



1956-2006

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MEMORANDUM

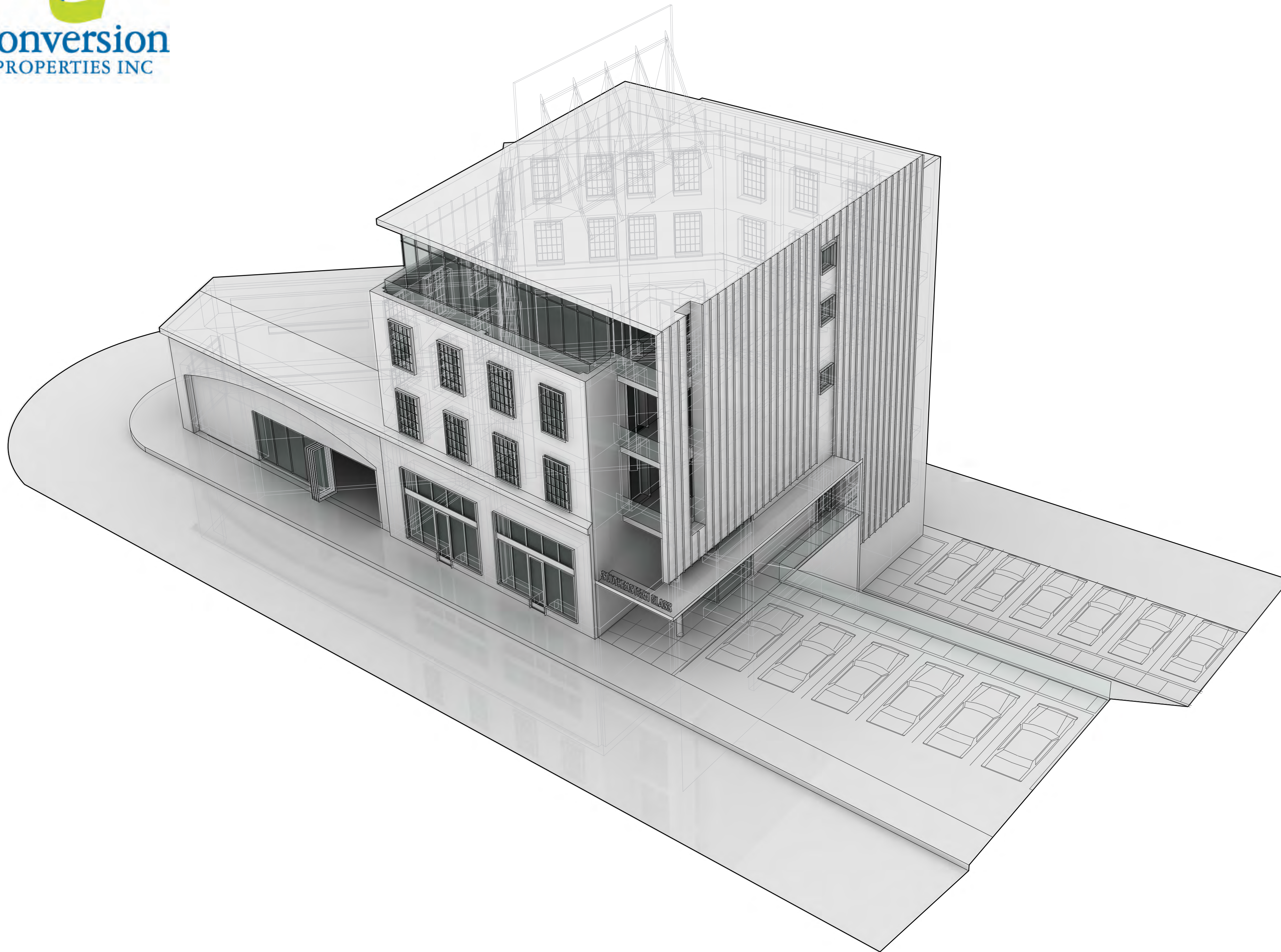
To: Downtown Design Board
From: Anne K. Bennett
Date: May 14, 2008
Re: Southeastern Glass Building (File #: 5-B-08-DT)

I have reviewed the proposed addition to the Southeastern Glass Building at the corner of W. Jackson and N. Broadway. In my opinion, the addition is an acceptable interpretation of the D-1 Design guidelines for the following reasons:

The Historic Resources section of the Downtown Design Guidelines (Section C.1) begins with the general rule that a one story addition on a rooftop may be appropriate if it is not visible from ground level and if the building is more than four stories tall. This section goes on to say that the addition should be built with compatible materials.

- 1) The SE Glass Building is a six story building on the north side and four (three plus a mezzanine) from the Jackson/Broadway street level.
- 2) The proposed roof addition is stepped back from the top story of the building, and adds another "terrace" to a building that already contains varying roof heights.
- 3) The proposed addition will not be taller than two mechanical or elevator roof additions now present on the building, both of which are utilitarian in design.
- 4) The illustrations of the additions show them to be white, and very obvious. This was done for purposes of illustration, and is not reflective of the final coloration of the additions, but the Design Review Board should take care to assure that the additions blend with the existing building materials in their final form.
- 5) The ground floor (elevator/access stair) addition is necessary if the building is to be reused. It steps back from the existing building on W. Jackson, and is designed to be compatible with the existing building while still being a product of this era - a principal that is promulgated in the Secretary of Interior's Standards for Rehabilitation used to guide the reuse of National Register listed properties





DESIGN DEVELOPMENT UNIT MIX - 07 MAY 08

LEVEL 04 - 3858 GROSS S.F.

NET SELLABLE S.F. = 3088
2- 1 BEDROOM UNITS
1- 2 BEDROOM UNIT

LEVEL 03 - 4835 GROSS S.F.

NET SELLABLE S.F. = 3787
3- 1 BEDROOM UNITS
2- 2 BEDROOM UNIT

LEVEL 02 - 4835 GROSS S.F.

NET SELLABLE S.F. = 3670
3- 1 BEDROOM UNITS
1- 2 BEDROOM UNIT

LEVEL 01 + MEZZ - 9524 GROSS S.F.

NET SELLABLE S.F. = 7210
4- COMMERCIAL UNITS
1- 2 BEDROOM UNIT

LEVEL -01 - 6794 GROSS S.F.

NET SELLABLE S.F. = 1628
2- 1 BEDROOM UNITS

LEVEL -02 - 6794 GROSS S.F.

NET SELLABLE S.F. = 1180
1- 1 BEDROOM UNIT

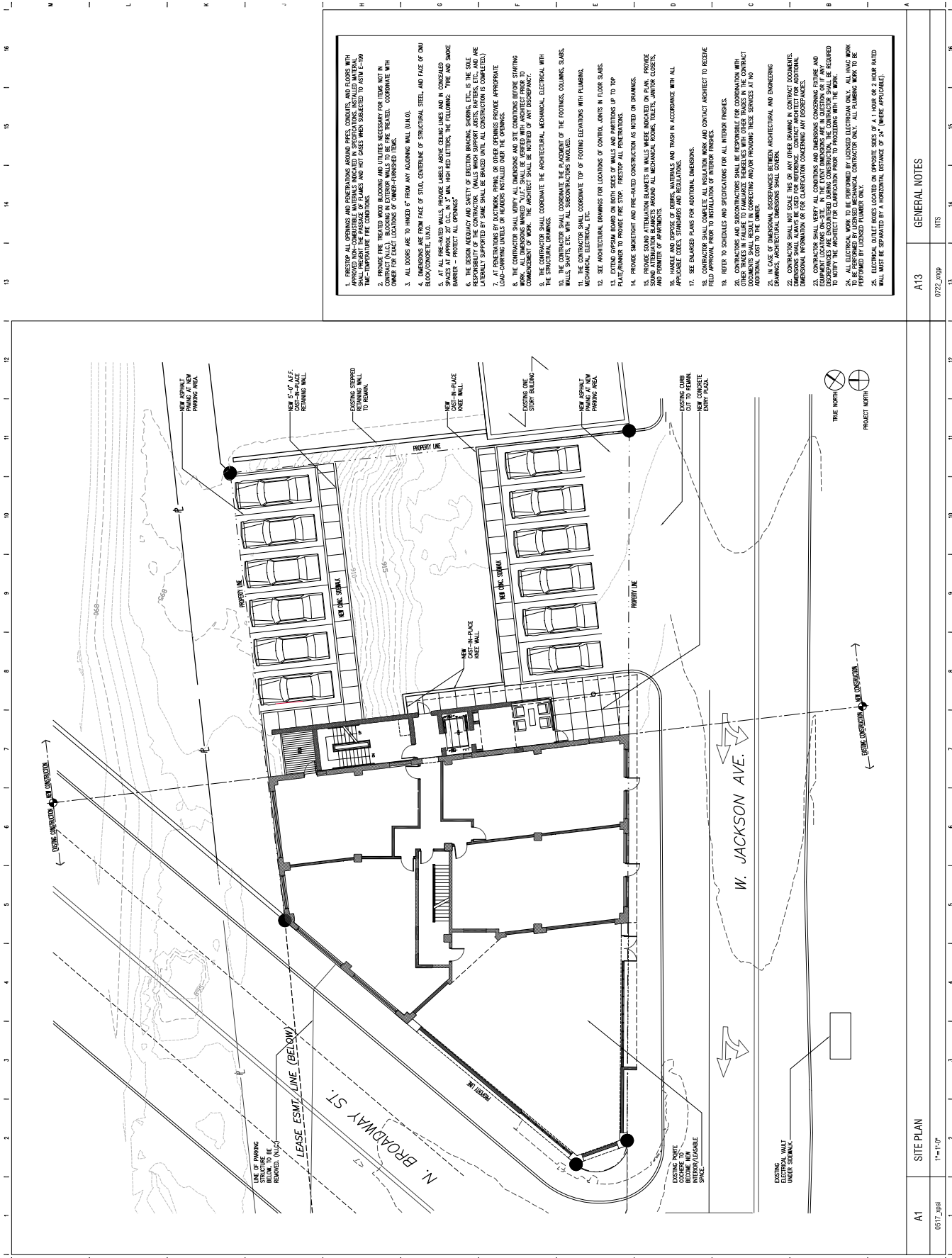
TOTALS

NET SELLABLE S.F. = 20563
4- COMMERCIAL UNITS
11- 1 BEDROOM UNITS
4- 2 BEDROOM UNITS

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without a signed stamp by architect
a0.0
design development
25 April 2008

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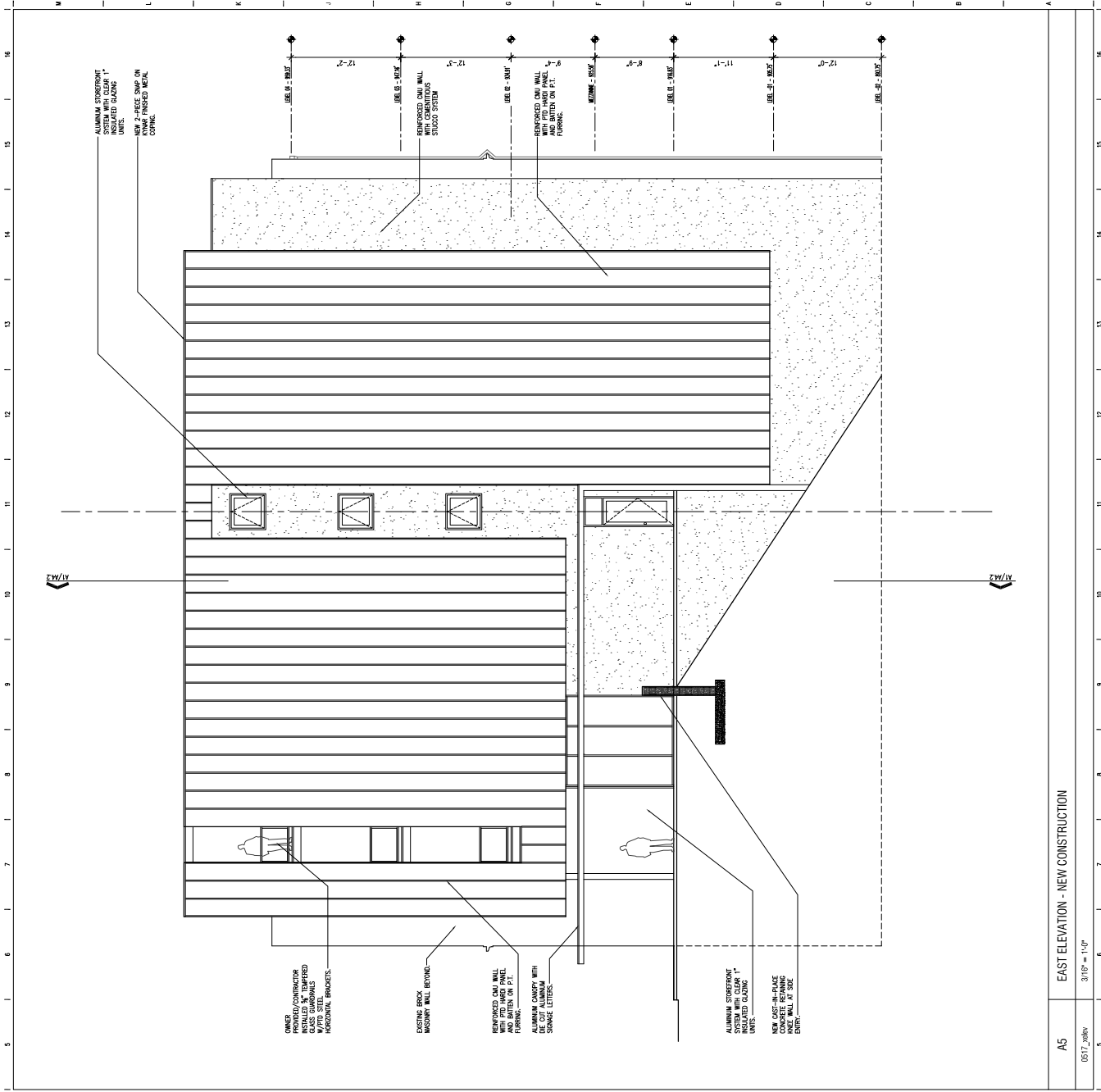


1. FIRESTOP ALL OPENINGS AND PENETRATIONS AROUND PRES. CONCRETE AND FLOORS WITH 2" MIN. THICK FIRE-RATED WALLS. PROVIDE LABELS ABOVE CEILING LINES AND IN CONCEALED SPACES AT APPROX. 20' O.C. IN 3" MIN. HIGH RED LETTERS, THE FOLLOWING: "FIRE AND SMOKE BARRIER - FIRESTOP ALL OPENINGS". THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF THE CONTRACTOR'S WALLS WHICH SUPPORT JOISTS, RAFTERS, ETC., AND ARE ULTIMATELY SUPPORTED BY SAME SHALL BE BRAZED UNTIL ALL CONSTRUCTION IS COMPLETED.)
2. PROVIDE FIRE TREATED WOOD BLOCKING AND UTILITIES NECESSARY FOR ITEMS NOT IN OWNER FOR EXACT LOCATIONS OF OTHER-FINISHED ITEMS.
3. ALL DOORS ARE TO BE MINED 4" FROM ANY ADJOINING WALL (GLASS).
4. DIMENSIONS ARE FROM FACE OF STUD. CONTINUE OF STRUCTURAL STEEL AND FACE OF CONCRETE/CONCRETE, UNLESS NOTED.
5. AT ALL FIRE-RATED WALLS, PROVIDE LABELS ABOVE CEILING LINES AND IN CONCEALED SPACES AT APPROX. 20' O.C. IN 3" MIN. HIGH RED LETTERS, THE FOLLOWING: "FIRE AND SMOKE BARRIER - FIRESTOP ALL OPENINGS". THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF THE CONTRACTOR'S WALLS WHICH SUPPORT JOISTS, RAFTERS, ETC., AND ARE ULTIMATELY SUPPORTED BY SAME SHALL BE BRAZED UNTIL ALL CONSTRUCTION IS COMPLETED.)
6. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF THE CONTRACTOR'S WALLS WHICH SUPPORT JOISTS, RAFTERS, ETC., AND ARE ULTIMATELY SUPPORTED BY SAME SHALL BE BRAZED UNTIL ALL CONSTRUCTION IS COMPLETED.)
7. AT PENETRATIONS BY DUCTWORK, PIPING, OR OTHER OPENINGS PROVIDE APPROPRIATE LOAD-CARRYING UNITS OR HEADERS INSTALLED OVER THE OPENING.
8. THE CONTRACTOR SHALL COORDINATE THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, WITH THE STRUCTURAL DRAWINGS.
9. THE CONTRACTOR SHALL COORDINATE THE PLACEMENT OF THE FOOTINGS, COLUMNS, SINKS, AND OTHER STRUCTURAL ELEMENTS WITH THE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS.
10. THE CONTRACTOR SHALL COORDINATE THE TOP OF FOOTING ELEVATIONS WITH PLUMBING, MECHANICAL, ELECTRICAL, ETC.
11. THE CONTRACTOR SHALL COORDINATE THE TOP OF FOOTING ELEVATIONS WITH PLUMBING, MECHANICAL, ELECTRICAL, ETC.
12. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF CONTROL JOINTS IN FLOOR SLABS.
13. EXTEND FORMWORK ON BOTH SIDES OF WALLS AND PARTITIONS UP TO TOP PLATE/FRAMER TO PROVIDE FIRE STOP. FIRESTOP ALL PENETRATIONS.
14. PROVIDE SMOKE/TIGHT AND FIRE-RATED CONSTRUCTION AS NOTED ON DRAWINGS.
15. PROVIDE SOUND ATTENUATION BLANKETS IN WALLS WHERE INDICATED ON PLAN. PROVIDE SOUND ATTENUATION BLANKETS AROUND ALL MECHANICAL ROOMS, TOILETS, JANITOR CLOSETS, AND FORMER OF APARTMENTS.
16. VERIFY ALL DIMENSIONS, MATERIALS AND TROUGH IN ACCORDANCE WITH ALL APPLICABLE CODES, STANDARDS AND REGULATIONS.
17. SEE ENLARGED PLANS FOR ADDITIONAL DIMENSIONS.
18. CONTRACTOR SHALL COMPLETE ALL INSULATION WORK AND CONTACT ARCHITECT TO RESUBMIT FIELD APPROVAL PRIOR TO INSTALLATION OF INTERIOR FINISHES.
19. REFER TO SCHEDULES AND SPECIFICATIONS FOR ALL INTERIOR FINISHES.
20. CONTRACTORS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COORDINATION WITH OTHER TRADES IN FAILURE TO FULFILL THEIR OBLIGATIONS WITH OTHER TRADES IN THE CONTRACT ADDITIONAL COST TO THE OWNER.
21. IN CASE OF DIMENSIONAL DISCREPANCIES BETWEEN ARCHITECTURAL AND ENGINEERING DRAWINGS, ARCHITECTURAL DIMENSIONS SHALL GOVERN.
22. CONTRACTOR SHALL NOT SCALE THIS OR ANY OTHER DRAWING IN CONTRACT DOCUMENTS. DIMENSIONAL INFORMATION OR FOR CLARIFICATION CONCERNING ANY DISCREPANCIES.
23. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS CONCERNING FINISHES AND EQUIPMENT LOCATIONS ON-SITE. IN THE EVENT DIMENSIONS ARE IN QUESTION OR IF ANY DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF THE CONTRACTOR'S WALLS WHICH SUPPORT JOISTS, RAFTERS, ETC., AND ARE ULTIMATELY SUPPORTED BY SAME SHALL BE BRAZED UNTIL ALL CONSTRUCTION IS COMPLETED.)
24. ALL ELECTRICAL WORK TO BE PERFORMED BY LICENSED ELECTRICIAN ONLY. ALL HVAC WORK TO BE PERFORMED BY LICENSED MECHANICAL CONTRACTOR ONLY. ALL PLUMBING WORK TO BE PERFORMED BY LICENSED PLUMBER ONLY.
25. ELECTRICAL OUTLET BOXES LOCATED ON OPPOSITE SIDES OF A 1 HOUR OR 2 HOUR RATED WALL MUST BE SEPARATED BY A HORIZONTAL DISTANCE OF 24" (WHERE APPLICABLE).

GENERAL NOTES

A13 0722_03ip MTS

A1 SITE PLAN
0817_0301 1"=1'-0"



A5 EAST ELEVATION - NEW CONSTRUCTION

3/16" = 1'-0"

0517_0808

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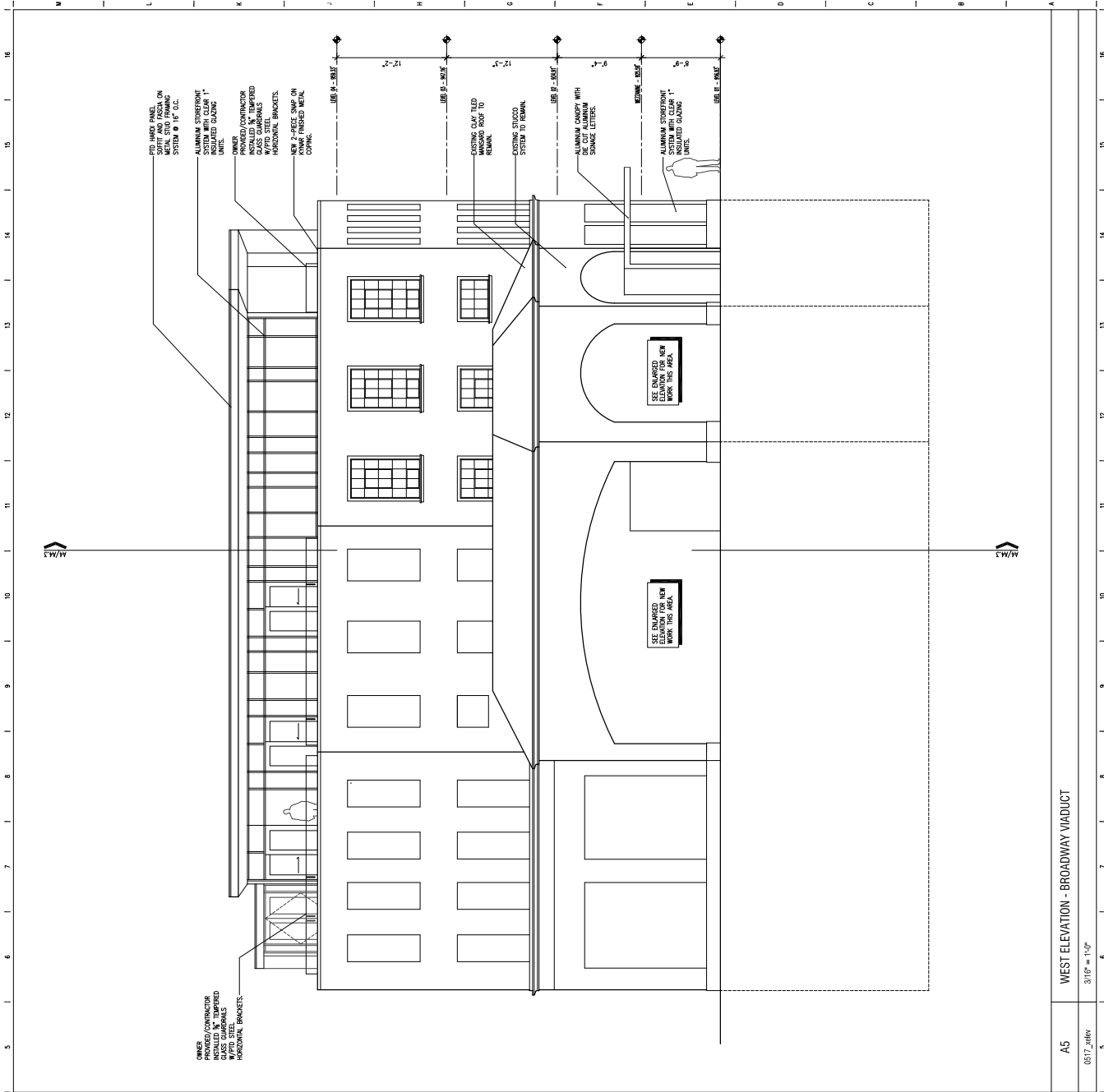
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a3.4
elevation

25-April-2008
design development

0517

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A5 WEST ELEVATION - BROADWAY VIADUCT
0517_208w
3/16" = 1'-0"