



Suite 403 • City County Building  
400 Main Street  
Knoxville Tennessee 37902  
865-215-2500  
FAX • 215-2068  
www.knoxmpc.org

# Downtown Knoxville Design Overlay District Certificate of Appropriateness

Name of Applicant: City of Knoxville

Owner  Contractor  Architect  Engineer  Other \_\_\_\_\_

Date Filed: 2/29/08 Application accepted by: Kelley Schlitz

Fee Amount: NA Review Date: 3/19/08 File Number: BC-08-DT

**PRE-APPLICATION CONFERENCE** Date Completed: \_\_\_\_\_

**PROPERTY INFORMATION**  
Building or Project Name: Gay Street Streetscapes Improvements  
Street Address: 100 & 200 Blocks  
Tax Identification Number(s): \_\_\_\_\_

**PROJECT ARCHITECT/ENGINEER**  
PLEASE PRINT  
Name: David Harrell  
Company: Vaughn & Melton  
Address: 1909 Ailor Avenue  
City: Knoxville State: TN Zip: 37921  
Telephone: 546-5800  
Fax: 546-4714  
E-mail: dtharrellevaughnmelton.com

**PROPERTY OWNER**  
PLEASE PRINT  
Name: \_\_\_\_\_  
Company: City of Knoxville  
Address: 400 Main Street  
City: Knoxville State: TN Zip: 37902  
Telephone: \_\_\_\_\_  
Fax: \_\_\_\_\_  
E-mail: \_\_\_\_\_

**PROJECT CONTRACTOR**  
PLEASE PRINT  
Name: not yet determined  
Company: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Telephone: \_\_\_\_\_  
Fax: \_\_\_\_\_  
E-mail: \_\_\_\_\_

**ACCOMPANYING MATERIALS**  
Please see the reverse side of this form for a list of information required as part of this application.

**FOR OFFICE USE ONLY**

**PROJECT INFORMATION**  
LEVEL 1: \$30  
 Minor Alteration of an Existing Building/Structure  
 Sign  
LEVEL 2: \$70  
 Major Alteration of an Existing Building/Structure  
 Addition to an Existing Building/Structure  
LEVEL 3: \$100  
 Construction of New Building/Structure

**PROJECT CONTACT**  
All application-related correspondence should be directed to:  
PLEASE PRINT  
Name: Tom Clabo  
Company: City of Knoxville  
Address: 1400 Loraine St.  
City: Knoxville State: TN Zip: 37921  
Telephone: 215-6100  
Fax: 215-6109  
E-mail: tclabo@cityofknoxville.org

NOTE Payment is due at time of application Please make check payable to Knoxville Knox County Metropolitan Planning Commission.



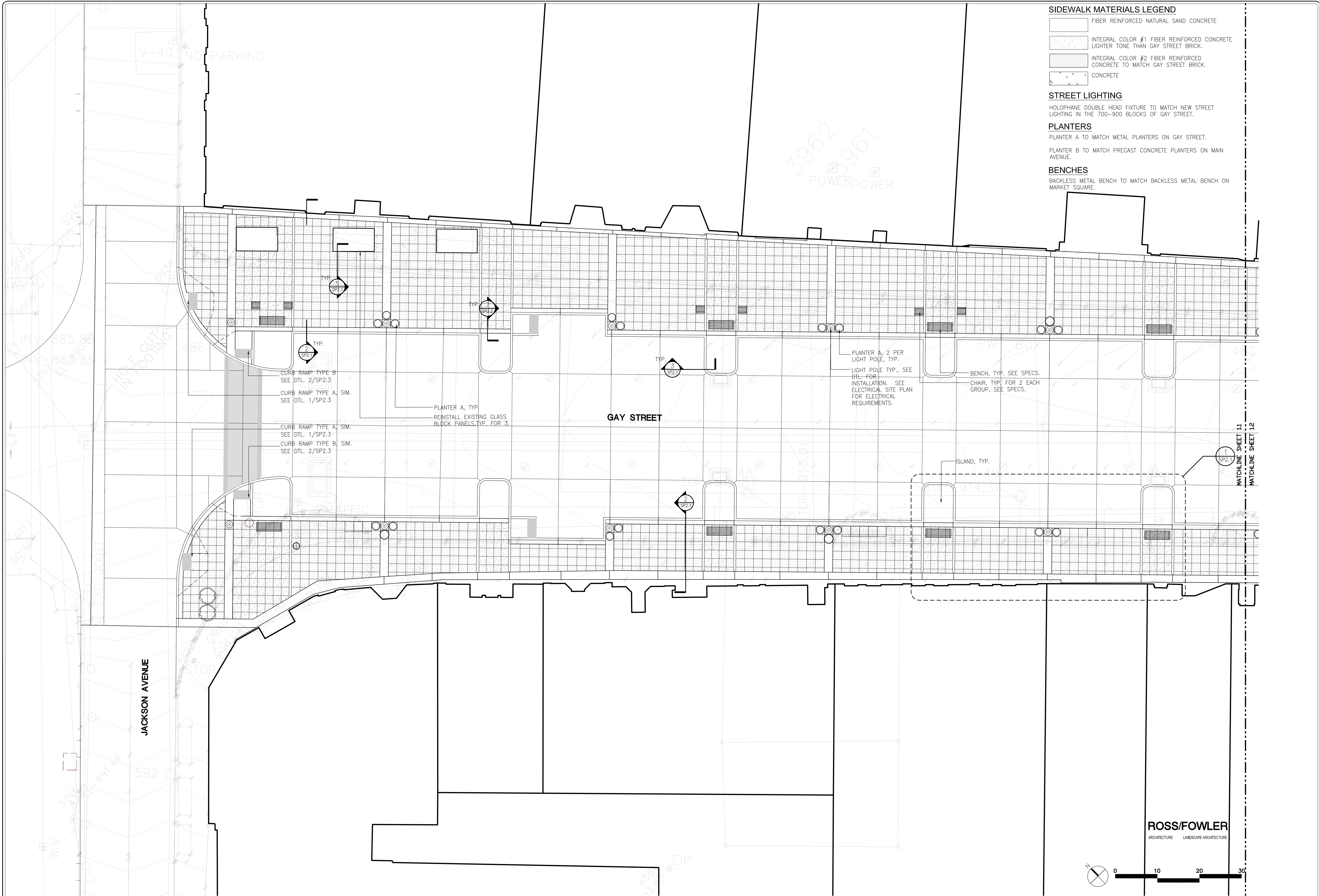
100 BLOCK OF GAY STREET LOOKING SOUTH





200 BLOCK OF GAY STREET LOOKING NORTH





**SIDEWALK MATERIALS LEGEND**

[Pattern]	FIBER REINFORCED NATURAL SAND CONCRETE
[Pattern]	INTEGRAL COLOR #1 FIBER REINFORCED CONCRETE LIGHTER TONE THAN GAY STREET BRICK.
[Pattern]	INTEGRAL COLOR #2 FIBER REINFORCED CONCRETE TO MATCH GAY STREET BRICK.
[Pattern]	CONCRETE

**STREET LIGHTING**  
 HOLOPHANE DOUBLE HEAD FIXTURE TO MATCH NEW STREET LIGHTING IN THE 700-900 BLOCKS OF GAY STREET.

**PLANTERS**  
 PLANTER A TO MATCH METAL PLANTERS ON GAY STREET.  
 PLANTER B TO MATCH PRECAST CONCRETE PLANTERS ON MAIN AVENUE.

**BENCHES**  
 BACKLESS METAL BENCH TO MATCH BACKLESS METAL BENCH ON MARKET SQUARE.

CURB RAMP TYPE B  
 SEE DTL. 2/SP2.3  
 CURB RAMP TYPE A, SIM.  
 SEE DTL. 1/SP2.3  
 CURB RAMP TYPE A, SIM.  
 SEE DTL. 1/SP2.3  
 CURB RAMP TYPE B, SIM.  
 SEE DTL. 2/SP2.3

PLANTER A, TYP.  
 REINSTALL EXISTING GLASS  
 BLOCK PANELS, TYP. FOR 3.

PLANTER A, 2 PER  
 LIGHT POLE, TYP.  
 LIGHT POLE TYP., SEE  
 DTL. FOR  
 INSTALLATION. SEE  
 ELECTRICAL SITE PLAN  
 FOR ELECTRICAL  
 REQUIREMENTS.

BENCH, TYP. SEE SPECS.  
 CHAIR, TYP. FOR 2 EACH  
 GROUP, SEE SPECS.

ISLAND, TYP.

MATCHLINE SHEET 11  
 MATCHLINE SHEET 12

NO.	DATE	REVISIONS	DESCRIPTION

**GAY STREET  
 STREETSCAPES**  
 VAUGHN & MELTON  
 KNOXVILLE, TN

**V&M**  
 Vaughn & Melton


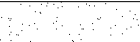

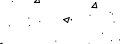
- Asheville, NC  
828-253-2796
- Charlotte, NC  
704-895-9051
- Greenville, TN  
423-639-0271
- Knoxville, TN  
865-546-5800
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864-574-4775
- Lexington, KY  
859-271-1483
- Middlesboro, KY  
606-248-6600

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DRAWN: --	
CHECKED: --	
JOB NO: 50620-23	
SCALE: 1" = 10'-0"	
DATE: 2-29-08	
FILE NAME: 06011SP1.1	
DRAWING TITLE: STREETSCAPE DEVELOPMENT DESIGN	
DWG 1	DRAWING NO: SP1.1
OF 2	

**ROSS/FOWLER**  
 ARCHITECTURE LANDSCAPE ARCHITECTURE

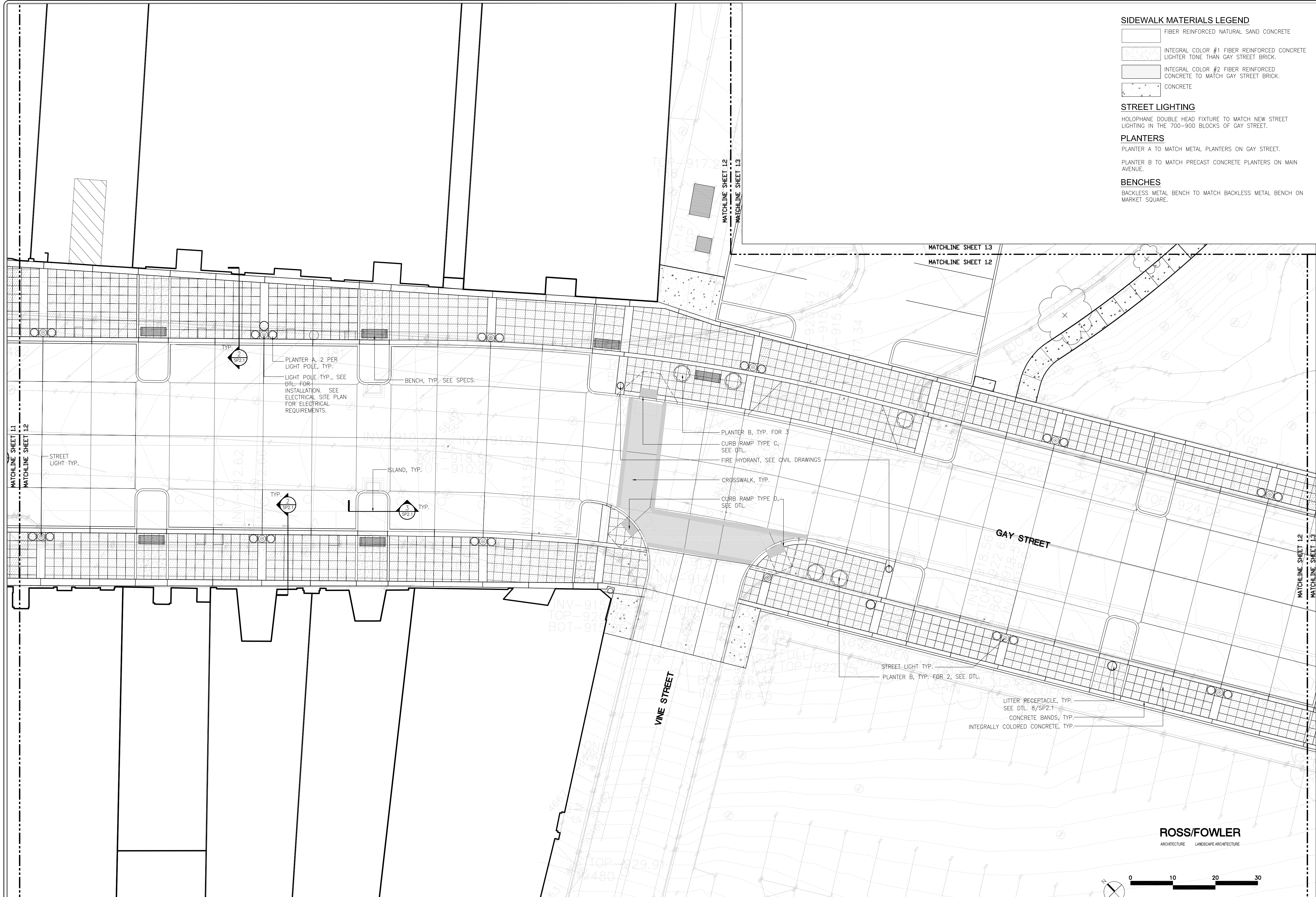


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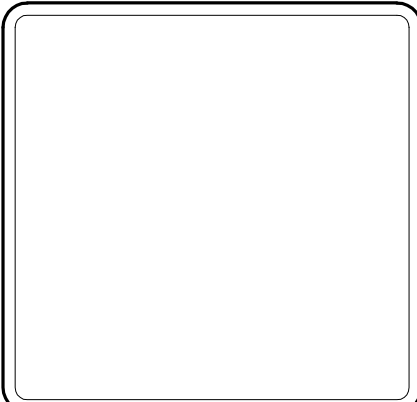
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**GAY STREET  
STREETSCAPES**

VAUGHN & MELTON  
KNOXVILLE, TN

- VM**  
Vaughn & Melton
- Asheville, NC 828-253-2796
  - Charlotte, NC 704-895-9051
  - Greensville, TN 423-639-0271
  - Knoxville, TN 865-546-5800
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<b>DRAWN:</b>	---
<b>CHECKED:</b>	---
<b>JOB NO:</b>	50620-23
<b>SCALE:</b>	1" = 10'-0"
<b>DATE:</b>	2-29-08
<b>FILE NAME:</b>	06011SP1.2
<b>DRAWING TITLE:</b>	STREETSCAPE DEVELOPMENT DESIGN
<b>DWG 3</b>	<b>DRAWING NO:</b>
<b>OF 4</b>	<b>SP1.2</b>

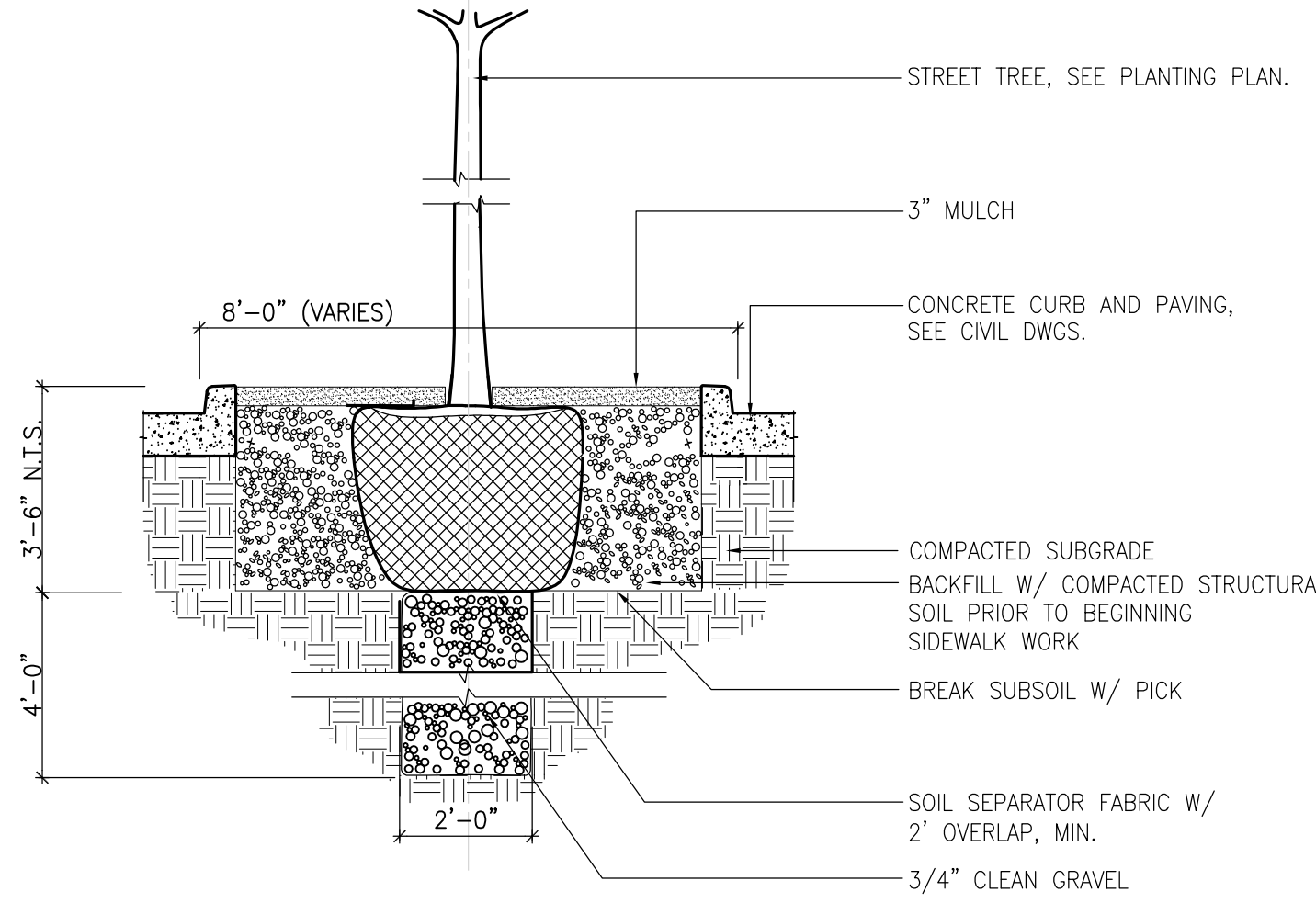
**ROSS/FOWLER**  
ARCHITECTURE LANDSCAPE ARCHITECTURE







TYPE	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS	QUANTITY
<b>TREES</b>							
	IBS	ILEX BURFORDII	MULTI-STEM TREE FORM BURFORD HOLLY	8"	B&B	HEAVY MATCHED SPECIMEN BRANCHED @ 4'	5
	OPS	QUERCUS PHELLOS	WILLOW OAK	4" CAL	B&B	HEAVY MATCHED SPECIMEN BRANCHED @ 7'	5
	UBE	ULMUS PARVIFOLIA 'BOSQUE'	BOSQUE ELM	6" CAL	B&B	HEAVY MATCHED SPECIMEN BRANCHED @ 7'	22
<b>GROUNDCOVERS</b>							
	LMI	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LIRIOPE	1 GAL	CONT	FULL PLANTS	355

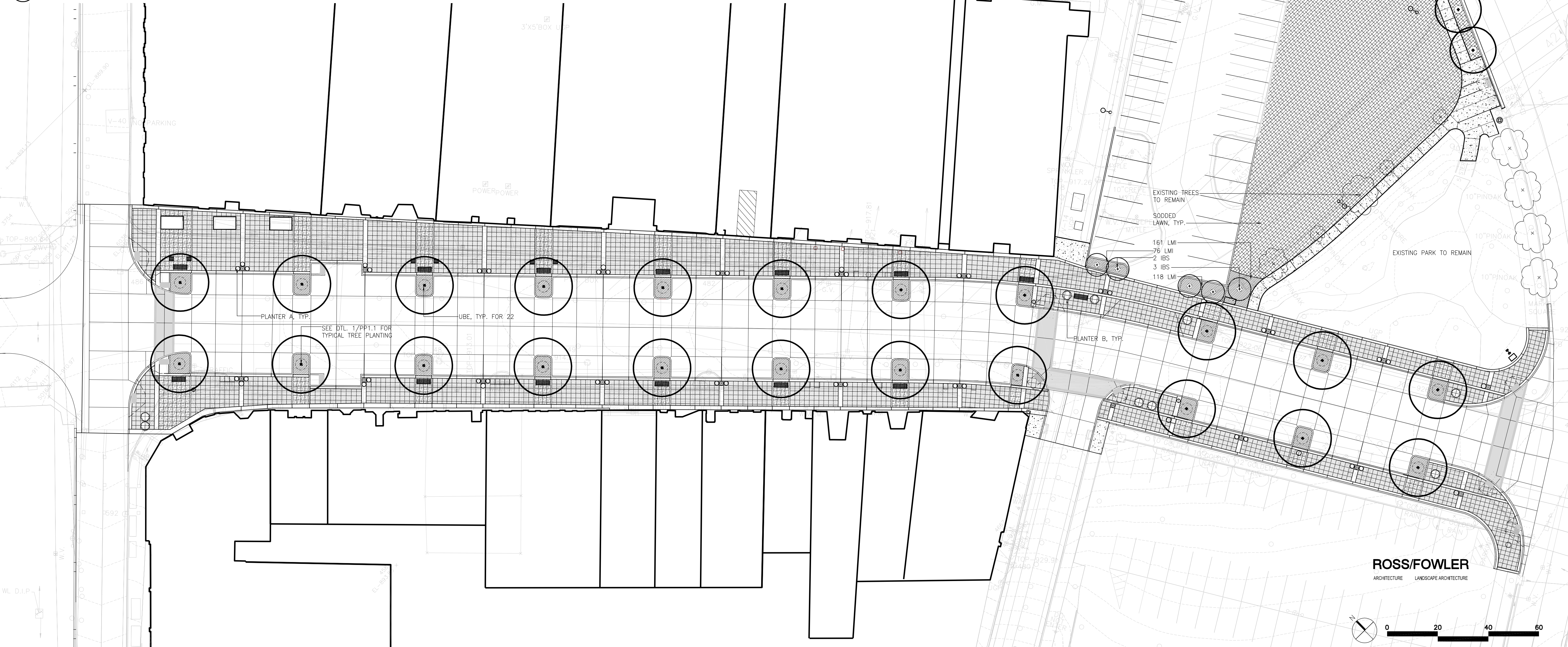


**PLANTING NOTES:**

1. THE LOCATION OF ALL SURFACE AND UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR AT GROUND BREAK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES FROM DAMAGE AS REQUIRED DURING CONSTRUCTION AND TO REPAIR ANY DAMAGE WHICH SHOULD OCCUR TO THE SATISFACTION OF THE OWNER.
2. AT START OF CONSTRUCTION OPERATIONS IDENTIFY AREAS OF GRASS TO BE KILLED. COMPLETELY ERADICATE ALL GRASS IN AREAS SHOWN TO BE WITHIN A MULCHED BED. SOD ALL AREAS OF CROSS HATCH.
3. PROTECT EXISTING GRASS AREAS TO REMAIN. SEED ALL AREAS WITHIN AND ADJOINING PROJECT LIMITS DISTURBED AS A RESULT OF CONSTRUCTION OPERATIONS WHICH ARE NOT OTHERWISE SHOWN TO BE PLANTED.
4. ALL PLANTS SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
5. THE LOCATION OF ALL TREES SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT BEFORE THE DIGGING OF PITS. PLANTING SHALL BE LOCATED WHERE SHOWN ON THE DRAWINGS OR WHERE FIELD LOCATED BY LANDSCAPE ARCHITECT.
6. ESTABLISH SMOOTH CURVILINEAR MOWING/BED LINES WHERE LAWN MEETS MULCHED SHRUB OR GROUND COVER MASS. BED LINE LOCATIONS SHALL BE APPROVED BY LANDSCAPE ARCHITECT BEFORE BEGINNING BED PREPARATION.

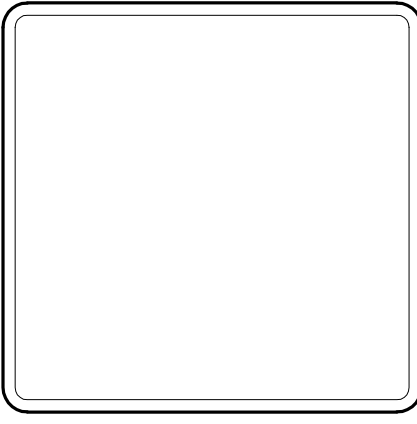
7. PROVIDE APPROVED TOPSOIL TO PERFORM INCIDENTAL GRADING WORK.
8. HALF TONE IMAGES ARE EXISTING CONDITIONS INCLUDED FOR REFERENCE. PROTECT FROM DAMAGE.
9. ALL AREAS OF MASS PLANTING SHALL RECEIVE 8" OF APPROVED TOPSOIL/BACKFILL MIX.
10. TOPSOIL AND BACK FILL MIX SHALL BE APPROVED IN ACCORDANCE WITH SECTION 02950 OF THE SPECIFICATIONS.
11. MULCH ALL AREAS OF TREE, SHRUB AND GROUND COVER MASS PLANTING WITH 3" OF SHREDDED HARDWOOD BARK MULCH AS SPECIFIED.
12. MULCH ALL COLOR BED/FEATURE PLANTER AREAS WITH 1-1/2" OF FINELY SHREDDED PINE BARK.
13. ANNUAL MIX/FEATURE PLANTER AREAS SHALL BE PLANTED WITH BGA @ 4" O.C. IN SPRING/SUMMER. IN FALL/WINTER, PLANT W/ PSB, PSY AND PSW (EQUALLY MIXED) @ 6" O.C. UNDER PLANT W/ TUA @ 6" O.C.

1 TYPICAL SECTION AT TRAFFIC ISLAND  
PP1.1 SCALE: 3/8" = 1'-0"



**ROSS/FOWLER**  
ARCHITECTURE LANDSCAPE ARCHITECTURE

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STREETSCAPES**  
VAUGHN & MELTON  
KNOXVILLE, TN

**VM**  
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**FILE NAME:** 06011SP1.1  
**DRAWING TITLE:**  
STREETSCAPE PLANTING DESIGN  
**DWG 1** **DRAWING NO:**  
OF 3 **PP1.1**



# Gay Streetscape Fixtures

Proposed Bench



A

Proposed Planters

B



Proposed Lighting

Same head and arms

Similar base





## MEMORANDUM

TO: Mike Reynolds  
FROM: Ann Bennett  
DATE: March 11, 2008  
RE: Proposed improvements – 100 block of S. Gay Street

The 100 block of S. Gay Street is included in the Southern Terminal and Warehouse Historic District. I have reviewed the improvements proposed for Gay Street between Jackson and Summit Hill. The 200 block is not part of the District.

Appendix C of the Downtown Design guidelines is the Secretary of Interior's Standards for Rehabilitation; I have outlined below the Standards that I believe apply to this question.

**Standard 1:** A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

**Standard 2:** The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

**Standard 9:** New additions, exterior alterations, or related new construction will not destroy historic materials, features and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

In addition, the following definition of setting can be found at the National Park Service website ([www.nps.gov/history/hps/tps/standguide/overview/overview\\_setting.htm](http://www.nps.gov/history/hps/tps/standguide/overview/overview_setting.htm)) dealing with the Standards:

“The setting is the larger area or environment in which a historic property is located. It may be an urban, suburban, or rural neighborhood or a natural landscape in which buildings have been constructed. The relationship of buildings to each other, setbacks, fence patterns, views, driveways and walkways, and street trees together create the character of a district or neighborhood.”

While I think that the new improvements, provided a curb line is retained, are appropriate, and include only alterations that are necessary because of the change in uses that has occurred on the 100 block, I also think that the inclusion of street trees in the 100 block is not appropriate. I have included copies of photographs of the 100 block to illustrate this point.



I am concerned about the design for the following reasons:

- 1) The current alignment of street and sidewalks provides the historic frame for the buildings. This alignment has not changed over time, and is original. If contemporary uses require alteration of this relationship, the changes should be minimally intrusive. The use of surface bulb-outs, perhaps containing lighting, for example, would be preferable to the inclusion of street trees.
- 2) The sidewalk paving materials are also accurate for this historic time period. The retention of a concrete curb is particularly important to provide a frame for the building facades.
- 3) The proposed improvements call for street trees to be evenly spaced down the block. This district is, as the name confirms, a warehouse district. The buildings were built for a mixture of industrial and warehouse uses and their supporting commercial business, all dependent on the trade generated by the location of the Southern Terminal. Street trees were not part of that urban mixture. In my opinion, adding street trees to the urban landscape diminishes the design impact of the buildings, and makes it difficult to see and understand their design. It would be possible to locate a more heavily treed landscape in the 200 block, where the original buildings no longer exist and green space has been incorporated into the area.

Ann Bennett



