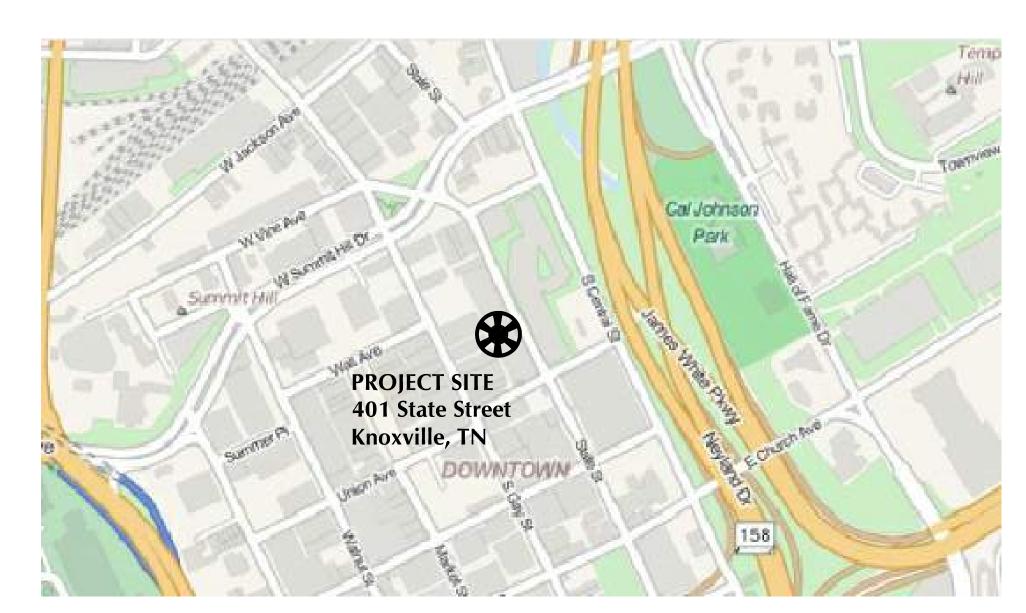
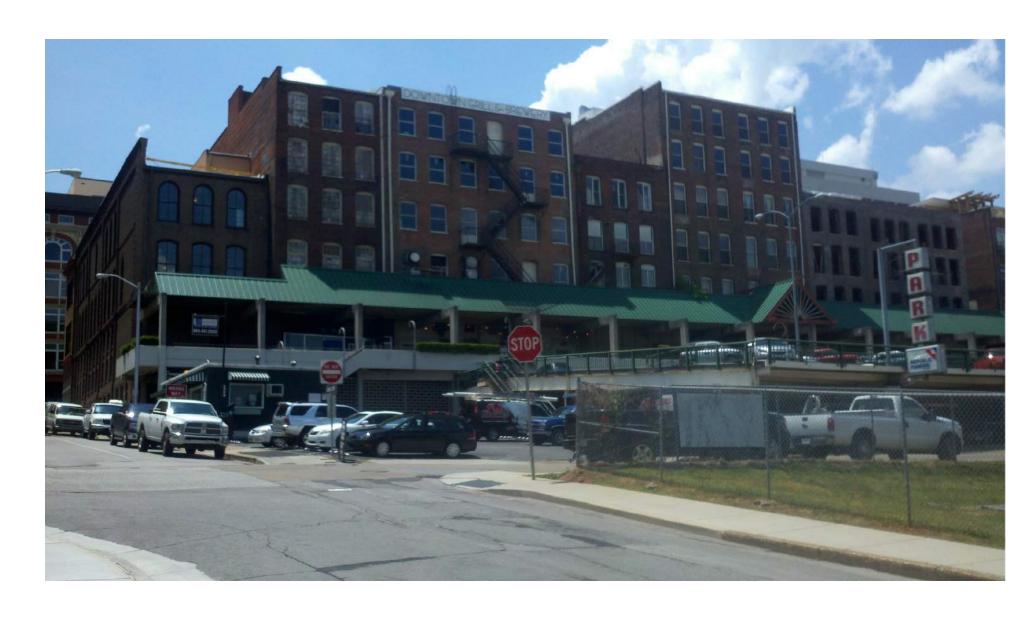
Downtown Knoxville Design Overlay District Certificate of Appropriateness

COMMISSION Name of Applicant:	BIDEN					
uite 403 • City County Building ☐ Owner ☐ Contractor ☒ Arc						
noxville, Tennessee 37902 Date Filed: 2/0/// Applic	cation accepted by: Missel Reynolds					
AX.215.2068 www.knoxmpa.org Fee Amount: \$50 Review 1	Date: <u>2/19/15</u> File Number: <u>2-F-15-D7</u>					
PRE-APPLICATION CONFERENCE	PRE-APPLICATION CONFERENCE Date Completed;					
PROPERTY INFORMATION	PROJECT ARCHITECT/ENGINEER					
Building or Project Name: PBA PROMENADE	Name: JOHNSON ARCHITECTURE INC.					
RE-ROOF	Company: JOSH BIDEN/ERIC BOWEN					
Street Address: 401 STATE STREET	Address: 2240 SUTHER LAND AVE. SUITE 105					
Parcel Identification Number(s):	City: KNOXVILLE State: TN Zip: 37919					
	Telephone: 865-671-9060					
PROPERTY OWNER	Fax:					
PLEASE PRINT NAME: PUBLIC BUILDING AUTHURITY	E-mail: jbiden@jainc.com					
Company: KNOX VILLE & KNOX CO.	PROJECT CONTRACTOR					
Address: KNOXVIVLE CITY COUNTY Bbs	PLEASE PRINT PLEASE PRINT PLEASE PRINT PLEASE PRINT PLANE PRINT PRINT PLANE PRINT PLANE PRINT PLANE PRINT PLANE PRINT PR					
City: KNOXVIUE State: TN Zip: 37962	Company: ELLEN FOWLER					
Telephone: 865 - 215 - 2121	Address: 1130 ATLANTIC AVE					
Fax:	City: KNOXVILLE State: TN Zip: 37917					
E-mail: Jgalyon@ Ktnpba.org	Telephone: 865-688-1111					
ACCOMPANYING MATERIALS	Fax:					
Please see the reverse side of this form for a list of information required as part of this application.	E-mail: Efowler@ Johnson galyon.com					
FOR OFFICE USE ONLY	PROJECT CONTACT					
PROJECT INFORMATION	All application-related correspondence should be directed to:					
LEVEL 1: \$50	Name: JOSH BIDEN					
 ☑ Minor Alteration of an Existing Building/Structure □ Sign 	Company: JOHNSON ARCH.					
	Address: 22 40 SUTHERLAND AVE					
LEVEL 2: \$100 Major Alteration of an Existing Building/Structure	City: KN&XVIUE State: TV Zip: 37919					
Addition to an Existing Building/Structure	Telephone: 865 - 671 - 9060					
LEVEL 3: \$250	Fax: 865-671-9061					
☐ Construction of New Building/Structure	E-mail: Jbiden @ jainc. com					

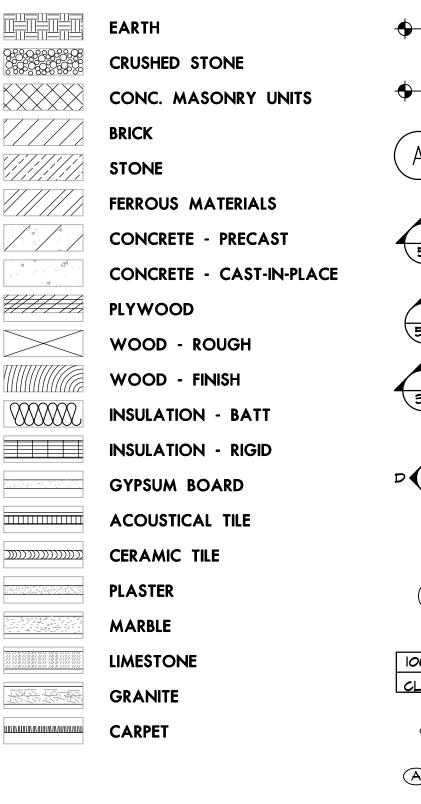
LOCATION



CONTEXT PHOTO



SYMBOLS



MAIN LEVEL LEVEL LINE (ELEVATION / SECTION) COLUMN LINE BUILDING / WALL SECTION DETAIL SHEET REFERENCE EXTERIOR ELEVATIONS INTERIOR ELEVATIONS DOOR NUMBER -ROOM NUMBER + LETTER IF MORE THAN ONE DOOR 106 ROOM NUMBER AND NAME CLASSROOM

WINDOW TYPE

ANUARY 22, 2005 REVISION NUMBER AND DATE

ACCESSORY TYPE

ENLARGED DETAIL

SLOPE OR DIRECTION INDICATOR

SURFACE ELEVATION (PLAN)

CODE REQUIREMENTS

Roof Renovation : Public Building Authority Promenade Garage ARCHITECT: Johnson Architecture, Inc. 865-671-9060 fax 865-671-9061 CONTACT: Eric Bowen - 865-671-9060 Applicable Codes: International Building Code w/ adopting ordinance International Mechanical Code w/ adopting ordinance International Plumbing Code w/ adopting ordinance International Fuel Gas Code w/ adopting ordinance 2012 International Fire Code w/ adopting ordinance 2012 National Electric Code w/ adopting ordinance 2008 2012 NFPA 101, Life Safety Code w/ adopting ordinance 2012 International Council Performance Code w/ adopt. ord. International Energy Conservation Code w/adopt. ord. 2012 2012 International Green Construction Code w/ adopt. ord.

Roof Renovation Area: 6,075 SF

ABBREVIATIONS

A: \$ @ ABV A/C ATC ADDL ADDL ADJ AFF	AND AT ABOVE AIR CONDITIONING ACOUSTICAL TILE CEILING ACCESS DOOR ADDITIONAL ADJACENT ABOVE FINISH FLOOR	D: DTL DETAIL DIA DIAMETER DIA DIAGRAM DIM DIMENSION DN DOWN DR DOOR DS DOWN SPOUT DWEDRAWING		
AHUM ALT AP B: BD DG BLK G B.M. BM BRG	AIR HANDLING UNIT ALUMINUM ALTERNATE ACCESS PANEL BOARD BUILDING BLOCK BLOCKING BENCH MARK BEAM BEARING	E: EA EACH EJ EXPANSION JOINT EL ELEVATION ELEC ELECTRICAL ELEV ELEVATION EMER EMERGENCY EOS EDGE OF SLAB EQUIP EQUIPMENT EMC ELECTRIC WATER COOLER EXIST EXISTING EXT EXTERIOR		
BRG PL C: CB CC C C C C C C C C C C C C C C C C	CATCH BASIN CONCRETE MASONRY UNIT CURB INLET CAST-IN-PLACE CONCRETE CEILING CLOSET CLEAR, CLEARANCE COLUMN CONCRETE CONFERENCE ROOM CONTINUOUS CONTRACTOR CORRIDOR CARPET CERAMIC TILE	F:		

GL GFRC GL BLK GR GYP BD GCMU	GLASS, GLAZING GLASS FIBER REINF. CONC GLASS BLOCK GRADE GYPSUM BOARD GLAZED CONCRETE MASON	MAX M.B. MH MER MECH MIN MTL MO	MAXIMUM MARKER BOARD MANHOLE MANUFACTURER MECHANICAL MINIMUM METAL MASONRY OPENING
H: H/C HC HD	HANDICAPPED HOLLOW CORE HAND, HEAD	MISC	MISCELLANEOUS
HDME	HARDWARE HOLLOW METAL	N:	NAME OF THE PARTY OF
HM HORIZ HGT	HORIZONTAL HEIGHT	NC NIC No	NONCOMBUSTIBLE NOT IN CONTRACT NUMBER
HP HR HSTWY	HIGH POINT HOUR HOISTWAY	N/A NTS	NOT APPLICABLE NOT TO SCALE
I: INSUL INT ID INV IPS	INSULATION INTERIOR INSIDE DIAMETER INVERT IRON PIPE SIZE	O: OC OD OFF OH OPNG OP.HD.	ON CENTER OUTSIDE DIAMETER OFFICE OVERHEAD OPENING OPPOSITE HAND
<u>J:</u>		P :	
TL V	JANITOR'S CLOSET JOINT	PC PL PLY	PRECAST PLASTER PLYWOOD
L: LAM LAV LH LTL LP LPT	LAMINATE LAVATORY LEFT HAND LINTEL LIGHT POLE LOW POINT	PLSLAM PLUMB PRELIM	

GALVANIZED

M: MAR MAX

MARBLE

DRAWING INDEX

ARCHITECTURAL

1.0 GENERAL NOTES

2.0 ROOF LEVEL DEMOLITION PLAN & ROOF PLAN

2.1 ENLARGED ROOF PLANS 2.2 ROOF DETAILS

SCOPE OF WORK

THE PROJECT INCLUDES THE DEMOLITION AND REMOVAL OF EXISTING ROOF SYSTEMS AND ROOF STRUCTURES ABOVE THE EXISTING OPEN AIR PROMENADE CONNECTED TO THE PROMENADE PARKING STRUCTURE LOCATED AT 401 STATE STREET IN DOWNTOWN KNOXVILLE, TENNESSEE. A NEW EPDM ROOF MEMBRANE AND SUBSTRATE WILL BE INSTALLED. THE EXISTING PROMENADE ROOF DECK IS APPROXIMATELY 22'-O" WIDE BY 360'-O" IN LENGTH. ALL PRIVATELY OWNED STRUCTURES AND ACCESSORIES ON CITY PROPERTY WILL BE REMOVED OR RELOCATED BY BUILDING TENANT PRIOR TO DEMOLITION & NEW CONSTRUCTION.

GENERAL NOTES

I. DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS PREVAIL. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION.

2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE PRIOR TO THE START OF ANY WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS PRIOR TO BIDDING AND SHALL BE FAMILIAR WITH ALL ASPECTS OF THE JOB, INCLUDING SITE UTILITIES.

3. ALL DIMENSIONS ARE TO FACE OF STUD, CENTERLINE OF COLUMN, FACE OF MASONRY OR CONCRETE, EDGE OF WALK OR FACE OF CURB UNLESS NOTED OTHERWISE. FOR FURTHER DIMENSIONING, SEE LARGE SCALE PLANS, SECTIONS, EXTERIOR ELEVATIONS, INTERIOR ELEVATIONS,

4. IN CASE OF DIMENSIONAL DISCREPANCIES BETWEEN ARCHITECTURAL AND ENGINEERING DRAWINGS, CONTACT ARCHITECT FOR CLARIFICATION.

5. ITEMS NOT INCLUDED IN GENERAL CONTRACTOR'S CONTRACT ARE MARKED "N.I.C." (NOT IN CONTRACT) AND SHALL BE PERFORMED BY OWNER'S OWN FORCES.

6. PROVIDE WOOD BLOCKING AS REQUIRED FOR ALL WALL MOUNTED EQUIPMENT OR ACCESSORIES. NAILERS, BLOCKING, AND OTHER ROUGH CARPENTRY ITEMS IN RATED ASSEMBLIES SHALL BE TREATED FOR FIRE RESISTANCE.

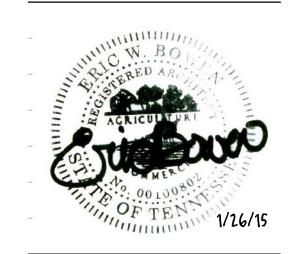
7. CAULK AT JUNCTURE OF INTERIOR FACES OF DOOR FRAMES, VIEW WINDOW FRAMES, EXTERIOR WINDOW FRAMES, CABINET WORK, RECESSED TOILET ACCESSORIES, SURFACE MOUNTED TOILET ACCESSORIES, ETC. WITH ADJACENT MATERIAL EVEN THOUGH JOINT MAY NOT BE VISIBLE.

<u> </u>	
REED REFL REINF REQ'D RES. FLR.	RADIUS, RISER REFERENCE ROOF DRAIN REFLECTED REINFORCED REQUIRED RESINOUS FLOORING ROOM
e D:	ROUGH OPENING RAIN MATER LEADER
OIM OPEC OS OTL OTOR	SHEET SIMILAR SPECIFICATIONS STAINLESS STEEL STEEL STORAGE STRUCTURE (STRUCTURAL)
:	
.B. EL :0.S.	TREAD TACK BOARD TELEPHONE TOP OF STEEL TOP OF WALL TYPICAL
	UNLESS NOTED OTHERWISE
ERT .	VINYL COMPOSITION TILE VERTICAL VERIFY IN FIELD

WATER CLOSET WATER HEATER

WELDED WIRE FABRIC





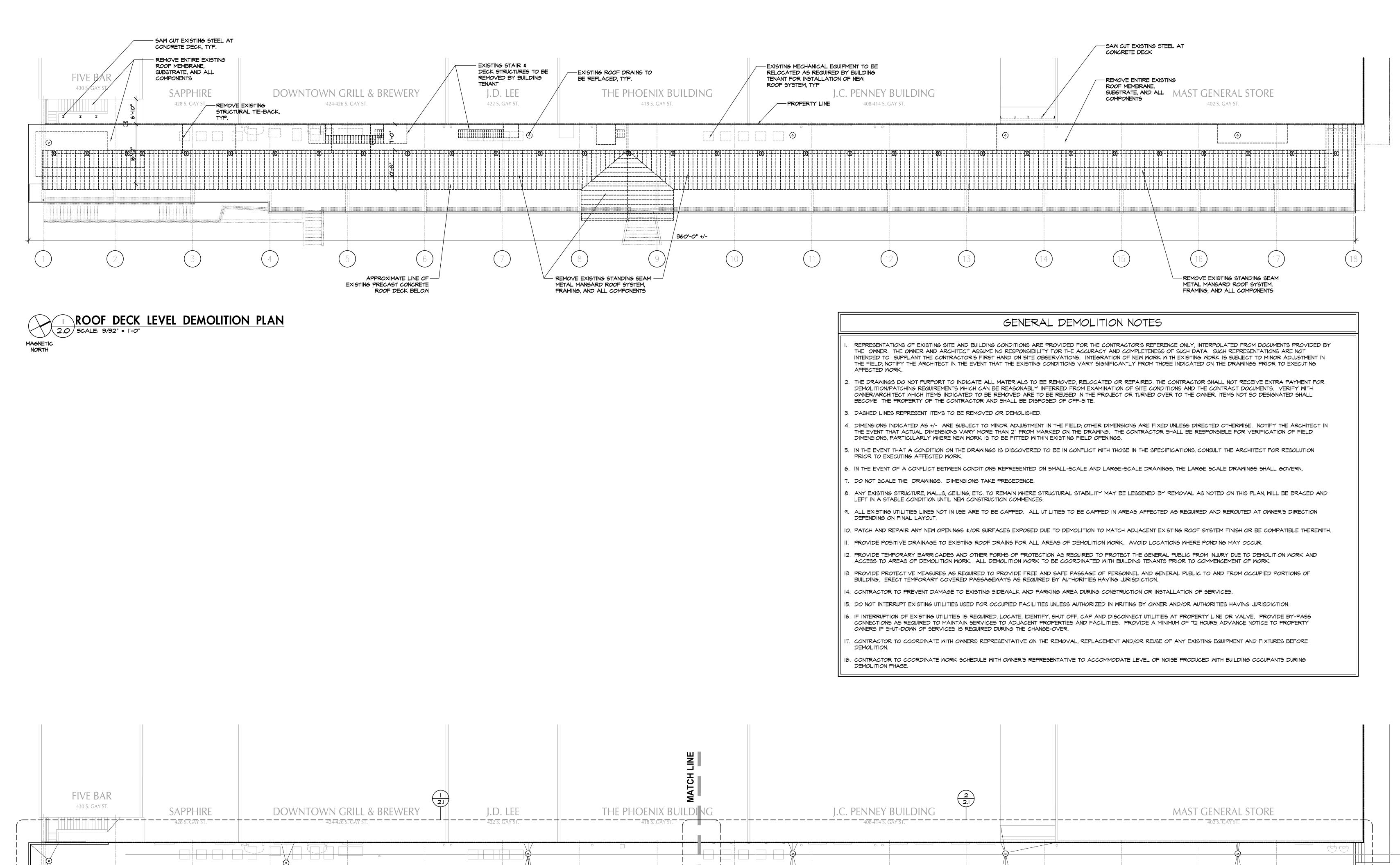
GENERAL NOTES

REVISIONS:

__ DATE:

__ PROJECT NO:

1/26/15 __ FILE NAME:



-EXISTING PATIO LEVEL BELOW

- EXISTING ROOF DRAINS TO BE REPLACED, TYP.

- NEW EPDM ROOF MEMBRANE SYSTEM, TYP.

-EDGE OF EXISTING ROOF DECK / NEW

ROOF SYSTEM, TYP.





jainc.com

TTY AND KNOXVILLE

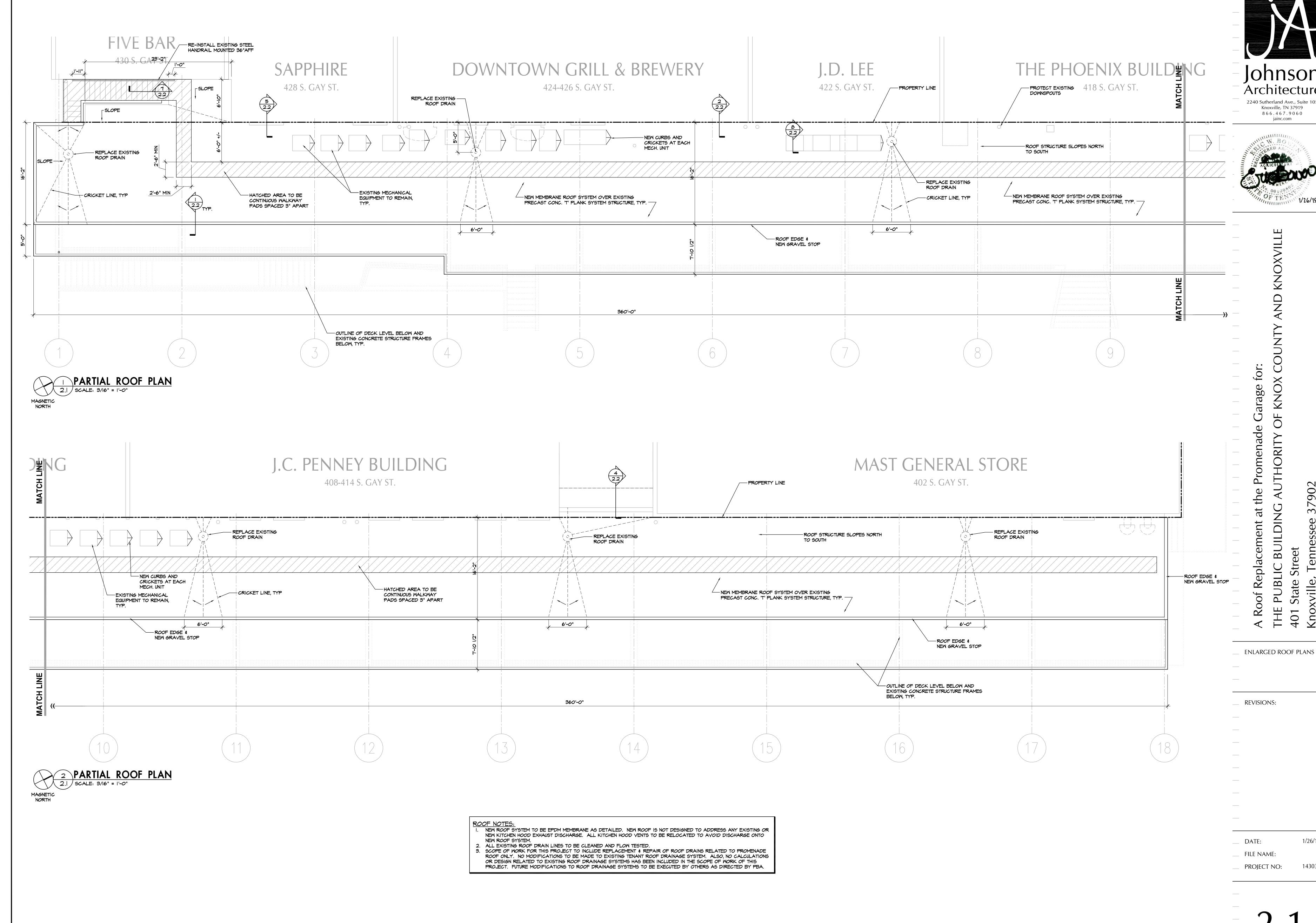
acement at the Promenade Garage for: BUILDING AUTHORITY OF KNOX COUNTY A

_ KOOF LEVEL
DEMOLITION PLAN
- & ROOF PLAN

REVISIONS:

_____ DATE: 1/26/15
____ FILE NAME:
___ PROJECT NO: 143031

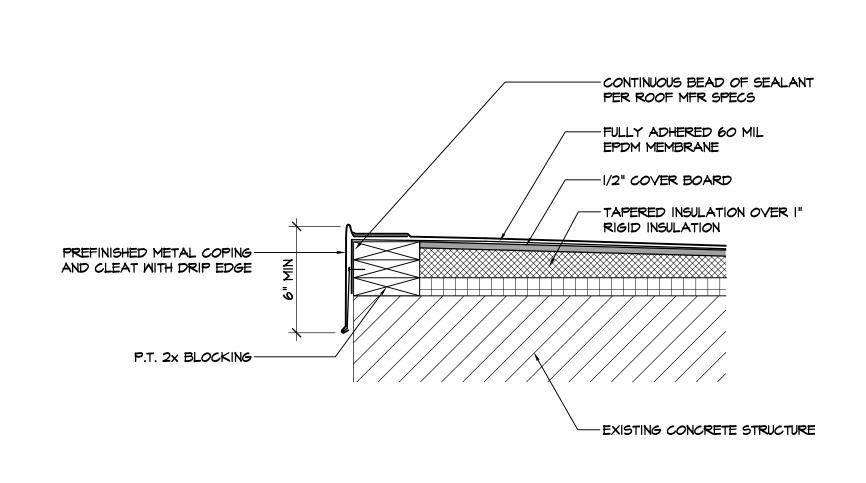
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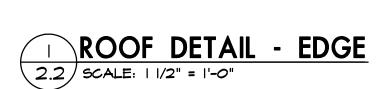


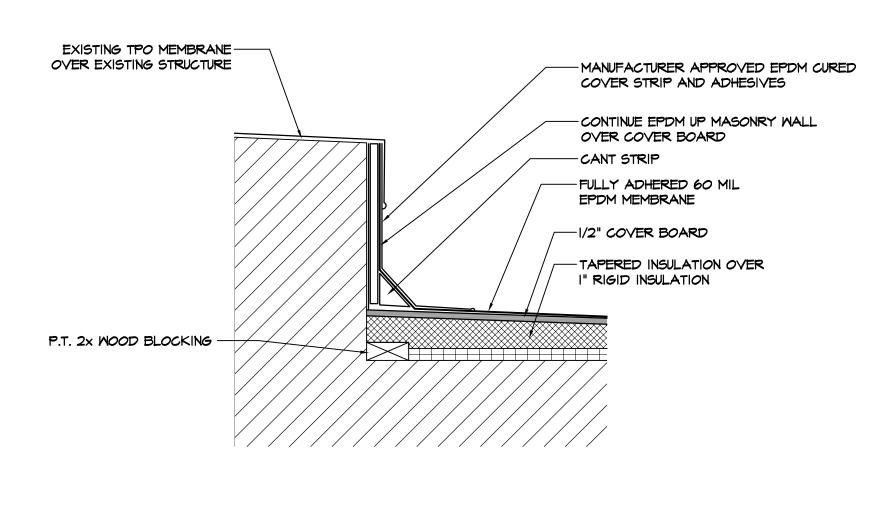
Johnson Architecture 2240 Sutherland Ave., Suite 105



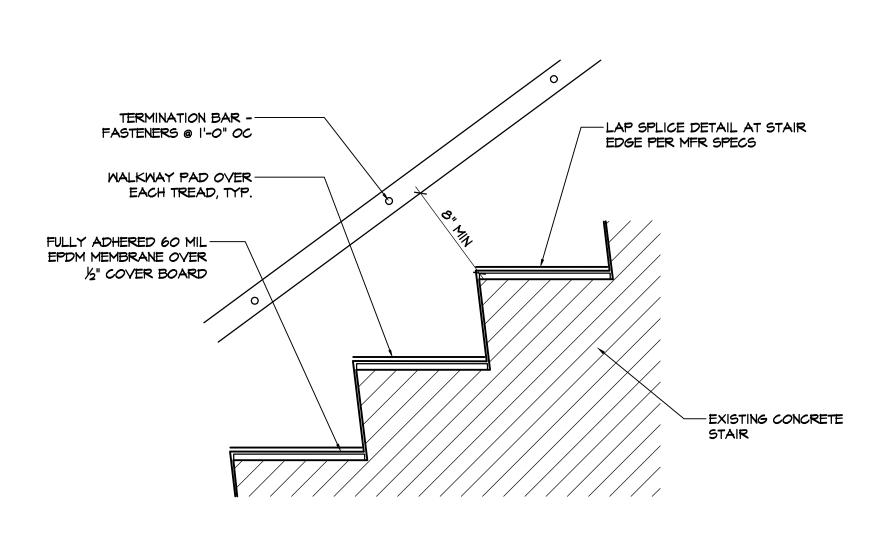
1/26/15

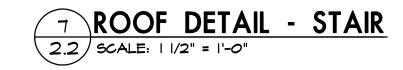


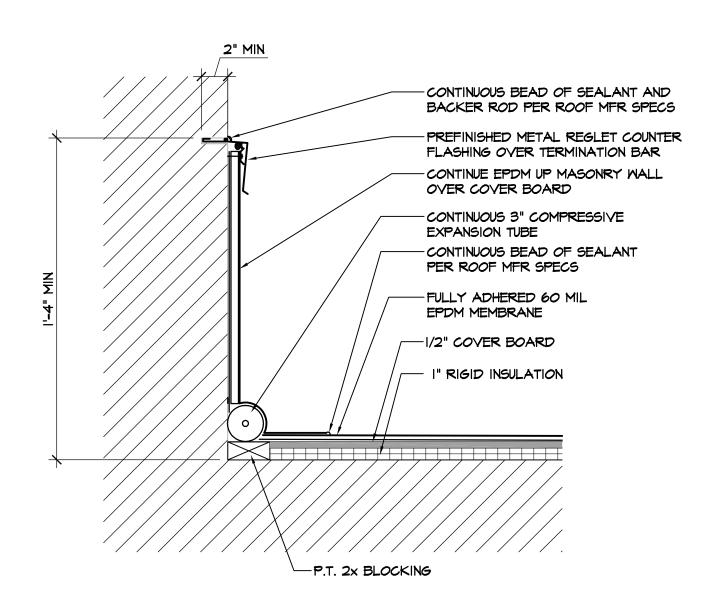




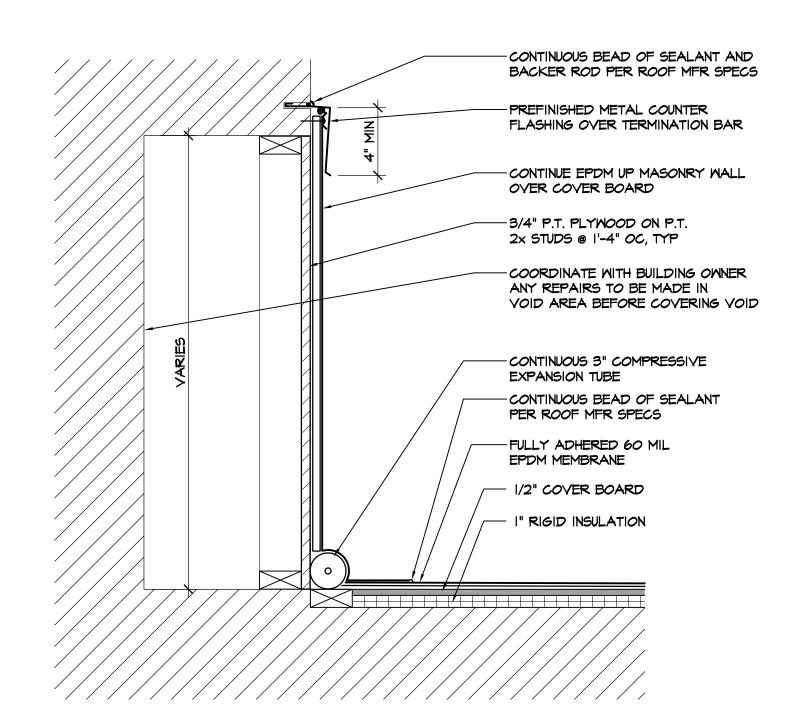
4 ROOF DETAIL - WALL
2.2 SCALE: | 1/2" = 1'-0"



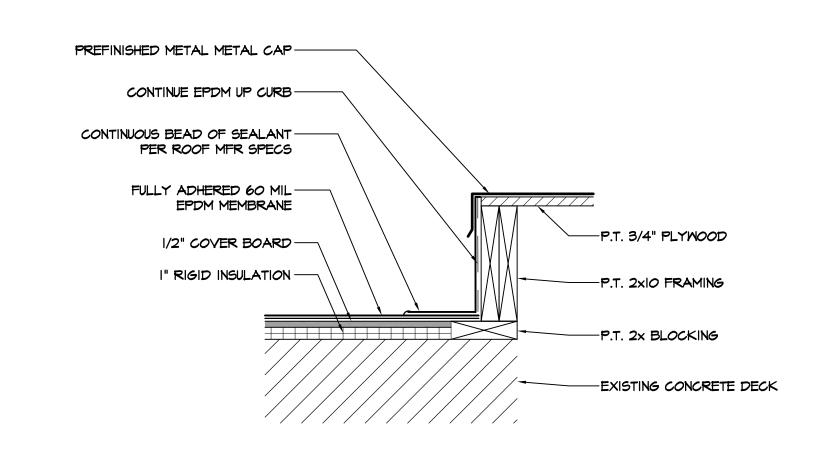




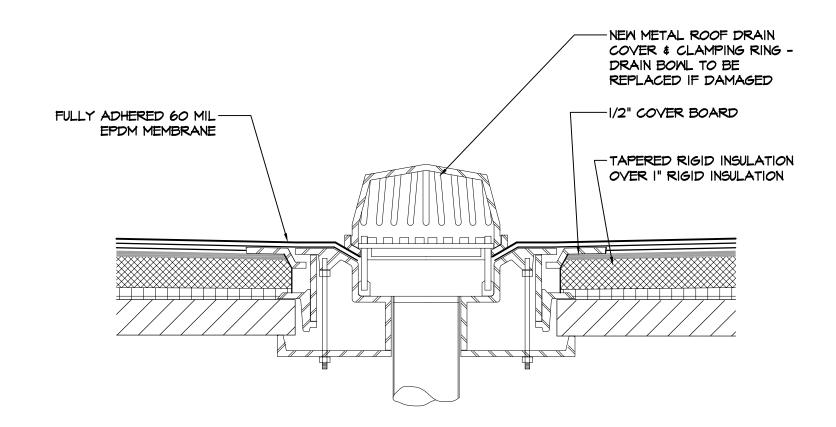
2 ROOF DETAIL - WALL 2.2 SCALE: | 1/2" = 1'-0"



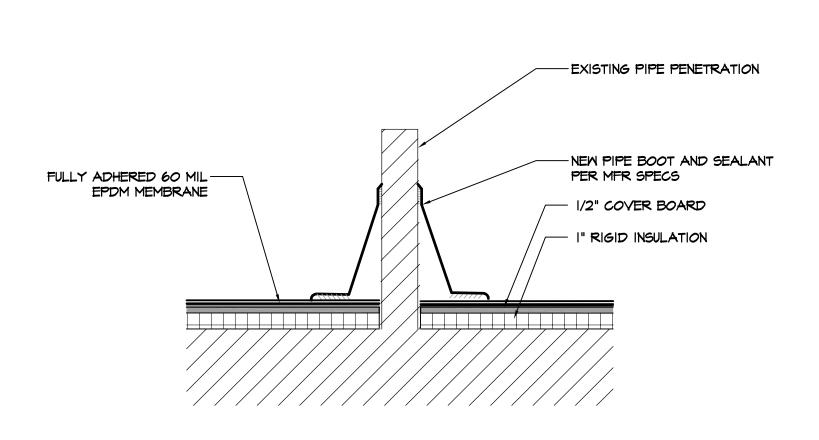






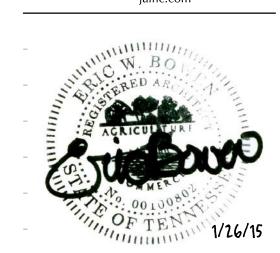












A Kool Keplacement at the Promenage Carage for:

THE PUBLIC BUILDING AUTHORITY OF KNOX COUNTY AND KNOXV
401 State Street

ROOF DETAILS

REVISIONS:

____ DATE: 1/26/15
___ FILE NAME:
___ PROJECT NO: 143031

2.2