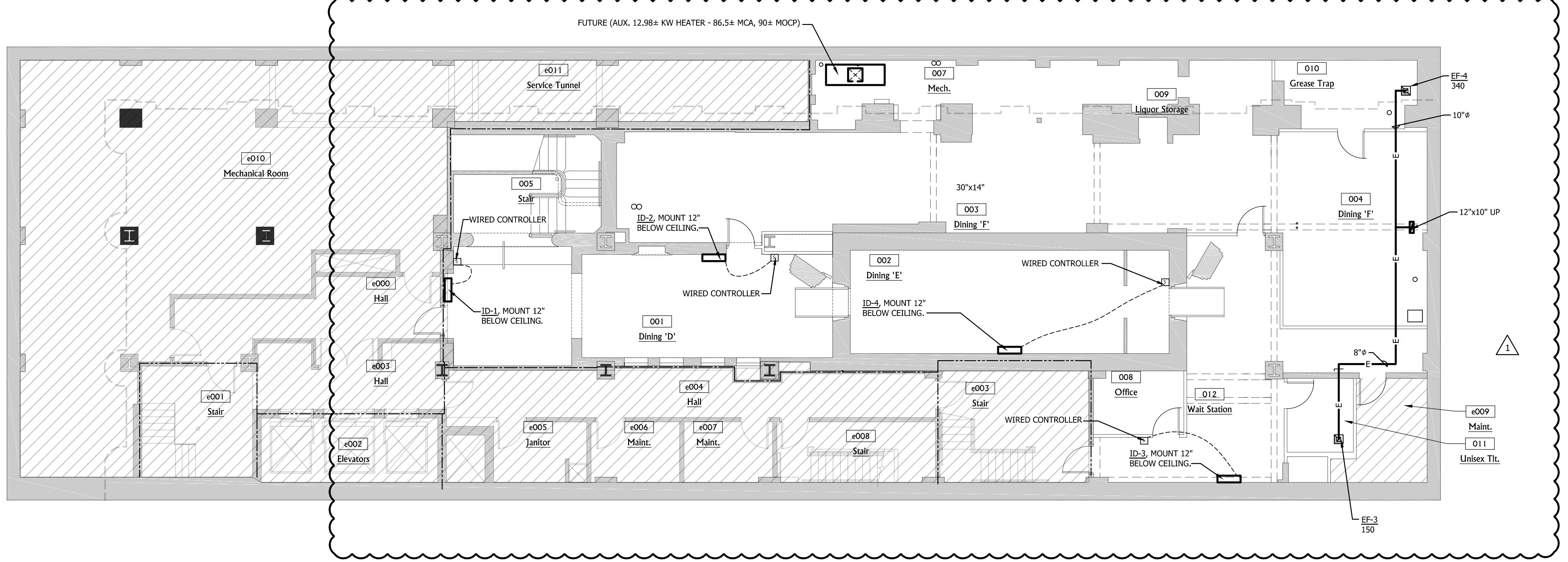
- GENERAL MECHANICAL NOTES**
- THE DRAWINGS ARE GENERALLY DIAGRAMMATIC AND INDICATE THE APPROXIMATE ROUTING OF PIPING AND DUCTWORK. CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER TRADES. MINOR OFFSETS AND ADJUSTMENTS SHALL BE PROVIDED WHERE REQUIRED AT NO ADDITIONAL COST TO THE OWNER.
 - COORDINATE CEILING DIFFUSERS AND REGISTER LOCATIONS WITH ARCHITECT'S REFLECTED CEILING PLAN.
 - DUCTWORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH SMACNA STANDARDS. MITERED ELBOWS SHALL BE PROVIDED WITH SINGLE THICKNESS TURNING VANES.
 - SUPPLY AND RETURN DUCTWORK SHALL BE GALVANIZED STEEL WITH INSULATION AS NOTED.
 - EXHAUST DUCTWORK SHALL BE GALVANIZED STEEL.
 - RECTANGULAR SUPPLY AND RETURN BRANCH TAKE OFFS SHALL BE 45° THROAT TAKE-OFF WITH BALANCING DAMPER IN BRANCH DOWNSTREAM OF TAKEOFF.
 - ROUND SUPPLY AND RETURN BRANCH TAKE-OFFS SHALL BE "BELLMOUTH" OR SPIN-IN TAKE-OFF WITH DAMPER IN BRANCH DOWNSTREAM OF TAKEOFF.
 - PAINT ALL VISIBLE SHEET METAL RETURN AIR PLENUMS FLAT BLACK.
 - INSULATE SUPPLY, RETURN, AND OUTSIDE AIR DUCTS OUTSIDE BUILDING THERMAL ENVELOPE WITH R-8; OR R-6 WHERE INSTALLED WITHIN BUILDING THERMAL ENVELOPE. USE BULKET INSULATION WITH FOIL VAPOR BARRIER. SEAL ALL JOINTS AND SEAMS.
 - CONTRACTOR MAY INSTALL DIFFUSERS WITH MAXIMUM 5 FEET RUN OF INSULATED FLEXIBLE DUCT, FLEXMASTER TYPE-7. SINGLE WIRE HANGERS SHALL NOT BE ALLOWED. DUCTWORK SHALL BE SUPPORTED IN A MANNER THAT PREVENTS CONSTRUCTION OR DIPS.
 - THERMOSTATS SHALL BE MOUNTED 48" ABOVE FINISHED FLOOR UNLESS INDICATED OTHERWISE.
 - PROVIDE ACCESS DOOR (12"x12" MIN) AS REQUIRED FOR DAMPER AND CONTROL ACCESS IN WALLS AND CEILINGS.
 - INSTALL ALL EQUIPMENT IN ACCORDANCE WITH CODE REQUIREMENTS AND MANUFACTURER'S INSTRUCTIONS.
 - PROVIDE MINIMUM 10 FEET SEPARATION BETWEEN OUTSIDE AIR INTAKES AND EXHAUST VENTS, PLUMBING VENTS, ETC.
 - PROVIDE PVC CONDENSATE DRAIN WITH VENTED P-TRAP FOR ALL COOLING COILS. REFER TO PLUMBING DRAWINGS FOR EXACT ROUTING AND SIZES.
 - PROVIDE SMOKE DETECTORS IN THE SUPPLY AND RETURN AIR DUCTS OF ALL UNITS 2000 CFM AND OVER OR UNITS SERVING A MEANS OF EGRESS. LOCATE DETECTOR IN THE RETURN AIR DUCT UPSTREAM OF FRESH AIR MIXING IN ACCORDANCE WITH IMC 606. LOCATE DETECTOR IN THE SUPPLY AIR DUCT DOWNSTREAM OF THE FILTERS AND UPSTREAM OF THE FIRST BRANCH CONNECTION IN ACCORDANCE WITH NFPA 90A. DETECTORS SHALL BE PROVIDED AND WIRED INTO BUILDING FIRE ALARM SYSTEM AND SHALL BE WIRED TO SHUT UNIT'S DOWN UPON DETECTION OF SMOKE BY FIRE ALARM CONTRACTOR. MECHANICAL CONTRACTOR SHALL INSTALL DETECTOR.
 - AN INDEPENDENT CONTRACTOR SHALL TEST AND BALANCE ALL MECHANICAL EQUIPMENT AIR DEVICES, EXTRACTORS, DAMPERS, AHUS AND FANS, ETC. TO PROVIDE THE DESIGN QUANTITIES (+/- 5%) AS SHOWN ON THE PLANS OR SCHEDULES. PROVIDE T & B REPORT IN ACCORDANCE WITH THE AIR BALANCE COUNCIL (ABC) STANDARDS. SIGNED AND SEALED BY A REGISTERED ENGINEER. PROVIDE FINAL BALANCING FOR ALL SYSTEMS TO SATISFACTION OF OWNER AND ENGINEER. T & B CONTRACTOR SHALL VISIT THE JOB SITE DURING CONSTRUCTION TO ENSURE THAT ALL DUCTS, DAMPERS, AND OTHER AIR CONTROL DEVICES ARE INSTALLED FOR PROPER AND QUIET AIR DELIVERY.



- MECHANICAL NOTES:**
- ALL EXISTING MECHANICAL EQUIPMENT IS UNKNOWN. EXISTING AS-BUILT PLANS ARE NOT AVAILABLE. MECHANICAL CONTRACTOR SHALL FIELD VERIFY ALL LOCATIONS, SIZES and ELEVATIONS OF ALL MECHANICAL EQUIPMENT.
 - NO WORK SHALL BE STARTED BEFORE ALL MECHANICAL EQUIPMENT LOCATIONS, SIZES and ELEVATIONS HAVE BEEN CONFIRMED.
 - MECHANICAL CONTRACTOR SHALL INCLUDE IN HIS BID WORK FOR CONFIRMING LOCATIONS, SIZES and ELEVATIONS BEFORE STARTING WORK.
 - COORDINATE WITH PROJECT MANAGER FOR RESOLUTION.

- DEMOLITION NOTES:**
- EXISTING MECHANICAL WORK SHALL BE REMOVED AS REQUIRED, CONFIRM WITH PROJECT MANAGER AND ARCHITECT.
 - REMOVE ALL EXHAUST FANS, FURNACES, COOLING COILS, DRAIN PANS, CONDENSATE DRAINS, REFRIGERANT PIPING (TUBING), SUPPLY and RETURN DUCTWORK, EXHAUST DUCTWORK, BALANCING DAMPERS, DIFFUSERS, RETURN GRILLES, THERMOSTATS and SENSORS, ETC.
 - ALL FLUE PIPING and DUCTWORK SHALL BE REMOVED. SEAL ALL OPENINGS (CEILING, ROOF, WALLS) WEATHER TIGHT. COORDINATE WITH ARCHITECT.
 - ALL EXISTING MECHANICAL EQUIPMENT REMOVED SHALL BE VERIFIED IN FIELD BEFORE STARTING WORK.
 - IT IS MANDATORY THAT THIS CONTRACTOR SHALL VISIT JOB SITE FOR VISUAL INSPECTION BEFORE BID DATE.
 - PLUMBING CONTRACTOR SHALL REMOVE ALL DEBRIS CREATED BY HIS WORK. THE JOB SITE SHALL BE LEFT CLEAN AND ALL REUSED OR NEW EQUIPMENT SHALL BE LEFT IN FIRST CLASS WORKING CONDITION.
 - OBTAIN ALL PERMITS & PAY ALL FEES IN CONNECTION WITH THIS WORK

FLOOR PLAN - MAIN LEVEL - MECHANICAL
M1.1 SCALE: 1/8" = 1'-0"



FLOOR PLAN - BASEMENT - MECHANICAL
M1.1 SCALE: 1/8" = 1'-0"

PLOT SCALE: