



Downtown Knoxville Design Overlay District Certificate of Appropriateness

Suite 403 • City County Building
400 Main Street
Knoxville, Tennessee 37902
865 • 215 • 2500
FAX • 215 • 2068
www.knoxmpc.org

Name of Applicant: Nathan Honeycutt, McCarty Holsaple McCarty

Owner Contractor Architect Engineer Other

Date Filed: 7/31/15 Application accepted by: Mike Reynolds

Fee Amount: 50.⁰⁰ Review Date: 8/19/15 File Number: 8-C-15-DT

PRE-APPLICATION CONFERENCE		Date Completed: _____
<p style="text-align: center;">PROPERTY INFORMATION</p> <p>Building or Project Name: <u>The Tennessean Hotel</u></p> <p>Street Address: <u>531 Henley Street</u></p> <p>Parcel Identification Number(s): <u>094LJ00103</u></p>	<p style="text-align: center;">PROJECT ARCHITECT/ENGINEER</p> <p>PLEASE PRINT Name: <u>Nathan Honeycutt</u></p> <p>Company: <u>McCarty Holsaple McCarty</u></p> <p>Address: <u>550 West Main Street, Suite 300</u></p> <p>City: <u>Knoxville TN</u> State: <u>TN</u> Zip: <u>37902</u></p> <p>Telephone: <u>865-544-2000</u></p> <p>Fax: <u>865-544-0402</u></p> <p>E-mail: <u>nhoneycutt@mhminc.com</u></p>	
<p style="text-align: center;">PROPERTY OWNER</p> <p>PLEASE PRINT Name: <u>Nick Cazana</u></p> <p>Company: <u>The Tennessean, LLC</u></p> <p>Address: <u>1225 Weisgarber Rd., Suite 390</u></p> <p>City: <u>Knoxville</u> State: <u>TN</u> Zip: <u>37919</u></p> <p>Telephone: <u>865-584-3967</u></p> <p>Fax: <u>865-584-4317</u></p> <p>E-mail: <u>rcazana@ciprop.com</u></p>	<p style="text-align: center;">PROJECT CONTRACTOR</p> <p>PLEASE PRINT Name: <u>Bob Perry</u></p> <p>Company: <u>Johnson & Galyon</u></p> <p>Address: <u>P.O. Box 3070</u></p> <p>City: <u>Knoxville</u> State: <u>TN</u> Zip: <u>37927</u></p> <p>Telephone: <u>865-688-1111</u></p> <p>Fax: <u>865-688-1114</u></p> <p>E-mail: <u>bobp@johnsongalyon.com</u></p>	
<p style="text-align: center;">ACCOMPANYING MATERIALS</p> <p>Please see the reverse side of this form for a list of information required as part of this application.</p>		
FOR OFFICE USE ONLY		
<p style="text-align: center;">PROJECT INFORMATION</p> <p>LEVEL 1: \$50</p> <p><input checked="" type="checkbox"/> Minor Alteration of an Existing Building/Structure</p> <p><input type="checkbox"/> Sign</p> <p>LEVEL 2: \$100</p> <p><input type="checkbox"/> Major Alteration of an Existing Building/Structure</p> <p><input type="checkbox"/> Addition to an Existing Building/Structure</p> <p>LEVEL 3: \$250</p> <p><input type="checkbox"/> Construction of New Building/Structure</p>	<p style="text-align: center;">PROJECT CONTACT</p> <p>All application-related correspondence should be directed to:</p> <p>PLEASE PRINT Name: <u>Ryan Cazana</u></p> <p>Company: <u>Commercial & Investment Properties</u></p> <p>Address: <u>1225 Weisgarber Rd., Suite 390</u></p> <p>City: <u>Knoxville</u> State: <u>TN</u> Zip: <u>37919</u></p> <p>Telephone: <u>865-584-3967</u></p> <p>Fax: <u>865-584-4317</u></p> <p>E-mail: <u>rcazana@ciprop.com</u></p>	

NOTE: Payment is due at time of application. Please make check payable to Knoxville Knox County Metropolitan Planning Commission.

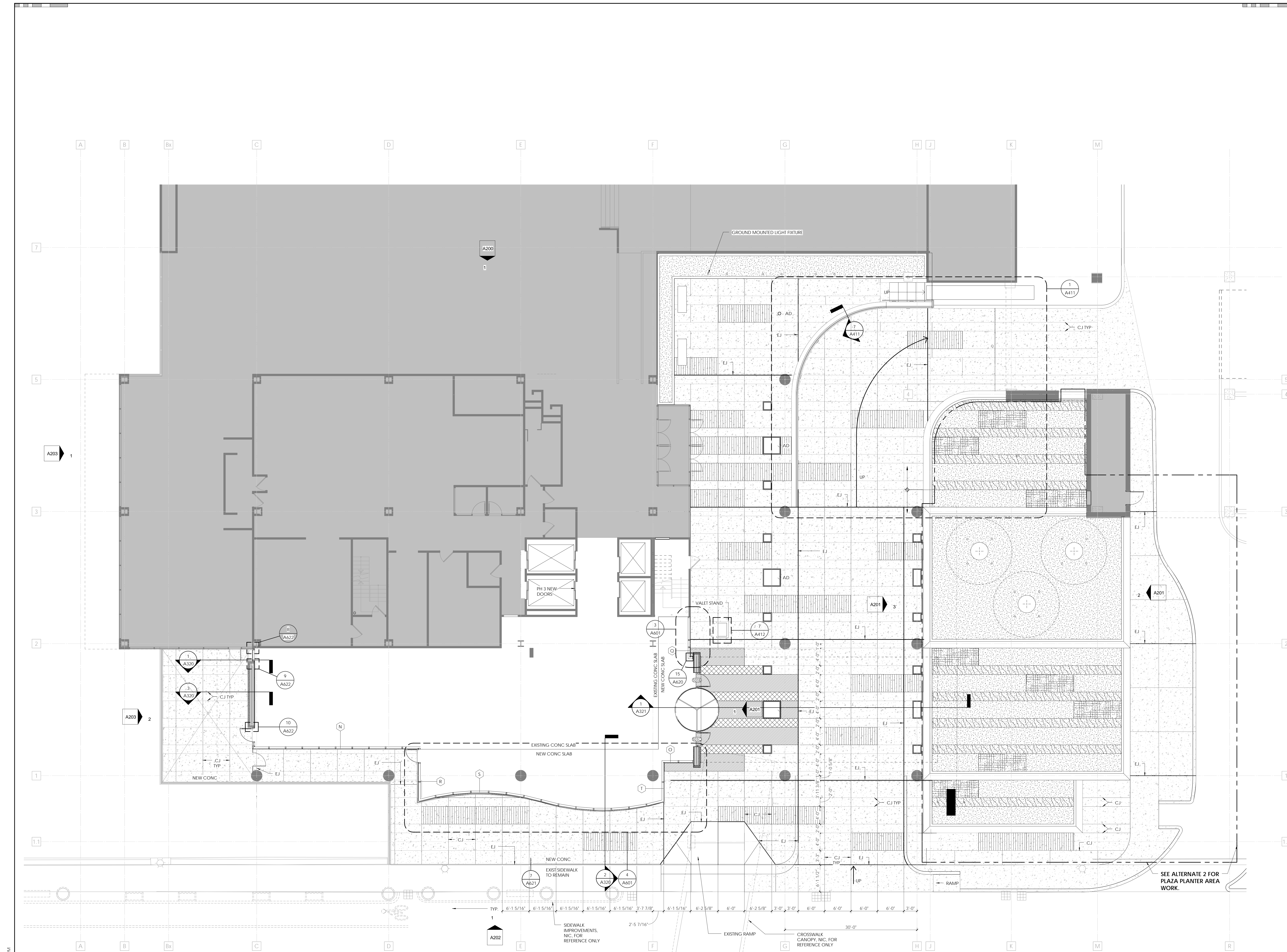




BINDING EDGE

BINDING EDGE

BINDING EDGE



TIME / DATE: 7/21/2015 4:23:48 PM

1 A112 B

 FLOOR PLAN - PLAZA LEVEL PAVING

 1/8" = 1'-0"

PLAZA PAVING LEGEND

	NEW INTEGRAL COLOR CONCRETE - COLOR 1
	NEW INTEGRAL COLOR CONCRETE - COLOR 2
	NEW TILE TYPE 1
	NEW TILE TYPE 2

**MCCARTY
HOLSAPLE
MCCARTY**

MHM

ARCHITECTS
& INTERIOR
DESIGNERS

15020

550 W. MAIN STREET, SUITE 300
KNOXVILLE, TENNESSEE 37902

CONTACT: DOUG MCCARTY
EMAIL: DMcCarthy@mhmnc.com
TELEPHONE: (865) 544-2000
FACSIMILE: (865) 544-0602
INTERNET: mhmnc.com

PROJECT INFORMATION

CONTRACT: _____

THE TENNESSEAN

DEMO AND SHELL PACKAGE
CONSTRUCTION DOCUMENTS

531 HENLEY STREET
KNOXVILLE, TENNESSEE 37902

ACTIVE DESIGN PHASE

SCHEMATIC DESIGN
 DESIGN DEVELOPMENT
 REVISION CHECK
 CONSTRUCTION BIDDING PHASE
 CONSTRUCTION DOCUMENTS
 AS-BUILT RECORDS

SEAL:

MCCARTY HOLSAPLE MCCARTY, INC.
DO NOT SCALE DRAWINGS. USE GIVEN DIMENSIONS ONLY.
FIELD DIMENSIONS CONTROL OVER DIMENSIONS SHOWN ON DRAWINGS.
CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD.

CONSULTANT INFORMATION

NAME	COMPANY	DATE

CODES OFFICIAL REVIEW

NAME	DATE

KEY PLAN

REVISION INFORMATION

No.	Date	Description

DRAWING INFORMATION

SCALE:	As Indicated
SCALE GUIDE:	
DATE ISSUED:	07/17/2015
PREPARED BY:	NH
DESIGNED BY:	MM
DRAWN BY:	MM
CHECKED BY:	MM
DRAWING TITLE:	

FLOOR PLAN - PLAZA LEVEL PAVING

DRAWING NO: **A112 B**

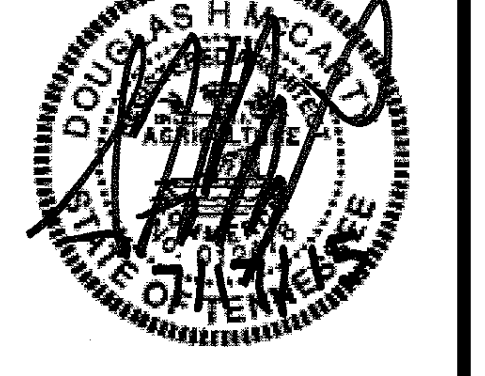
THE TENNESSEAN

DEMO AND SHELL PACKAGE
CONSTRUCTION DOCUMENTS
531 HENLEY STREET
KNOXVILLE, TENNESSEE 37902

ACTIVE DESIGN PHASE

- SCHEMATIC DESIGN
- DESIGN DEVELOPMENT
- REVISION CHECK
- CONSTRUCTION BIDDING PHASE
- CONSTRUCTION DOCUMENTS
- AS-BUILT RECORDS

SEAL:

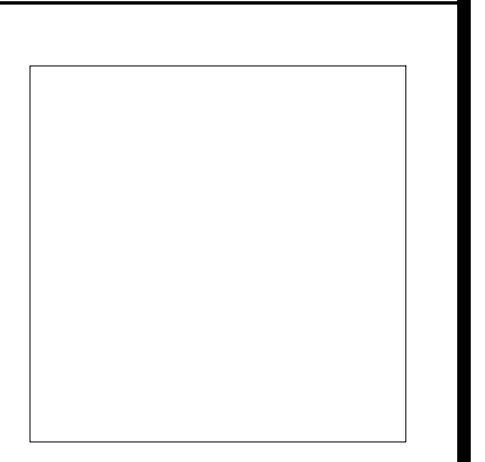


Mccarty Holsaple McCarty, Inc.
Do NOT scale drawings. Use given dimensions only.
Print drawings on color copiers approved with MCHS/ICC.
Contractor shall check and verify all dimensions and conditions on site.

CONSULTANT INFORMATION

CODES OFFICIAL REVIEW

KEY PLAN



REVISION INFORMATION

No.	Date	Description

DRAWING INFORMATION

SCALE:	As Indicated
SCALE GUIDE:	
DWG. ISSUED:	07/17/2015
PRJ. MGR:	NH
PA./PC.:	MM
DRAWN BY:	
CHECKED BY:	
DRAWING TITLE:	

EXTERIOR SOUTH ELEVATION

BINDING EDGE

BINDING EDGE

BINDING EDGE



1 SOUTH ELEVATION
DASHED
1/8" = 1'-0"

EXHIBIT LEVEL NOT SHOWN. SEE SHEET

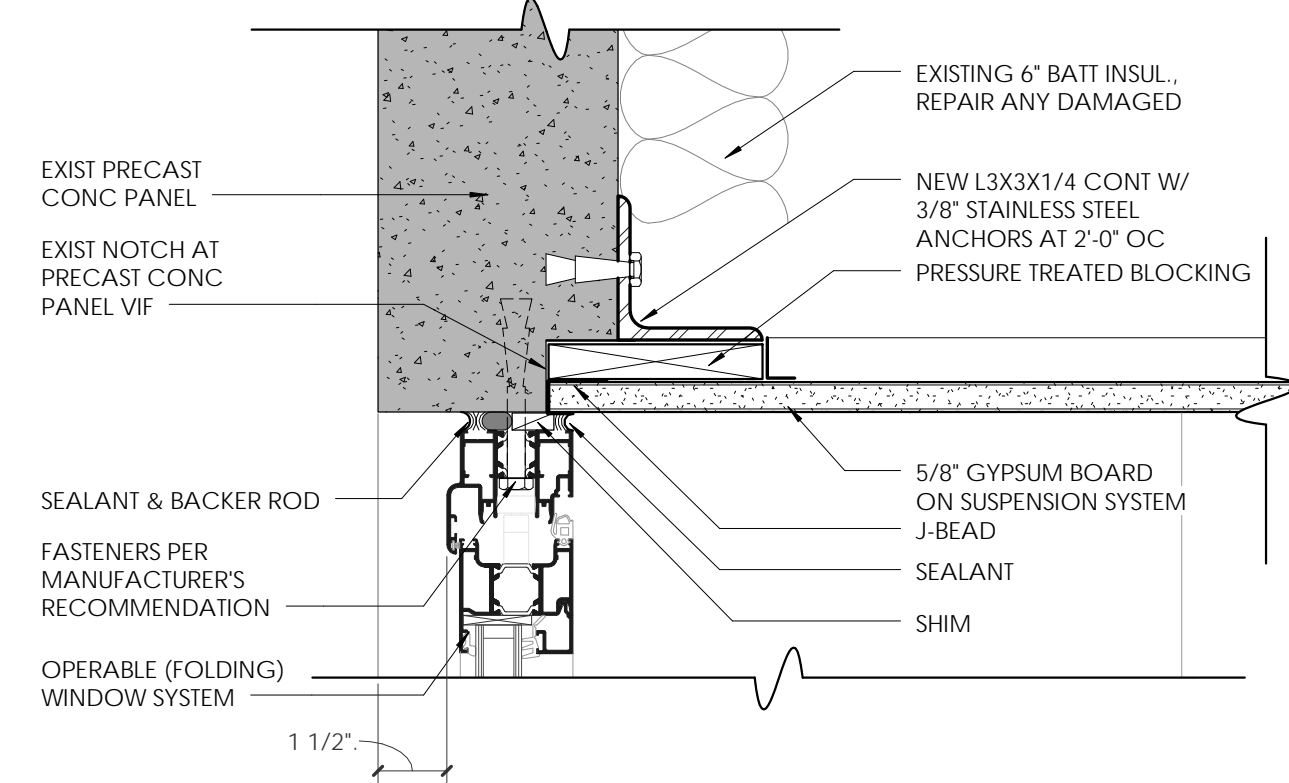
EXTERIOR COLOR LEGEND

SC1	SPANDREL COLOR 1
SC2	SPANDREL COLOR 2
PC1	PENTHOUSE COLOR 1
PC2	PENTHOUSE COLOR 2
PC3	PENTHOUSE COLOR 3
PR1	PRECAST COLOR 1
PR2	PRECAST COLOR 2
CC1	COLUMN COLOR 1

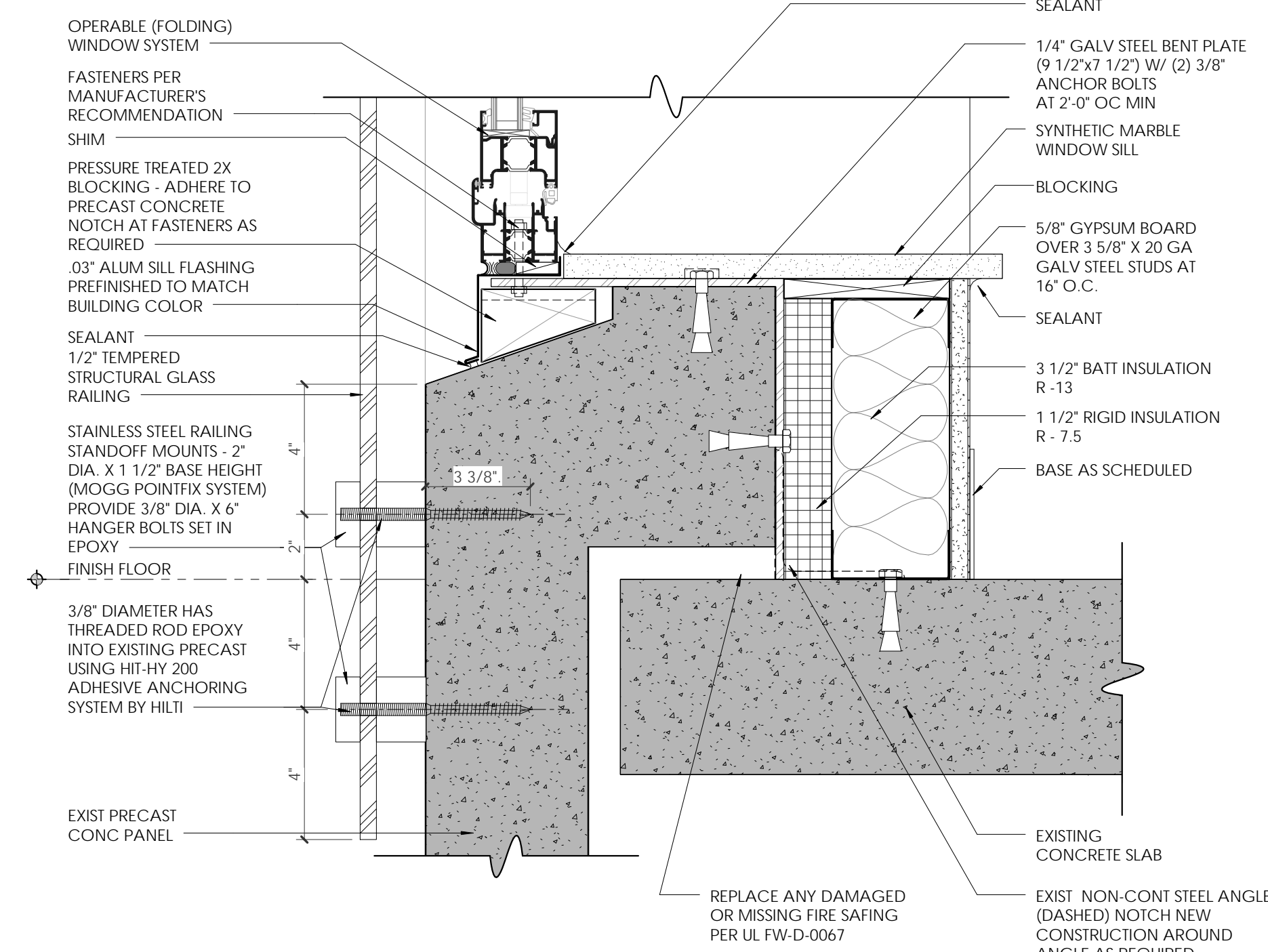
BINDING EDGE

BINDING EDGE

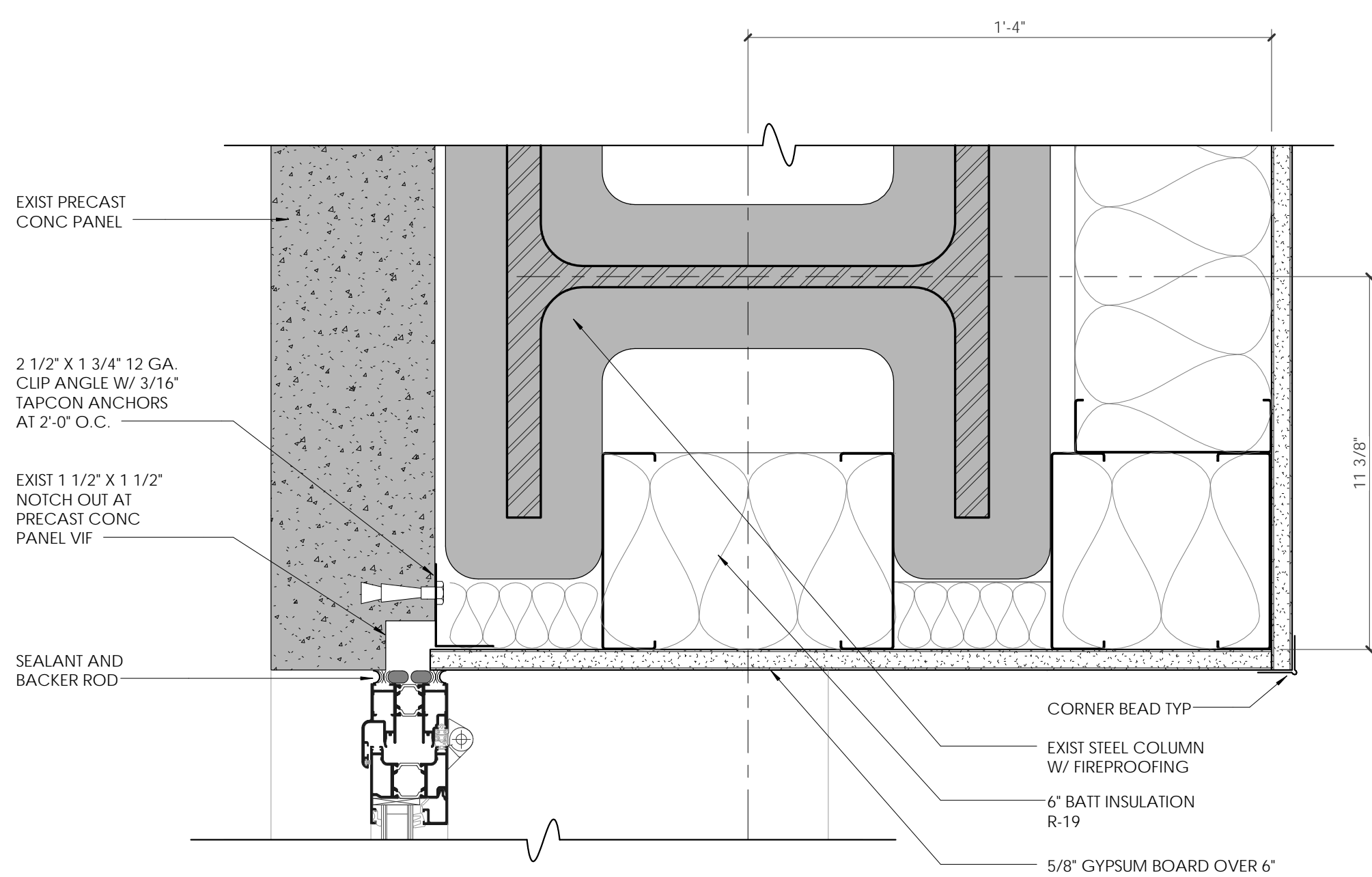
BINDING EDGE



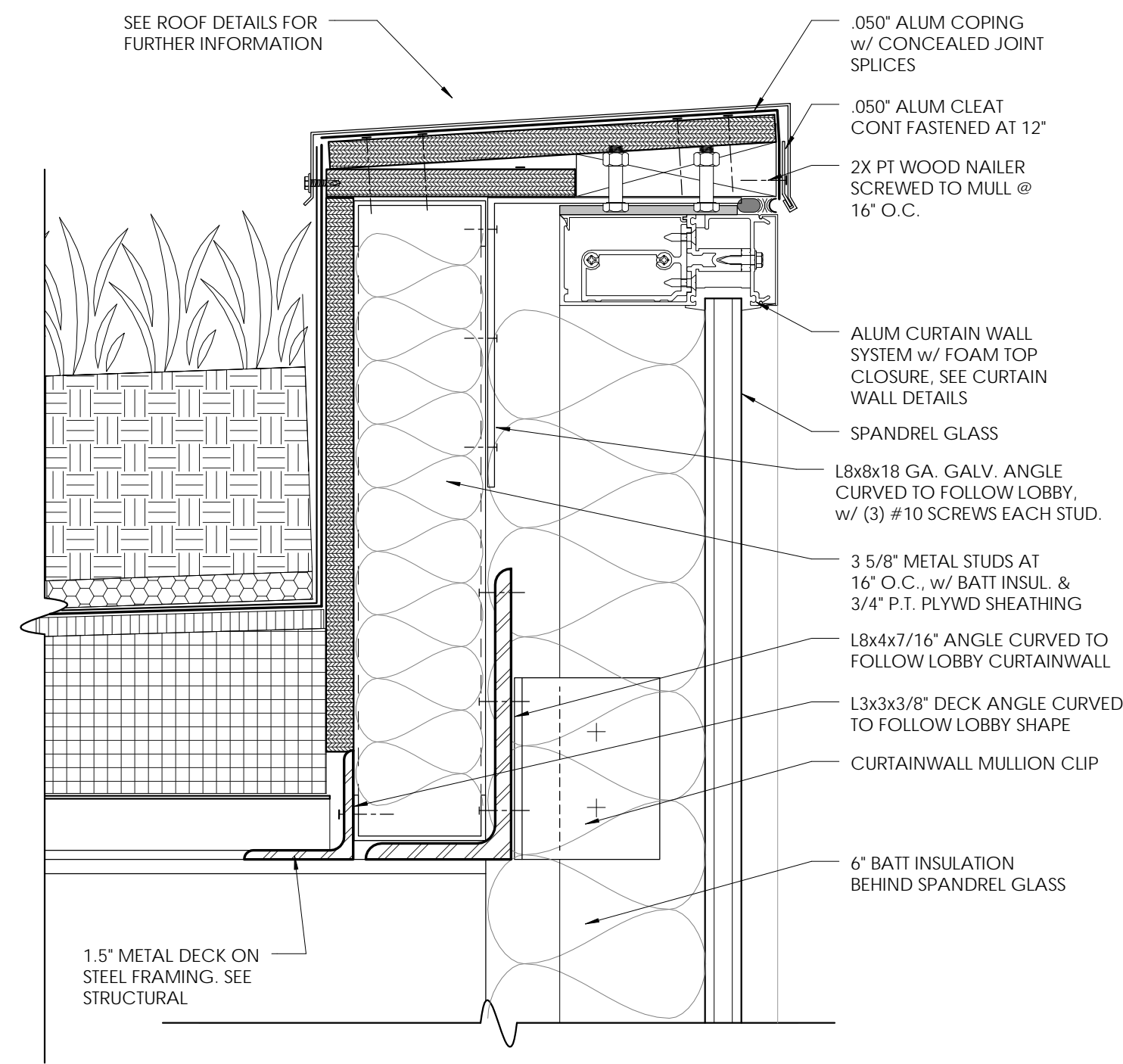
1 NANAWALL, HEAD DETAIL
3\"/>



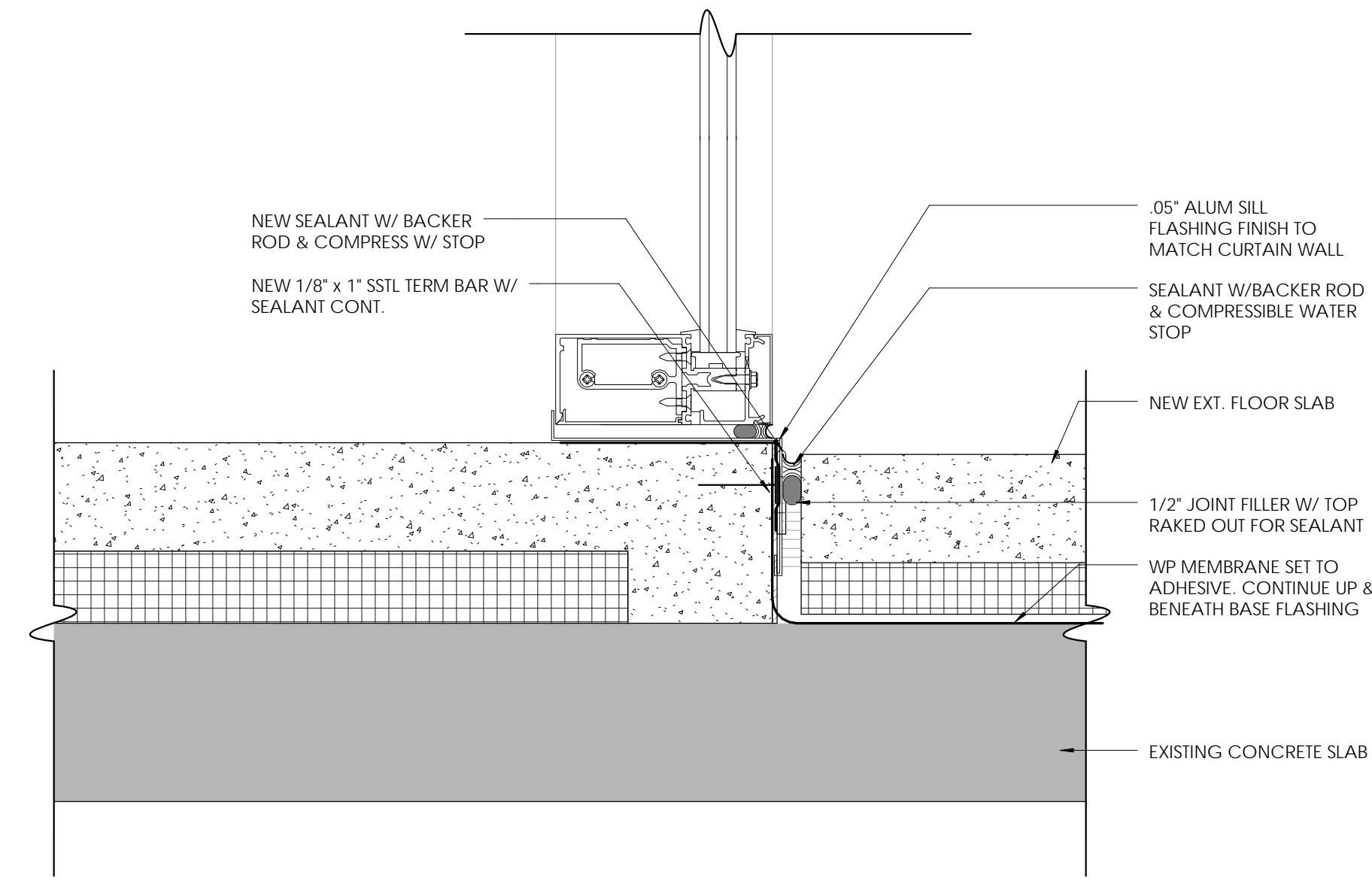
2 NANAWALL, SILL DETAIL
3\"/>



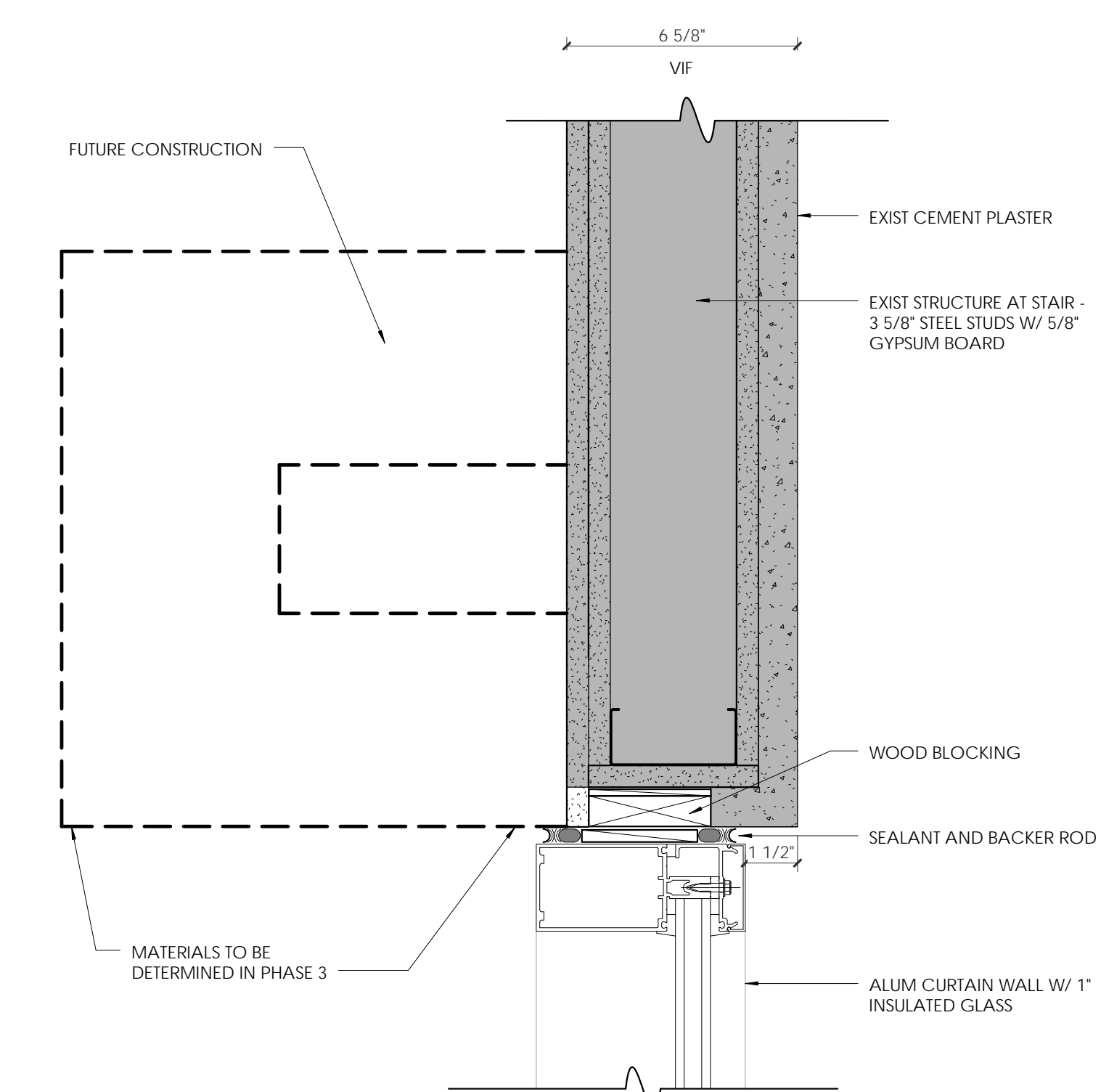
3 NANAWALL, JAMB DETAIL
3\"/>



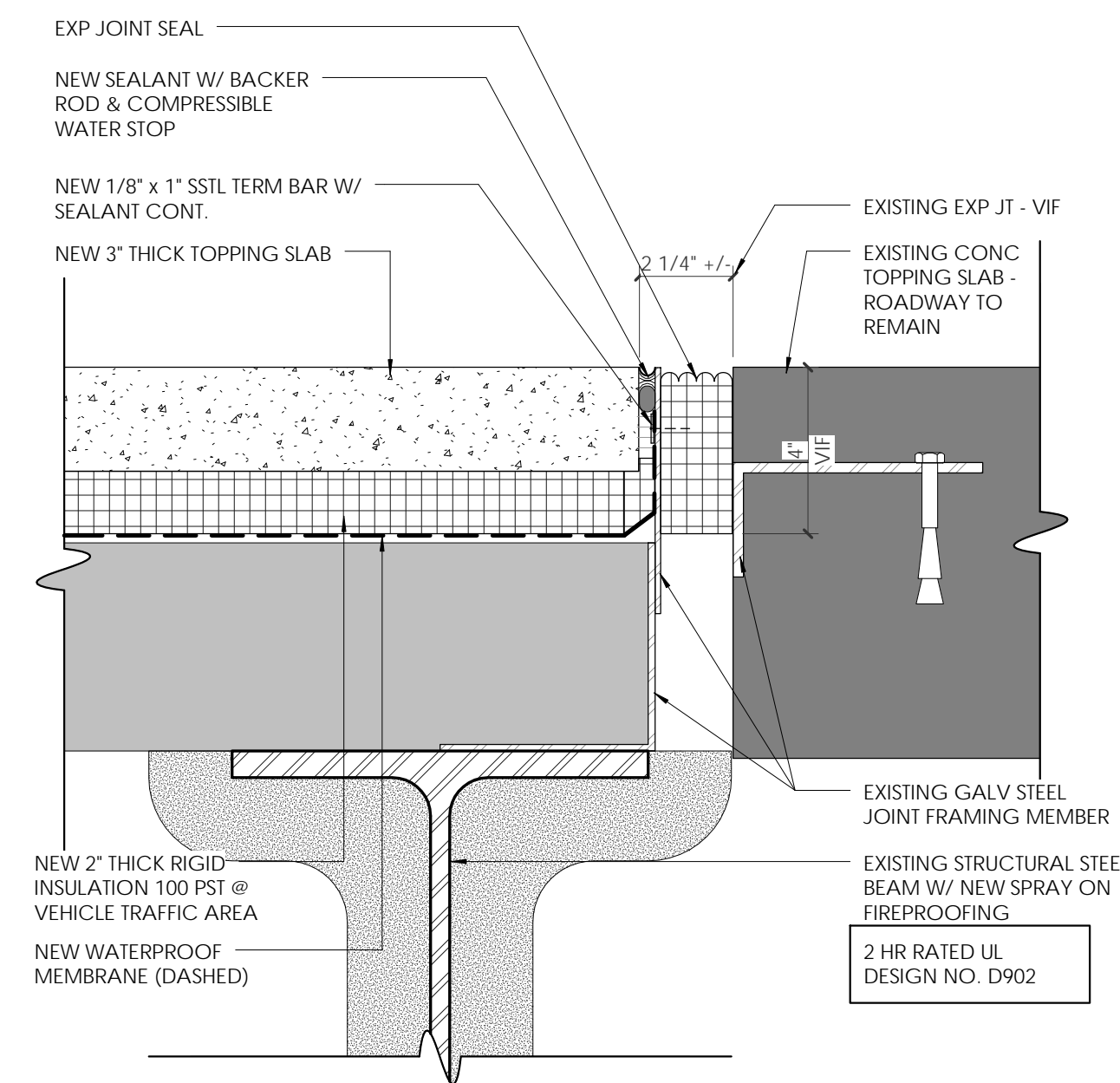
4 HEAD DETAIL AT LOBBY CURTAINWALL
3\"/>



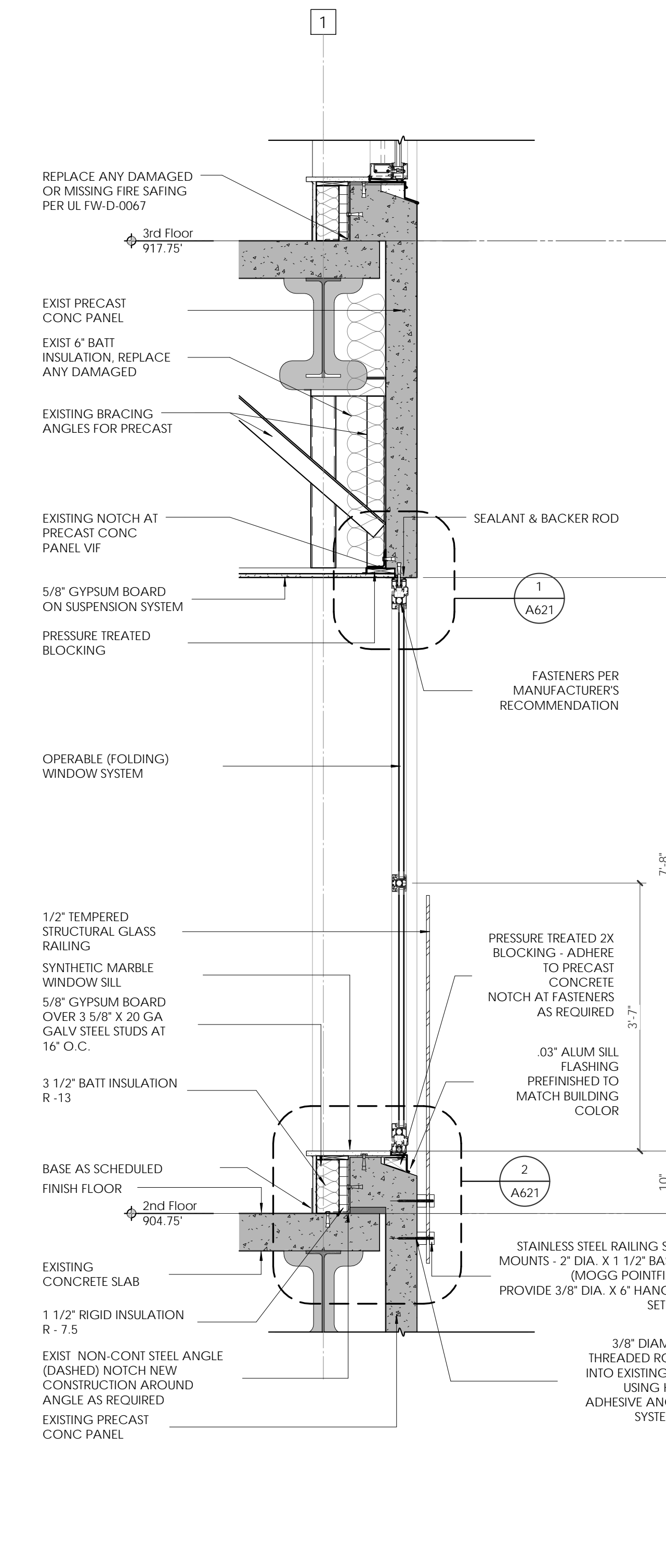
5 SILL DETAIL AT LOBBY CURTAINWALL & PLAZA
3\"/>



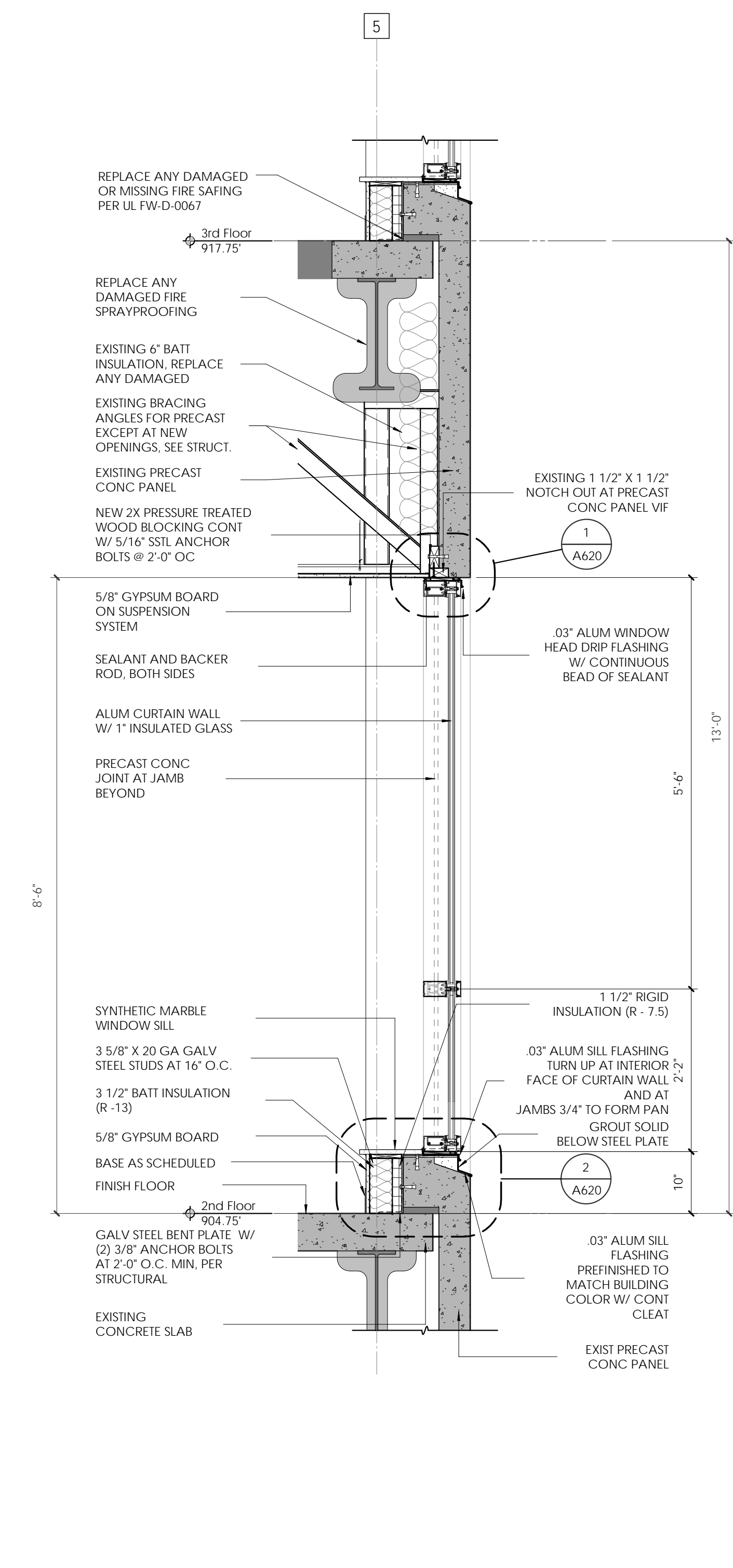
6 JAMB DETAIL AT LOBBY CURTAINWALL
3\"/>



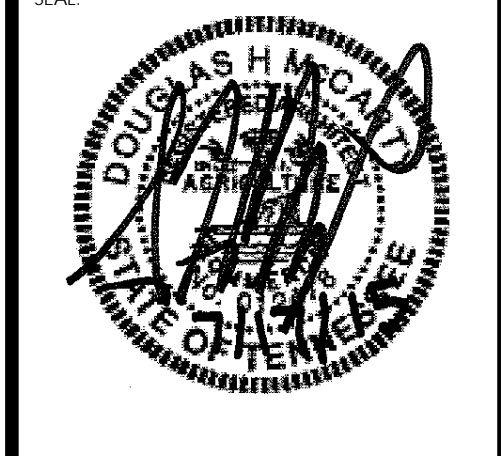
7 PLAZA - PAVING AT EXIST EXP JOINT
3\"/>



8 WALL SECTION AT NANA WALL
3/4\"/>



9 WALL SECTION THROUGH UPPER LEVEL WINDOW
3/4\"/>



No.	Date	Description

