	ville Design Overlay District of Appropriateness	
PLANNING		
COMMISSION Name of Applicant: Nathan Hone		
Suite 403 • City County Building Owner Contractor Are		
Knoxville, Tennessee 37902 8 6 5 • 2 1 5 • 2 5 0 0 F A X • 2 1 5 • 2 0 6 8	ication accepted by: Mike Reynolds	
www.knoxmpc.org Fee Amount: 50 - Review [Date: 8/19/15 File Number: 8-C-15-D7	
PRE-APPLICATION CONFERENCE	Date Completed	
PROPERTY INFORMATION	PROJECT ARCHITECT/ENGINEER	
Building or Project Name: The Tennessean Hotel	PLEASE PRINT Nathan Honeycutt	
	Company: <u>McCarty Holsaple McCarty</u>	
Street Address:	Address: 550 West Main Street, Suite 300	
Parcel Identification Number(s): 094LJ00103	City: <u>Knoxville TN</u> State: <u>TN</u> Zip: <u>37902</u>	
	Telephone:	
PROPERTY OWNER	Fax:	
PLEASE PRINT Name:Nick Cazana	E-mail:	
Company: The Tennessean, LLC	PROJECT CONTRACTOR	
Address: 1225 Weisgarber Rd., Suite 390	PLEASE PRINT Name: Bob Perry	
City: <u>Knoxville</u> State: <u>TN</u> Zip: <u>37919</u>	Company: Johnson & Galyon	
Telephone:865-584-3967	Address: P.O. Box 3070	
Fax:865-584-4317	City: <u>Knoxville</u> State: TN Zip: <u>37927</u>	
E-mail: rcazana@ciprop.com	Telephone:865-688-1111	
ACCOMPANYING MATERIALS	Fax:865-688-1114	
Please see the reverse side of this form for a list of information required as part of this application.	E-mail: <u>bobp@johnsongalyon.com</u>	
FOR OFFICE USE ONLY	PROJECT CONTACT	
PROJECT INFORMATION	All application-related correspondence should be directed to:	
LEVEL 1: \$50	PLEASE PRINT Name:Ryan Cazana	
☑ Minor Alteration of an Existing Building/Structure ☑ Sign	Company: Commercial & Investment Properties	
	Address:1225 Weisgarber Rd. , Suite 390	
LEVEL 2: \$100	City: Knoxville State: TN Zip: 37919	
Addition to an Existing Building/Structure	Telephone:865-584-3967	
LEVEL-3: \$250	Fax:	
Construction of New Building/Structure	E-mail:	

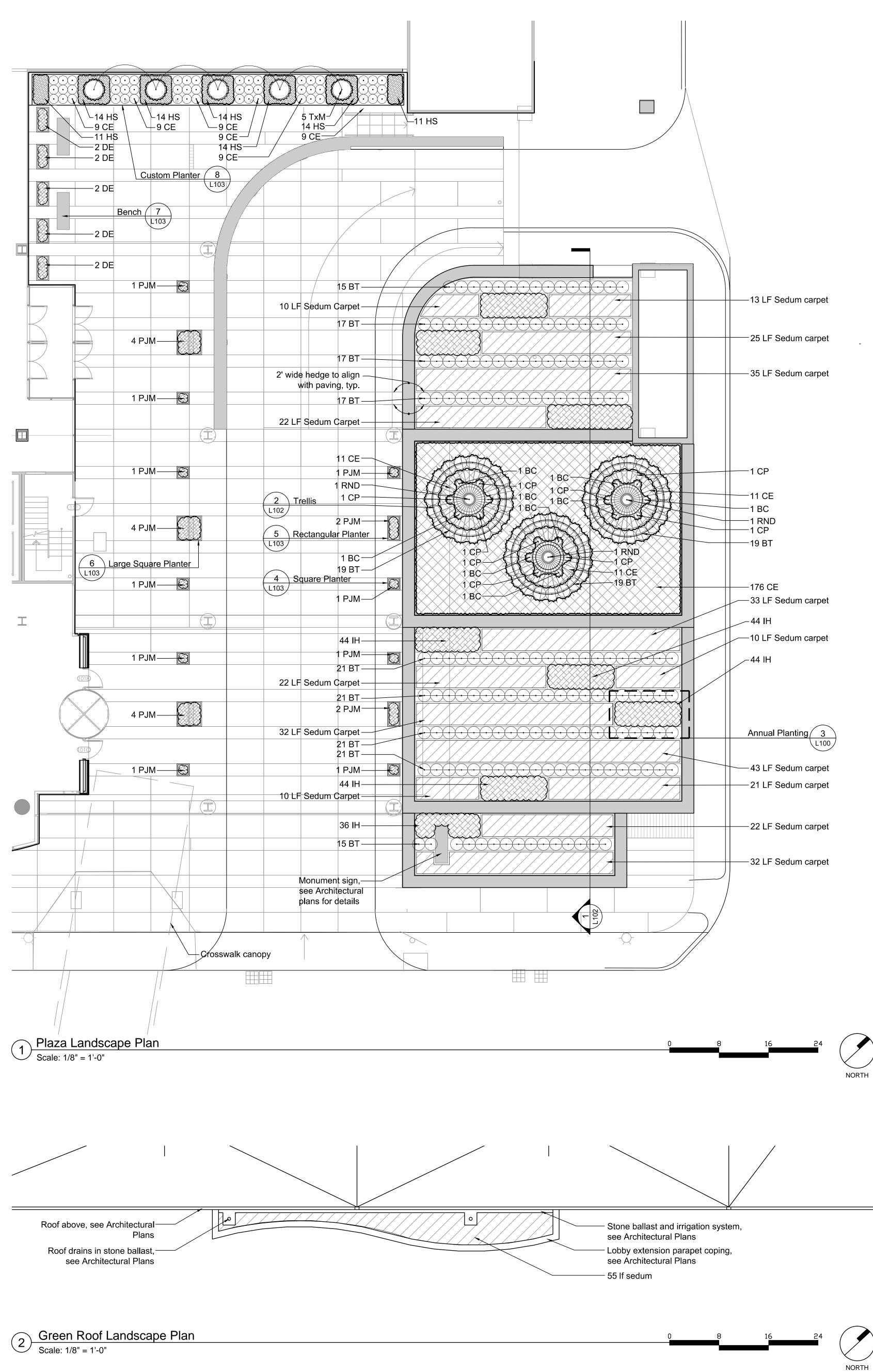
NOTE: Payment is due at time of application. Please make check payable to Knoxville Knox County Metropolitan Planning Commission.

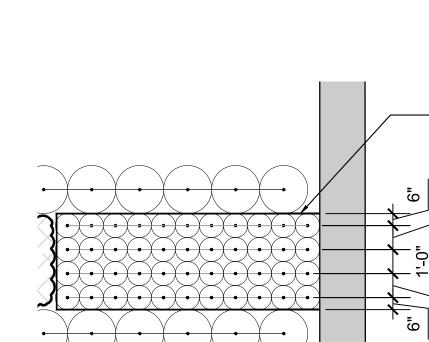




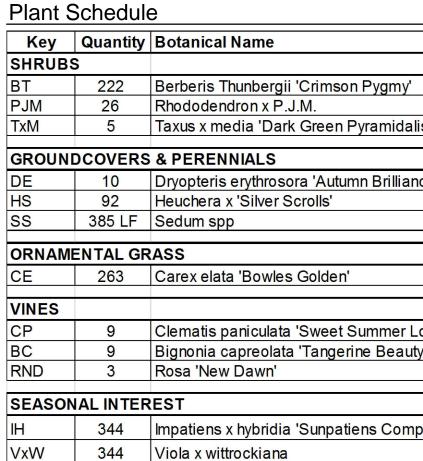
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3 Annual Planting Scale: 1/4" = 1'-0"



* Contractor to provide quantity for mulch.

Planting Notes

- instructions.
- 4. All new plant material shall conform to the guidelines established for nursery stock published by the American Association of Nurserymen, Inc. In addition, all new plant material for the project shall be of the highest specimen quality.
- 6. All new plants shall be balled and burlapped or container grown unless otherwise noted on the plant list.
- 8. No plant material shall be planted before acceptance of rough grading.
- 10. All plant beds are to receive one and a half inches (1.5") of double shredded hardwood mulch.
- Architect.
- 14. Contractor to complete work within schedule established by Owner.
- the Owner's Representative.
- 17. See civil drawings for further information regarding:
- Erosion and sediment control.
- Locations of existing and proposed structures, paving, and driveways. • Limits of construction.
- Locations of existing and proposed utilities or easements.



	Common Name	Size	Notes
'	Crimson Pygmy Barberry	3 gal.	2' o.c., full & dense, pruned to 2' wide hedge
	PJM Rhododendron	3 gal.	full & dense
alis'	Dark Green Pyramidal Yew	7 gal.	full & dense, pyramidal form
ance'	Autumn Brilliance Fern	3 gal.	full and dense plants
	Silver Scrolls Heuchera	1 gal.	full and dense plants
	Sedum	48" x 75" Roll	Instagreen Sedum Carpet or Equal
	Bowles Golden Sedge	3 gal.	2' o.c., full & dense
Love'	Sweet Summer Love	3 gal.	Burgundy/ Purple flowers
uty'	Tangerine Beauty Crossvine	3 gal.	Orange flowers and evergreen foliage
	New Dawn Rose	3 gal.	Burgundy/ Purple flowers
npact White Improved'	Compact White Improved Sunpatiens Impatiens	4" pot	1' o.c., planted in spring, white flowers
	White Blotch Pansy	4" pot	1' o.c., planted in fall, white flowers

1. Contractor shall verify all existing conditions in the field and report any discrepancies to the Landscape Architect or Owner's Representative prior to starting work. 2. No planting shall occur until soil sample results have been received from all planting areas and soils are properly amended based on the results of the soil tests. See this sheet for soil sampling

3. No planting shall occur until percolation testing has been completed and soils have been properly amended to drain. See this sheet for percolation testing procedures.

5. Do not assume trunk flare will be exposed at the nursery. Contractor to expose trunk flares to check for root girdling. Pull mulch away from the trunk flare of trees and from the base of all shrubs.

7. The Contractor shall locate and verify all existing utility lines prior to planting and report any conflicts to the Landscape Architect.

9. Stake location of all proposed planting areas for approval by the Landscape Architect or Owner's Representative prior to the commencement of planting.

11. Thoroughly water plants during the first 24 hours after planting. Wet the soil to a depth of 18-24". When runoff starts, stop watering, let the water soak in and repeat until the proper depth is wet. 12. Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower, leaf, color, fruit, and culture only as approved by the Landscape

13. Contractor's base bid to include all materials, labor, permits, equipment, tools, insurance, etc. to perform the work as described in the contract documents.

15. Contractor to provide one year warranty for all material from date of substantial completion. Plant material delivered to the site that does not meet the requirements stated herein may be rejected by

Note: Plant bed is 4'-0" wide. Plant four rows of

impatiens as shown in diagram above, typ.

16. Contractor to provide interim maintenance (watering, pruning, fertilizing, guying, mowing, trimming, adequate drainage of ponding areas, edging, weeding, mulching, and general landscape clean-up) until substantial completion notice is provided by the Owner's Representative. Application of insecticides/herbicides must be approved by Landscape Architect prior to use on site.

- Steel edging around annual plantings,

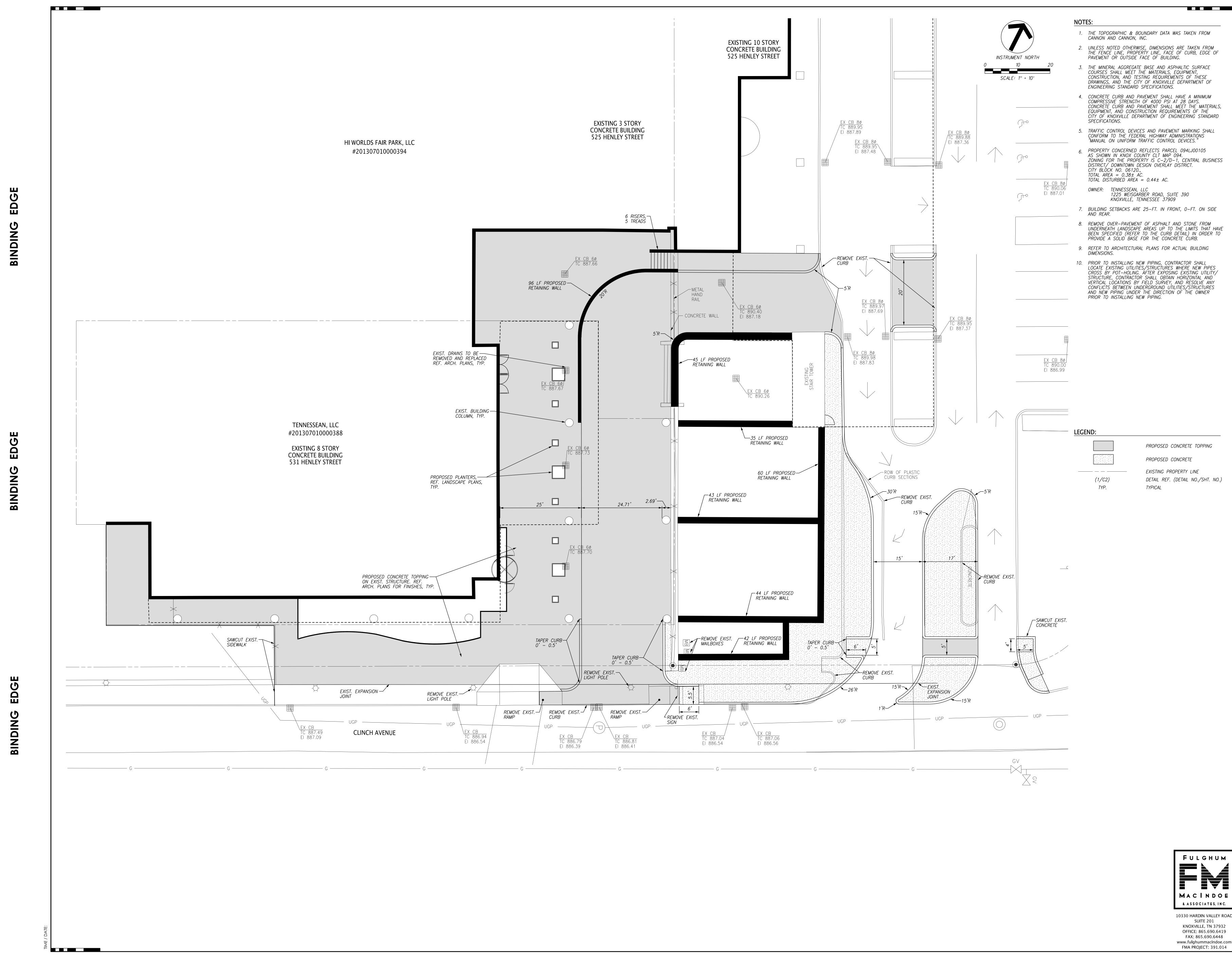
see detail 3 on sheet L103 typ.

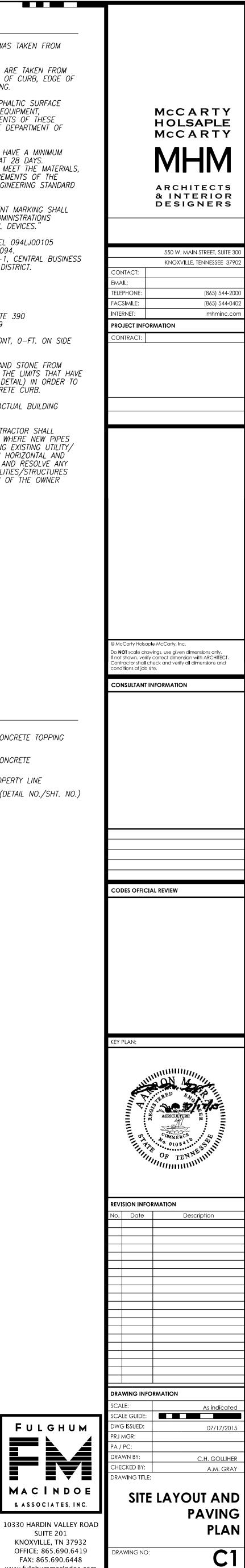
18. Planting plans are not layout plans. Plants may need to be shifted in the field, based on the existing conditions. Coordinate with the Landscape Architect prior to any changes.



scape tecture	
. Jackson Ave. #104 ille, TN 37902 29.0012 office	
29.0064 fax	MCCARTY HOLSAPLE MCCARTY
	MHM
	ARCHITECTS & INTERIOR DESIGNERS
	15020
	550 W. MAIN STREET, SUITE 300 KNOXVILLE, TENNESSEE 37902
	CONTACT: DOUG MCCARTY EMAIL: DMcCarty@mhminc.com TELEPHONE: (865) 544-2000
	TELEPHONE: (865) 544-2000 FACSIMILE: (865) 544-0402 INTERNET: mhminc.com
	PROJECT INFORMATION CONTRACT:
	THE TENNESSEAN
	DEMO AND SHELL PACKAGE CONSTRUCTION DOCUMENTS
	531 HENLEY STREET KNOXVILLE , TENNESSEE 37902
	ACTIVE DESIGN PHASE
	SCHEMATIC DESIGN DESIGN DEVELOPMENT REDI-CHECK
	CONSTRUCTION BIDDING PHASE CONSTRUCTION DOCUMENTS
	SEAL:
	© McCarty Holsaple McCarty, Inc.
	Do NOT scale drawings, use given dimensions only. If not shown, verify correct dimension with ARCHITECT. Contractor shall check and verify all dimensions and conditions at job site.
	CONSULTANT INFORMATION
	CODES OFFICIAL REVIEW
	KEY PLAN:
	REVISION INFORMATION
	No. Date Description

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PA/	PC:		
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		L10	U



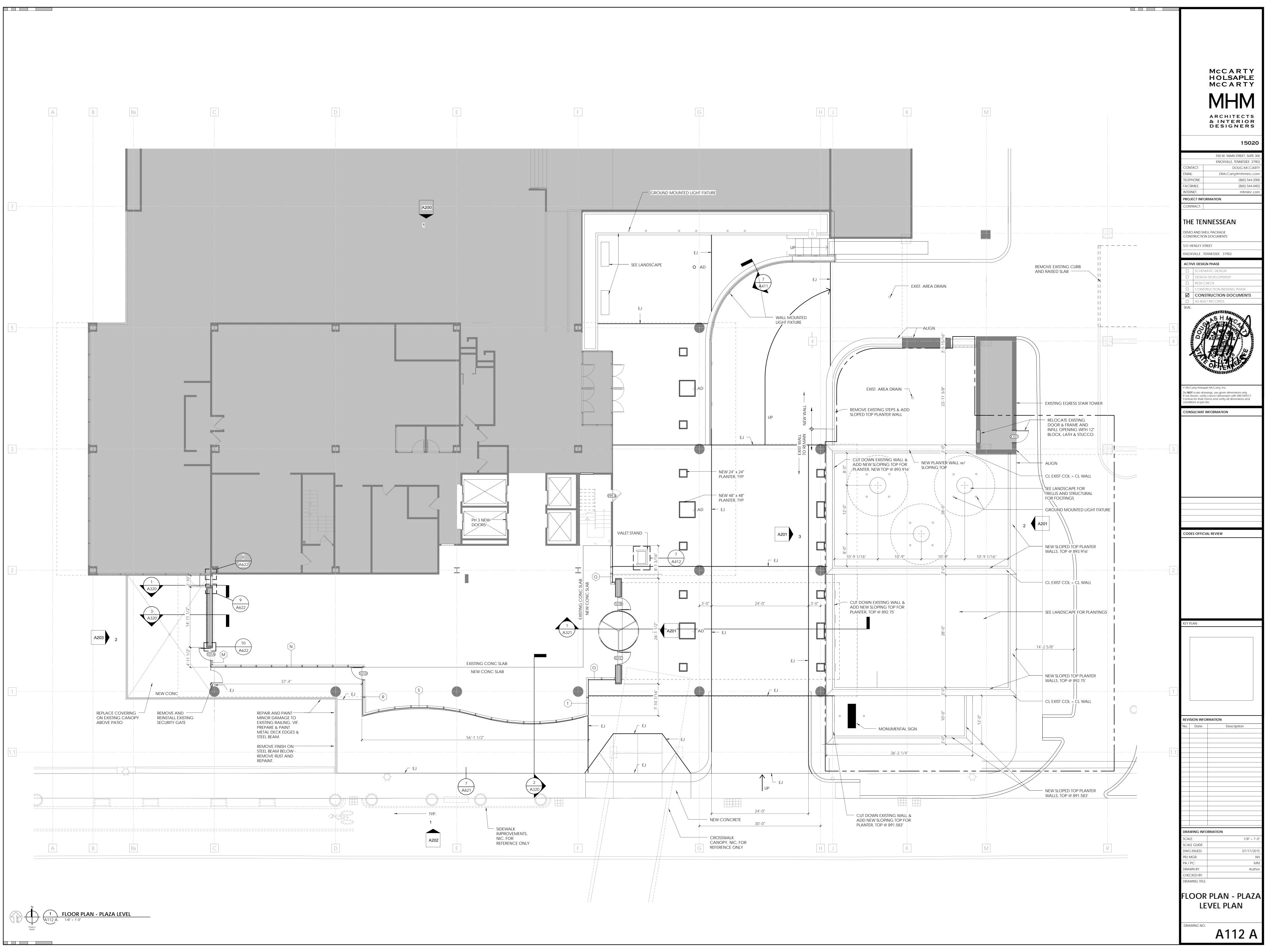


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BINDING EDGE



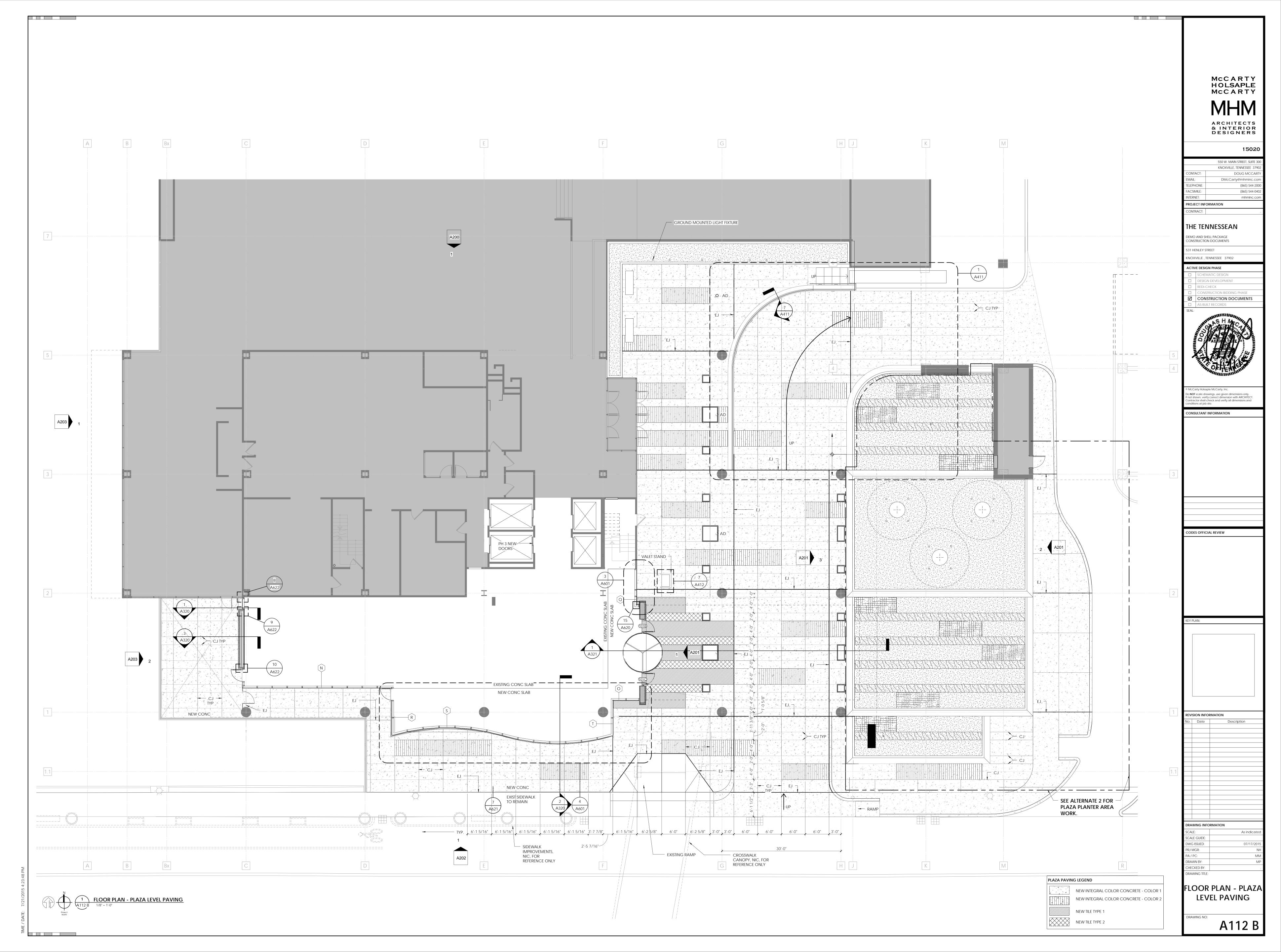


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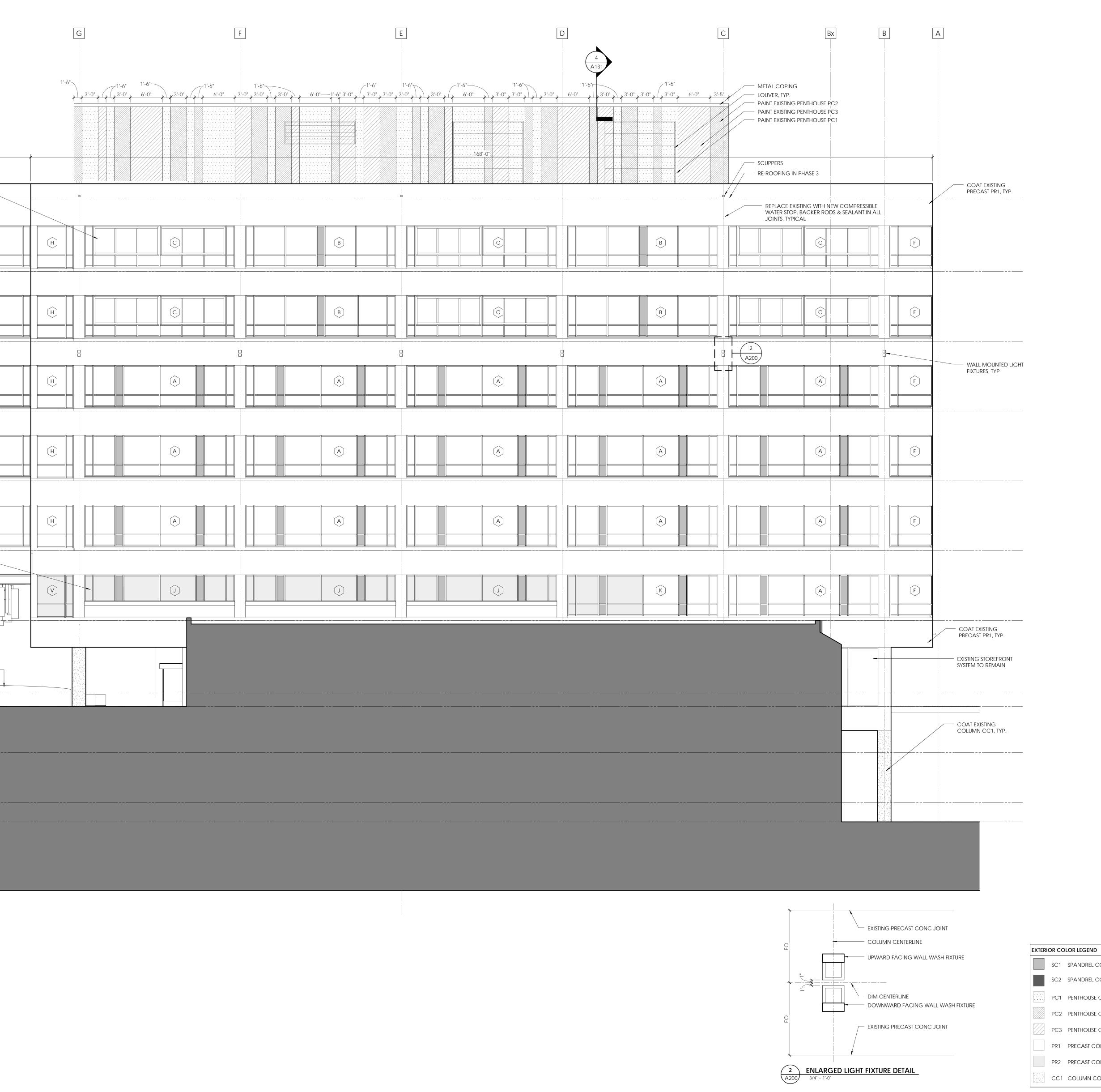


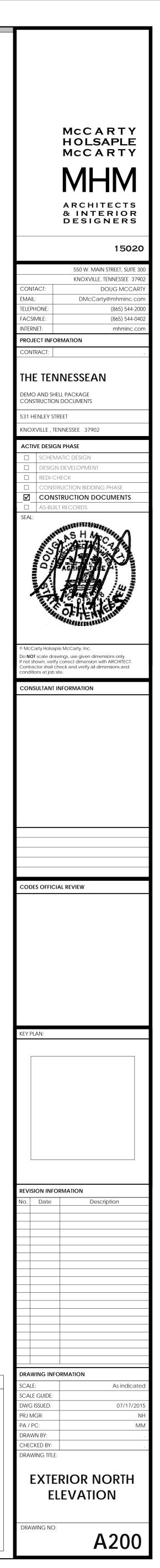
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GЕ ED C BINDING

	J H		
NEW OPERABLE WINDOW SYSTEM W/IN NEW CURTAINWALL SYSTEM			
NEW CURTAINWALL SYSTEM AT EXISTING OPENING			30'-0"
	H		1
	H		1
	H		1
	H		1
			l
INFILL W/ SPANDREL AT EXISTING OPENING	H		1
PRECAST PR1, TYP			
NEW CUSTOM LIGHT FIXTURE			
COAT EXISTING COLUMN CC1, TYP			NEW RAMP, BEYOND WAI
Upper Plaza Floor			
↓ Upper Garage Level 880.17'			
⊕ Lower Garage Level 870.84'			

1 NORTH ELEVATION A200) 1/8" = 1'-0"

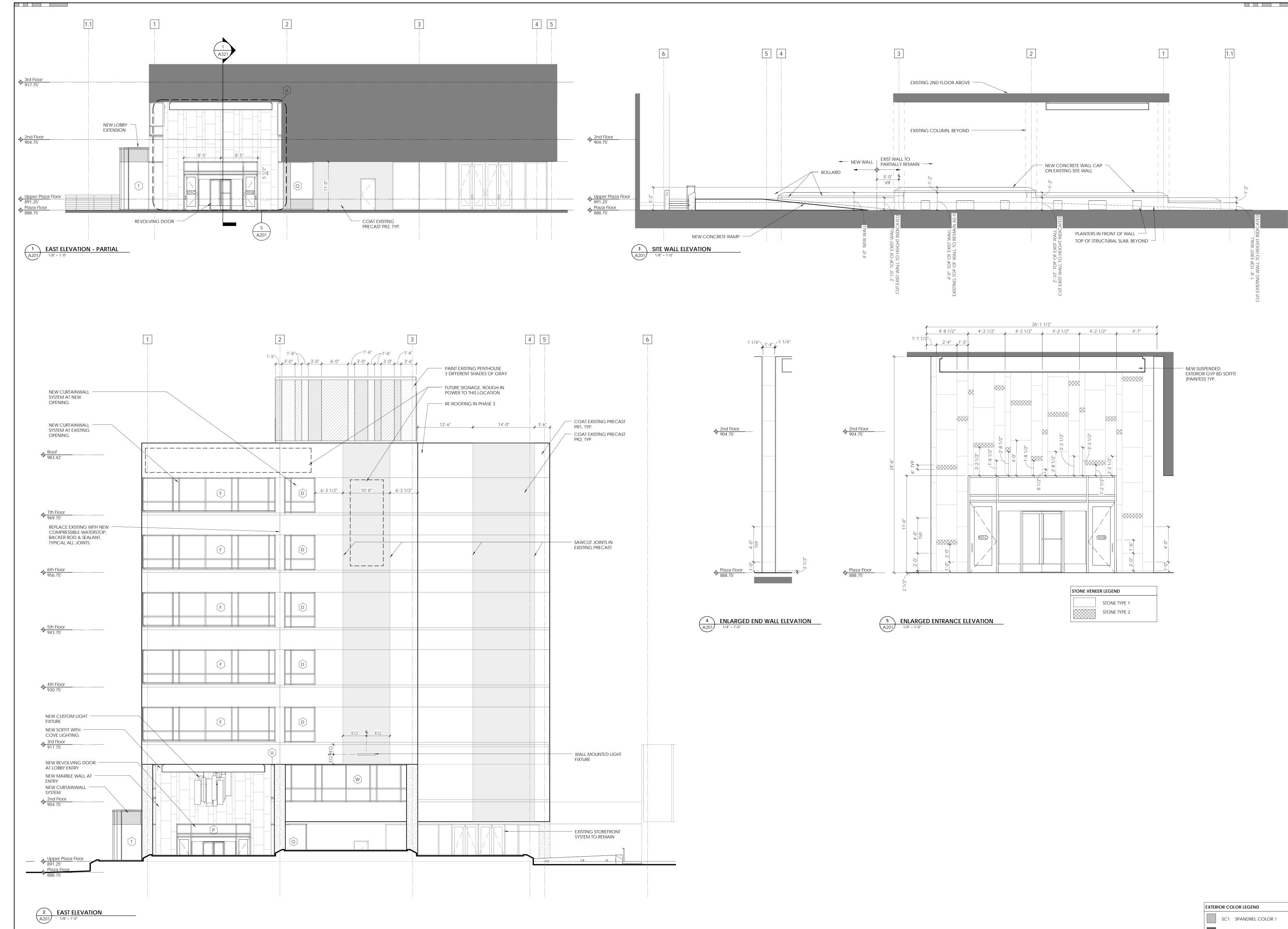




SC1 SPANDREL COLOR 1 SC2 SPANDREL COLOR 2 PC1 PENTHOUSE COLOR 1 PC2 PENTHOUSE COLOR 2

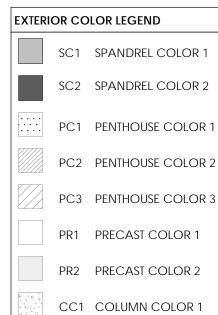
PC3 PENTHOUSE COLOR 3 PR1 PRECAST COLOR 1

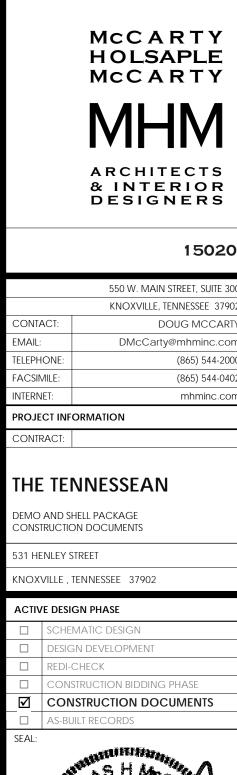
PR2 PRECAST COLOR 2 CC1 COLUMN COLOR 1



EDGE BINDING

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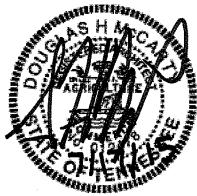


ONTACT:

EPHONE:

ACSIMILE:

TERNET:



IcCarty Holsaple McCarty, Inc. Do NOT scale drawings, use given dimensions only If not shown, verify correct dimension with ARCHITECT. Contractor shall check and verify all dimensions and conditions at job site.

CONSULTANT INFORMATION

CODES OFFICIAL REVIEW

REVISION INFORMATION . Date Description DRAWING INFORMATION As indicate Cale Guide: NG ISSUED: 07/17/20 J MGR: RAWN BY: CHECKED BY: RAWING TITLE: **EXTERIOR EAST**

ELEVATION

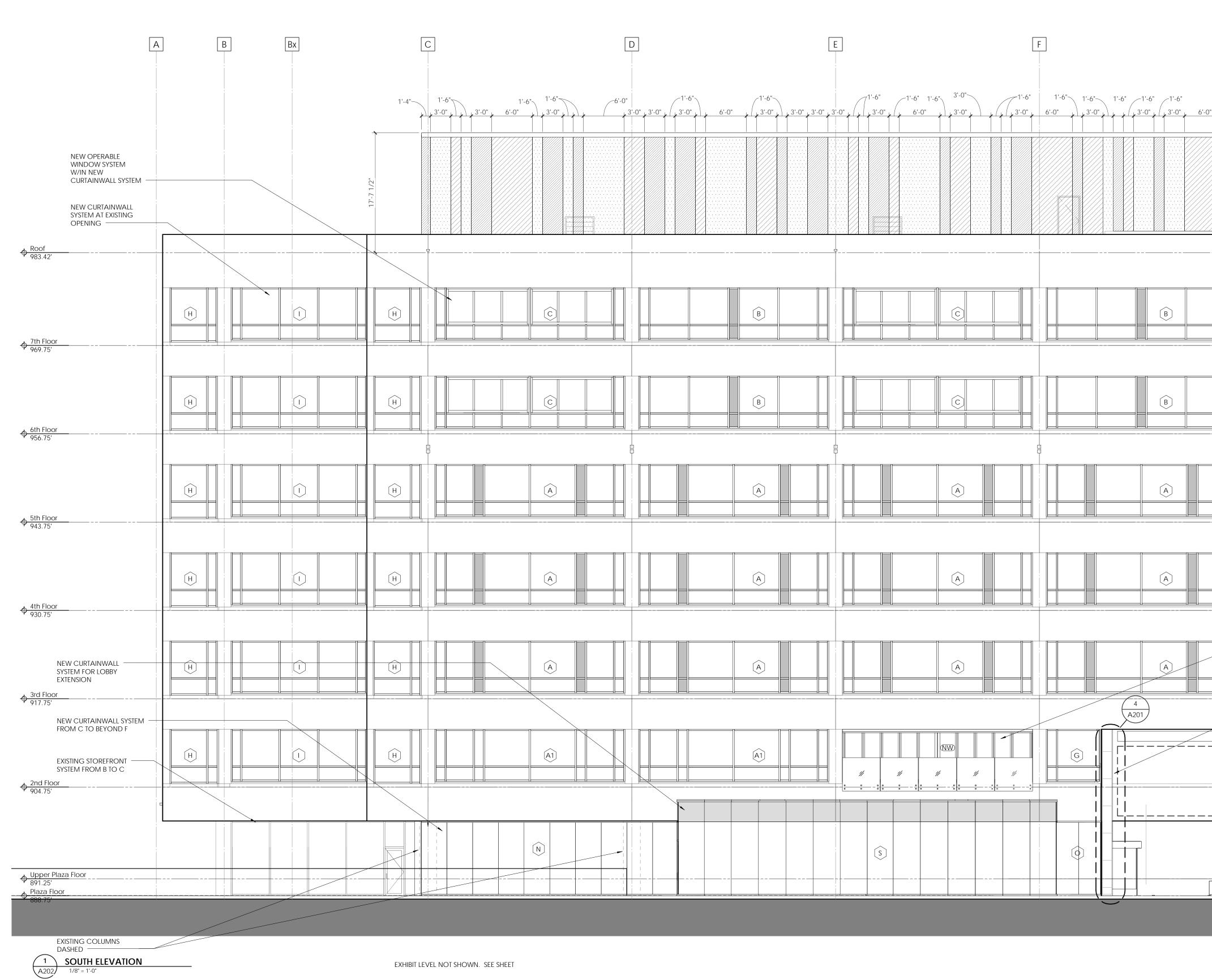
A201

DRAWING NO:

PC1 PENTHOUSE COLOR 1 PC2 PENTHOUSE COLOR 2 PC3 PENTHOUSE COLOR 3

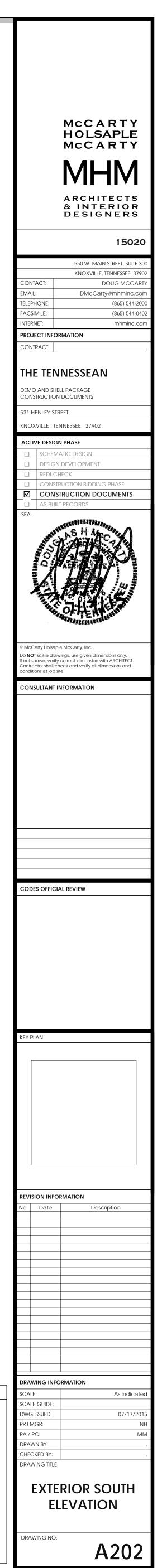
EDGE BINDING

В ED BINDING



G	H J	K	M	
-0" 3'-7" PAINT EXISTING PENTHOUSE 3 DIFFERENT SHADES OF GRAY				
SCUPPERS RE-ROOFING IN PHASE 3				
REPLACE EXISTING WITH NEW CON STOP, BACKER RODS & SEALANT IN TYPICAL	IPRESSIBLE WATER ALL JOINTS,			
	F F			
		- WALL MOUNTED LIGHT FIXTURES, TYP		
		 NEW NANAWALL SYSTEM AND GLASS RAILING NEW MARBLE TILE WALL AT ENTRY 		
		ALTERNATE 2 CONCRETE		





PC1 PENTHOUSE COLOR 1 PC2 PENTHOUSE COLOR 2 PC3 PENTHOUSE COLOR 3

В

ED

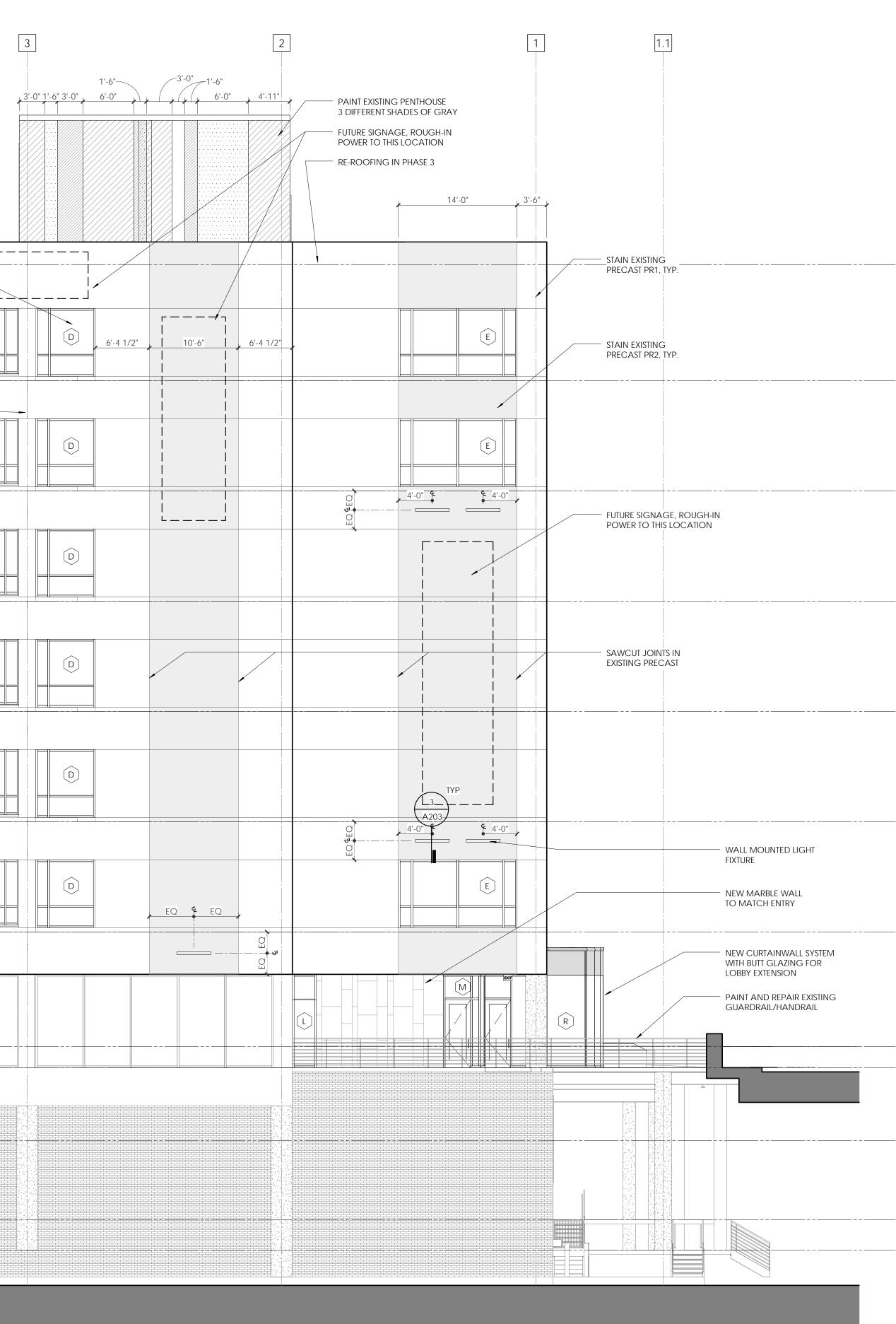
BINDING

EDGE

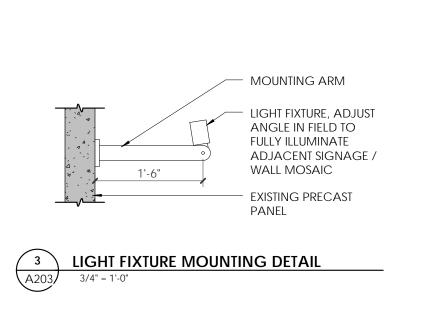
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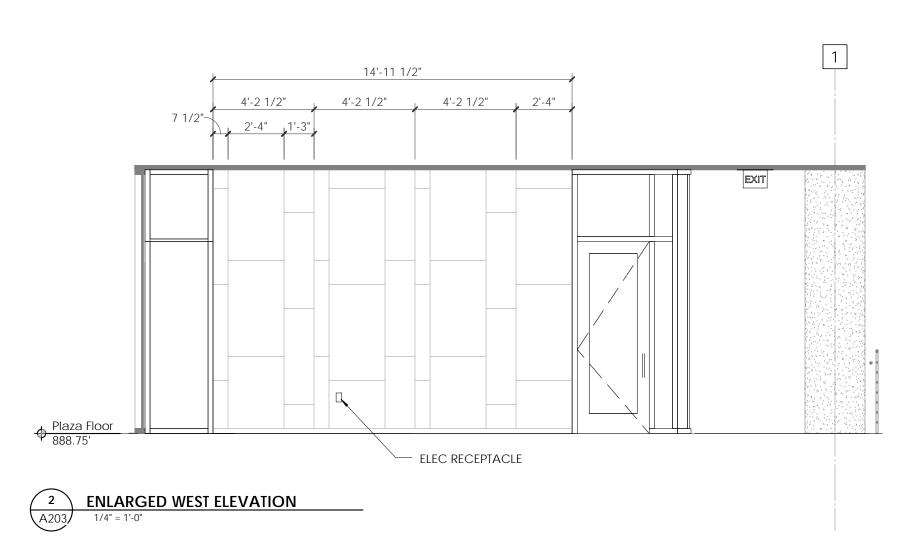
3 5 4 6 7 NEW CURTAINWALL SYSTEM AT NEW OPENING NEW CURTAINWALL SYSTEM AT EXISTING OPENING _____ F REPLACE EXISTING WITH NEW COMPRESSIBLE WATERSTOP, -BACKER ROD & SEALANT, TYPICAL ALL JOINTS. F F F F EXISTING STOREFRONT System to remain ♦ Upper Plaza Floor 891.25' COAT EXISTING PRECAST PR1, TYP. Upper Garage Level
 880.17' COAT EXISTING PRECAST CC1, TYP. ♦ EXHIBIT HALL 867.25'

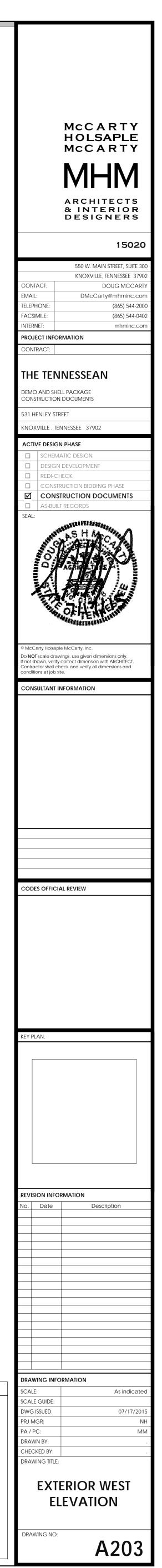
1 WEST ELEVATION A203 1/8" = 1'-0"



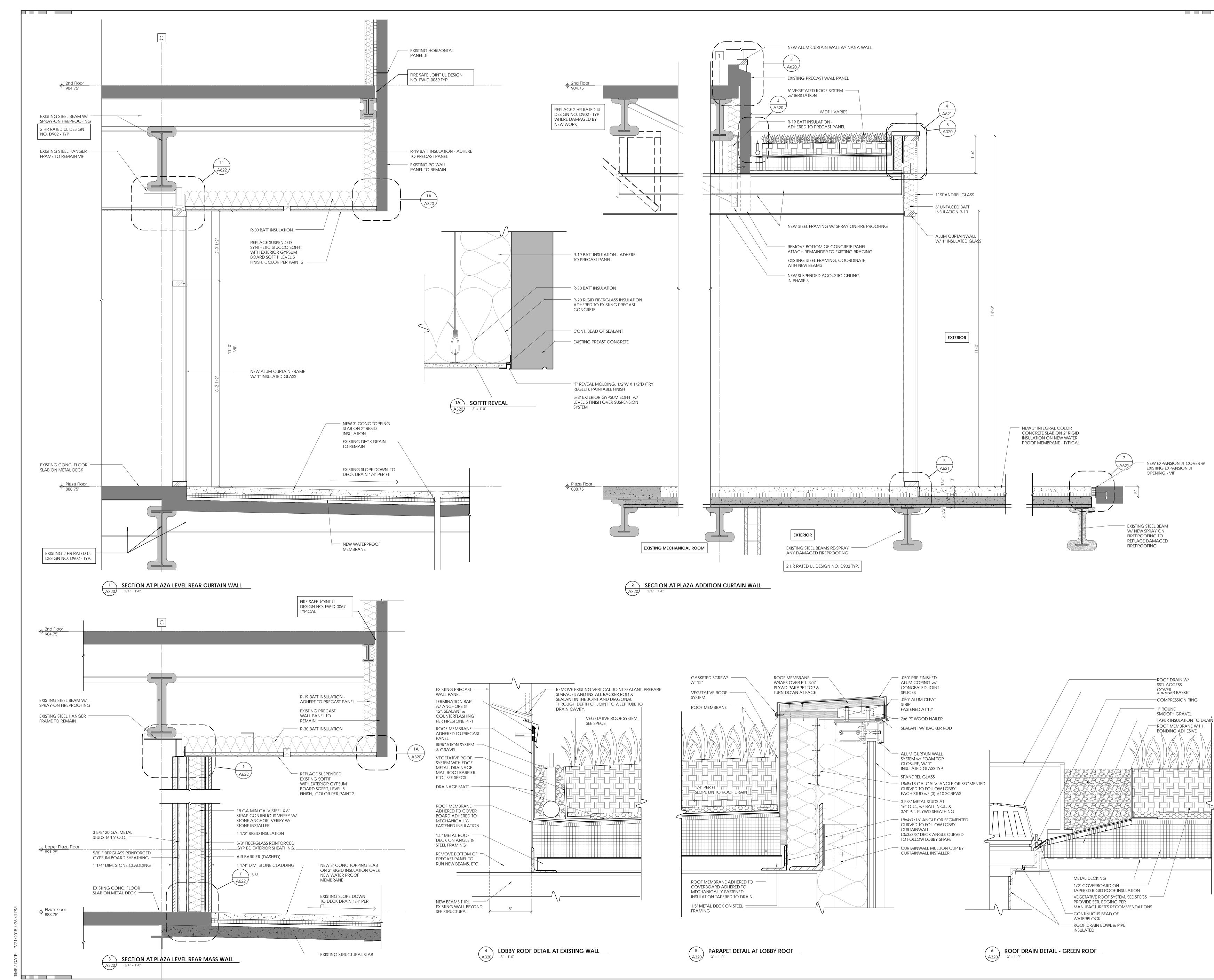
EXTERI	EXTERIOR COLOR LEGEND				
	SC1	SPANDREL COLOR 1			
	SC2	SPANDREL COLOR 2			
· · · · · · · · ·	PC1	PENTHOUSE COLOR 1			
	PC2	PENTHOUSE COLOR 2			
	PC3	PENTHOUSE COLOR 3			
	PR1	PRECAST COLOR 1			
	PR2	PRECAST COLOR 2			
	CC1	COLUMN COLOR 1			







ANDREL COLOR 1 ANDREL COLOR 2 NTHOUSE COLOR 1 NTHOUSE COLOR 2 NTHOUSE COLOR 3 ECAST COLOR 1 ECAST COLOR 2



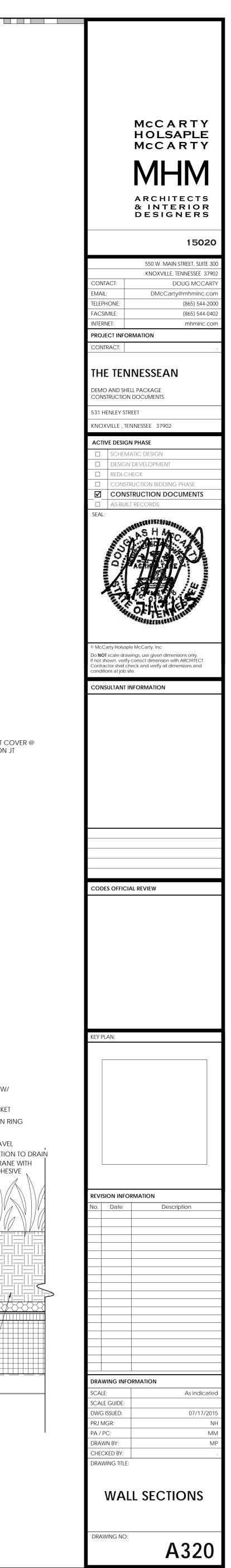
C Ζ BIN

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4	LOBBY ROOF DETAIL AT EXISTING WALL	
A320/	3" = 1'-0"	





C ED C BINDING

EDGE

C

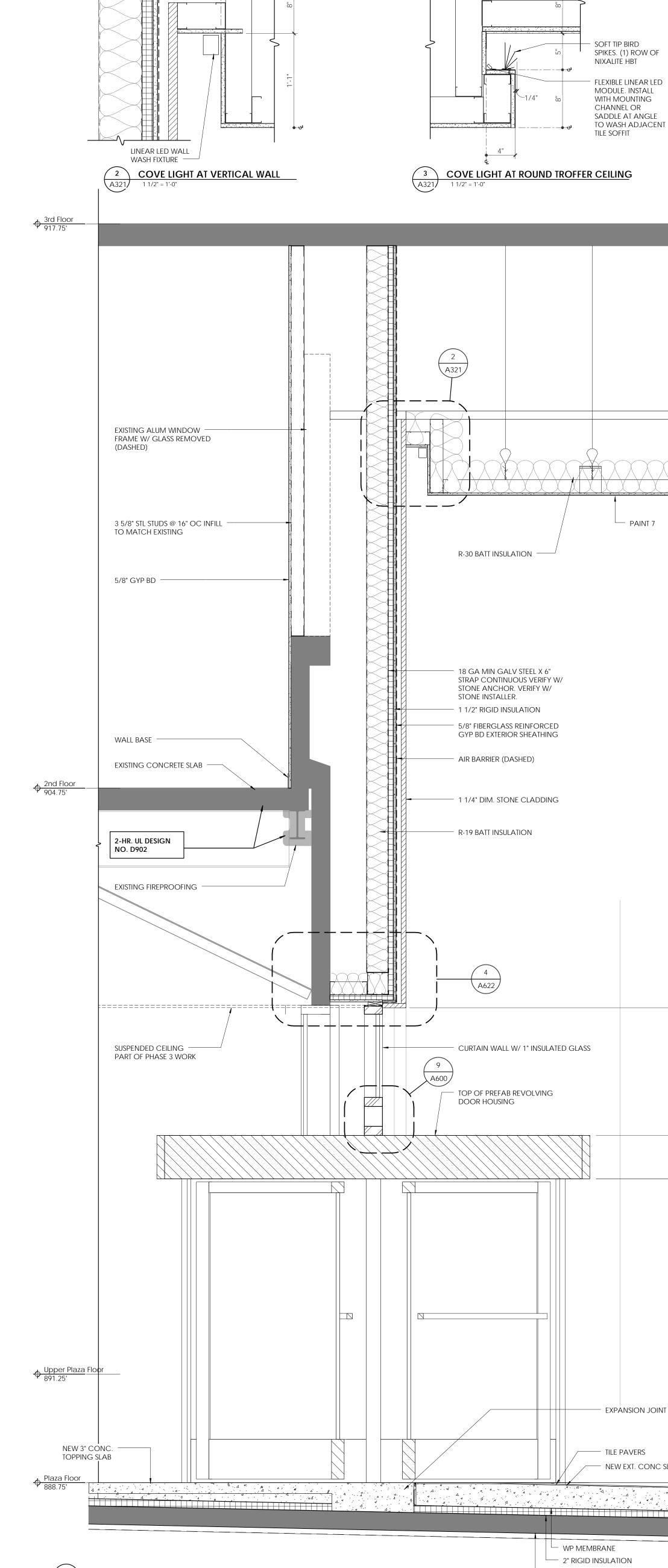
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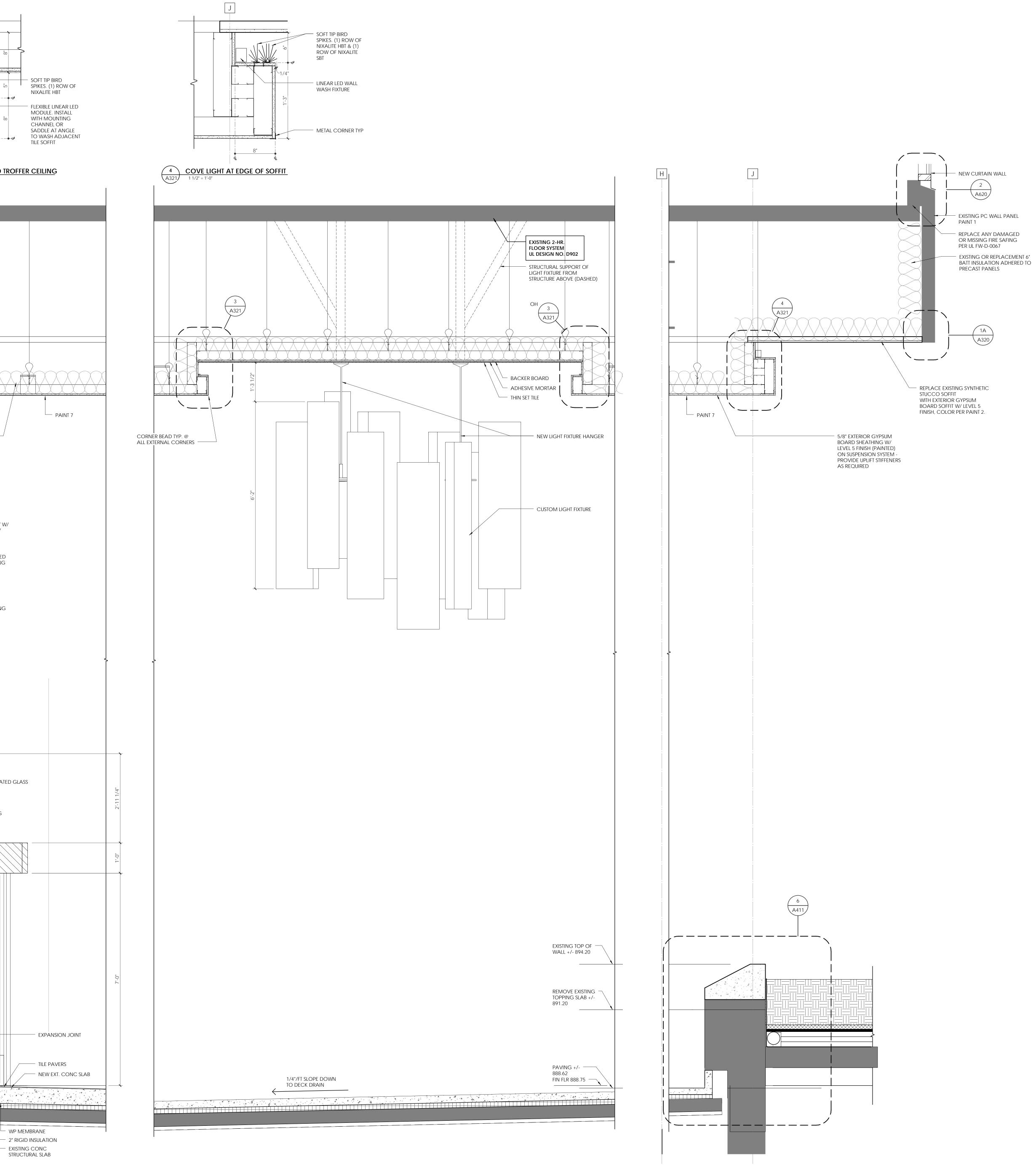
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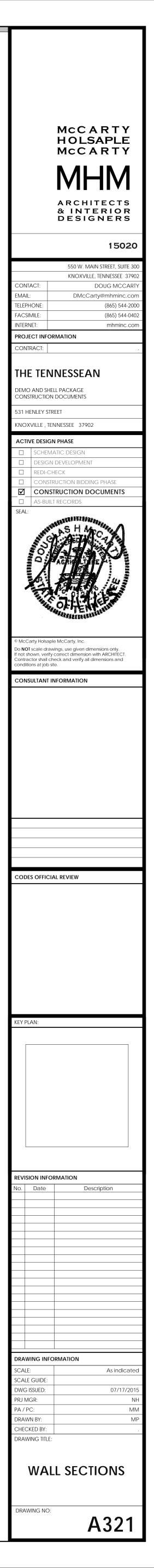
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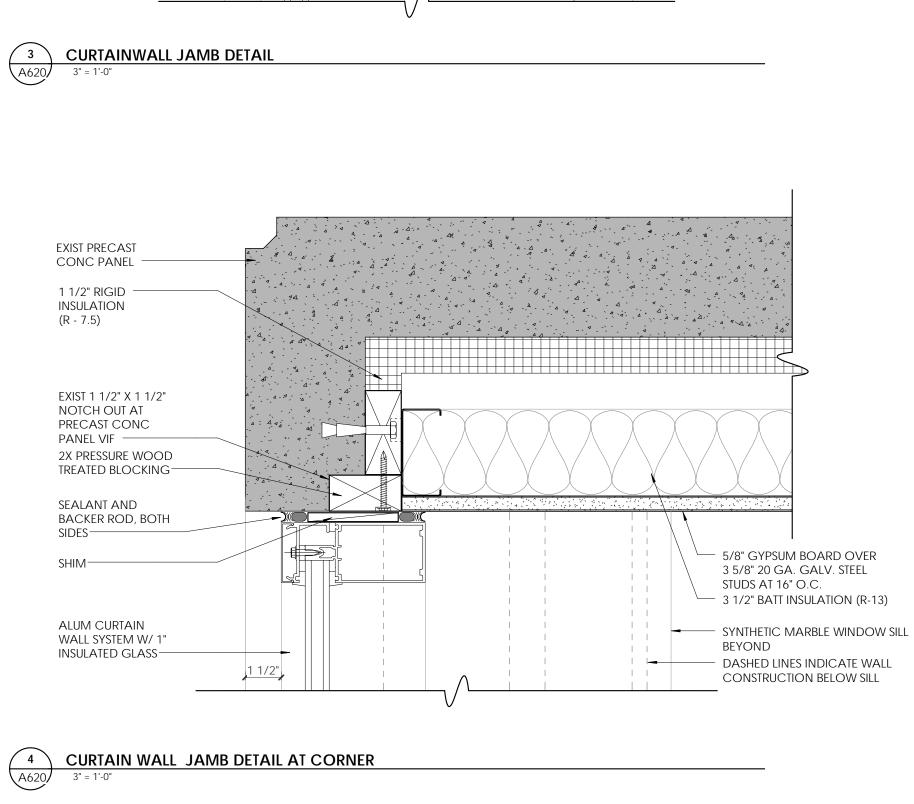
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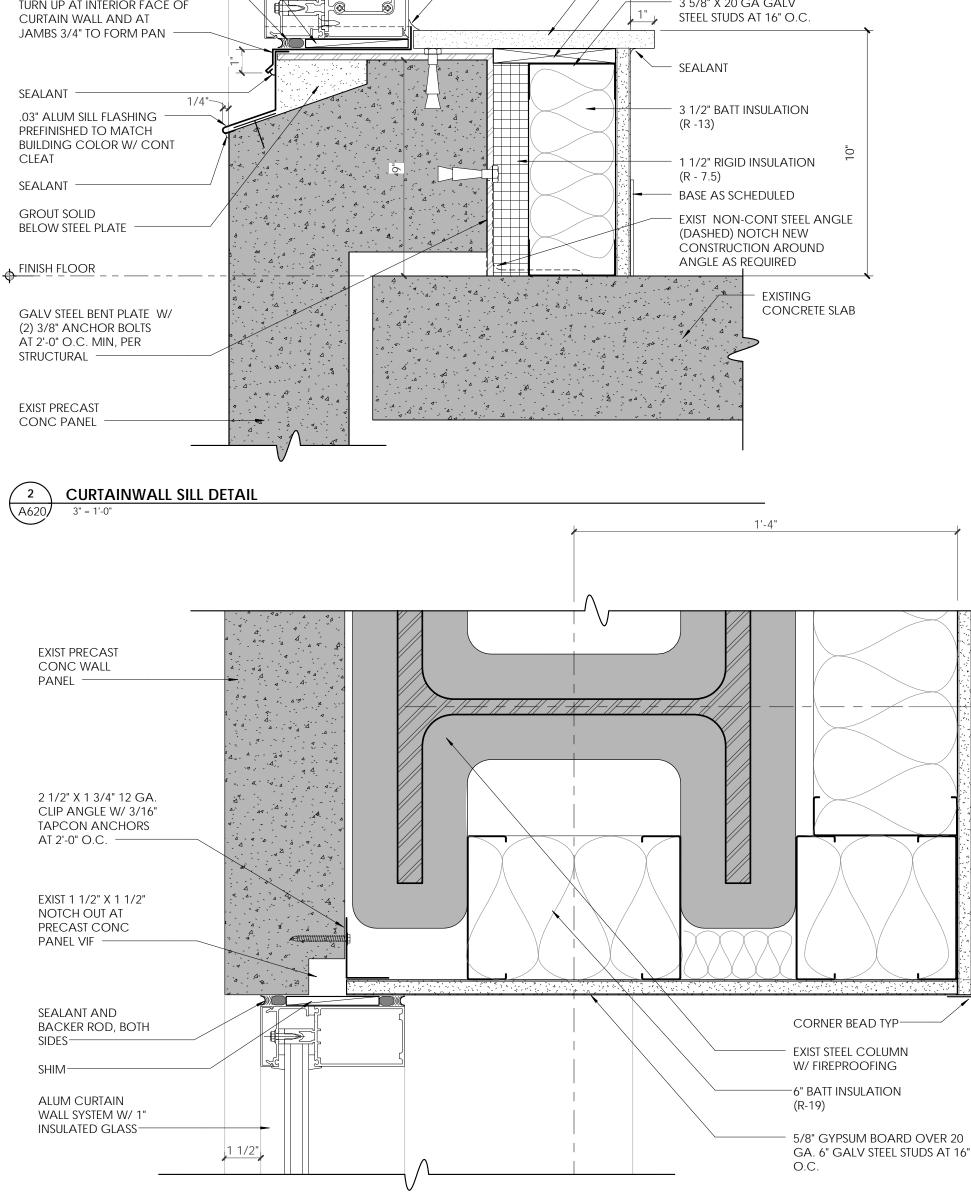












- EXIST 6" INSULATION - REMOVE

AS REQUIRED TO COMPLETE

NEW CONSTRUCTION

-PATCH NEW 6" INSULATION

AS REQUIRED - MATCH EXIST

NEW 2X PRESSURE TREATED

WOOD BLOCKING CONT

W/ 5/16" SSTL ANCHOR

BOLTS @ 2'-0" OC

-5/8" GYPSUM BOARD ON

SUSPENSION SYSTEM

ROD, BOTH SIDES

SEALANT AND BACKER

-PRECAST CONC JOINT

PRECAST CONC JOINT

AT JAMB BEYOND - CURTAIN WALL SYSTEM

SYNTHETIC MARBLE

-WOOD BLOCKING

— 3 5/8" X 20 GA GALV

WINDOW SILL

SEALANT

AT JAMB BEYOND

GЕ

Ζ

Ζ

Β

EXIST PRECAST

EXIST 1 1/2" X 1 1/2"

.03" ALUM WINDOW

HEAD DRIP FLASHING

ALUM CURTAIN WALL

W/ 1" INSULATED GLASS -

 1
 CURTAINWALL HEAD DETAIL

 A620
 3" = 1'-0"

NOTCH OUT AT

PRECAST CONC

PANEL VIF -

CONT. BEAD

of sealant -

SHIM-

SEALANT AND BACKER

ROD W/ WEEP TUBES AT

.03" ALUM SILL FLASHING

TURN UP AT INTERIOR FACE OF

2'-0" O.C. MAX —

SHIM ——

CONC PANEL

À À À · · A A

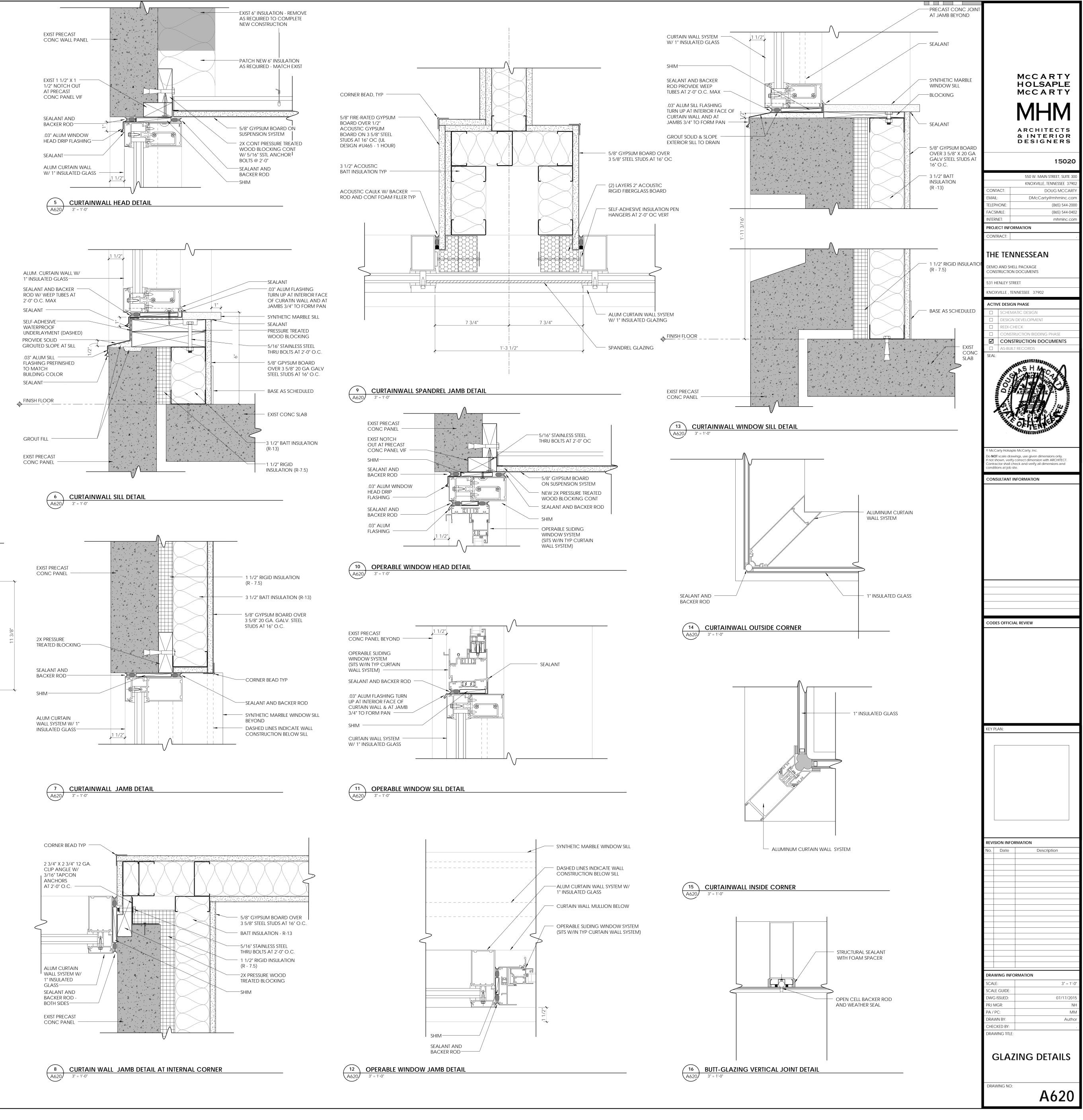
· 44 · 4 · · Aa ·

4 .- 4- 2

11/2

1 1/2"

- + 4-





5/8" GYPSUM BOARD OVER

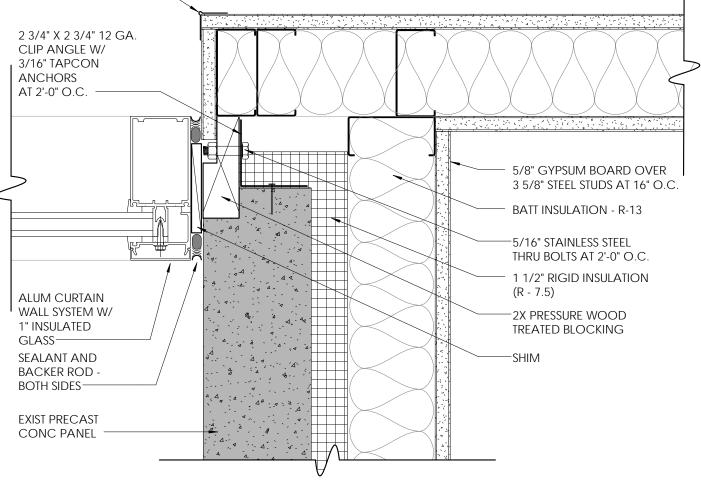
3 5/8" 20 GA. GALV. STEEL

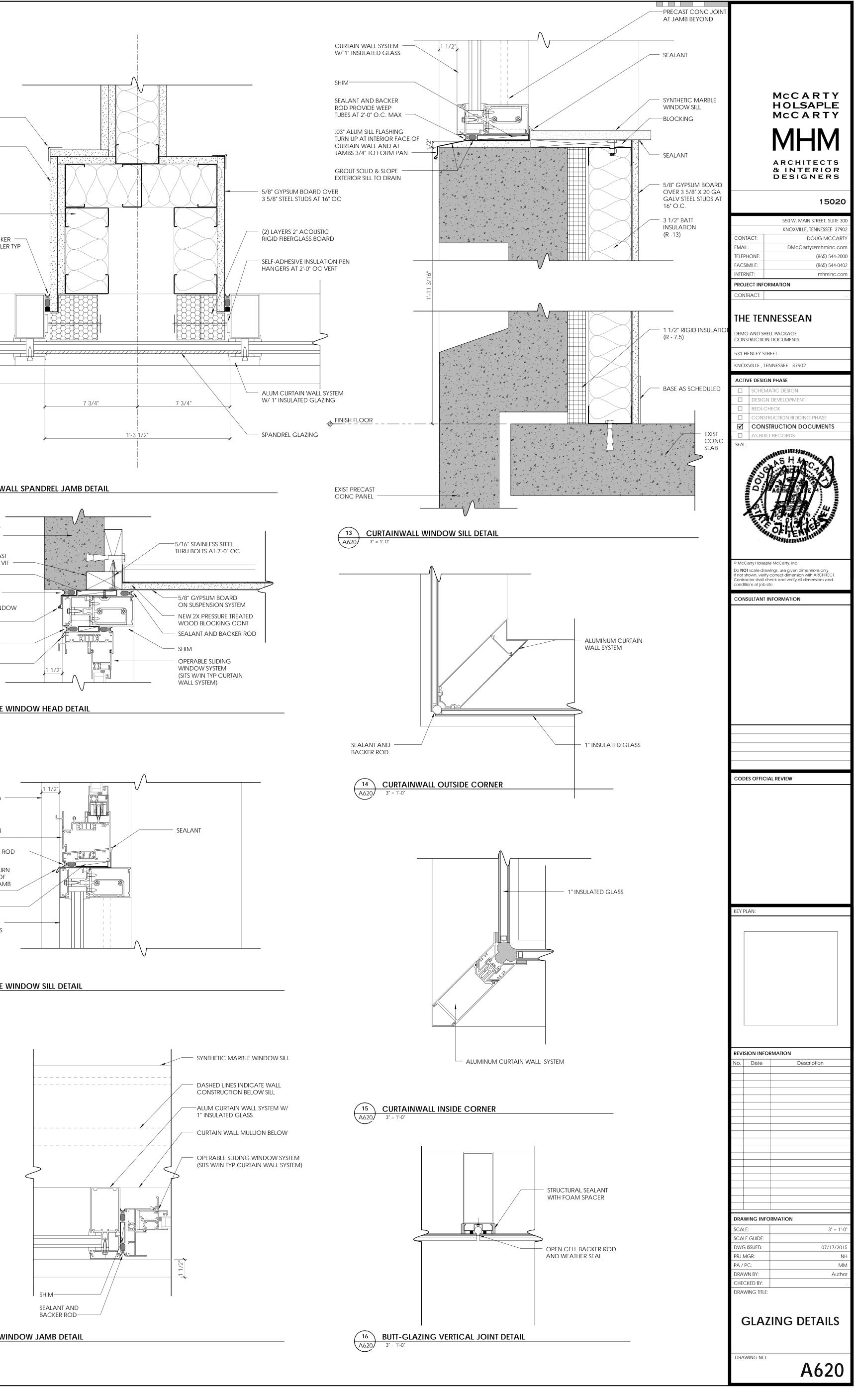
3 1/2" BATT INSULATION (R-13)

CONSTRUCTION BELOW SILL

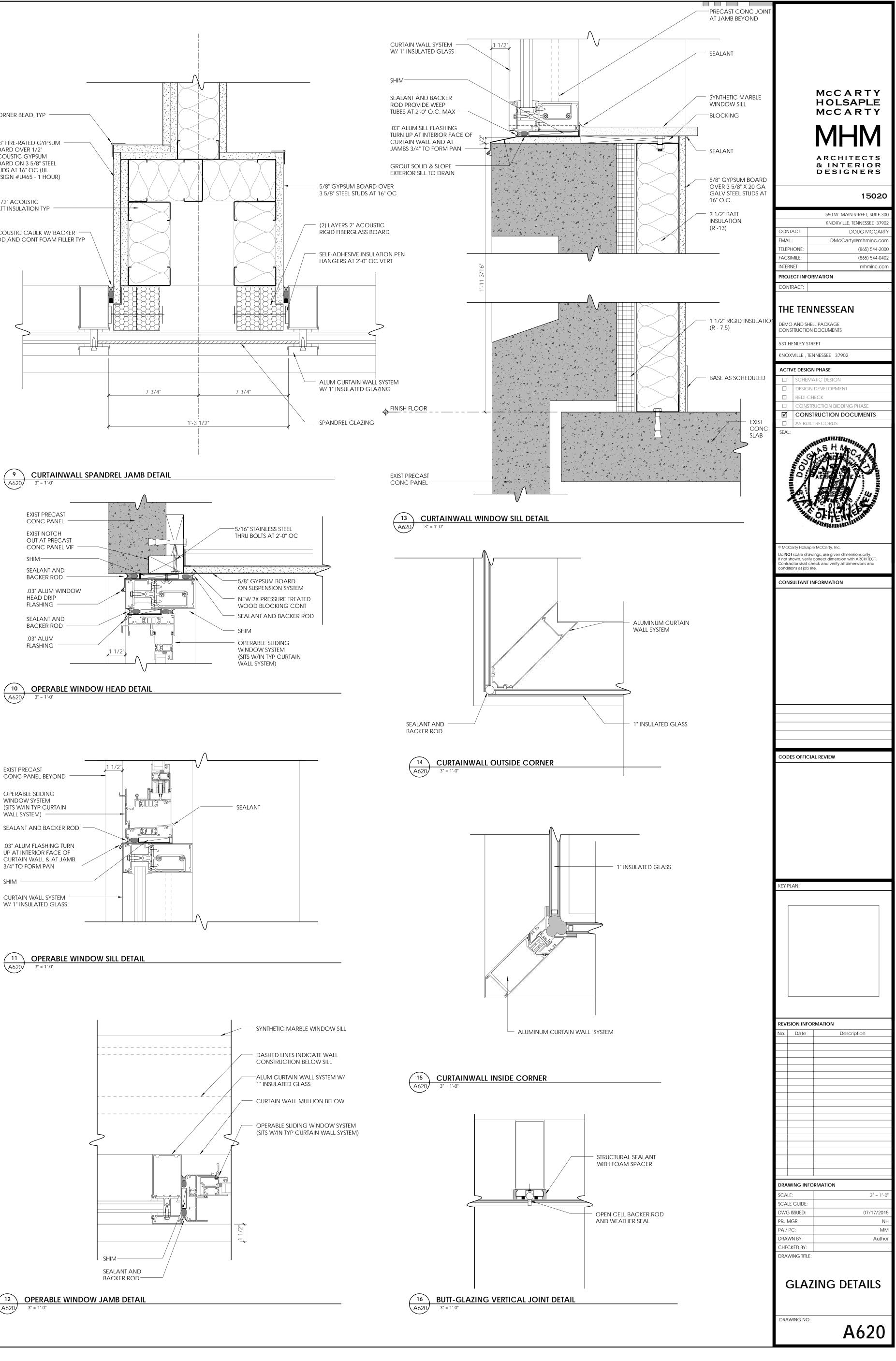
STUDS AT 16" O.C.

BEYOND

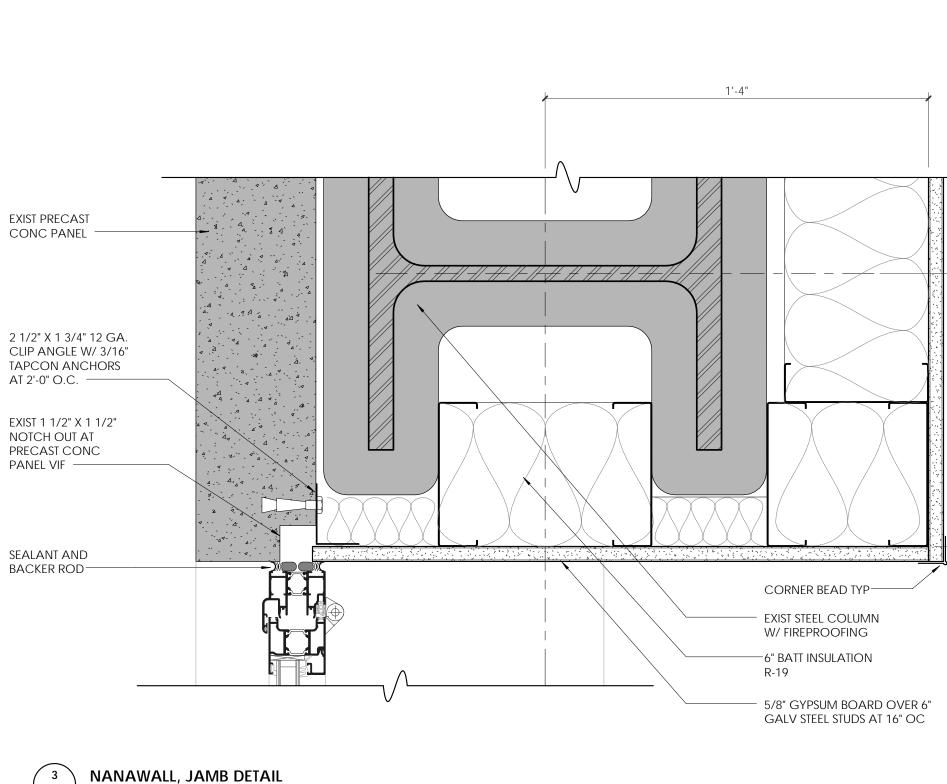








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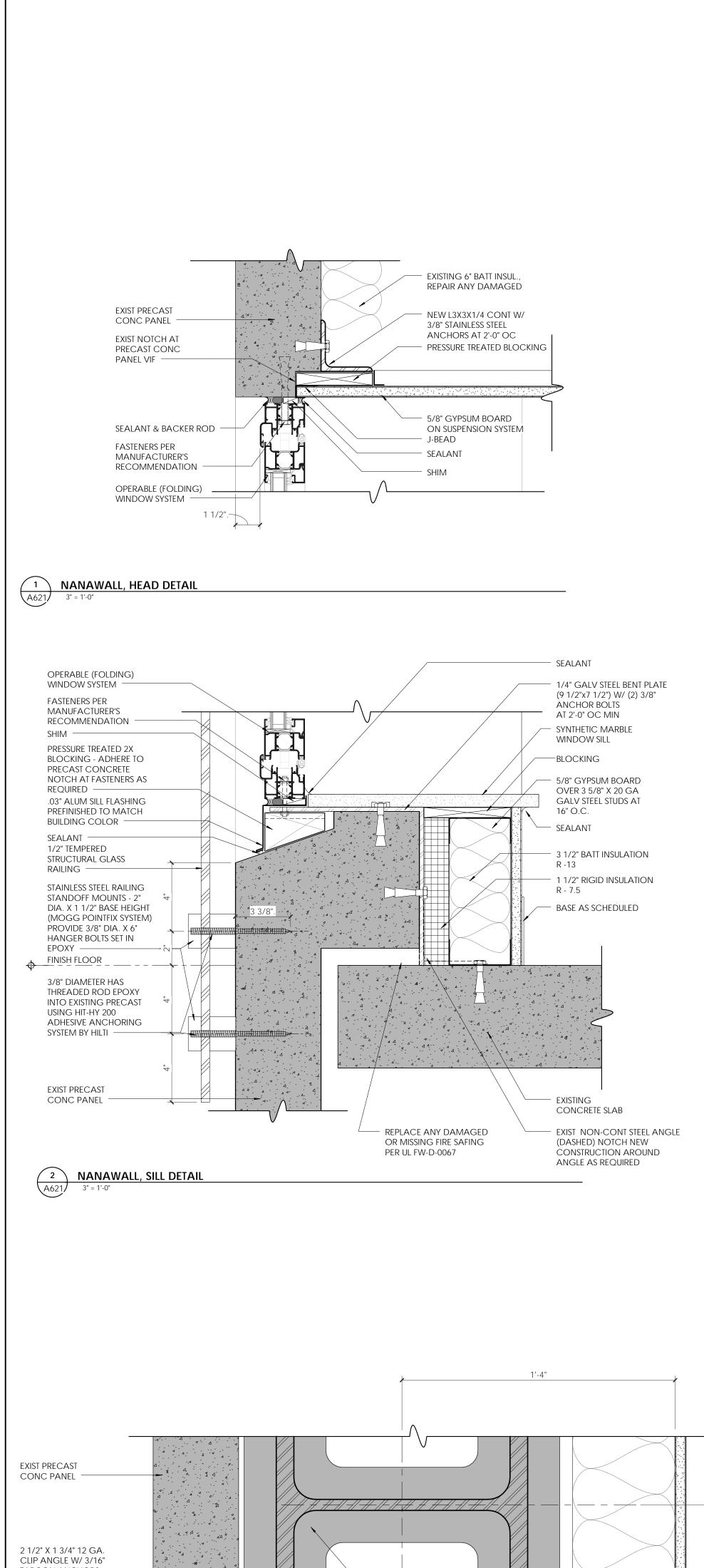
Ω

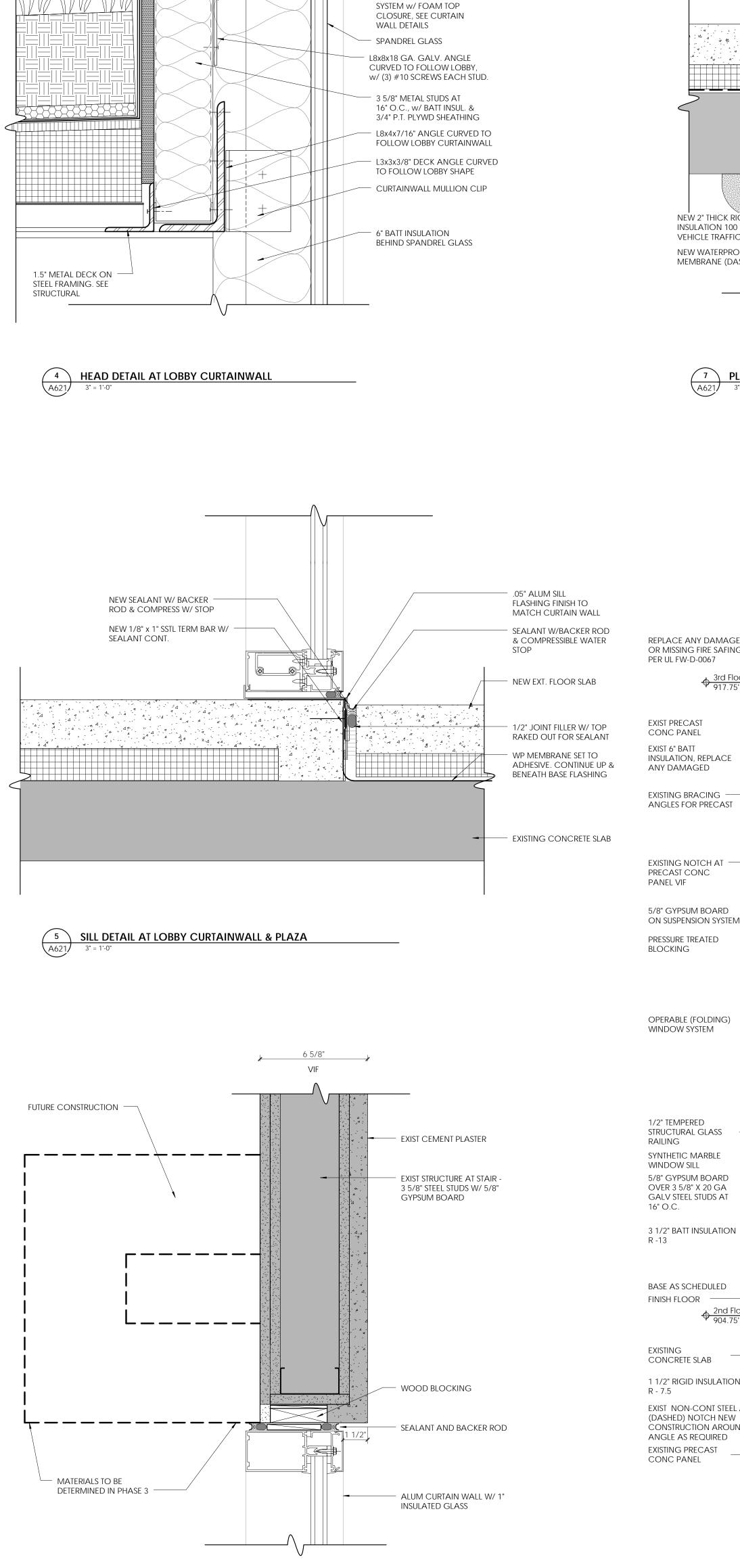
C

BINDIN

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- .050" ALUM COPING

- .050" ALUM CLEAT CONT FASTENED AT 12"

2X PT WOOD NAILER SCREWED TO MULL @

ALUM CURTAIN WALL

SPLICES

16" O.C.

W/ CONCEALED JOINT

SEE ROOF DETAILS FOR -----FURTHER INFORMATION



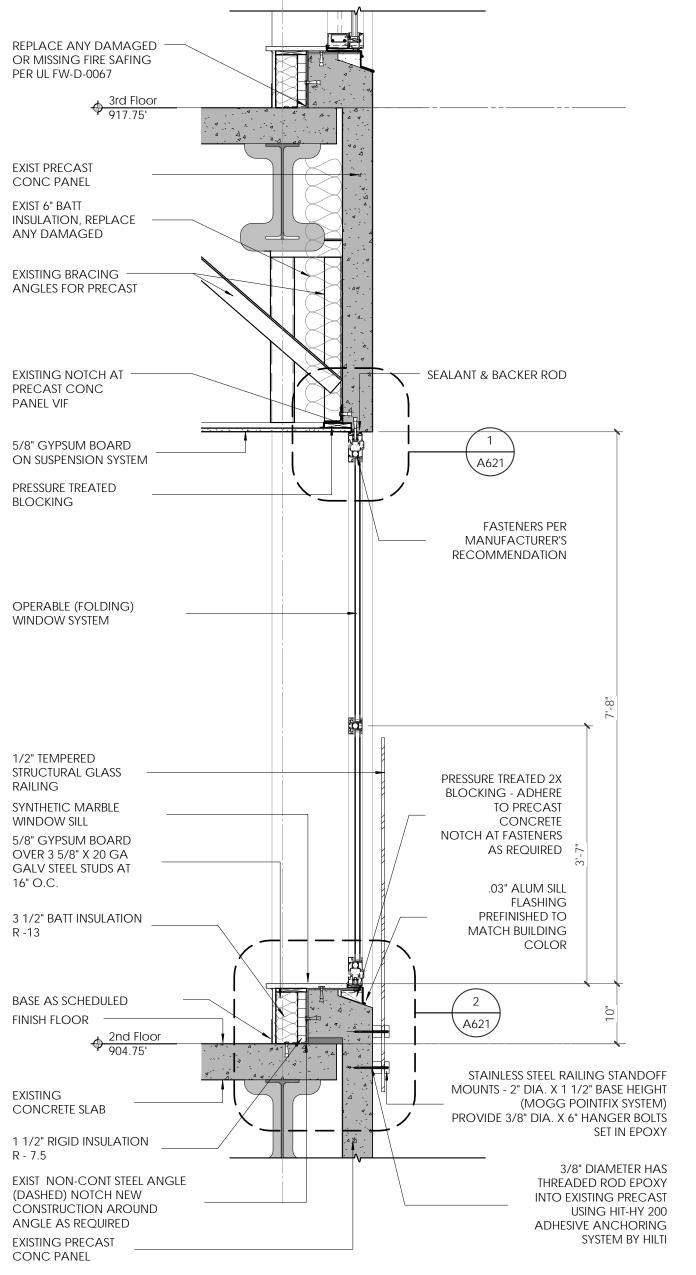
JAMB DETAIL AT LOBBY CURTAINWALL

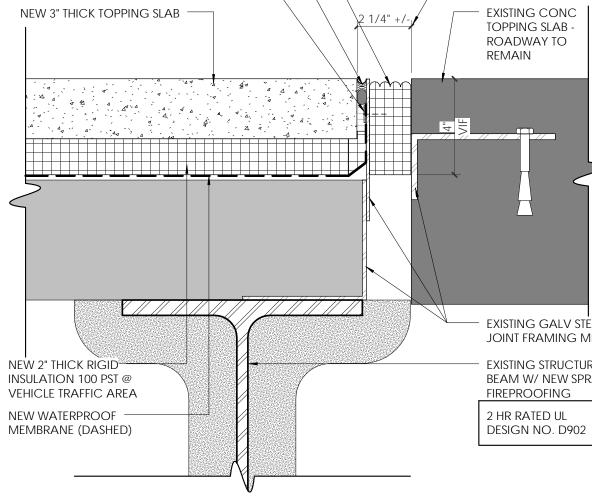






4





7 PLAZA - PAVING AT EXIST EXP JOINT 3" = 1'-0"

1

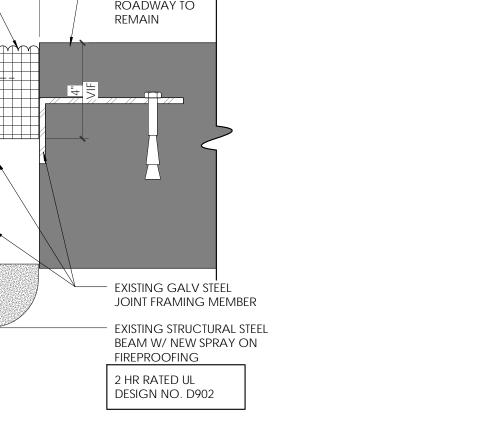
exp joint seal —

WATER STOP

SEALANT CONT.

NEW SEALANT W/ BACKER ROD & COMPRESSIBLE

NEW 1/8" x 1" SSTL TERM BAR W/ -----



- EXISTING EXP JT - VIF

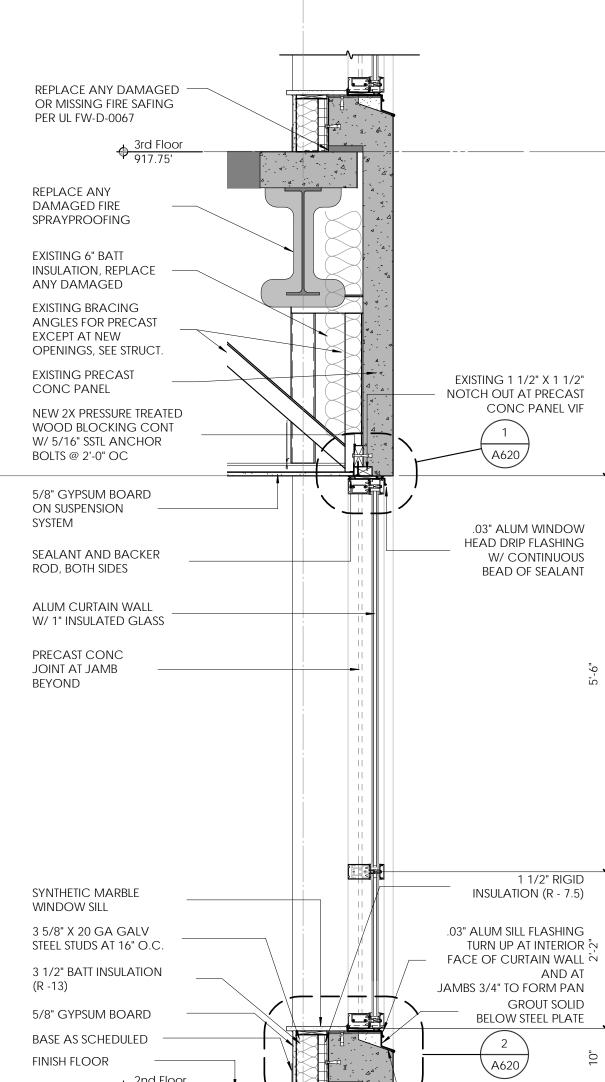








5



• 904.75'

GALV STEEL BENT PLATE W/

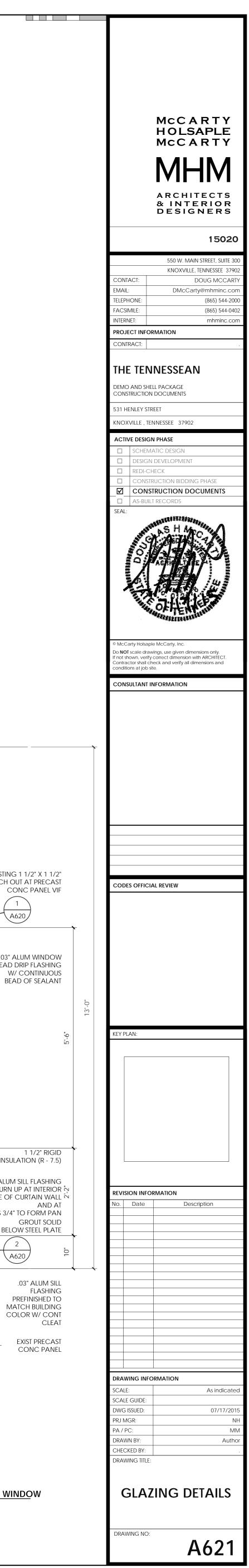
(2) 3/8" ANCHOR BOLTS

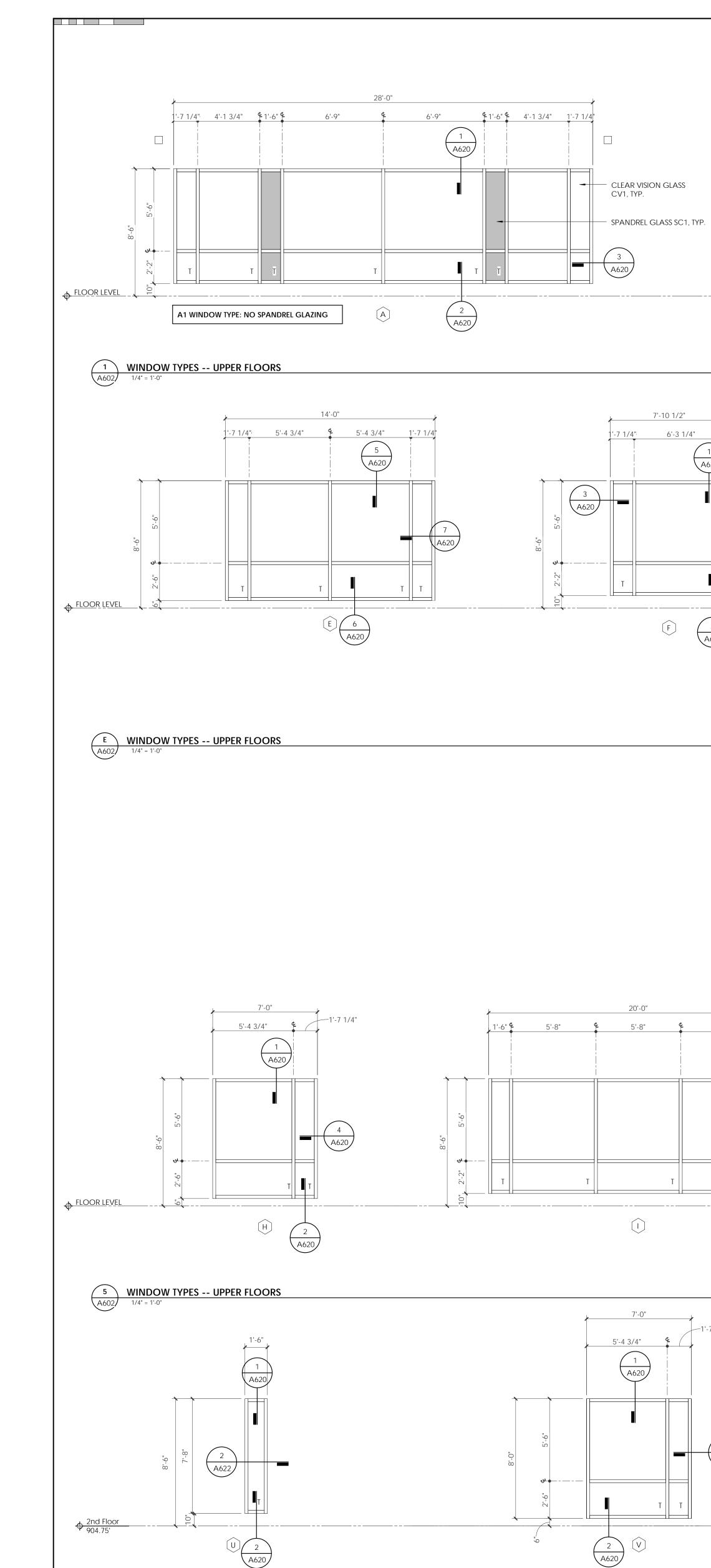
AT 2'-0" O.C. MIN, PER

STRUCTURAL

CONCRETE SLAB

existing

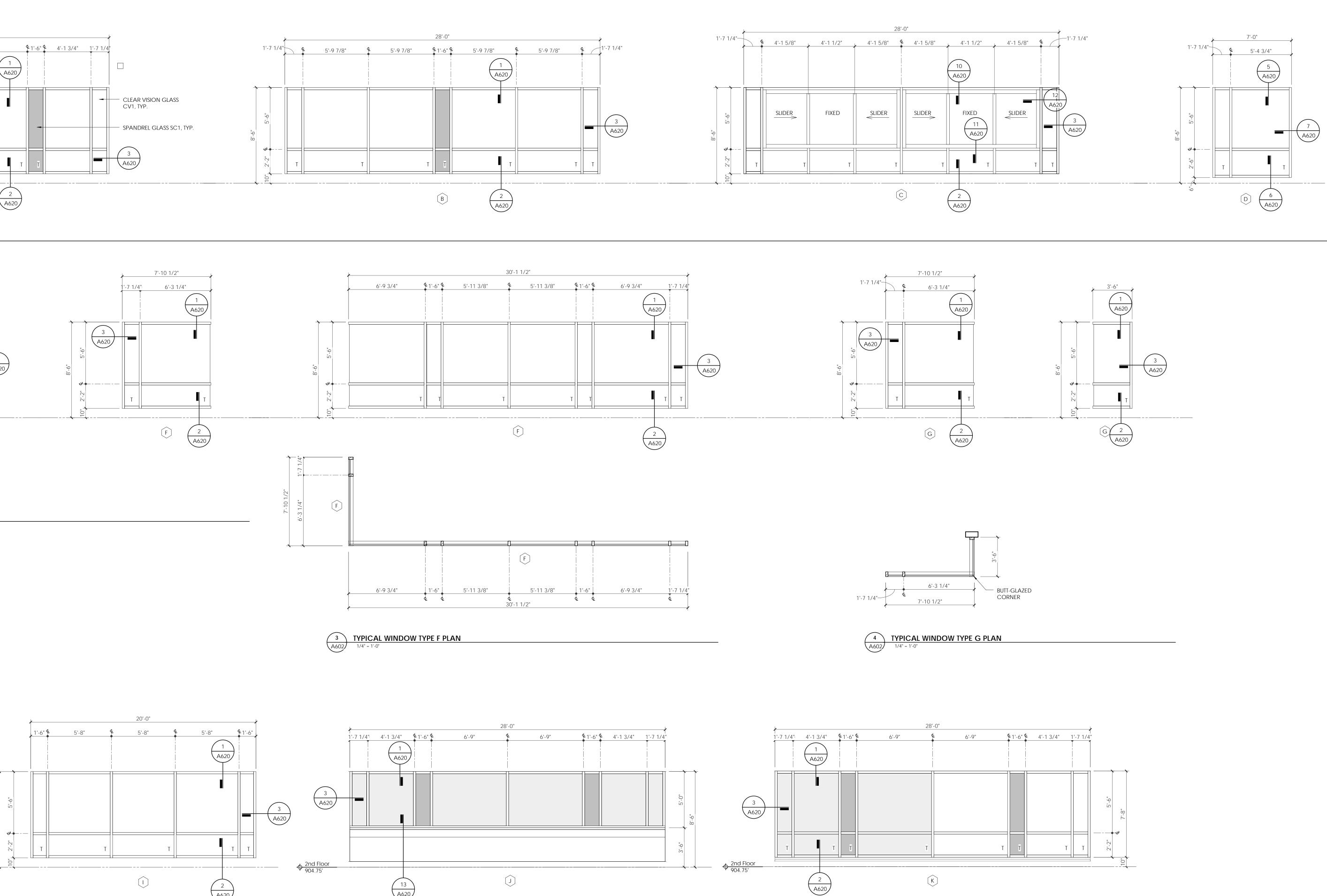


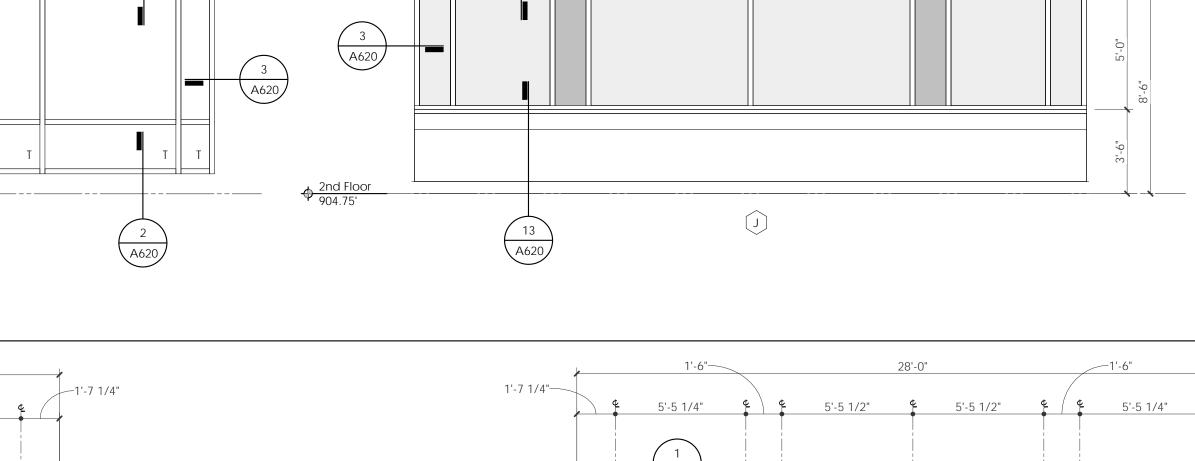


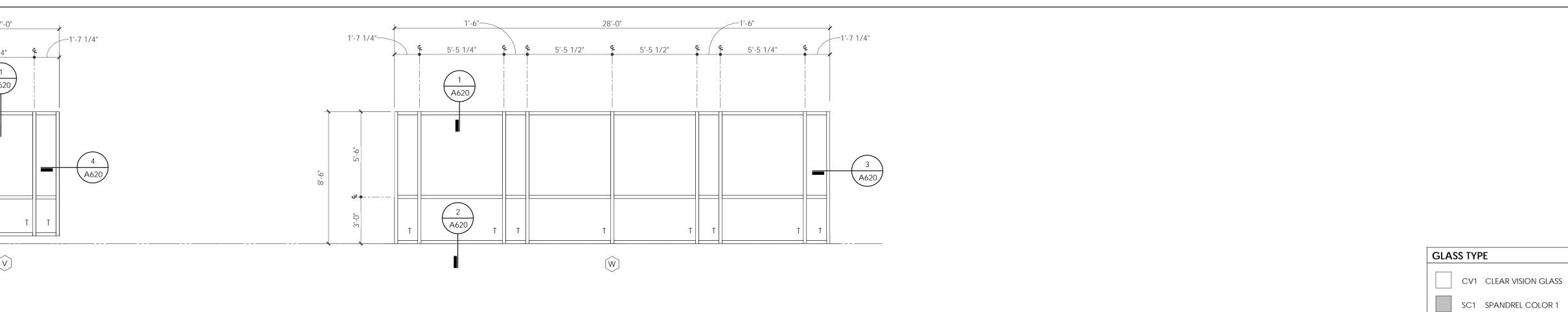
EDGE BINDING

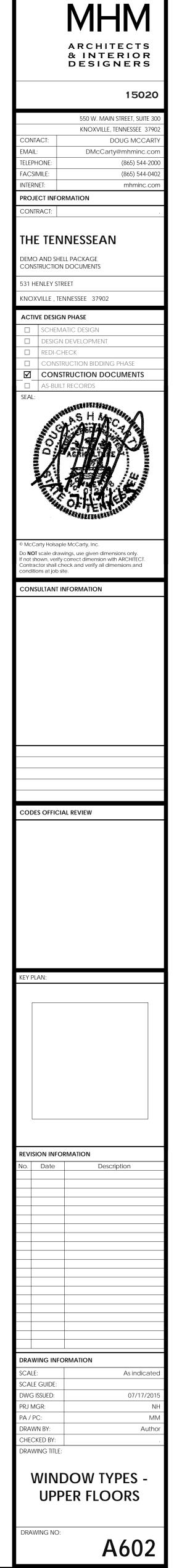
EDGE BINDING

6 WINDOW TYPES -- UPPER FLOORS A602 1/4" = 1'-0"









SC2 SPANDREL COLOR 2

McCARTY HOLSAPLE McCARTY