

Suite 403 • City County Building  
 400 Main Street  
 Knoxville, Tennessee 37902  
 865 • 215 • 2500  
 FAX • 215 • 2088  
 www.knoxmpc.org

# Downtown Knoxville Design Overlay District Certificate of Appropriateness

Name of Applicant: City of Knoxville

Owner  Contractor  Architect  Engineer  Other \_\_\_\_\_

Date Filed: 5/1/15 Application accepted by: Michael Reynolds

Fee Amount: 0.00 Review Date: 5/20/15 File Number: 5-D-15-DT

<b>PRE-APPLICATION CONFERENCE</b>		Date Completed: _____
<p style="text-align: center;"><b>PROPERTY INFORMATION</b></p> <p>Building or Project Name: <u>Marble Alley Streetscape</u></p> <p>Street Address: _____</p> <p>Parcel Identification Number(s): <u>Public property along State, Central and Commerce Streets</u></p>	<p style="text-align: center;"><b>PROJECT ARCHITECT/ENGINEER</b></p> <p>PLEASE PRINT                  Name: <u>Jeff Beckett</u></p> <p>Company: <u>Cannon + Cannon, Inc.</u></p> <p>Address: <u>8550 Kingston Pk.</u></p> <p>City: <u>Knoxville</u> State: <u>TN</u> Zip: <u>37919</u></p> <p>Telephone: <u>865.670.8555</u></p> <p>Fax: _____</p> <p>E-mail: <u>jbeckett@cannon-cannon.com</u></p>	
<p style="text-align: center;"><b>PROPERTY OWNER</b></p> <p>PLEASE PRINT                  Name: _____</p> <p>Company: <u>City of Knoxville</u></p> <p>Address: <u>400 Main Street</u></p> <p>City: <u>Knoxville</u> State: <u>TN</u> Zip: <u>37902</u></p> <p>Telephone: <u>865.215.2029</u></p> <p>Fax: _____</p> <p>E-mail: _____</p>	<p style="text-align: center;"><b>PROJECT CONTRACTOR</b></p> <p>PLEASE PRINT                  Name: <u>Travis Ritz</u></p> <p>Company: <u>JDK Construction</u></p> <p>Address: <u>1610 S. Church Street</u></p> <p>City: <u>Murfreesboro</u> State: <u>TN</u> Zip: <u>37130</u></p> <p>Telephone: <u>615.895.8743</u></p> <p>Fax: _____</p> <p>E-mail: <u>tritz@tdkconstruction.com</u></p>	
<p style="text-align: center;"><b>ACCOMPANYING MATERIALS</b></p> <p>Please see the reverse side of this form for a list of information required as part of this application.</p>		
<b>FOR OFFICE USE ONLY</b>		
<p style="text-align: center;"><b>PROJECT INFORMATION</b></p> <p>LEVEL 1: \$50</p> <p><input type="checkbox"/> Minor Alteration of an Existing Building/Structure</p> <p><input type="checkbox"/> Sign</p> <p>LEVEL 2: \$100</p> <p><input type="checkbox"/> Major Alteration of an Existing Building/Structure</p> <p><input type="checkbox"/> Addition to an Existing Building/Structure</p> <p>LEVEL 3: \$250</p> <p><input type="checkbox"/> Construction of New Building/Structure</p>	<p style="text-align: center;"><b>PROJECT CONTACT</b></p> <p>All application-related correspondence should be directed to:</p> <p>PLEASE PRINT                  Name: <u>Robert Whetsel</u></p> <p>Company: <u>City of Knoxville</u></p> <p>Address: <u>400 Main Street</u></p> <p>City: <u>Knoxville</u> State: <u>TN</u> Zip: <u>37902</u></p> <p>Telephone: <u>865.215.2543</u></p> <p>Fax: _____</p> <p>E-mail: <u>bwhetsel@cityofknoxville.org</u></p>	

NOTE: Payment is due at time of application. Please make check payable to Knoxville Knox County Metropolitan Planning Commission.

## Marble Alley--Narrative Summary-May 2015

Working in conjunction with Marble Alley LLC the city of Knoxville has committed to rebuilding crumbling and in some places nonexistent infrastructure to support the new residential development currently under construction on the city block bounded by S. Central St., Commerce Ave., State St. and Union Ave. The work will also move eastward from Commerce Ave. to Summit Hill along State St. and S. Central St. The public portion of the work was designed by Canon & Canon Engineering and will be implemented this year by TDK Construction. The project was bid over the winter and the contractor is ready to get started.

During the project State St. will change from being an entirely a one way street to a street that will support two way traffic from Summit Hill to Union Ave. Other work along the effected streets will consist of rebuilding sidewalks, creating protected on street parking, adding LED street lighting and installing street trees along with other landscaping items. There will be some decorative concrete within the project and some stamped asphalt at identified cross walks. Plan sheets have been submitted for detail review of these items.

The entire block will have a consistent function and feel that will complement the new architecture and the adjoining areas of the city.



## Marble Alley Streetscapes Project

**Project Description:** Over the past two years the City of Knoxville has worked with the developers of the Marble Alley Lofts to remake a surface parking lot into a 200 plus unit housing complex within the Central Business Improvement District. Private development began in Fall 2014. This project will improve the public infrastructure around the site including the sidewalks and streets along State Street, S Central Street, and Commerce Avenue.



### **Schedule:**

Bid Opening: February 12, 2015

Notice to Proceed:

Contract Completion Date:

**Current Contract Price:** \$ 1,129,827

**April 2015 Status:** The project is complete.

**Project Designer:** Cannon and Cannon, Inc.

**Construction Contractor:** TDK Construction Company, Inc.

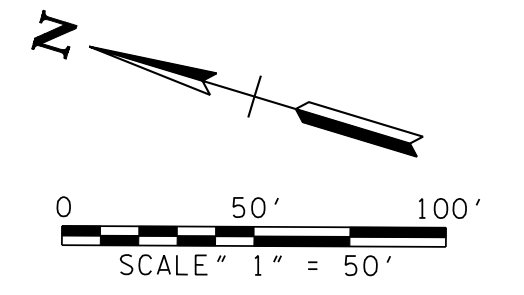
**City of Knoxville Contact**

**Construction Engineer:** Robin L. Tipton, PE (865) 215-6100



CITY OF KNOXVILLE  
Madeline Rogero, Mayor

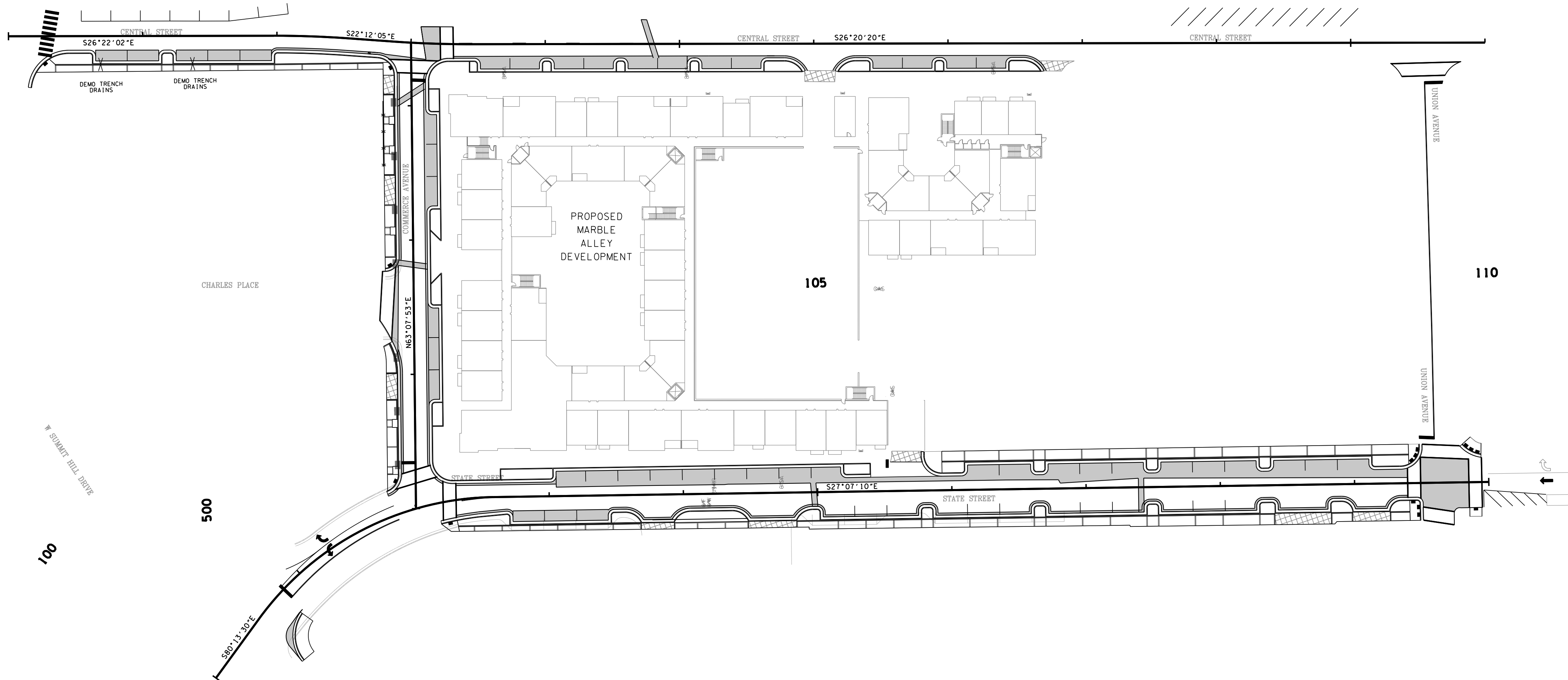
James R. Hagerman, PE  
Director of Engineering



300

305

310

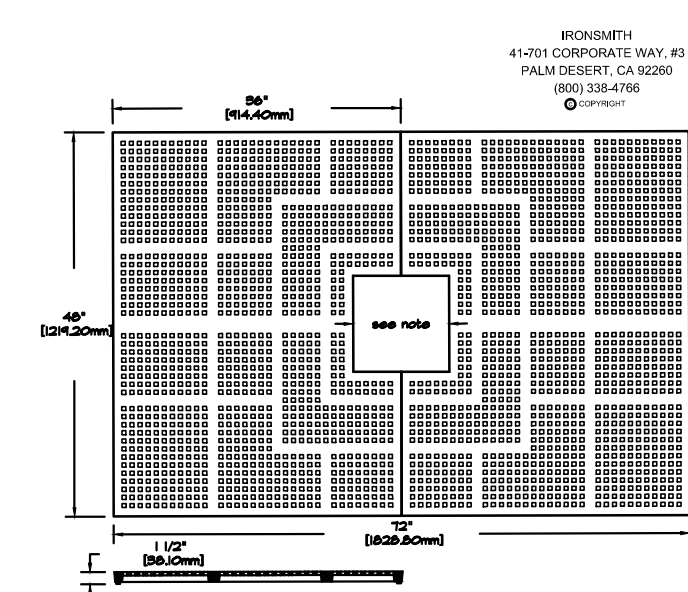
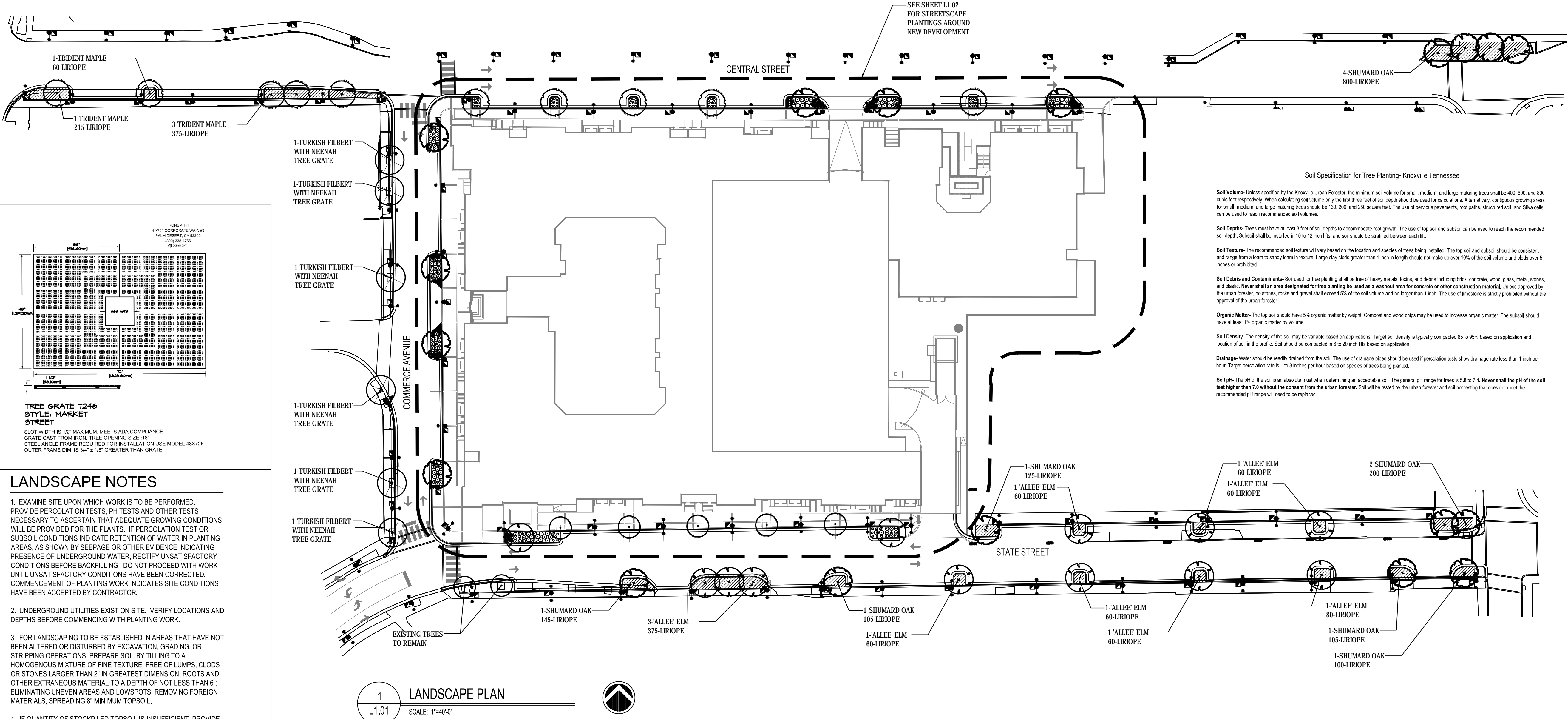


**CONSTRUCTION SEQUENCING**

1. INSTALL STORM SEWER STRUCTURE #19 TO HEADWALL #21.  
SEE SHEET R3.00, STA. 304+83, CENTRAL STREET
2. INSTALL CURB AND GUTTER ALONG MARBLE ALLEY DEVELOPMENT, THE WEST SIDE OF CENTRAL STREET, SOUTH SIDE OF COMMERCE AVENUE, AND EAST SIDE OF STATE STREET.
3. INSTALL REMAINDER OF CURB AND GUTTER, ASPHALT PAVEMENT AND SIDEWALK.

REVISIONS		DATE	
<b>CANNON &amp; CANNON INC</b> CONSULTING ENGINEERS · FIELD SURVEYORS TEL 865.670.8555   8550 Kingston Pike WWW.CANNON-CANNON.COM   Knoxville, TN 37919			
CLIENT:		<b>CITY OF KNOXVILLE</b> <b>OFFICE OF REDEVELOPMENT</b> 400 MAIN STREET, SUITE 655 KNOXVILLE, TN 37902	
PROJECT:		<b>MARBLE ALLEY STREETScape</b>	
<b>OVERALL SITE PLAN</b>			
	CCI PROJECT NO.		00244-0016
	DATE		1-21-15
	P.M.		JCE
	DRAWN		AWG
	O.C.		
			<b>R0.04</b>





- ### LANDSCAPE NOTES
- EXAMINE SITE UPON WHICH WORK IS TO BE PERFORMED. PROVIDE PERCOLATION TESTS, PH TESTS AND OTHER TESTS NECESSARY TO ASCERTAIN THAT ADEQUATE GROWING CONDITIONS WILL BE PROVIDED FOR THE PLANTS. IF PERCOLATION TEST OR SUBSOIL CONDITIONS INDICATE RETENTION OF WATER IN PLANTING AREAS, AS SHOWN BY SEEPAGE OR OTHER EVIDENCE INDICATING PRESENCE OF UNDERGROUND WATER, RECTIFY UNSATISFACTORY CONDITIONS BEFORE BACKFILLING. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. COMMENCEMENT OF PLANTING WORK INDICATES SITE CONDITIONS HAVE BEEN ACCEPTED BY CONTRACTOR.
  - UNDERGROUND UTILITIES EXIST ON SITE. VERIFY LOCATIONS AND DEPTHS BEFORE COMMENCING WITH PLANTING WORK.
  - FOR LANDSCAPING TO BE ESTABLISHED IN AREAS THAT HAVE NOT BEEN ALTERED OR DISTURBED BY EXCAVATION, GRADING, OR STRIPPING OPERATIONS, PREPARE SOIL BY TILLING TO A HOMOGENOUS MIXTURE OF FINE TEXTURE, FREE OF LUMPS, CLODS OR STONES LARGER THAN 2" IN GREATEST DIMENSION, ROOTS AND OTHER EXTRANEOUS MATERIAL TO A DEPTH OF NOT LESS THAN 6"; ELIMINATING UNEVEN AREAS AND LOWSPOTS; REMOVING FOREIGN MATERIALS; SPREADING 8" MINIMUM TOPSOIL.
  - IF QUANTITY OF STOCKPILED TOPSOIL IS INSUFFICIENT, PROVIDE ADDITIONAL TOPSOIL AS REQUIRED TO ACHIEVE A MINIMUM 6" DEPTH. ENSURE THAT TOPSOIL IS STERILE, FERTILE, FRIABLE, NATURAL LOAM, TYPICAL FOR LOCALITY; CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH; TAKEN FROM WELL-DRAINED SITE; FREE OF SUBSOIL, CLAY LUMPS OR STONES LARGER THAN 2" IN GREATEST DIMENSION, PLANTS, WEEDS, AND ROOTS; HAVING PH VALUE OF 5.4 MINIMUM AND 7.0 MAXIMUM; CONTAINING 3 PERCENT MINIMUM ORGANIC MATTER.
  - ASSURE THAT BEDS DRAIN AWAY FROM STRUCTURES.
  - PROVIDE AND INSTALL ONLY PLANTS THAT ARE FREE FROM DISEASE AND PESTS, AND THAT COMPLY WITH THE LATEST EDITION OF PUBLICATION ANSI Z60.1, "AMERICAN STANDARDS FOR NURSERY STOCK," BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
  - ADD PRE-EMERGENT HERBICIDE UNDERNEATH AND ON TOP OF MULCH IN LANDSCAPE BEDS.
  - TOP DRESS BEDS WITH 3" DARK HARDWOOD MULCH. PROVIDE 3" DEEP LAYER IN A FOUR FOOT DIAMETER RING AROUND TREES IN LAWN AREAS.
  - PLANT GROUND COVERS THROUGH MULCH.
  - REMOVE STRIPPERS AND OTHER TIES FROM PLANT MATERIAL.
  - REMOVE UPON 1/3 OF BURLAP FROM PLANT ROOT BALLS.
  - DO NOT PIERCE TREE ROOT BALLS WITH SUPPORT STAKES.
  - ADD FERTILIZER AS REQUIRED FOR OPTIMUM PLANT PERFORMANCE AND PRE-EMERGENT HERBICIDE.
  - DO NOT MAKE SUBSTITUTIONS REGARDING PLANT SIZES OR SPECIES WITHOUT WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.
  - PLANT MATERIAL, MULCH, AND OTHER RELATED LANDSCAPE PRODUCTS MUST BE PRE-TREATED FOR FIRE ANTS.
  - WARRANTY MATERIALS AND WORKMANSHIP FOR TWELVE MONTHS FROM THE DATE OF SUBSTANTIAL COMPLETION.
  - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAKING REPAIRS NECESSITATED BY DAMAGE OCCURRING DURING THE PERFORMANCE OF THEIR WORK.
  - LANDSCAPE TO COMPLY WITH ALL ASPECTS OF TREE PROTECTION ORDINANCE

1 LANDSCAPE PLAN  
SCALE: 1"=40'-0"  
NORTH

#### Soil Specification for Tree Planting- Knoxville Tennessee

**Soil Volume-** Unless specified by the Knoxville Urban Forester, the minimum soil volume for small, medium, and large maturing trees shall be 400, 600, and 800 cubic feet respectively. When calculating soil volume only the first three feet of soil depth should be used for calculations. Alternatively, contiguous growing areas for small, medium, and large maturing trees should be 130, 200, and 250 square feet. The use of pervious pavements, root paths, structured soil, and Sra colls can be used to reach recommended soil volumes.

**Soil Depths-** Trees must have at least 3 feet of soil depths to accommodate root growth. The use of top soil and subsoil can be used to reach the recommended soil depth. Subsoil shall be installed in 10 to 12 inch lifts, and soil should be stratified between each lift.

**Soil Texture-** The recommended soil texture will vary based on the location and species of trees being installed. The top soil and subsoil should be consistent and range from a loam to sandy loam in texture. Large clay clods greater than 1 inch in length should not make up over 10% of the soil volume and clods over 5 inches or prohibited.

**Soil Debris and Contaminants-** Soil used for tree planting shall be free of heavy metals, toxins, and debris including brick, concrete, wood, glass, metal, stones, and plastic. **Never shall an area designated for tree planting be used as a washout area for concrete or other construction material.** Unless approved by the urban forester, no stones, rocks and gravel shall exceed 5% of the soil volume and be larger than 1 inch. The use of limestone is strictly prohibited without the approval of the urban forester.

**Organic Matter-** The top soil should have 5% organic matter by weight. Compost and wood chips may be used to increase organic matter. The subsoil should have at least 1% organic matter by volume.

**Soil Density-** The density of the soil may be variable based on applications. Target soil density is typically compacted 85 to 95% based on application and location of soil in the profile. Soil should be compacted in 6 to 20 inch lifts based on application.

**Drainage-** Water should be readily drained from the soil. The use of drainage pipes should be used if percolation tests show drainage rate less than 1 inch per hour. Target percolation rate is 1 to 3 inches per hour based on species of trees being planted.

**Soil pH-** The pH of the soil is an absolute must when determining an acceptable soil. The general pH range for trees is 5.8 to 7.4. **Never shall the pH of the soil test higher than 7.0 without the consent from the urban forester.** Soil will be tested by the urban forester and soil not testing that does not meet the recommended pH range will need to be replaced.

#### Contractor Planting Specifications for the City of Knoxville

- Plant Materials:** All plant materials shall comply with the specifications set forth in the American Standard for Nursery Stock ANSI Z60.1-2004. All plant materials must meet all phytosanitary, nursery inspection, pest freedom, plant regulation, certification, or any other legal requirements of the Tennessee Department of Agriculture division of Regulatory Services. All trees purchased shall derive from tree stock with a similar latitude and plant hardiness zone (6b-7b) as the State of Tennessee.
- Quality Control:** All nursery stock certificates, registration or certification tags, seals, etc. shall be furnished to the City of Knoxville Urban Forester when plants are shipped to installer or installed. **All trees planted will be inspected by the City of Knoxville Urban Forester.** The City of Knoxville Urban Forester has the right to reject planting or reject stock in order to meet standards set in this specification and the "American Standard for Nursery Stock".
- Quality and Size:** Trees should have a straight trunk and leader with well spaced branching and wide angled branch unions. Certain plant material may be exceptions of the single leader and well spaced branching requirement, but only when determined to be allowable by the City of Knoxville Urban Forester. Plant materials shall be free of injuries or abrasions, fresh pruning cuts not showing woundwood response, and pruning cuts shall be less than 1" in diameter. The crown of the tree shall be typical for the species, and free of irregular pruning cuts. Trees that have numerous irregular pruning cuts in the crown of the tree will be rejected. Trees that have been staked during the growing season preceding digging shall not be accepted. Tree caliper shall be taken on the trunk 6 inches above the root collar. Larger trees may be utilized if approved by the City of Knoxville Urban Forester.
- Root Ball:** All trees provided shall have a firm, freshly dug root ball that is standard size according to "American Standard of Nursery Stock". The root ball should be sufficient in size to encompass a fibrous root system necessary for the recovery of the tree after the transplant. Root balls shall be wrapped with non-synthetic, biodegradable burlap and rope or twine. The root collar or the first order of structural roots should be apparent at the surface of the ball. City of Knoxville Urban Forester may inspect the depth of the tree within the root ball and may reject any tree that has been planted too deep. The tree should be free from adventitious roots above the root collar or first order of structural roots. Root balls that have been cracked, frozen, broken, or softened are subject to rejection by the City of Knoxville Urban Forester.
- Containerized Trees/ Bare Root Trees:** All trees shall be ball and burlap trees unless specified by the City of Knoxville Urban Forester. Containerized trees shall not be pot bound or have girdling roots. Root collars should be apparent at the surface of the container. Bare root trees shall have a healthy, well branched root system that is characteristic of the species.
- Transportation:** Root balls shall be protected against freezing, softening, cracking, and breaking. Branches should be tied with sisal or jute twine to avoid breaking branches during transport. Trunk protection shall be installed during the handling and transport to avoid scraping and damaging bark. Trees shall be protected during transport to prevent wind and sun from drying out trees. Trees subjected to injury, damage, or other conditions unfavorable to plant recovery and growth will be rejected by City of Knoxville Urban Forester.
- Tennessee One-Call System:** The contractor is required to contact Tennessee One-Call at each job site and comply with all related directives for utilities. Hand excavation is required, as necessary, to minimize the possibility of damaging underground utilities.
- Work Zone Traffic Safety:** The contractor shall comply with all specifications and standards of the manual on Uniform Traffic Control Services for Streets and Highways (MUTCD). The contractor will be responsible for public safety at job sites.
- Training:** The contractor may choose to have an onsite training to demonstrate proper planting practices according to these specifications. Training will be conducted by the urban forester. All training is at the contractor's expense. A 5 days notice must be given to the urban forester for scheduling training.
- Planting Hole:** Planting hole shall be excavated with sloped side 2 - 3 times the diameter of the container or rootball. Mechanical diggers such as augers may be used but sloped sides of the planting hole must be excavated and scarified with a hand tool to remove glazed surfaces. Before placing the rootball in the hole the contractor shall determine if the depth of the hole is the same as, or slightly less than the distance between the topmost structural root (root flare) and the bottom of the rootball. **In no case shall the topmost structural root (root flare) be lower than the adjacent grade. Installations with root balls/trees planted too deep will be rejected.** All trees shall be set upright and oriented to give the best relationship to adjacent traffic, structures, and trees.
- Backfill:** After putting 1/4 of the backfill soil in the hole, all burlap, twine, rope, and wire baskets shall be cut off and removed at least 8 to 10 inches below the topmost structural root. If roots are circling or girdling, they shall be cut and removed. The hole shall be backfilled with the same soil removed from the hole. Soil shall be tamped slightly to pack rootball firmly within the planting hole. When the hole is 2/3 full, water should be applied to eliminate air pockets, and tamping of the soil shall not occur once the soil has been watered. The remaining portion of the rootball shall be filled with remaining excavated soil. No soil shall be placed above the topmost structural root. **If excess soil is not necessary for the backfill of the rootball it shall be removed from the site by the contractor.**
- Staking:** Trees should not be staked unless necessary. If staking materials are installed, they should be removed within one year of installation and before trunk girdling can occur. If staking materials are used, they must be approved by the City of Knoxville Urban Forester before installation.

#### PLANT LIST :L1.01

COMMON NAME	BOTANICAL NAME	SPECIFICATION	QUANTITY
<b>TREES</b>			
Trident Maple	<i>Acer buergerianum</i>	2" caliper, B&B	5
'Allee' Elm	<i>Ulmus parvifolia 'Allee'</i>	3" caliper, B&B	10
Shumard Oak	<i>Quercus shumardii</i>	3" caliper, B&B	11
Turkish Filbert	<i>Corylus colurna</i>	3" caliper, B&B	6
<b>GROUND COVER</b>			
Liriope	<i>Liriope muscari 'Big Blue'</i>	6" pot	3045
IRONSMTIH 7246 MARKET STREET TREE GRATE UNFINISHED WITH 18" OPENING.			6

DATE	
CITY OF KNOXVILLE OFFICE OF REDEVELOPMENT 400 MAIN STREET, SUITE 655 KNOXVILLE, TN 37902	
PROJECT: MARBLE ALLEY STREETScape	
OVERALL STREET TREE LANDSCAPE PLAN	
	<b>CCJ PROJECT NO.</b> 00244-0016 <b>DATE</b> 1-21-2015 <b>P.M.</b> JOE <b>DRAWN</b> JT <b>C.C.</b>  <b>L1.01</b>

# Knoxville Downtown Design Review Board

## CERTIFICATE OF APPROPRIATENESS

File Number: 9-B-13-DT

A Certificate of Appropriateness is hereby granted for the following property by the Downtown Design Review

Address of Property: 260 State St  
Parcel ID: 095IA02201

### Type of Work:

Level 3: Construction of New Building

Owner: Marble Alley Development, LLC, 37902  
Applicant: Brad Slayden, 37206  
Architect: Brad Slayden, 37206  
Contractor: Ross Bradley, 37130

### Description of Work:

This project is proposed to be constructed on property currently owned by Knox County and on land that is being used as a parking lot and a downtown recycling center. Marble Alley Lofts LLC proposes the construction of a new five story multi-dwelling building which will have 249 ± units and will be wrapped around a five story, 370 ± space parking lot. The building will have residential units facing State Street, Commerce Street and South Central Street. The location of the club house amenity will be at the corner of State Street and Commerce Avenue, which will have a storefront design, though not accessible by the general public.

The proposal also includes concepts for street modifications and streetscape enhancements, including converting State Street from one-way to two-way, adding street trees in tree wells and bulbouts, adding on-street parking to State Street, Commerce Avenue and Central Street. The sidewalks are brushed concrete with 1-foot concrete banding, and stamped/textured concrete at the intersections and other locations as shown on the Site Layout Plan and Landscape Plan (sheets C1.1 and LP1.0). The proposed sidewalk widths vary from 8 feet to 20 feet, depending on the location, with a 5-foot clear zone maintained for areas constricted by combination of tree wells and stoops. The widths may increase depending on the off-site street and streetscape design. The proposed street light fixtures are shown on Sheet LS1.0, and are the same as those used in the Old City and Gay Street.

ALL OFFSITE STREET AND STREETSCAPE MODIFICATIONS/INSTALLATIONS, OR OTHERWISE INSTALLED BY THE CITY, WILL BE REVIEWED AS A SEPARATE APPLICATION. THE DESIGN OF THE STEETS, TREE WELLS, ON-STREET PARKING, AND STREET LIGHTS MAY CHANGE.

The three façades will have a combination of the following architectural elements (see the elevation sheets for more details): stairs and stoops with steel railings for the ground floor units; balconies with steel railings; steel canopies over several ground floor windows and doors; herringbone pattern brick masonry under many of the windows; and precast window head and sills.

The three façades will be clad with a combination of the following building materials (see the elevation sheets for more details): brick masonry typically on the first and second story, plus one story on the corner towers; stucco on the rest of the façade, including the cornice; the cornice brackets will be a Fypon product (molded, high-density rigid polyurethane) and will be painted; the walls of the recessed balconies will have cement board siding; the storefronts will be made of extruded aluminum; the doors are painted insulated steel with lite; and the residential windows will be aluminum.

The parking garage will be enclosed by the residential structure and will not be visible from the street. There will be an entrance to the garage on State Street and Central Street, both of which go through the building with residential units above. The garage will be used for the use of the residents and their guests, not open to the general public. The gates at both entrances will be set back to allow two vehicles to stack off the right-of-way. An off-street loading/unloading space for the residents is provided on the southern edge of the property along South Central Street, next to the KUB substation.

The gateway through the building shown on the Commerce Avenue elevation is pedestrian only and leads to a courtyard with landscaping and a pool.

The signage package includes the following: 1) Flush mounted sign on the steel walkway railing above the pedestrian gateway on the Commerce Avenue elevation (17 feet wide and 27 square feet). 2) Projecting signs on the towers at the corners of Commerce Avenue with State Street and Central Street, which will be a 24-foot tall and 2 feet 3 inches wide (57 square feet), and internally illuminated with LEDs. The cabinet will be extruded aluminum with aluminum faces that are routed for dimensional, push-thru graphics with raised acrylic lettering. 3) Roof sign on the South Central Street elevation are channel letters with polycarbonate faces (5 feet tall and 53 feet wide, 270 square feet). Each letter will be internally illuminated with LEDs (see the "Sign" sheet).

The exterior lighting of the façade includes wall mounted cylinder fixtures on the two towers at the corners of Commerce

Avenue with State Street and Central Street, and smaller wall mounted fixtures distributed along all street facing façades, typically between the first and second story above ground level (see sheets LS1.0 and LS1.1).

----- January 2014 Meeting -----

Install a roof sign above the South Central Street elevation that is 5 feet tall and approximately 53 feet wide (270 square feet). The sign will be made of individual channel letters with polycarbonate faces and they will be internally illuminated with LEDs.

APPROVE Certificate 9-B-13-DT subject to the following conditions: 1) Cementitious stucco be used as drawn in the plans on the upper portion of the building, and that EFIS not be used, and 2) to have the opportunity for live-work units along the first floor facing State Street.

**THIS CERTIFICATE IS NOT A BUILDING PERMIT AND THIS APPROVAL IS NOT A SUBSTITUTE FOR ANY OTHER REVIEWS OR PERMITS THAT MIGHT BE REQUIRED. THIS CERTIFICATE IS NOT FINAL OR ENFORCEABLE UNTIL THE EXPIRATION OR EXHAUSTION OF ALL RIGHTS OF APPEAL.**

Any change in the work described on this Certificate requires additional review and approval by the Knoxville Downtown Design Review Board. The Design Review Board does not review interior work unless it affects the exterior portions of the building or is visible from the outside.

Approved by: Board/Mike Reynolds

Date: 1/15/2014



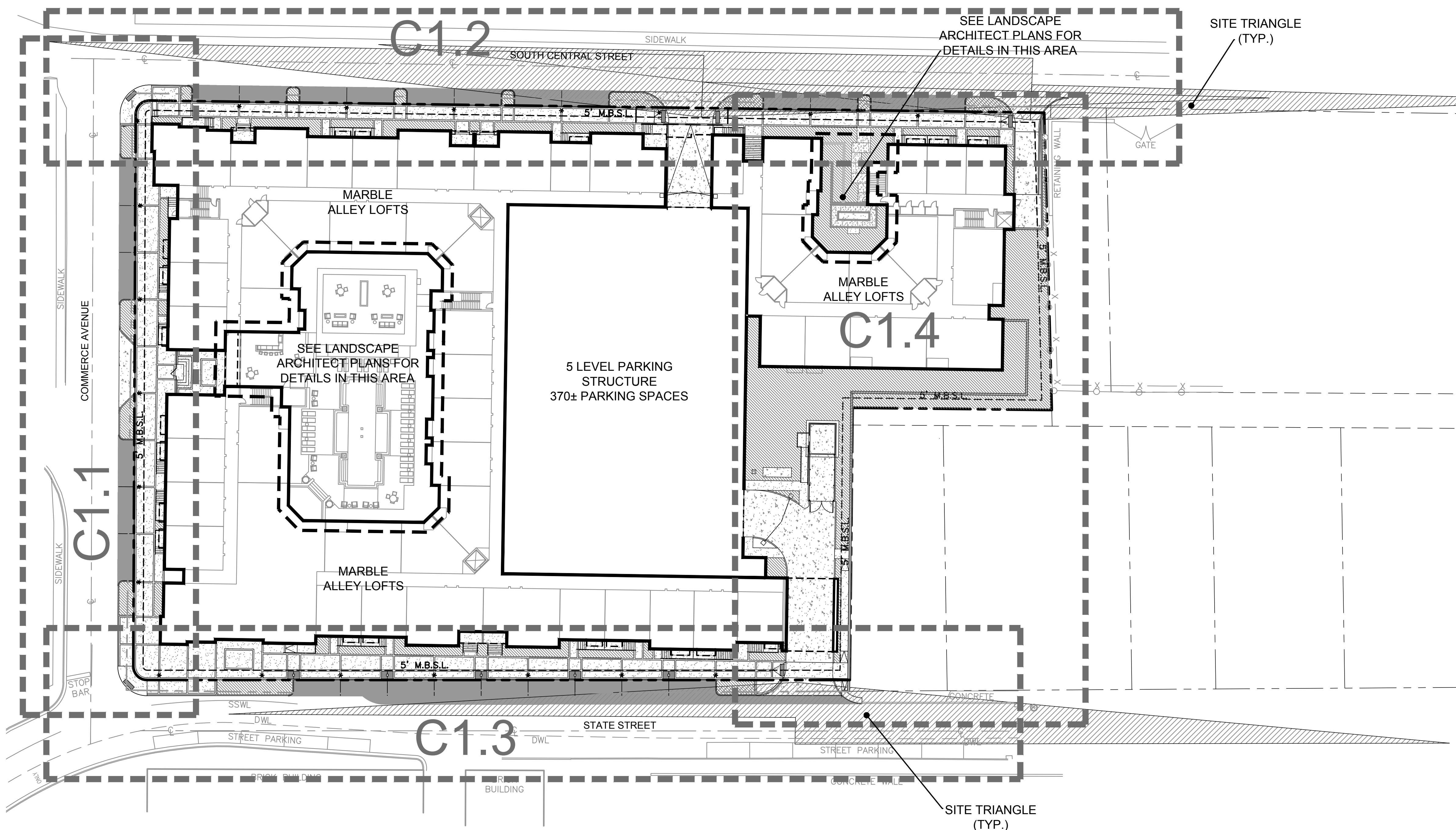
**PLAN REVIEW CERTIFICATION**

Plan Approved: [Signature] 3/26/14  
MPC Staff Date

Zone: D-1

MPC File #: 9-B-13-DT





**SITE DATA:**

**PROPERTY INFORMATION:**  
 STREET ADDRESS: 206 STATE STREET  
 CIVIL DISTRICT: 2nd CIVIL DISTRICT OF KNOX COUNTY  
 WARD: 6th WARD OF THE CITY OF KNOXVILLE  
 CITY BLOCK NUMBER: 05024  
 CTL MAP: 095 (INSERT "I", GROUP "A")  
 PARCEL: 005, 006, 007, 008, 009, 010, 021, 022  
 SITE ACREAGE: 2.83 AC.  
 TOTAL DISTURBED ACREAGE: 2.83 AC.

**OWNER/DEVELOPER:**  
 MARBLE ALLEY LOFTS, LLC  
 MR. BUZZ GOSS & MR. TIM KEACH  
 121 SOUTH GAY STREET  
 KNOXVILLE, TN 37902  
 (865) 546-1973  
 BUZZ@MARBLEALLEY.COM

**ARCHITECT:**  
 PARKER ASSOCIATES  
 JIM PARKER  
 2202 EAST 49TH ST, SUITE 200  
 TULSA, OK 74105  
 (918) 742-2485  
 jparker@parkertulsa.com

**CIVIL ENGINEER:**  
 RAGAN SMITH & ASSOCIATES, INC.  
 BRAD SLAYDEN, PE  
 315 WOODLAND STREET  
 NASHVILLE, TN 37206  
 (615) 244-8591  
 BSLAYDEN@RAGANSMITH.COM

**LANDSCAPE ARCHITECT:**  
 ALABACK DESIGN ASSOCIATES, INC.  
 DAN ALABACK  
 3202 EAST 21ST ST, SUITE 100  
 TULSA, OK 74114  
 (918) 742-1463  
 DAN\_ALABACK@ALABACKDESIGN.COM


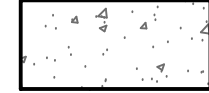
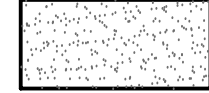

**ZONING INFORMATION:**  
 ZONING CLASSIFICATION: "C-2"/"D-1"  
 BUILDING SETBACKS:  
 FRONT: 5'  
 SIDE: N/A  
 REAR: N/A

**PROJECT INFORMATION:**  
 PROPOSED USE: MULTI-FAMILY  
 PROPOSED UNITS: 249  
 PROPOSED UNIT MIX: 174 1-BEDROOM  
 25 2-BEDROOM  
 ALLOWABLE BUILDING HEIGHT: UNLIMITED  
 PROPOSED BUILDING HEIGHT: +/-70' [TO TOP OF TOWER]  
 PROPOSED # OF BUILDING STORIES: 5 STORIES  
 MAXIMUM BUILDING COVERAGE: 100% BELOW 6 STORIES  
 PROPOSED BUILDING COVERAGE: LESS THAN 100%  
 PARKING REQUIRED: 0  
 PARKING PROVIDED: +/-370 IN GARAGE

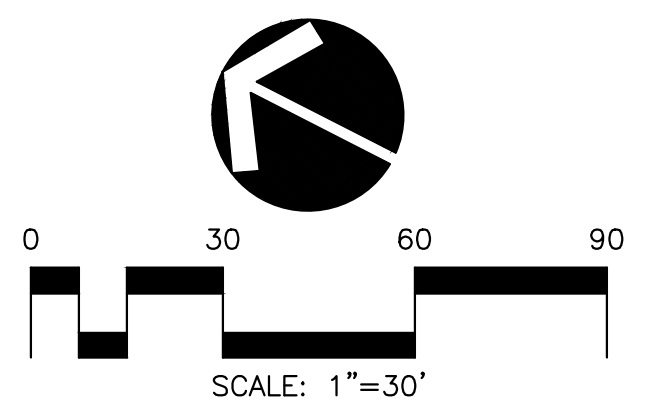
**SURVEY INFORMATION:**  
 BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY BY BENCHMARK ASSOCIATES, INC., DATED MAY 03, 2013; NAD83

**GEOTECHNICAL INFORMATION:**  
 A GEOTECHNICAL STUDY WAS CONDUCTED ON THIS SITE ON AUGUST 28, 2013 BY GEO SERVICES. THE DESIGN FOR SITE IMPROVEMENTS SHOWN ON THIS PLAN HAS RELIED ON THE DATA, CONCLUSIONS AND RECOMMENDATIONS OF THAT STUDY. IF, IN THE PURSUIT OF THIS WORK BY THE CONTRACTOR, CONDITIONS OR CIRCUMSTANCES ARE ENCOUNTERED THAT ARE DIFFERENT THAN REFLECTED IN THESE PLANS OR THAT APPEAR TO IMPACT THE SCOPE OF THE WORK, THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE CIVIL ENGINEER, THE GEOTECHNICAL ENGINEER AND THE OWNER/DEVELOPER. BEFORE ANY REMEDIAL COURSE OF ACTION OR DESIGN CHANGE IS INITIATED, ALL PARTIES TO THE PROCESS (OWNER, CIVIL ENGINEER, GEOTECHNICAL ENGINEER, AND CONTRACTOR) MUST BE IN AGREEMENT AND THE MAGNITUDE OF THE COST/TIME REQUIRED FOR THE MEASURES ESTABLISHED.

**PAVEMENT LEGEND**

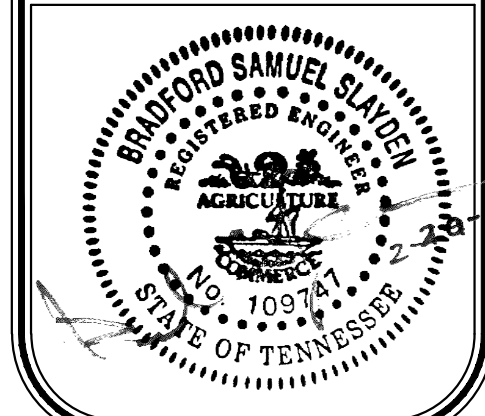
-  HEAVY DUTY ASPHALT PAVEMENT
-  CONCRETE PAVEMENT
-  CONCRETE SIDEWALK
-  LANDSCAPE AREA

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**RAGAN SMITH**  
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NASHVILLE  
 P.O. BOX 6070  
 1100 MARKET STREET  
 CHATTANOOGA, TN 37402  
 (615) 244-8591  
 www.ragan-smith.com



**MARBLE ALLEY LOFTS**  
 FOR  
**TDK DEVELOPMENT**

COMMERCIAL AVENUE, STATE STREET, SOUTH CENTRAL STREET, MARBLE STREET  
 2ND CIVIL DISTRICT, CITY OF KNOXVILLE, KNOX COUNTY, TENNESSEE

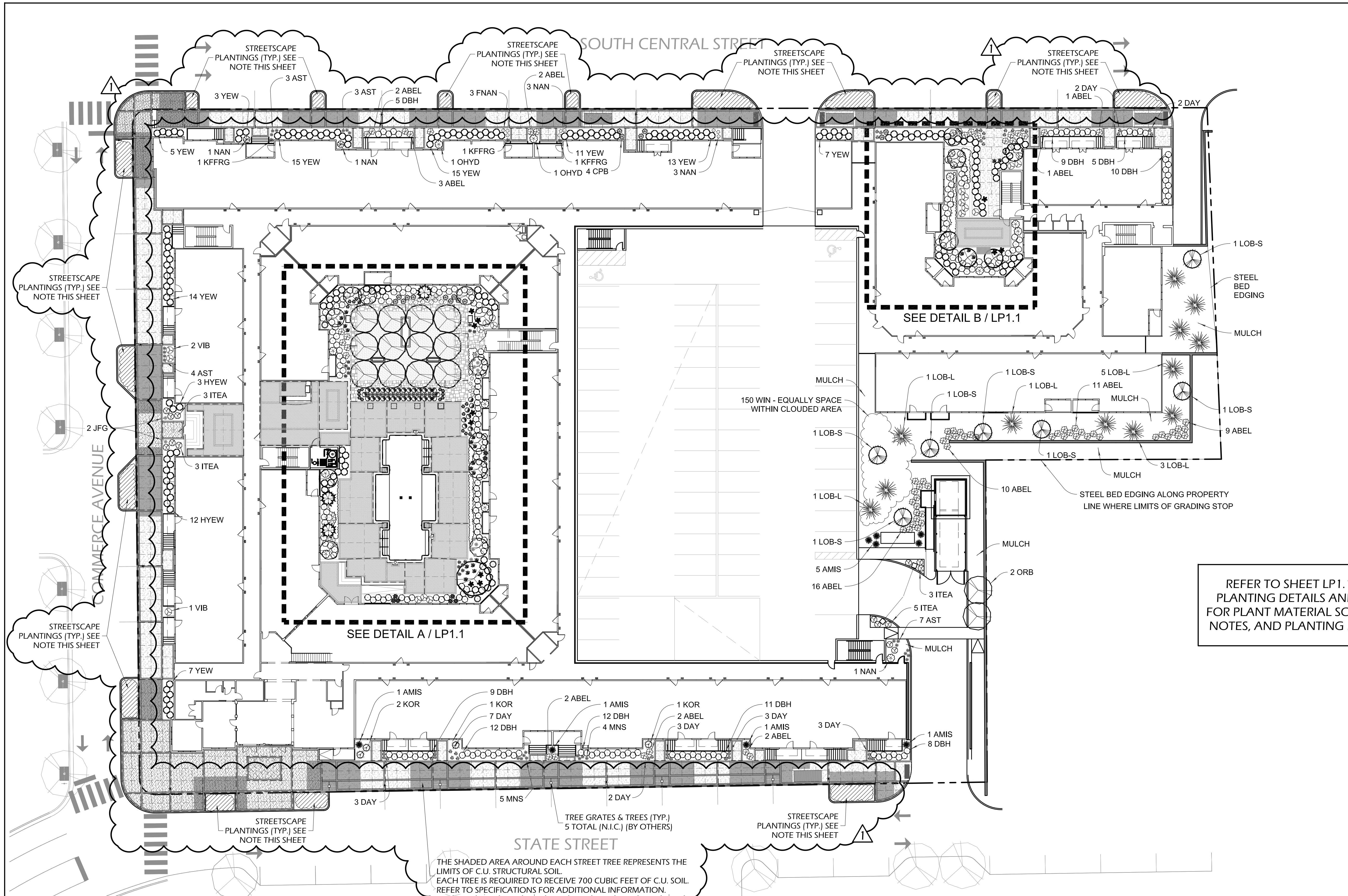
DATE	SEPT. 27, 2013
SCALE	1"=30'
DRAWN	R. HIRSCH
DESIGNED	B. SLAYDEN
WK. ORDER	9664
JOB NO.	13-017

**SITE LAYOUT PLAN**

**C1.1**

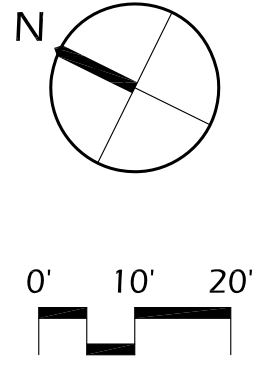
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REFER TO SHEET LP1.1 FOR PLANTING DETAILS AND LP1.2 FOR PLANT MATERIAL SCHEDULE, NOTES, AND PLANTING DETAILS.

**STREETSCAPE PLANTING LEGEND**  
 STREETSCAPE PLANTING. TO BE PROVIDED BY OTHERS. REFER TO MARBLE ALLEY STREETSCAPE DESIGN.



**Marble Alley Lofts**  
 Knoxville, Tennessee



LANDSCAPE ARCHITECTS  
 3302 E 21st ST.  
 SUITE 100  
 TULSA, OK 74114  
 918.742.1463  
 FAX 918.742.1479  
 dan@aldrickdesign.com  
 aldrickdesign.com



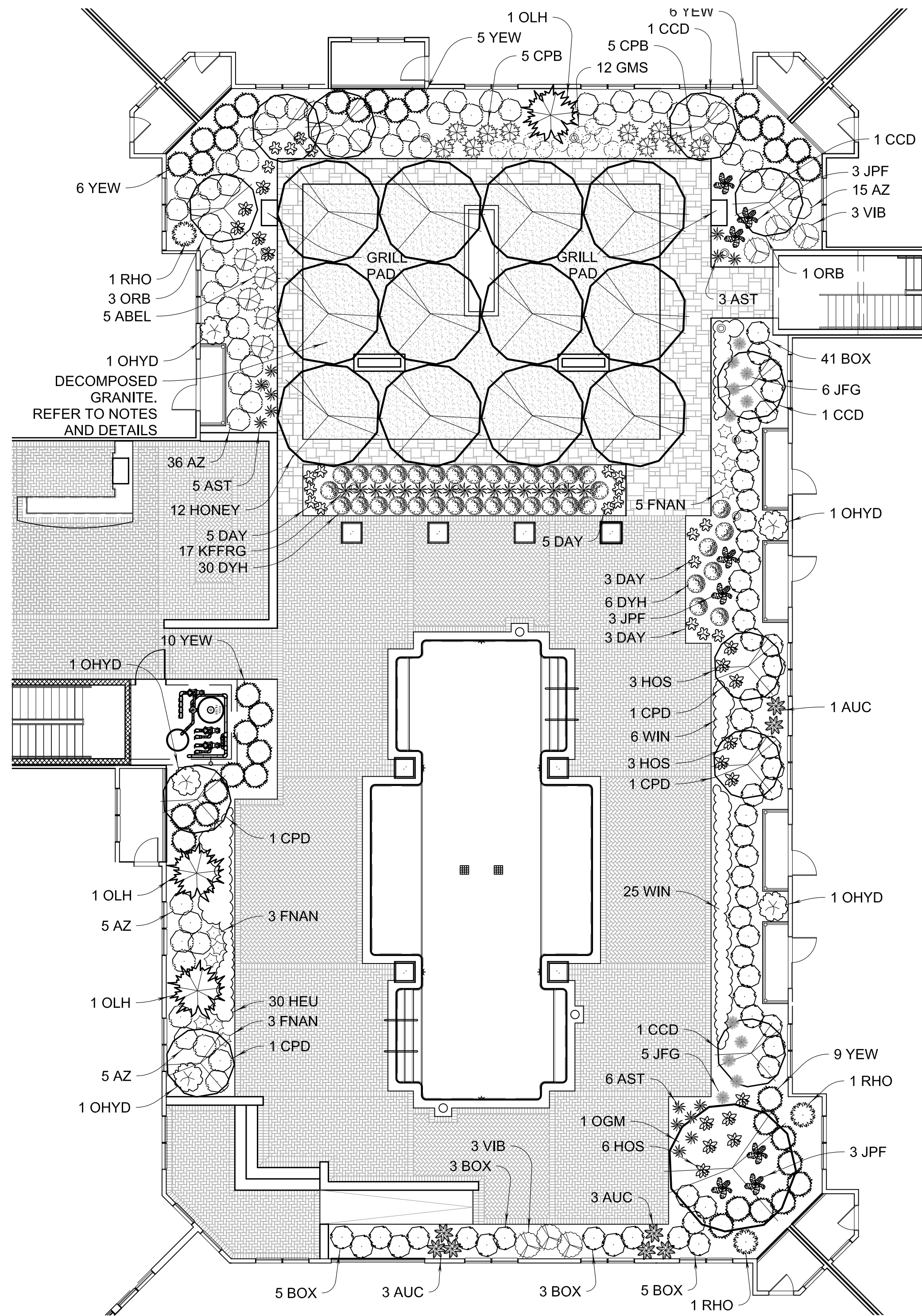
TDK CONSTRUCTION COMPANY, INC.  
 1610 S. CHURCH STREET  
 MURFREESBORO, TN



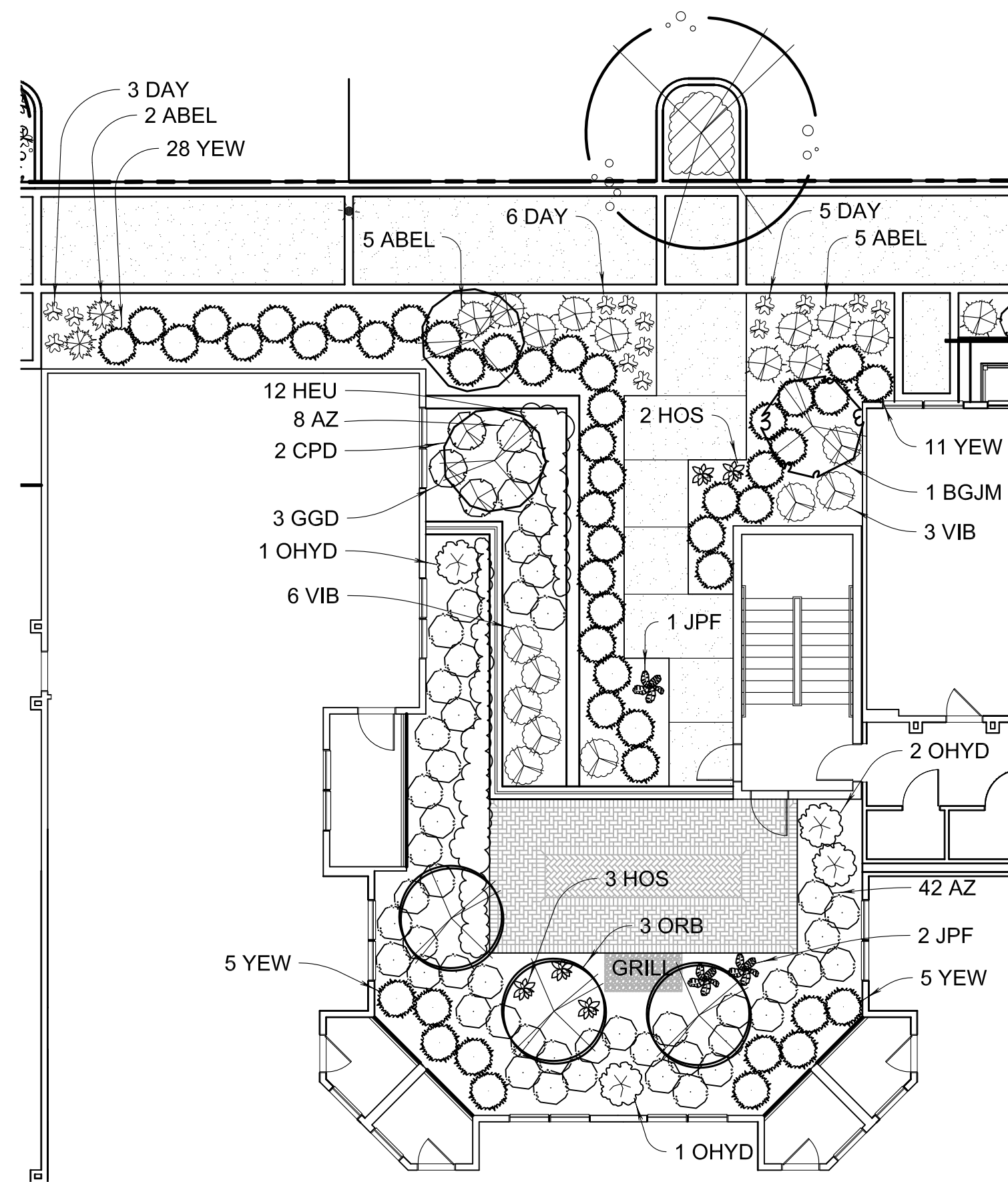
JOB NUMBER: 13025  
 DRAWN BY: JSD, BBD, JRM  
 DATE: 12/02/2013  
 REVISION # 3/19/2014

LANDSCAPE PLAN  
 SHEET NUMBER **LP1.0** OF 07



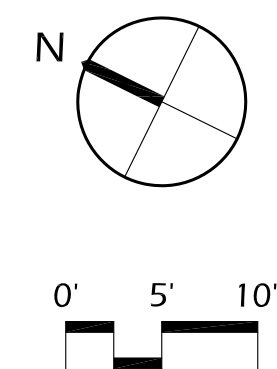


**A** PLANTING DETAIL - A  
SCALE : 1" = 10'-0"



**B** PLANTING DETAIL - B  
SCALE : 1" = 10'-0"

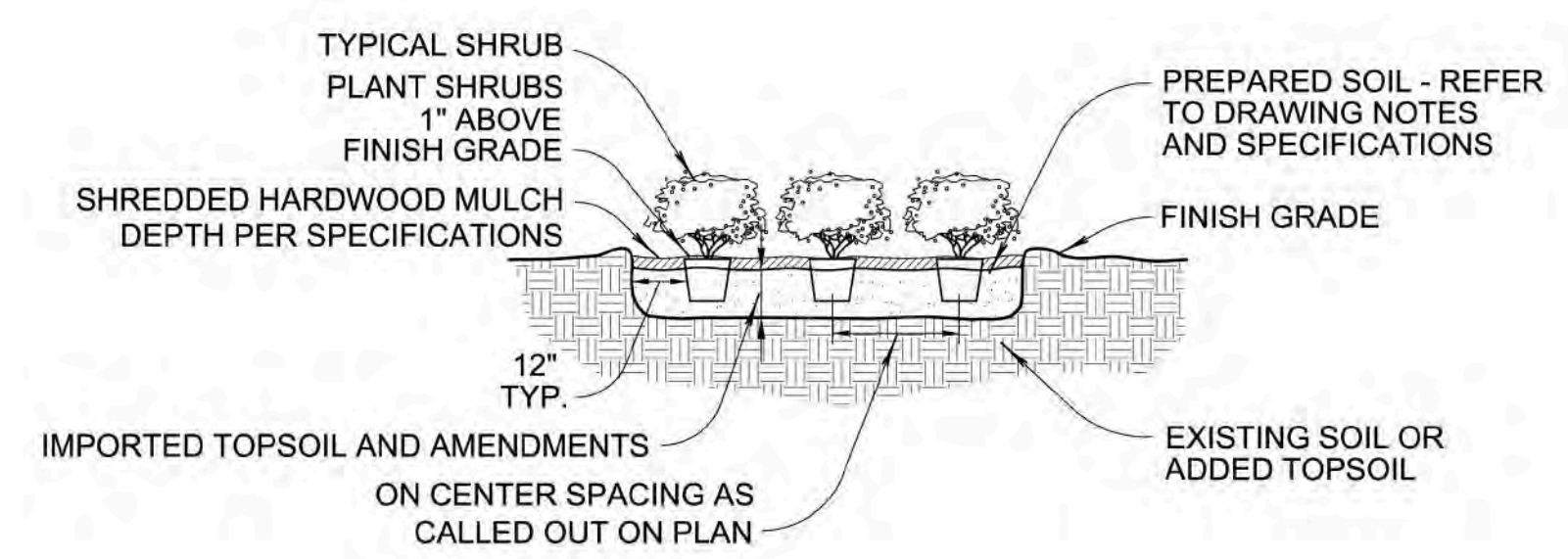
REFER TO SHEET LP1.0 FOR OVERALL LANDSCAPE PLAN AND LP1.2 FOR PLANT MATERIAL SCHEDULE, NOTES, AND PLANTING DETAILS.



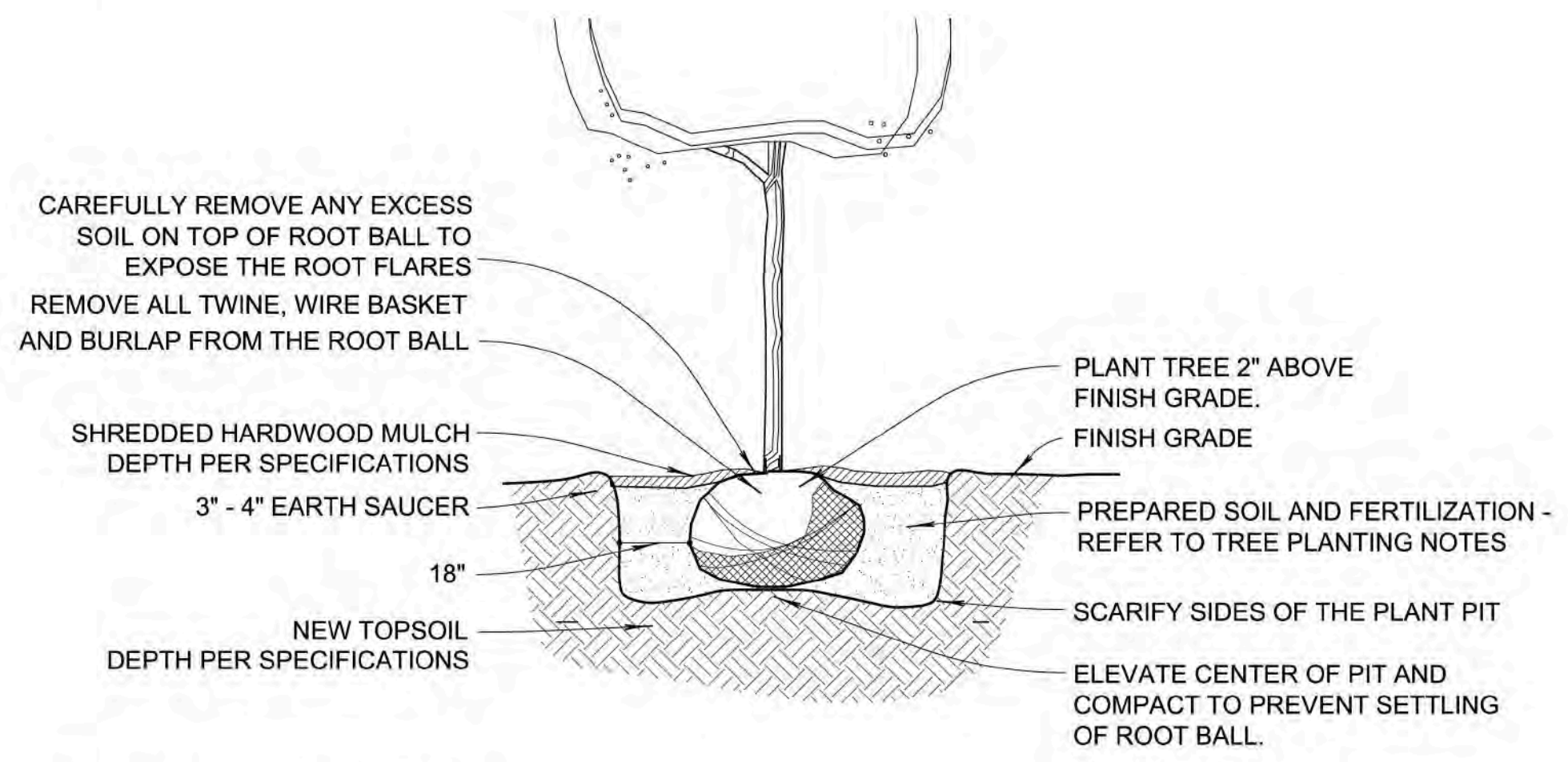
<h3>Marble Alley Lofts</h3> <p>Knoxville, Tennessee</p>	
<p>LANDSCAPE ARCHITECTS 3302 E 21st ST. SUITE 100 TULSA, OK 74114 918.742.1463 FAX 918.742.1479 dan@aldrickdesign.com aldrickdesign.com</p>	<p>TDK CONSTRUCTION COMPANY, INC. 1610 S. CHURCH STREET MURFREESBORO, TN</p>
	<p>JOB NUMBER: 13025 DRAWN BY: JSD, BBD, JRM DATE: 12/02/2013</p>
<p>LANDSCAPE PLAN</p> <p>NUMBER <b>LP1.1</b> OF <b>OF</b></p>	



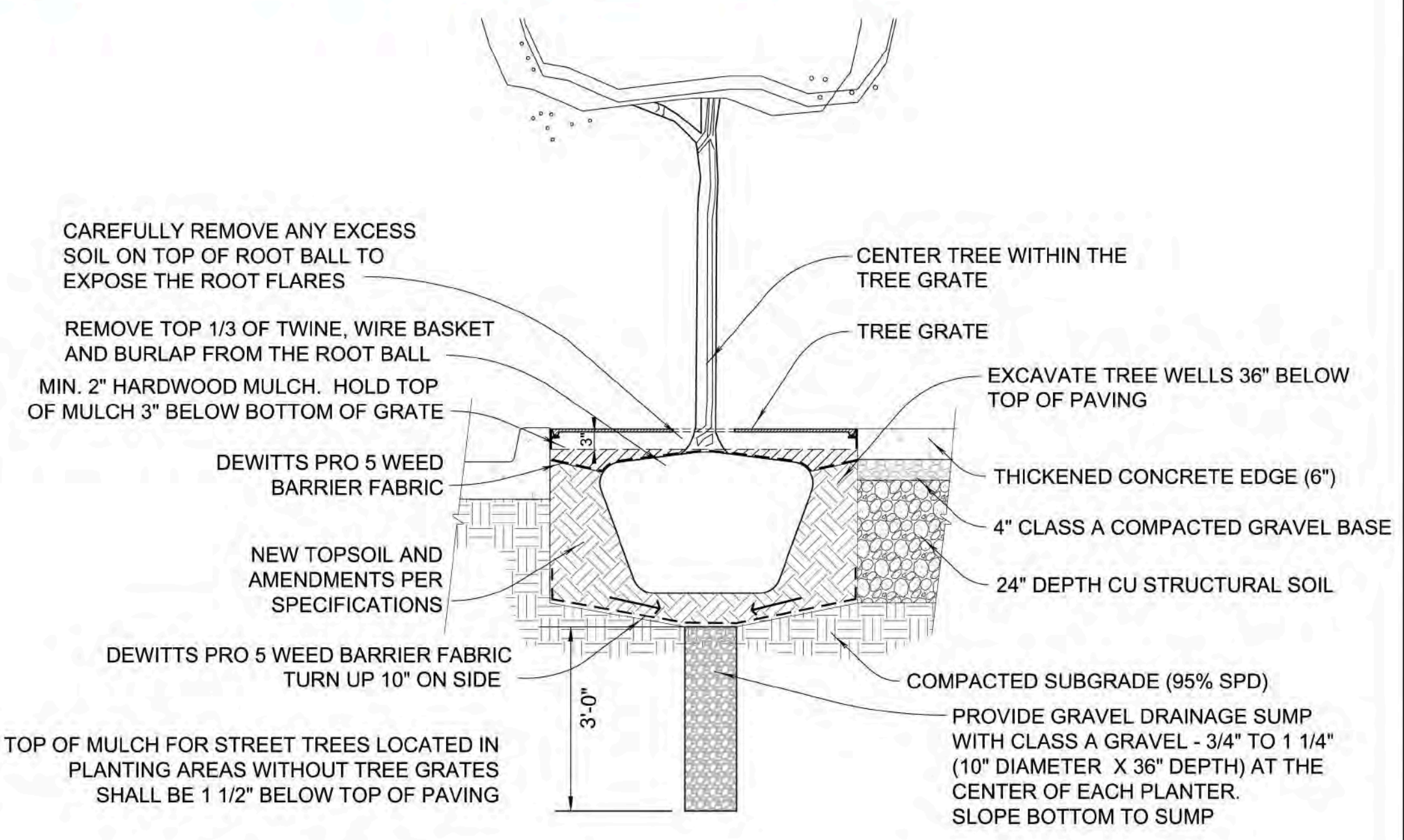
# The planting details will be approved by the City Engineering Department as part of their permit approval process.



**SHRUB PLANTING DETAIL**  
NOT TO SCALE



**TREE PLANTING DETAIL**  
NOT TO SCALE



**STREET TREE PLANTING DETAIL**  
SCALE: 1/2" = 1'-0"

**GENERAL NOTES**

CALL 811 FOR INFORMATION ON THE LOCATION OF ALL UNDERGROUND UTILITIES.

THE FOLLOWING NOTES ARE A PARTIAL SUMMARY OF SPECIFICATIONS. REFER TO THE FOLLOWING SPECIFICATION SECTIONS: SECTION 02810 - IRRIGATION SYSTEM AND SECTION 02950 - PLANT MATERIAL & OPERATIONS

CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE UTILITIES (BOTH OVERHEAD AND BURIED) WHICH MAY OCCUR DUE TO HIS ACTION OR LACK OF ACTION ON THE PROJECT SITE DURING LANDSCAPE OR IRRIGATION INSTALLATION. CONTRACTOR SHALL SEEK THE ASSISTANCE OF LOCAL UTILITIES AND THE OWNER IN LOCATING THE UTILITIES PRIOR TO PERFORMING TRENCHING OPERATIONS IN ANY AREA.

PLANT TREES TWO (2) INCHES ABOVE FINISHED GRADE. CUT TWINE FROM AROUND THE TRUNK AND REMOVE THE BURLAP FROM THE ROOT BALL. CAREFULLY REMOVE ANY EXCESS SOIL ON TOP OF ROOT BALL TO EXPOSE THE ROOT FLARES.

PLANT SHRUBS ONE (1) INCH ABOVE FINISHED GRADE.

FINISH GRADE OF TOPSOIL ADJACENT TO THE BUILDING SHALL BE 6" BELOW FINISH FLOOR ELEVATION. CROWN LANDSCAPE BEDS AS NEEDED TO DRAIN.

LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINE GRADING (1" +/-) AND PROPER PLANTING BED DRAINAGE.

**SOIL AMENDMENT**

ALL PLANTING AREAS NEXT TO THE BUILDING AND IN THE COURTYARDS: ALL SHRUB AND TREE PLANTING AREAS SHALL RECEIVE A 24" DEEP TOPSOIL MIXTURE ALONG WITH A 3" DEPTH OF BACK TO EARTH AND 1" DEPTH OF STERILIZED COW MANURE. ROTO-TILL AMENDMENTS WITH IMPORTED TOPSOIL INTO THE TOP 10 INCHES. INCORPORATE ROOTS TRANSPLANT 1-STEP TO ALL PLANTING BEDS. APPLY TRANSPLANT 1-STEP AT A RATE OF 5 POUNDS PER 100 SQUARE FEET. INCORPORATE ROOTS TRANSPLANT 1-STEP INTO THE TOP 3"-4" OF TOPSOIL. THOROUGHLY BLEND THE SOIL MIX UNTIL TOPSOIL AND AMENDMENTS ARE A SMOOTH, EVEN MIXTURE. DO NOT WORK BEDS WHEN FROZEN OR MUDDY CONDITIONS ARE PRESENT. PROVIDE POSITIVE DRAINAGE OUT OF BED AND/OR TO AREA DRAINS.

ALL STREETSCAPE PLANTERS AND STREETSIDE PLANTING BEDS: ALL SHRUB AND TREE PLANTING AREAS SHALL RECEIVE A 30" DEEP TOPSOIL MIXTURE ALONG WITH A 3" DEPTH OF BACK TO EARTH AND 1" DEPTH OF STERILIZED COW MANURE. ROTO-TILL AMENDMENTS WITH IMPORTED TOPSOIL INTO THE TOP 10 INCHES. INCORPORATE ROOTS TRANSPLANT 1-STEP TO ALL PLANTING BEDS. APPLY TRANSPLANT 1-STEP AT A RATE OF 5 POUNDS PER 100 SQUARE FEET. INCORPORATE ROOTS TRANSPLANT 1-STEP INTO THE TOP 3"-4" OF TOPSOIL. THOROUGHLY BLEND THE SOIL MIX UNTIL TOPSOIL AND AMENDMENTS ARE A SMOOTH, EVEN MIXTURE. DO NOT WORK BEDS WHEN FROZEN OR MUDDY CONDITIONS ARE PRESENT. PROVIDE POSITIVE DRAINAGE OUT OF BED AND/OR TO AREA DRAINS.

**ORGANIC MULCH**

MULCH ALL PLANTING BEDS AND TREE WELLS WITH SHREDDED HARDWOOD MULCH TO A DEPTH OF TWO (2) INCHES. TOP OF MULCH LAYER SHALL BE PLACED 1" BELOW TOP OF CURBS, WALKS, AND STEEL BED EDGING.

**DECOMPOSED GRANITE**

DECOMPOSED GRANITE SHALL BE NO LARGER THAN 3/8" DIAMETER AND REDDISH BROWN IN COLOR (PROVIDE A 1/2 LB. SAMPLE). PLACE DECOMPOSED GRANITE IN COURTYARD AREA SHOWN TO A DEPTH OF 3". MATERIAL SHALL BE FREE OF FOREIGN SOILS, DEBRIS, GRAVEL, ROCK AND ORGANIC MATERIAL. DECOMPOSED GRANITE SHALL BE PLACED OVER DEWITTS PRO 5 FILTER FABRIC. PROVIDE 6" METAL STAPLES AT 18" O.C. TO SECURE FILTER FABRIC. MATERIAL TO BE SPREAD EVENLY. WATER IN AFTER PLACEMENT AND USE A PLATE COMPACTOR.

**GRADING**

PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AND OUT OF PLANTING BEDS. GRADING SHALL BE PERFORMED TO PREVENT PONDING IN LANDSCAPE AREAS. GRADE TO DRAINS PROVIDED.

FINISH GRADING SHALL PROVIDE A SMOOTH TRANSITION TO EXISTING GRADE AND BE FREE OF DEPRESSIONS OR OTHER IRREGULARITIES. SETTLING OF SOIL SHALL BE REPAIRED BY LANDSCAPE CONTRACTOR.

**IRRIGATION**

REFER TO IRRIGATION DRAWINGS FOR DESIGN, DETAILS AND NOTES. COORDINATE LANDSCAPE INSTALLATION WITH IRRIGATION INSTALLATION.

PLANT MATERIAL SCHEDULE					
QUANT.	TAG	COMMON NAME	BOTANICAL NAME	SIZE/REMARKS	SPACING
14	SOAK	SHUMARD OAK	QUERCUS SHUMARDII	4" CAL.; 18'-20' HT.; 6'-8" SPD.; CENTRAL LEADER; MATCHING CANOPY	
12	HONEY	SKYLINE HONEYLOCUST	GLEDITSIA TRIACANTHOS VAR. INERMIS 'SKYLINE'	4" CAL.; 18'-20' HT.; 6'-8" SPD.; CENTRAL LEADER; MATCHING CANOPY	
5	ELM	EVERCLEAR ELM	ULMUS PARVIFOLIA 'BSNUPF'	4" CAL.; 18'-20' HT.; 4'-5' SPD.; B&BL FULL; CENTRAL LEADER; MATCHING CANOPY	
1	OGM	OCTOBER GLORY MAPLE	ACER RUBRUM 'OCTOBER GLORY'	4" CAL.; 18'-20' HT.; 4'-5' SPD.; B&BL FULL; CENTRAL LEADER; MATCHING CANOPY	
1	BGJM	BLOODGOOD JAPANESE MAPLE	ACER PALMATUM 'BLOODGOOD'	3" CAL.; 10'-12' HT.; 7'-8' SPD; B&B; FULL	
6	CPD	CHEROKEE PRINCESS DOGWOOD	CORNUS FLORIDA 'CHEROKEE PRINCESS'	2" CAL.; 7'-8' HT.; FULL	
4	CCD	CHEROKEE CHIEF DOGWOOD	CORNUS FLORIDA 'CHEROKEE CHIEF'	2" CAL.; 7'-8' HT.; FULL	
8	ORB	OKLAHOMA REDBUD	CERCIS RENIFORMIS	2" CAL.; 6'-7' HT.; FULL	
12	LOB-L	LOBLOLLY PINE (LARGE)	PINUS TAEDA	3" CAL.; 9'-10' HT.; 6'-7' SPD; CENTRAL LEADER; B&B; FULL	
7	LOB-S	LOBLOLLY PINE (SMALL)	PINUS TAEDA	2" CAL.; 7'-8' HT.; 4'-5' SPD; CENTRAL LEADER; B&B; FULL	
3	OLH	OAKLEAF HOLLY	ILEX X 'CONAF'	45 GALLON; 7'-8' HT.; FULL TO GROUND	
175	YEW	DENSE SPREADING YEW	TAXUS X MEDIA 'DENSIFORMIS'	18"-24" HEIGHT, B&B	36" O.C.
15	HYEW	HICKS YEW	TAXUS X MEDIA 'HICKSII'	24" MIN. HEIGHT, B&B	36" O.C.
2	LORO	EVER RED LOROPETALUM	LOROPETALUM CHINENSE 'CHANG NIAN HONG'	5 GALLON; FULL	36" O.C.
18	VIB	WINTERHUR VIBURNUM	VIBURNUM NUDUM WINTERHUR	5 GALLON; FULL	36" O.C.
22	AMIS	ADAGIO DWARF MAIDEN GRASS	MISCANTHUS SINENSIS 'ADAGIO'	5 GALLON; FULL	36" O.C.
20	KFFRG	KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	5 GALLON; FULL	24" O.C.
23	ITEA	LITTLE HENRY SWEETSPIRE	ITEA VIRGINICA	5 GALLON; FULL	24" O.C.
3	NAN	STANDARD NANDINA	NANDINA DOMESTICA	5 GALLON; FULL	AS SHOWN
90	DBH	DWARF BURFORD HOLLY	ILEX CORNUTA 'BURFORDII NANA'	5 GALLON; FULL	30" O.C.
111	AZ	AUTUMN EMPRESS AZALEA	RHODODENDRON HYBRID 'CONLES'	3 GALLON; FULL	30" O.C.
37	DYH	DWARF YAUPON HOLLY	ILEX VOMITORIA 'NANA'	3 GALLON; FULL	24" O.C.
8	KOR	KNOCK OUT ROSE	ROSA SP. 'RADRAZZ'	3 GALLON; FULL	AS SHOWN
29	GMS	GOLDMOUND SPIRAEA	SPIRAEA JAPONICA 'GOLDMOUND'	3 GALLON; FULL	24" O.C.
78	ABEL	CANYON CREEK ABELIA	ABELIA X GRANDIFLORA 'CANYON CREEK'	3 GALLON; FULL	30" O.C.
73	FNAN	FLIRT NANDINA	NANDINA DOMESTICA 'MURASAKI'	3 GALLON; FULL	24" O.C.
105	BOX	GREEN VELVET BOXWOOD	BUXUS 'GREEN VELVET'	3 GALLON; FULL	30" O.C.
34	CPB	ROYAL BURGUNDY BARBERRY	BERBERIS THUNBERGII 'GENTRY CULTIVAR'	3 GALLON; FULL	24" O.C.
8	AUC	MR. GOLDSTRIKE AUCUBA	AUCUBA JAPONICA 'MR. GOLDSTRIKE'	3 GALLON; FULL	AS SHOWN
3	RHO	ABBEY'S RE-VIEW RHODODENRON	RHODODENDRON HYBRID 'GREARV'	3 GALLON; FULL	AS SHOWN
3	GGD	GARDEN GLOW DOGWOOD	CORNUS HESSEYII 'GARDEN GLOW'	3 GALLON; FULL	36" O.C.
11	OHYD	SNOWFLAKE OAKLEAF HYDRANGEA	HYDRANGEA QUERCIFOLIA 'SNOWFLAKE'	3 GALLON; FULL	AS SHOWN
22	HOSTA	PATRIOT PLANTAIN LILY	HOSTA X 'PATRIOT'	3 GALLON; FULL; SPRING INSTALLATION ONLY	AS SHOWN
11	JPF	JAPANESE PAINTED FERN	ATHYRIUM NIPONICUM 'PICTUM'	3 GALLON; FULL; SPRING INSTALLATION ONLY	AS SHOWN
19	JFG	JAPANESE FOREST GRASS	HAKONECHLOA MACRA 'ALL GOLD'	1 GALLON; FULL; SPRING INSTALLATION ONLY	AS SHOWN
75	DAY	HAPPY RETURNS DAYLILY	HEMEROCALIS SPP. 'HAPPY RETURNS'	1 GALLON; FULL; SPRING INSTALLATION ONLY	AS SHOWN
9	MNS	MAY NIGHT SALVIA	SALVIA NEMOROSA 'MAINACHT'	1 GALLON; FULL; SPRING INSTALLATION ONLY	AS SHOWN
36	AST	FANAL ASTILBE	ASTILBE X ARENDII 'FANAL'	1 GALLON; FULL; SPRING INSTALLATION ONLY	AS SHOWN
251	WIN	WINTERCREEPER EUONYMUS	EUONYMUS FORTNUEI 'COLORATUS'	1 GALLON; FULL; SPRING INSTALLATION ONLY	18" O.C OR AS INDICATED
42	HEU	PEACH FLAMBE HEUCHERA	HEUCHERA 'PEACH FLAMBE'	1 GALLON; FULL; SPRING INSTALLATION ONLY	18" O.C
200 LF	SBE	STEEL BED EDGING	RYERSON 3/16" x 4" OR APPROVED EQUAL	6" POTS; SPRING INSTALLATION ONLY	
6		SORELLA PLANTER POT	www.landscapiforms.com	45" x 45" x 30"	AS SHOWN

**PLANTER POT**  
CONTRACTOR TO PROVIDE POTS AS SPECIFIED ALONG WITH RIVER ROCK DRAINAGE, POTTING SOIL, AND INSTALLATION OF INITIAL SEASONAL COLOR. INSTALL 8" DEPTH OF 3/4" RIVER ROCK IN BOTTOM OF POT. PLACE DEWITTS PRO-V FILTER FABRIC ON TOP OF ROCK AND 6" UP THE SIDE. FILL POT WITH MIRACLE-GRO MOISTURE CONTROL POTTING MIX TO WITHIN 2" OF TOP OF POT. INSTALL SEASONAL COLOR, 4" POTS, AS APPROVED BY OWNER. PROVIDE 1" LAYER OF MULCH. COORDINATE DRIP IRRIGATION WITH POT PREPARATION.

REFER TO SHEET LP1.0 FOR OVERALL LANDSCAPE PLAN AND LP1.1 FOR COURTYARD AND POOL AREA PLANTING PLANS

**Marble Alley Lofts**  
Knoxville, Tennessee



JOB NUMBER: 13025  
DRAWN BY: JSD, BBD, JRM  
DATE: 12/02/2013

LANDSCAPE NOTES AND DETAILS  
SHEET NUMBER LP1.2 OF 2