

Report of Staff Recommendation

Administrative Review

File No.: 3-B-25-TOA

Applicant: RYAN DOBBS
Request: BUILDING PERMIT
Meeting Date: 3/10/2025

Address: 10100 Dutchtown Rd
Map/Parcel Number: 118 17719
Location: South side of Dutchtown Rd, west side of Mabry Hood Rd
Existing Zoning: OP (Office Park), TO-1 (Technology Park Overlay)
Proposed Zoning: N/A
Existing Land Use: Agriculture/Forestry/Vacant Land
Proposed Land Use: N/A
Appx. Size of Tract: 2.58 acres
Accessibility: Access is via Dutchtown Rd, a minor arterial with a pavement width of 63 ft within a right-of-way width range of 106-153 ft.
Surrounding Zoning and Land Uses:
 North: BP (Business and Technology Park), OB (Office, Medical, and Related Services), (Technology Overlay) in the County - Agriculture/forestry/vacant land, rural residential, single family residential
 South: OP (Office Park), TO-1 (Technology Park Overlay) in the City - Agriculture/forestry/vacant land, office
 East: RN-6 (Multi-Family Residential Neighborhood) in the City - Agriculture/forestry/vacant land
 West: OP (Office Park), TO-1 (Technology Park Overlay) in the City - Agriculture/forestry/vacant land

Comments: PURSUANT TO ARTICLE VIII, SECTION 7 OF THE TTCDA ADMINISTRATIVE RULES AND PROCEDURES, THE TTCDA STAFF MAY REVIEW AND APPROVE MINOR CHANGES TO PREVIOUSLY APPROVED APPLICATIONS FOR CERTIFICATES OF APPROPRIATENESS FOR BUILDING, GRADING, AND SIGN PERMITS, CONSISTENT WITH THE FOLLOWING REQUIREMENTS:

A. THE PROPOSED CHANGE COMPLIES WITH ALL RELEVANT REQUIREMENTS OF THE DESIGN GUIDELINES, KNOXVILLE ZONING ORDINANCE AND KNOX COUNTY ZONING ORDINANCE, AS APPROPRIATE. AS SUCH, WAIVERS TO THE DESIGN GUIDELINES AND ZONING VARIANCES WOULD NOT BE NEEDED.

1. The applicant has requested approval to revise previously approved building and landscaping plans for an office building at the intersection of Mabry Hood Road and Dutchtown Road. This will be the first administrative approval since the original site plans were approved in March 2024 (Case 3-B-24-TOB). The conditions attached to the original approvals still apply.
2. The applicant is reducing the building from 3 tenant spaces consisting of 9,405 sq ft to 2 tenant spaces totaling 6,853 sq ft. They are also reducing the parking lot from 50 spaces, including 11 impervious spaces to 30 impervious spaces. The use, building façade, and site layout remain the same.
3. The maximum number of parking spaces allowed is 3 spaces per 1,000 ft of gross floor. The maximum number of parking spaces allowed with the smaller building is 30 spaces, which the

applicant is now providing. The original approval included pervious spaces because the applicant was requesting more than the maximum spaces allowed. Parking above the maximum number of spaces may be permitted if the parking surface is pervious.

4. The landscape plan remains largely the same. Turkey Creek runs along the rear west side of the property line, which has dense vegetation and trees that can be preserved to act as a buffer to the stream. The non-disturbance limit and the requirement for a tree protection fence to be established before construction starts remains from the original approval.

5. The landscape plan is largely the same. The main difference is the reduced parking lot requires less landscape screening from public roads and where the third tenant space of approximately 3,000 sq ft of floor area was located will now be seeded lawn. The impervious area ratio has decreased from 31.3% to 22.1%, which is well under the 70% maximum.

6. All other landscape design guidelines have been met.

B. THE PROPOSED CHANGE DOES NOT RESULT IN AN INCREASE OF MORE THAN 5% OF THE SQUARE FOOTAGE IN THE APPROVED DEVELOPMENT PLAN, AND ANY OTHER CHANGES RESULTING FROM SUCH AN INCREASE WILL COMPLY WITH ALL APPLICABLE REQUIREMENTS.

1. Administrative approval is required for the reduction in the size of the project, which includes the building footprint and number of parking spaces. The lot layout remains the same as the building and the two driveways on Dutchtown Road are in the same location.

C. THE PROPOSED CHANGE COMPLIES WITH THE REQUIREMENTS OF EITHER THE KNOXVILLE ZONING ORDINANCE OR THE KNOX COUNTY ZONING ORDINANCE FOR APPROVAL OF MINOR CHANGES IN EITHER THE TO-1 OR TO ZONE.

1. The proposed change complies with the requirements of the City of Knoxville Zoning Ordinance for approval of minor changes in the TO-1 zone (Article 8.8).

**Design Guideline
Conformity:**

With the recommended conditions, the proposed changes conform to the TTCDA Design Guidelines.

**Waivers and Variances
Requested:**

N/A

Staff Recommendation:

Application approved February 18, 2025, pursuant to Article VIII, Section 7 of the Administrative Rules and Procedures of the Tennessee Technology Corridor Development Authority (Staff Review and Approval of Minor Changes to Previously Approved Applications), for a Certificate of Appropriateness subject to the following conditions:

1) Meeting all relevant requirements of the Knoxville Zoning Ordinance, as appropriate.



Certificate of Appropriateness For a Building Permit

Administrative Review

On , the Tennessee Technology Corridor Development Authority, hereinafter referred to as the Authority, did grant to Ryan Dobbs, hereinafter referred to as the Applicant, on its application filed on January 28, 2025 with Application No. 3-B-25-TOA, this Certificate of Appropriateness for the following described property, 10100 Dutchtoqn Rd. / Parcel ID 118 17719. This Certificate of Appropriateness is granted to the Applicant for the purpose of a Building Permit. The Applicant agrees that it will comply with all base zoning requirements, all Technology Overlay Zone requirements, the Design Guidelines and the Comprehensive Development Plan in its use of this property, unless specifically varied or altered by the Authority.

This Certificate of Appropriateness will automatically expire three years from the date of the affirmative vote of this Certificate, unless an extension of the Certificate is granted by the Authority upon the request of the Applicant, if construction of the structure or structures on the property has not reached fifty percent (50%) of completion at the end of that three year period.

The Applicant does hereby agree that staff and/or members of the Knox County governmental entities, or the Authority, shall have access to the property at reasonable times to inspect the same for compliance with the requirements of state and local laws and this Certificate of Appropriateness.

The structure or structures to be erected on this property will be erected according to the approved and accepted plans and specifications attached to this Certificate as Attachment No. One, and any changes thereto approved and accepted by the Applicant and the Authority.

By its signature hereunto, the Applicant binds itself to all terms and conditions hereof, both for itself, its heirs, and its successors in interest.

TENNESSEE TECHNOLOGY CORRIDOR DEVELOPMENT AUTHORITY

BY:

Chair

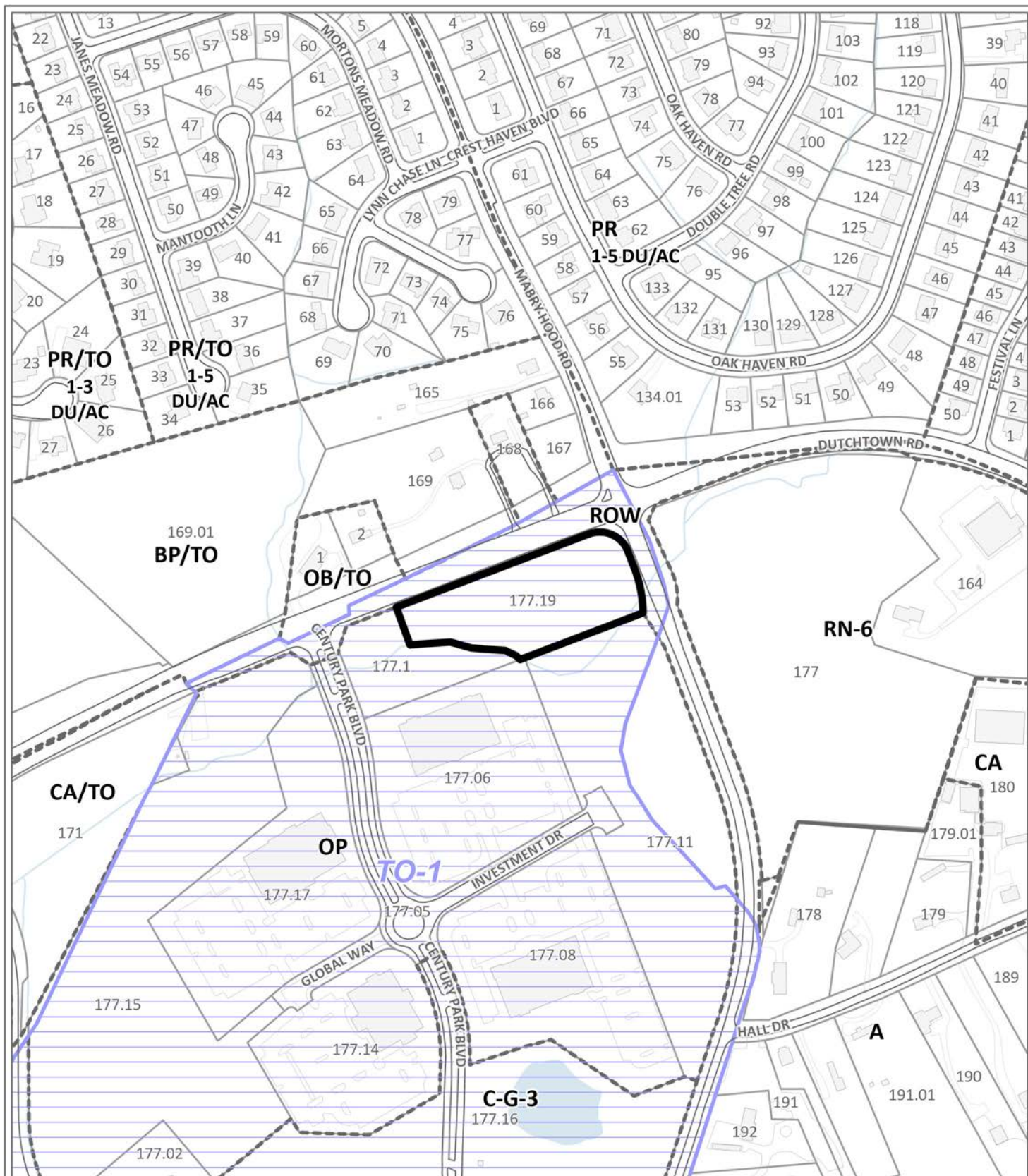
N/A (Administrative approval)

Attested to by

Whitney Warner

Approval date:

COA expiration date (3 years):



CERTIFICATE OF APPROPRIATENESS

3-B-25-TOA

Petitioner: Ryan Dobbs



Purpose of Request: Building Permit - New Construction

Original Print Date: 1/30/2025

Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902

Map No: 118
Jurisdiction: City



X:\2023\2023079 - BMA - Dobbs Orthodontics Site Plan\DWG - Master 2026.dwg Jan 22, 2025 - 10:27am cbrown - LDS Copyright 2025

General Notes

- The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records and where possible measurements taken in the field. This information is not to be relied upon as being exact or complete. The contractor must call Tennessee One Call and any utility that does not submit to One Call at least 72 hours before any excavation, to request exact field location of the utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.
- Owner: Mary Ellen Dobbs
265 Conkorn Drive
Lenoir City, TN 37772
- Survey by: Land Development Solutions
310 Simmons Road, Suite K
Knoxville, TN 37922
Ph. 865-671-2281
- Property is located in Knoxville and is zoned OP & TO.
- Lot acreage = 2.58 acres.
- Office Building
Minimum Number of Parking Spaces Required
Office = (6,953 sf / 1000sf) x 3 = 21
Total Minimum Number of Parking Spaces = 21
Maximum Number of Parking Spaces Required
Office = (6,953 sf / 1000sf) x 4.5 = 31
Total Maximum Number of Parking Spaces = 31
Parking provided: 30 Spaces including 2 Accessible spaces.
- Ground Area Coverage (GAC) max 25%
7,555 sf / 112,385 sf = 6.7 %
Floor Area Ratio (FAR) max 30%
7,555 sf / 112,385 sf = 6.7 %
Impervious Area Ratio (IAR) max 70%
24,880 sf / 112,385 sf = 22.1 %
- Setbacks: Front Yard = 60' (parking in front)
Side Yard = 20'
Rear Yard = 20'

Project: **Dobbs Orthodontics**
TTCCA 3-B-24-TOB - DUTCHTOWN PLACE
10100 Dutchtown Road
Knoxville, Tennessee

LAND DEVELOPMENT SOLUTIONS

310 SIMMONS RD., SUITE K-KNOXVILLE, TENNESSEE 37922
PH. 865-671-2281

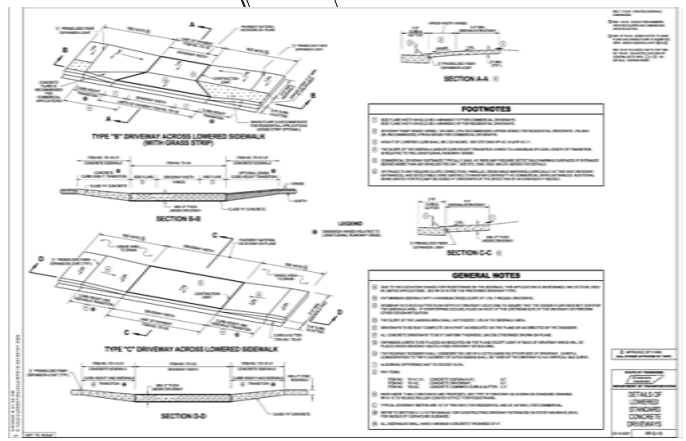
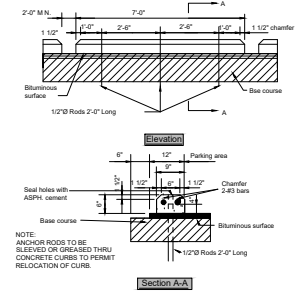
Site Layout

Revision	Date	Revised by	Checked by
1	8-2-24	Revisions per City of Knoxville & Owner	
2	1-06-25	Revisions per Owner	

Drawn By:	COB
Checked:	EJB
Approved:	EJB
Job No.:	2023078
1"=30'	7-1-24
Scale:	Date

C101
Sheet No.

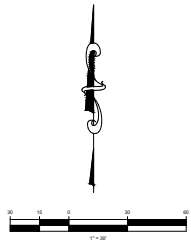
Wheel Stop



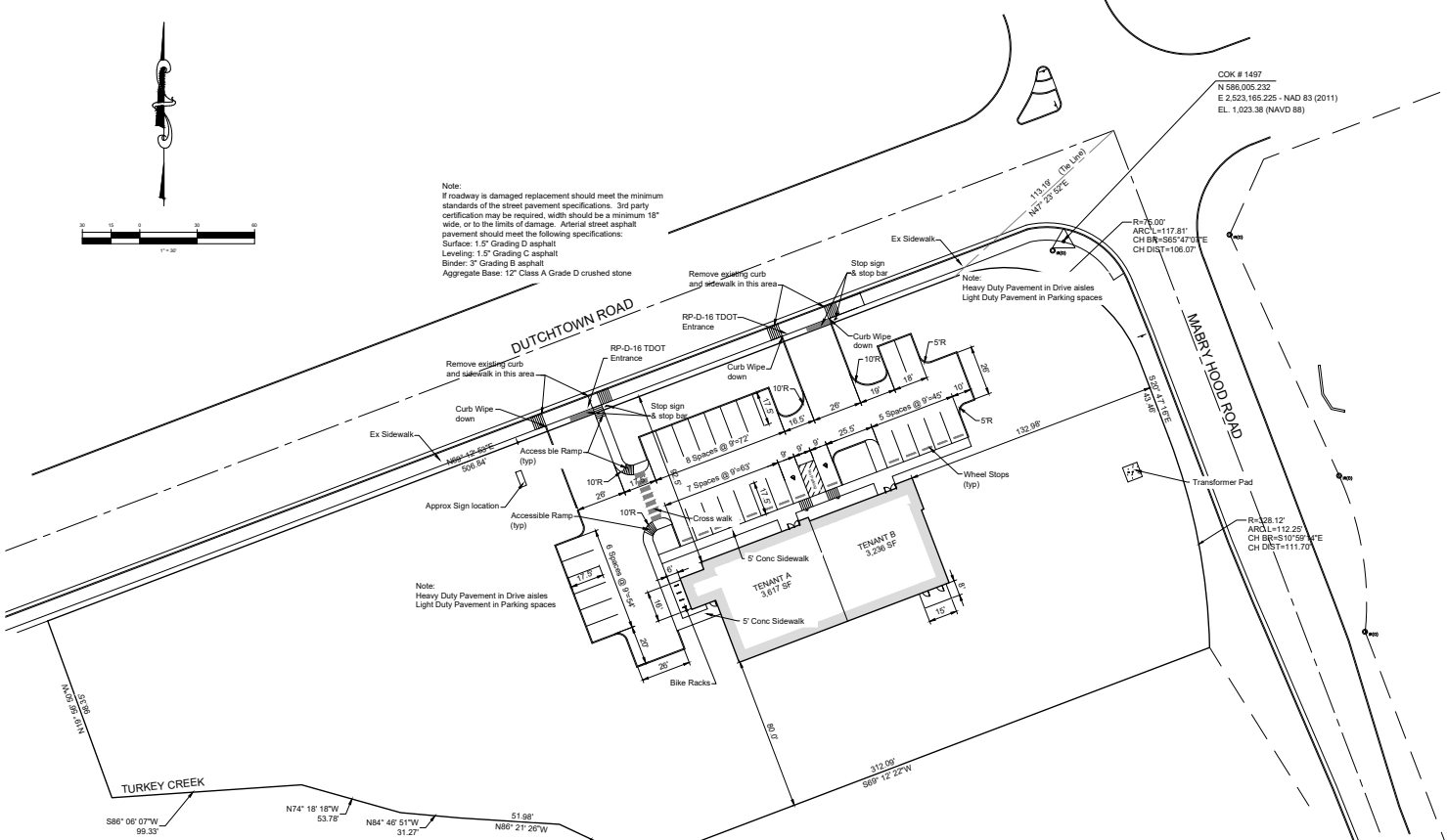
APPROVED BY:
TENNESSEE TECHNOLOGY CORRIDOR
DEVELOPMENT AUTHORITY
Meeting Date: 2/18/2025
(administrative approval)

4
CENTURY PARK - PHASE II
CPIII GP
MAP 118 17706
Plat # 20060519-0097451
Inst.# 20170830-0013854

6
CENTURY PARK - PHASE II
PELLISSIPPI DUTCHTOWN
GENERAL PARTNERSHIP
MAP 118 17711
Plat # 20081120-0033396
Inst.# 20070209-0064756



Note:
If roadway is damaged replacement should meet the minimum standards of the street pavement specifications. 3rd party certification may be required, width should be a minimum 18' wide, or to the limits of damage. Arterial street asphalt pavement should meet the following specifications:
Surface: 1.5" Grading D asphalt
Levelling: 1.5" Grading C asphalt
Binder: 3" Grading B asphalt
Aggregate Base: 12" Class A Grade D crushed stone



DOBBS ORTHODONTICS - PLANT LIST					
QUANTITY	SYMBOL/COMMON NAME	BOTANICAL NAME	ROOTS	MIN. SIZE @ INSTALLATION	REMARKS
DECIDUOUS TREES					
3	AMO	Madroño Glory Red Maple (V)	Acer rubrum 'October glory'	8.5B	Specimen
1	CCC	Forest Pansy Redbud (Jumbo) (S)	Cercis canadensis 'Forest Pansy'	8.5B	Specimen
4	CA	Appalachian Spring Dogwood (S)	Cornus florida 'Appalachian Spring'	8.5B	Specimen
1	WVS	Sweetbay Magnolia (S)	Magnolia virginiana	8.5B	Specimen
2	PA	Blackberry Cherry (S)	Prunus virginiana 'Blackberry'	8.5B	Specimen
2	DA	Amorpha Vari (P) (V)	Amorpha vari	8.5B	Specimen
3	DM	Hard Cypress (V)	Taxodium distichum	8.5B	Full Canopy
2	CP	White Cedar (P) (V)	Thuja occidentalis 'White Cedar'	8.5B	Specimen
2	SG	Green Vase Yucca (P)	Yucca verticillata 'Green Vase'	8.5B	Specimen
20	S	72	TOTAL DECIDUOUS, PARKING SHADE (V), YARD SHADE (V), ORNAMENTAL (S)		
EVERGREEN TREES					
1	MIC	Florida Waxmanger Southern Magnolia (P)	Magnolia grandiflora 'Florida Waxmanger'	8.5B	Full to Ground @ 25' O.C.
10	TR	Green Heart Arborvitae (V)	Thuja occidentalis 'Green Heart'	8.5B	Full to Ground @ 20' O.C.
22	20	20%	TOTAL EVERGREEN, TOTAL LARVED YARD (S), EVERGREEN & Shade, EVERGREEN PERCENTAGE		
SHRUBS					
12	AGR	Rose Creek Abelia*	Abelia grandiflora 'Rose Creek'	Cont.	Full Plants @ 48" O.C.
18	CL	Carolina Yew*	Taxus carolinae	Cont.	Full Plants @ 48" O.C.
18	SC	Henry's Garnet Sweetgum*	Liquidambar styraciflua 'Henry's Garnet'	Cont.	Full Plants @ 48" O.C.
4	PLS	Strip Laurel*	Prunus burseriana 'Schip Laurel'	Cont.	Full Plants @ 48" O.C.
4	BR	Katsumi Lace Encore Dwarf Azalea*	Indigofera tinctoria 'Katsumi Lace'	Cont.	Full Plants @ 48" O.C.
13	MI	Peace Drift Rose*	Rosa 'Mingot'	Cont.	Full Plants @ 36" O.C.
11	TC	Emerald Green Abonotata*	Platanus occidentalis 'Emerald Green'	Cont.	Full to Ground @ 48" O.C.
30	WFS	Spilled Wine Weigela*	Weigela florida 'Spilled Wine'	Cont.	Full Plants @ 48" O.C.
SHRUB COVER & PERENNIALS					
118	SDM	Blue D'Oro Daylily (Daylily/Daylily Mix)	Helianthus scaberrimus 'Blue D'Oro'	Cont.	Full Plants @ 36" O.C. - See Detail
53	SCB	Blue Rock Lirioden*	Lirioden filiformis 'Blue Rock'	Cont.	Full Plants @ 36" O.C.
264	LMB	Big Blue Lirioden*	Lirioden filiformis 'Big Blue'	Cont.	Full Plants @ 36" O.C.
25	SCA	Pink Lady's Slipper*	Platanus occidentalis	Cont.	Full Plants @ 36" O.C.
354	SDM	Peach Master Daylily (Daylily/Daylily Mix)	Helianthus scaberrimus 'Peach Master'	Cont.	Full Plants @ 36" O.C. - See Detail
2	WH	Heavy Mica Sweetgum*	Liquidambar styraciflua 'Heavy Mica'	Cont.	Full Plants @ 48" O.C.
25	PA	Amorpha Vari*	Amorpha vari	Cont.	Full Plants @ 36" O.C.
20	FA	Black Eyed Susan*	Rudbeckia fulgida	Cont.	Full Plants @ 24" O.C.
LAWNS					
42,000		Landfill Lawns - Sodded Grass		Seed	See Notes and Specifications
8,000		Sodded Lawns - Sodded Grass		Seed	See Notes and Specifications

APPROVED BY:
**TENNESSEE TECHNOLOGY CORRIDOR
 DEVELOPMENT AUTHORITY**
 Meeting Date: 2/18/2025
 (administrative approval)

LANDSCAPE NOTES:

- EXAMINE SITE UPON WHICH WORK IS TO BE PERFORMED. PROVIDE PRECIPITATION TESTS, PH TESTS AND OTHER TESTS NECESSARY TO ASCERTAIN THAT ADEQUATE GROWING CONDITIONS WILL BE PROVIDED FOR THE PLANTS. IF PRECIPITATION TEST OR SUBSOIL CONDITIONS INDICATE RETENTION OF WATER IN PLANTING AREAS, AS SHOWN BY SEEPAGE OR OTHER EVIDENCE INDICATING PRESENCE OF UNDERGROUND WATER, RECTIFY UNSATISFACTORY CONDITIONS BEFORE BACKFILLING. DO NOT PROCEED WITH WORK UNTIL LANDSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. COMPLETION OF PLANTING WORK INDICATES SITE CONDITIONS HAVE BEEN ACCEPTED BY CONTRACTOR.
- UNDERGROUND UTILITIES EXIST ON SITE. VERIFY LOCATIONS AND DEPTHS BEFORE COMMENCING WITH PLANTING WORK. PROTECT EXISTING TREES AND VEGETATION SHOWN TO REMAIN THROUGHOUT CONSTRUCTION.
- COORDINATE PLANTING OF EXISTING TREES AND VEGETATION TO REMAIN PRIOR TO GROUND BREAK. PROTECT EXISTING TREES AND VEGETATION SHOWN TO REMAIN THROUGHOUT CONSTRUCTION.
- PLANT MATERIAL SHALL BE INSTALLED IN THE OPTIMUM SEASON UNLESS SPECIFIED OTHERWISE.
- FOR LANDSCAPING BEDS (AREAS FOR BENCH PLANTING OF SHRUBS AND/OR GROUPS) TO BE ESTABLISHED IN AREAS THAT HAVE NOT BEEN ALTERED OR DISTURBED BY EXCAVATION, GRADING, OR STRIPPING OPERATIONS, PREPARE SOIL BY TILLING TO A HOMOGENEOUS MIXTURE OF FINE TEXTURE, FREE OF LIMPS, CLOSURE STONES LARGER THAN 2" IN GREATEST DIMENSION, ROOTS AND OTHER EXTRANEUS MATERIAL, TO A DEPTH OF NOT LESS THAN 4". ELIMINATING LIMPS AND LOW SPOTS, REMOVING FOREIGN MATERIALS, SPREADING 8" MINIMUM TOPSOIL, DEFINE BEDS WITH TRENCHED EDGING AT LAWN.
- IF QUANTITY OF STOCKED TOPSOIL IS INSUFFICIENT, PROVIDE ADDITIONAL TOPSOIL AS REQUIRED TO ACHIEVE A MINIMUM 8" DEPTH AT PLANTING BEDS. ENSURE THAT TOPSOIL IS STRUVE FRABLE, NATURAL LOAM, TYPICAL FOR LOCALITY, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. TAKEN FROM WELL-DRAINED SITE, FREE OF SUBSOIL, CLAY LIMPS OR STONES LARGER THAN 2" IN GREATEST DIMENSION, PLANTS, WEEDS, AND ROOTS. MAINTAIN PH VALUE OF 5.5 TO 6.5. MAXIMUM CONTAINING A PERCENT MINIMUM ORGANIC MATTER. LAWNED TOPSOIL WITH FERTILIZER AND/OR LIMES AS REQUIRED TO PROMOTE VIGOROUS PLANT GROWTH.
- ASSURE THAT BEDS SHOWN TO REMAIN THROUGHOUT CONSTRUCTION.
- CONTRACTOR SHALL STAKE THE LOCATION OF ALL GROUND COVER BEDS, SHRUBS AND TREES FOR APPROVAL PRIOR TO INSTALLATION.
- CONTRACTOR SHALL ERUDATE WEEDS AND NON-DESIRABLE PLANT MATERIAL AT ALL LOCATIONS PRIOR TO PLANTING/INSTALLATION.
- PROVIDE AND INSTALL ONLY PLANTS THAT ARE FREE FROM DISEASE AND PESTS, AND THAT COMPLY WITH THE LATEST EDITION OF PUBLICATION AND 2601 "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF HORTICULTURISTS.
- ADD PRE-EMERGENT HERBICIDE UNDERNEATH AND ON TOP OF MULCH IN LANDSCAPED BEDS.
- MULCH TREE RINGS WITH 3" DEPTH OF APPROVED SHREDED HARDWOOD BARK MULCH IN A FOUR FOOT DIAMETER FOR TREES IN LAWN AREAS.
- UNLESS NOTED OTHERWISE, MULCH BEDS WITH 3" DEPTH OF APPROVED SHREDED HARDWOOD MULCH.
- PLANT GROUND COVERS THROUGH MULCH.
- REMOVE STRINGS AND OTHER TIES FROM PLANT MATERIAL.
- REMOVE SPRES 1/2 OF SUBUR FROM PLANT ROOT BALLS.
- DO NOT PERCE TREE ROOT BALLS WITH SUPPORT STAKES.
- ADD FERTILIZER AS REQUIRED FOR OPTIMAL PLANT PERFORMANCE AND PRE-EMERGENT HERBICIDE.
- DO NOT MAKE SUBSTITUTIONS REGARDING PLANT SIZES OR SPECIES WITHOUT WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.
- PLANT MATERIAL, MULCH AND OTHER RELATED PRODUCTS MUST BE TREATED FOR PESTS.
- WARRANTY MATERIALS AND WORKMANSHIP FOR TWELVE MONTHS FROM THE DATE OF SUBSTANTIAL COMPLETION. ANY TREE WHICH FAILS TO SURVIVE TWELVE (12) MONTHS SHALL BE REPLACED WITHIN 60 MONTHS OF LOSS.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAKING REPAIRS NECESSITATED BY DAMAGE OCCURRING DURING THE PERFORMANCE OF THEIR WORK.
- CONTRACTOR SHALL REMOVE STAKES AND CUV WARES FOR TREES APPROVED BY THE LANDSCAPE ARCHITECT DURING THE WARRANTY INSPECTION.
- SEE AREAS DISTURBED DURING CONSTRUCTION WITH APPROVED FESCUE BLEND.
- ESTABLISH LAWNS AS INDICATED ON PLANS. SEE LAND NOTES FOR ADDITIONAL REQUIREMENTS.
- INSTALL APPROVED RIVER GRAVEL AND METAL BED EDGING AT BUILDING PERIMETER AND AS SHOWN ON THE LANDSCAPE PLAN. SEE ARCHITECTURAL DRAWINGS FOR DETAIL AND ADDITIONAL REQUIREMENTS.
- RIVER COBBLES SHALL BE SIMILAR IN COLOR TO APPROVED RIVER GRAVEL. SUBMIT SAMPLES OF 3" DIA. DIAMETER AND 6" DIA. DIAMETER FOR APPROVAL BY THE LANDSCAPE ARCHITECT.
- REMOVE METAL BED EDGING AS SHOWN ON THE PLAN.
- SEE LANDSCAPE DETAILS AND WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

IRRIGATION SLEEVING NOTES:

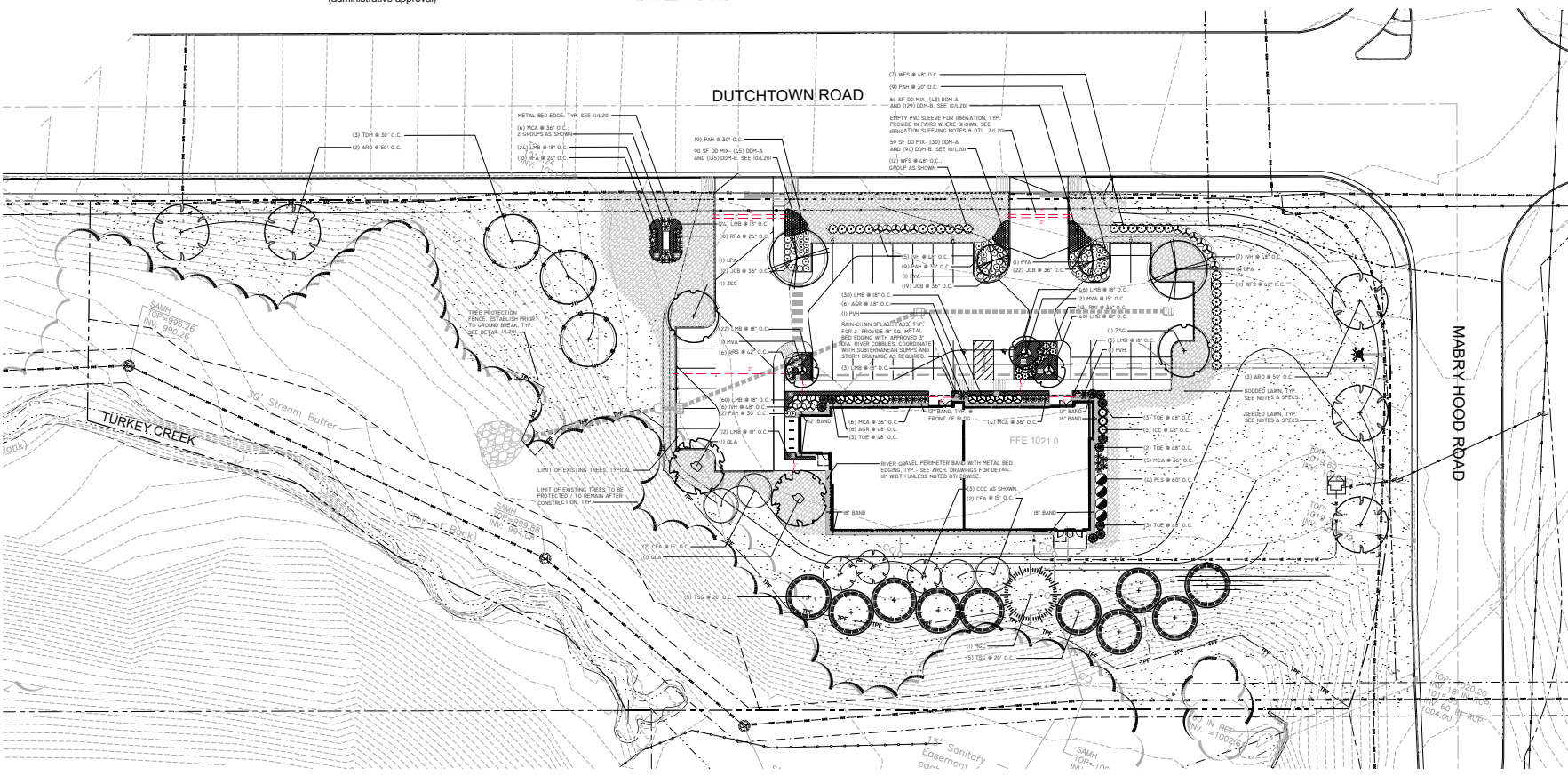
- CONTRACTOR SHALL PROVIDE THE LANDSCAPE ARCHITECT, THE ARCHITECT, AND THE OWNER WITH AS-BUILT DRAWINGS OF THE SLEEVING LOCATION AND SLEEVING.
- IRRIGATION SYSTEMS SHALL BE INDEPENDENTLY METERED UNLESS OTHERWISE DIRECTED BY THE ARCHITECT.
- SLEEVES UNDER PAVEMENT SHALL BE SCHEDULE 40 PVC, SIZED AS NOTED.
- THE INTENT OF THE IRRIGATION SLEEVING PLAN IS TO PROVIDE ACCESS TO PLANTING BEDS WITHOUT PAVEMENT CUTTING AND MINIMAL DISTURBANCE TO LANDSCAPING FOR LANDSCAPE ARCHITECT THAT MAY BE INSTALLED IN THE FUTURE.

LAWN NOTES:

- SEED ALL LAWN AREAS AND ALL DISTURBED AREAS WITHIN THE PROJECT LIMITS WITH APPROVED FESCUE BLEND.
- VERIFY EROSION IS AT PROPER LEVELS FOR TOPSOIL AND SOIL OR SEED INSTALLATION. PROCEED WITH AND COMPLETE LAWNS AND GRASSES AS SHOWN AS PORTIONS OF SITE BECOME AVAILABLE, WORKING WITHIN SEASONAL LIMITATIONS.
- FOR NEW LAWNS, PREPARE SOIL BY TILLING TO A HOMOGENEOUS MIXTURE OF FINE TEXTURE, FREE OF LIMPS, CLOSURE STONES LARGER THAN 2" IN GREATEST DIMENSION, ROOTS AND OTHER EXTRANEUS MATERIAL, TO A DEPTH OF NOT LESS THAN 4". ELIMINATING UNEVEN AREAS AND LOW SPOTS, REMOVING FOREIGN MATERIALS, SPREADING TOPSOIL TO A MINIMUM DEPTH FOR SEEDING LAWNS OR TO A MINIMUM DEPTH FOR SEEDING LAWNS.
- IF QUANTITY OF STOCKED TOPSOIL IS INSUFFICIENT, PROVIDE ADDITIONAL TOPSOIL AS REQUIRED, ENSURE THAT TOPSOIL IS STRUVE FRABLE, NATURAL LOAM, TYPICAL FOR LOCALITY, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. TAKEN FROM WELL-DRAINED SITE, FREE OF SUBSOIL, CLAY LIMPS OR STONES LARGER THAN 2" IN GREATEST DIMENSION, PLANTS, WEEDS, AND ROOTS. MAINTAIN PH VALUE OF 5.5 TO 6.5. MINIMUM AND 0.3 MAXIMUM CONTAINING 6 PERCENT MINIMUM ORGANIC MATTER. AMEND TOPSOIL WITH FERTILIZER AND/OR LIME AS REQUIRED TO PROMOTE VIGOROUS LAWN GROWTH.
- REPAIRS EXISTING LAWNS TO REMAIN WHICH HAVE NOT BEEN DISTURBED BY CONSTRUCTION. INCLUDE CORE AERATION, OVERSEEDING, STRAW AT 100% OF BARE AREAS AND FERTILIZER AS REQUIRED.
- PROVIDE FERTILIZER WITH NOT LESS THAN 8 PERCENT TOTAL NITROGEN, 12 PERCENT PHOSPHORIC ACID, AND 12 PERCENT SOLUBLE POTASH. PROVIDE NITROGEN IN A FORM THAT IS AVAILABLE TO LAWN DURING INITIAL PERIOD OF GROWTH, AT LEAST 50% OF NITROGEN TO BE ORGANIC FERTILIZER FROM NATURAL DOLOMITIC LIMESTONE CONTAINING NOT LESS THAN 85% OF TOTAL CARBONATES WITH A MINIMUM OF 20% MAGNESIUM CARBONATE. GROUND SO THAT NOT LESS THAN 90% PASSES A #20 MESH SIEVE AND NOT LESS THAN 50% PASSES A #10 MESH SIEVE.
- LIMIT PREPARATION TO AREAS WHICH SHALL BE SEEDS OR SOOD IMMEDIATELY.
- WATER THROUGHLY AND ALLOW SURFACE MOISTURE TO DRY BEFORE SEEDING OR SOODING. DO NOT CREATE A MUDDY CONDITION. DO NOT SEED OR SOOD WHEN THE GROUND IS FROZEN.
- FOR SEEDING AREAS:
 COMPLY WITH AMERICAN SOIL PRODUCERS ASSOCIATION (ASPA) SUBTLELINE SPECIFICATIONS FOR SEEDING FOR HARVESTING AND INSTALLING SOOD.
 THE SOOD DELIVERY SOOT THAT WILL BE PLACED WITHIN 24 HOURS AFTER STRIPPING. PROTECT SOOT AGAINST DRYING AND BREAKING.
 PROVIDE THOROUGHLY SOOTED CULTIVATED GRASS SOOT NOT LESS THAN 1 YEAR OLD, FREE OF WEEDS AND UNDESIRABLE NATIVE GRASSES. PRINCIPALLY COMPOSED OF 100% THERMAL BLUE OR SP 20 BLUE GRASS, 20% MOUNT TALL FESCUE, 20% VAN COGH TALL FESCUE, AND 20% WAGRE TALL FESCUE. BROKEN PADS OR PADS WITH UNEVEN ENDS WILL NOT BE ACCEPTABLE. SOOD PADS INCAPABLE OF SUPPORTING THEIR OWN WEIGHT.
- MAINTAIN LAWN UNTIL GRASS IS WELL ESTABLISHED AND EXHIBITS A VIGOROUS GROWING CONDITION AND NOT LESS THAN 60 DAYS FROM DATE OF SUBSTANTIAL COMPLETION. IF SEEDS IN FALL CONTINUE MAINTENANCE THE FOLLOWING SPRING UNTIL ACCEPTABLE LAWN IS ESTABLISHED.
- INSTALL LAWN FOR ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.
- SEE WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

TTDCA NOTES:

- TTDCA GUIDELINES 3.1.1: AT LEAST 25% OF PROPOSED EXISTING TREES SHALL BE EVERGREEN. 51% OF THE PROPOSED TREES ARE EVERGREEN.
- TTDCA GUIDELINES 3.1.2: FOR DEVELOPMENT SITES, AT LEAST 10 LARGE MATURING TREES ARE REQUIRED PER ACRE OF YARD SPACE, 2.0 ACRES OF YARD SPACE (10 X 120 MM). LARGE TREES REQUIRED. 20 LARGE MATURING TREES ARE REQUIRED IN YARD SPACE OPEN.
- TTDCA GUIDELINES 3.1.3: EVERGREEN PLANT MATERIAL SHOULD BE USED TO SCREEN PARKING AND TO PROVIDE TRANSITIONS BETWEEN LAND USES. EVERGREEN TREES ARE PROPOSED TO BUFFER THE ADJACENT PARCELS AND TO SCREEN PARKING.
- TTDCA GUIDELINES 3.1.4: AREAS AROUND THE BUILDINGS EQUAL TO AT LEAST 50% OF EACH FRONT AND SIDE ELEVATIONS SHALL BE LANDSCAPED WITH ORNAMENTAL TREES, SHRUBS AND BEDDING PLANTS.
- TTDCA GUIDELINES 3.1.5: LANDSCAPING SHOULD BE USED TO SCREEN MECHANICAL EQUIPMENT AND OTHER UNDESIRABLE BUILDING ELEMENTS. EVERGREEN SHRUBS ARE PROPOSED TO SCREEN THE EXTERIOR ENCLOSURE AND MECHANICAL EQUIPMENT.
- TTDCA GUIDELINES 3.1.6: PARKING AREAS SHOULD BE SCREENED FROM PUBLIC RIGHTS-OF-WAY. SHRUBS ARE PROPOSED TO SCREEN PARKING FROM ADJACENT STREETS.
- TTDCA GUIDELINES 3.1.7: TREES SHALL BE REQUIRED AT THE RATE OF ONE (1) MEDIUM OR LARGE MATURING CANOPY TREE FOR EVERY TEN PARKING SPACES PROVIDED. 30 PARKING SPACES = 3 SHADE TREES REQUIRED. 3 SHADE TREES ARE PROPOSED AT THE PARKING AREAS.
- TTDCA GUIDELINES 3.1.8: IN ADDITION TO THE PLANTING OF REQUIRED CANOPY TREES, PLANTING AREAS FOR ORNAMENTAL TREES, SHRUBBERY AND BEDDING PLANTS SHALL BE NO LESS THAN FIVE (5) PERCENT OF THE SURFACE AREA DEVOTED TO PARKING. (2,000 SF X 0.05 = 100 SF MINIMUM REQUIRED). AT LEAST 60% SF OF PLANTING ADJACENT TO PARKING IS PROPOSED.

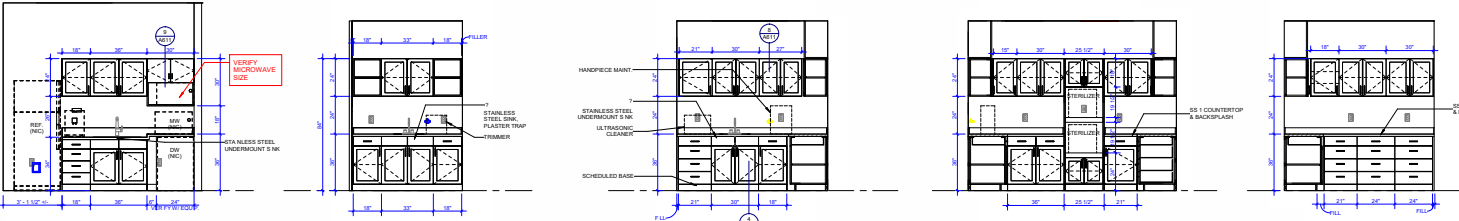


LANDSCAPE PLAN
 (1:1) SCALE 1"=20'-0"

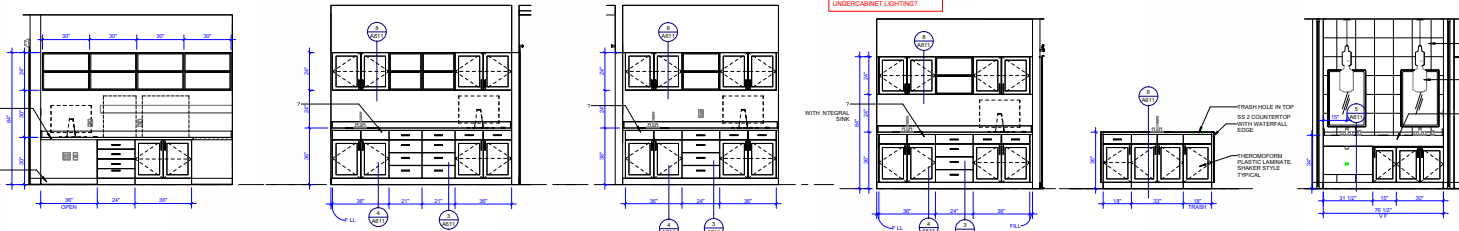


THE PENLAND STUDIO
 LANDSCAPE ARCHITECTURE

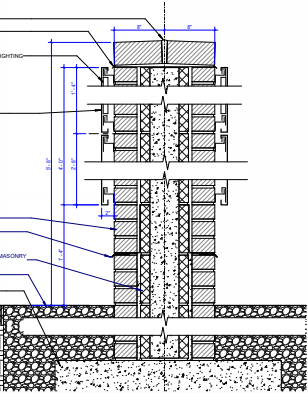
PROJECT NAME:
 DOBBS ORTHODONTICS
 PROJECT NUMBER:
 230909
 DATE:
 8/20/2024
 DRAWN BY:
 RYAN B. BROWN
 CHECKED BY:
 T. J. JOHNSON
 PROJECT ISSUE DATE:
 1. JULY 2024



18 BREAK ROOM
16 WET LAB
19 STERILE WEST
14 STERILE NORTH
15 STERILE EAST



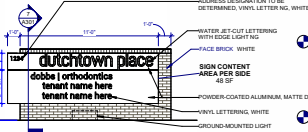
17 WORK
12 PRIVATE A113
11 PRIVATE A111
10 RECORDS
9 OPERATOR
8 BRUSHING



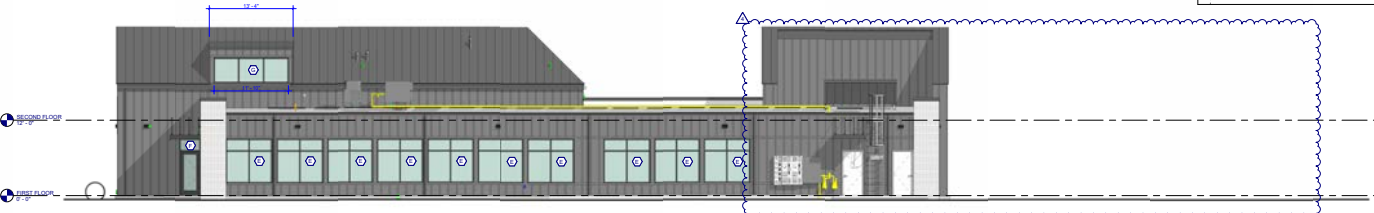
7 SIGN DETAIL



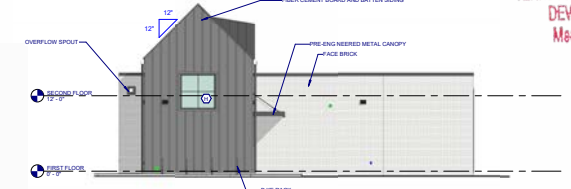
8 MONUMENTAL SIGN
NOT TO SCALE



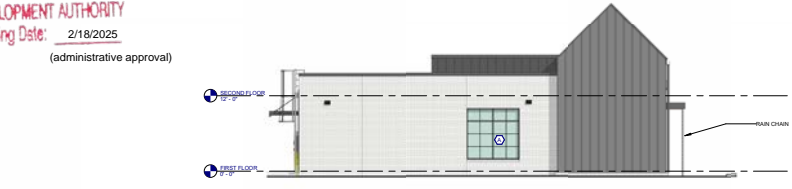
6 SIGN SIDE 1 (OPPOSITE SIDE SIMILAR)



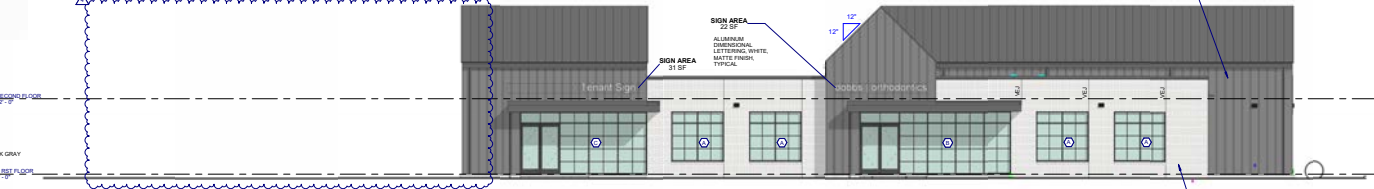
4 SOUTH ELEVATION



3 WEST ELEVATION



2 EAST ELEVATION



1 NORTH ELEVATION

- ELEVATION GENERAL NOTES**
- COORDINATE WITH APPLICABLE DIMENSIONS AND DETAILS ON OTHER SHEETS.
 - NOTES AND DETAILS ARE TYPICALLY APPLICABLE TO SIMILAR ITEMS DRAWN ELSEWHERE ON THE SHEET.
 - DIMENSIONS ARE TO FACE OF MASONRY, SINGCAST, COMPOSITE METAL PANEL, CURTAINWALL, OR EDGE OF OPENING UNLESS OTHERWISE NOTED.
 - LOCATE VERTICAL VENEER EXPANSION JOINTS (VEJ) AT MAX 25 FEET ON CENTER WHERE NOT SHOWN OTHERWISE. COORDINATE LOCATIONS WITH THE ARCHITECT.
 - SHALL ANALYZE TYPICALLY FUNCTION AS HORIZONTAL VENEER EXPANSION JOINTS.
 - SEE SHEET A FOR EXTERIOR WINDOW TYPES AND DETAIL REFERENCES.
 - DIAGONAL HATCHING INDICATES SPANDREL GLASS TYPICALLY UNLESS ALL SUPPLIER LOCATIONS WITH ROOF PLANS. SEE SHEETS A AND A.
 - PROVIDE MASONRY VENEER EXPANSION JOINTS (VEJ) AT JOINT CORNERS AND INTERSECTIONS WITH OTHER MATERIALS TYP.

- ENLARGED PLAN & INTERIOR ELEVATION GENERAL NOTES**
- COORDINATE WITH APPLICABLE DIMENSIONS AND DETAILS ON OTHER SHEETS.
 - NOTES AND DETAILS ARE TYPICALLY APPLICABLE TO SIMILAR ITEMS ELSEWHERE ON THE SHEET.
 - SEE 1\"/>



BarberMurray Architects
300 MARKET STREET, SUITE 300
KNOXVILLE, TN 37925
865.524.1919
www.bma1915.com



CONSULTANT LOGO

PROJECT TEAM
CIVIL ENGINEER:
LAND DEVELOPMENT SOLUTIONS
310 HOLLERWOOD LANE
KNOXVILLE, TN 37922
865.871.2281

LANDSCAPE ARCHITECT:
THE PENLAND STUDIO, INC.
210 HOLLERWOOD LANE
KNOXVILLE, TN 37922
865.335.3584

STRUCTURAL ENGINEER:
BENNETT & PLESS, INC.
111 WHELAN AVE STE 200
KNOXVILLE, TN 37921
865.538.8227

MECHANICAL/PLUMBING ENGINEER:
ENGINEERING SERVICES GROUP, INC.
300 S WELLS AVE SUITE 200
KNOXVILLE, TN 37915
865.523.3283

ELECTRICAL ENGINEER:
VREELAND ENGINEERS, INC.
3107 SUTHERLAND AVE
KNOXVILLE, TN 37919
865.827.4411

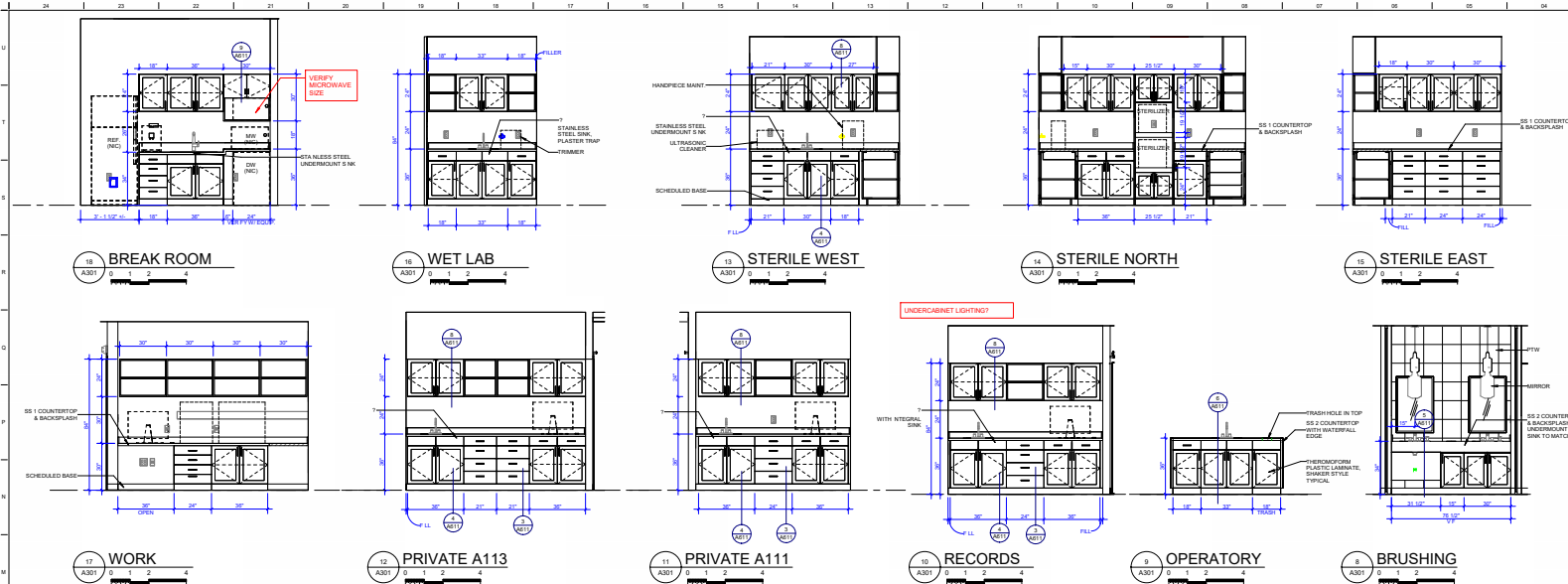
PROJECT NAME:
DOBBS ORTHODONTICS

PROJECT OWNER:
DR. MARY ELLEN DOBBS
10002 DUTCHDOWN ROAD
KNOXVILLE, TN 37922

REVISIONS	DATE
1. COR. REVIEW	2/24/25 (R)
2. COR. REVIEW	2/24/25 (R)
3. COR. REVIEW	2/24/25 (R)
4. REVISION 4	ENR 4

ELEVATIONS

A301



- ELEVATION GENERAL NOTES**
- COORDINATE WITH APPLICABLE DIMENSIONS AND DETAILS ON OTHER SHEETS.
 - NOTES AND DETAILS ARE TYPICALLY APPLICABLE TO SIMILAR ITEMS DRAWN ELSEWHERE ON THE SHEET.
 - DIMENSIONS ARE TO FACE OF MASONRY, SINGLES, COMPOSITE METAL PANELS, CURTAINWALL, OR EDGE OF OPENING UNLESS OTHERWISE NOTED.
 - LOCATE VERTICAL VENEER EXPANSION JOINTS (E/J) AT MAX 25 FEET ON CENTER WHERE NOT SHOWN OTHERWISE. COORDINATE LOCATIONS WITH THE ARCHITECT.
 - SHALL ANGLES TYPICALLY FUNCTION AS HORIZONTAL VENEER EXPANSION JOINTS.
 - SEE SHEET A FOR EXTERIOR WINDOW TYPES AND DETAIL REFERENCES.
 - DIAGONAL HATCHING INDICATES SPANDREL GLASS TYPICALLY ON ALL SILLER LOCATIONS WITH ROOF PLANS. SEE SHEETS A AND A.
 - PROVIDE MASONRY VENEER EXPANSION JOINTS (E/J) AT JOSE CORNERS AND INTERSECTIONS WITH OTHER MATERIALS TYP.
- ENLARGED PLAN & INTERIOR ELEVATION GENERAL NOTES**
- COORDINATE WITH APPLICABLE DIMENSIONS AND DETAILS ON OTHER SHEETS.
 - NOTES AND DETAILS ARE TYPICALLY APPLICABLE TO SIMILAR ITEMS ELSEWHERE ON THE SHEET.
 - SEE 18' FLOOR PLANS FOR PARTITION TYPES.
 - PROVIDE BLOCKING, ROUGH HOWE, ETC. AS PER TO MOUNT EQUIPMENT.
 - NOT USED.
 - SYMBOL INDICATES EQUIPMENT ITEM. SEE SHEET A00 FOR SPACING AND MOUNTING HEIGHTS.
 - FIELD INDICATE ALL CASEWORK DIMENSIONS PRIOR TO FABRICATION.
 - PROVIDE FILLER PANELS, WHERE REQUIRED, A MAXIMUM OF 3" IN WIDTH.
 - ALL CABINETS ARE 18" DEEP AND BASE CABINETS 24" DEEP WITH A 2" TOP, UNLESS OTHERWISE NOTED.
 - PROVIDE FINISHED PLASTIC LAMINATE SCOFFS ABOVE ALL WALL CABINETS TO FINISH DETAIL, UNLESS OTHERWISE NOTED.
 - PROVIDE FINISHED SURFACES AT ALL EXPOSED SURFACES AND 1" EDGES PLASTIC LAMINATE UNLESS OTHERWISE NOTED.
 - COORDINATE ALL CASEWORK WITH OWNER-FURNISHED EQUIPMENT AS REQUIRED.
 - PROVIDE CORNER-ROOF CORNERS AS REQUIRED FOR EQUIPMENT OR AS DIRECTED BY THE OWNER.
 - PROVIDE SCHEDULED BASE MATERIAL AT ALL CABINETS UNLESS OTHERWISE NOTED.
 - PROVIDE 1" HIGH HOLEDS AT EXPOSED TOP CORNERS UNLESS OTHERWISE NOTED.
 - ALL CABINETS TO BE FLUSH OVERLAY CONSTRUCTION.
 - NOT USED.
 - NOT USED.
 - CASEWORK DETAILS INDICATE A GYPSUM BOARD SUBSTRATE. MODIFY AS NECESSARY FOR UTM.
 - 1 * INDICATES DIRECTION TO RUN PLASTIC LAMINATE OR FINISH WOOD GRAIN.



BarberMurray Architects
 300 MARKET STREET, SUITE 300
 KNOXVILLE, TN 37920
 865.524.1919
 www.bma1919.com



CONSULTANT LOGO

PROJECT TEAM

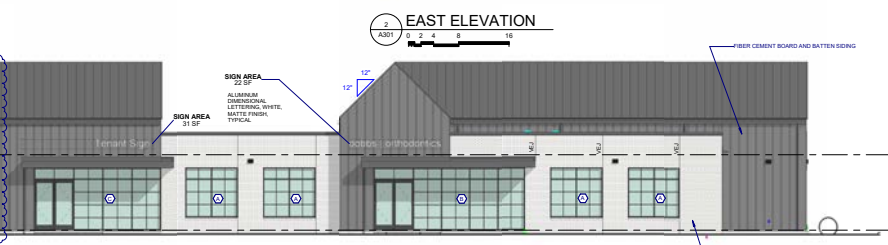
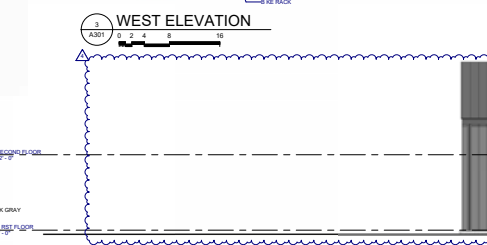
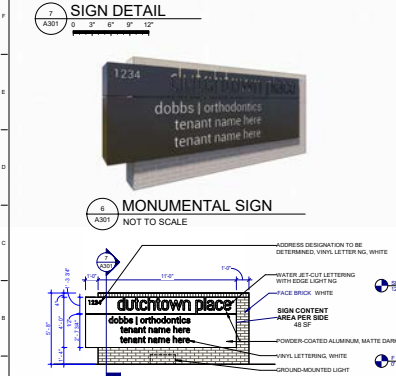
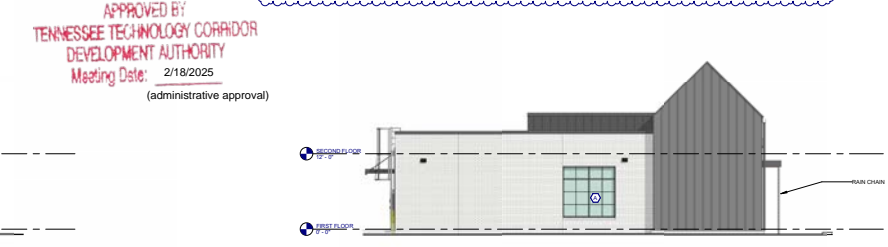
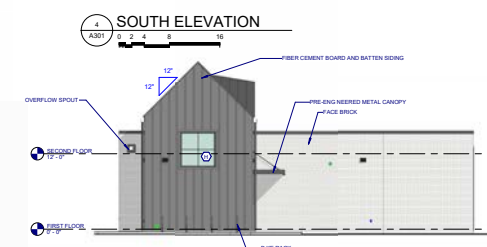
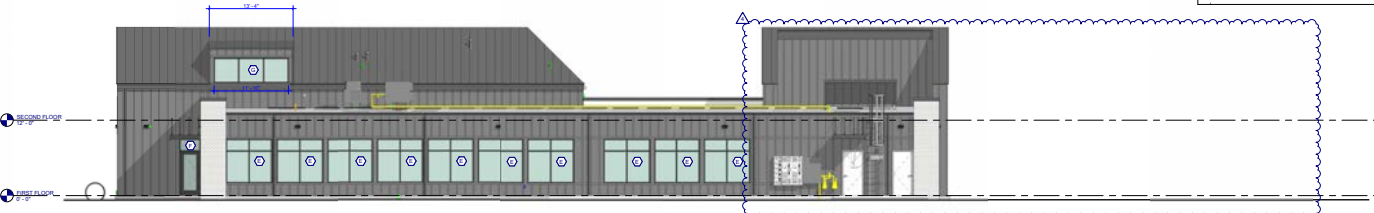
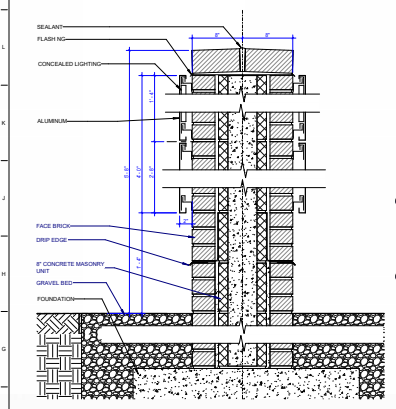
CONSULTANT:
 CIVIL ENGINEER:
 LAND DEVELOPMENT SOLUTIONS
 310 SHANNON ROAD, SUITE 4
 KNOXVILLE, TN 37920
 865.871.1281

LANDSCAPE ARCHITECT:
 THE PENLAND STUDIO, INC.
 111 WHELAN LN STE 200
 KNOXVILLE, TN 37921
 865.538.3064

STRUCTURAL ENGINEER:
 BENNETT & PLESS, INC.
 111 WHELAN LN STE 200
 KNOXVILLE, TN 37921
 865.538.6277

MECHANICAL/PLUMBING ENGINEER:
 ENGINEERING SERVICES GROUP, INC.
 300 S WELLS AVE SUITE 200
 KNOXVILLE, TN 37915
 865.523.3393

ELECTRICAL ENGINEER:
 VREDEL AND ENGINEERS, INC.
 3107 SUTHERLAND AVE
 KNOXVILLE, TN 37919
 865.827.4611



DOBBS ORTHODONTICS

PROJECT OWNER:
 DR. MARY ELLEN DOBBS
 10000 DUTCHTOWN ROAD
 KNOXVILLE, TN 37922

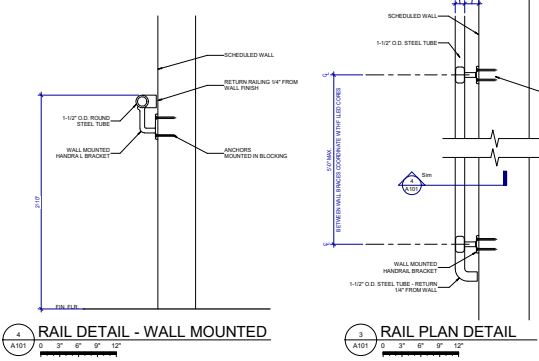
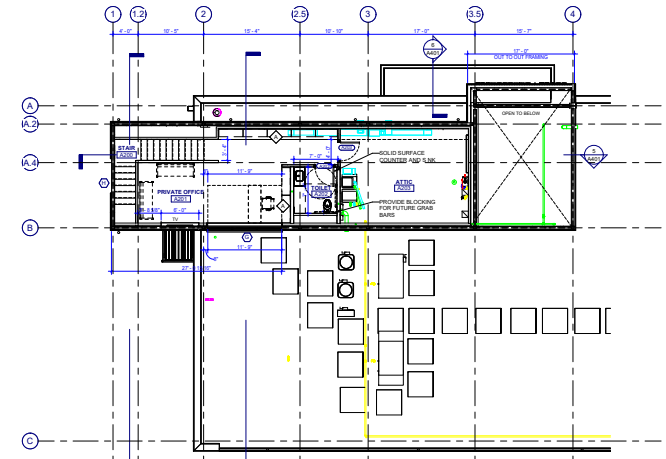
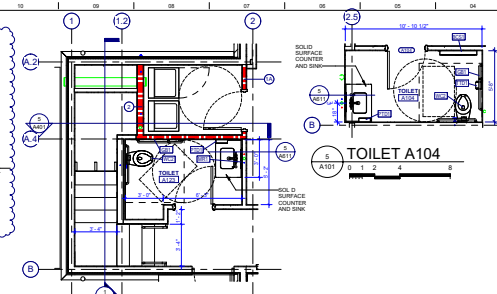
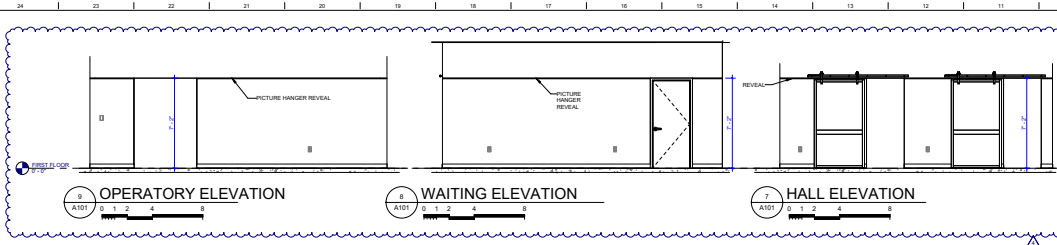
REVISIONS

#	ISSUED BY:	DATE
1	CON REVIEW	2/24/24
2	CON REVIEW	2/24/24
3	CON REVIEW	2/24/24
4	REVISION 4	ENR 4

PROJECT NUMBER: 230909
 PLOT FILE: 8601880
 DRAWN BY: CHECKED BY: 8651 / 8602
 PROJECT ISSUE DATE: 1 JULY 2024

ELEVATIONS

A301



FLOOR PLAN GENERAL NOTES

- COORDINATE WITH APPLICABLE OVERSIGHT AND DETAILS ON OTHER SHEETS.
- NOTES AND DETAILS ARE TYPICALLY APPLICABLE TO SIMILAR ITEMS ELSEWHERE ON THE SHEET.
- PROVIDE BLOCKING, ROUGH HOME, ETC. AS NEEDED TO MOUNT EQUIPMENT.
- NOT USED.
- SYMBOL INDICATES PARTITION TYPE. SEE SHEET A101 FOR PARTITION TYPES.
- SYMBOL INDICATES WINDOW TYPE. SEE SHEET A101 FOR INTERIOR WINDOW ELEVATIONS.
- SYMBOL INDICATES DOOR. SEE SHEET A101 FOR OPENING SCHEDULES.
- SYMBOL INDICATES EQUIPMENT ITEM. SEE SHEET A101 FOR STANDING/SEATING HEIGHTS.
- COORDINATE RECESSED SLAB LOCATIONS WITH HEIGHTS AND EQUIPMENT. PROVIDE ADDITIONAL SPIN BREAKS RECESS AS NOTED.
- NOT USED.
- COORDINATE LEVEL WALKWAY RAILINGS AND WALL PROTECTION WITH OWNERS AND INTERIOR DESIGNER'S REQUIREMENTS.

FLOOR PLAN NOTES

- SHELVING. SEE [A101](#)
- METAL FRAME WITH FROTTED GLASS
- XXXXX
- XXXXX
- XXXXX

CONSULTANT LOG:

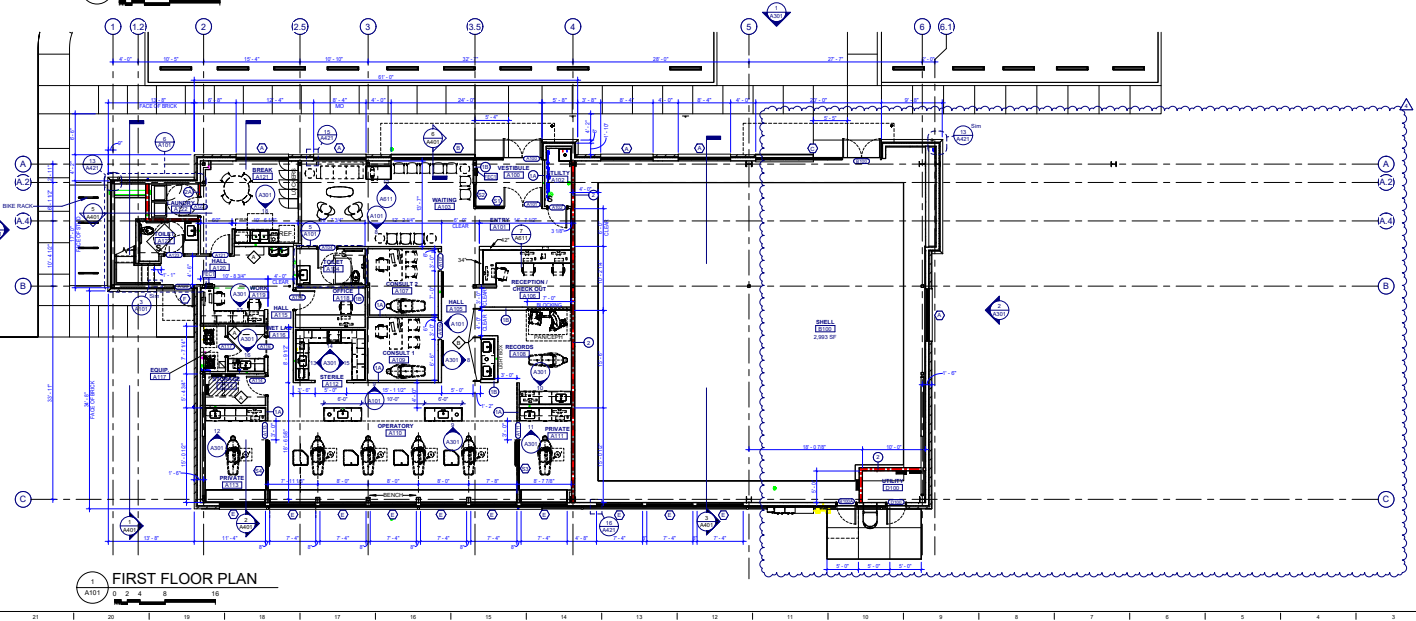
PROJECT TEAM:

CONTRACTOR:

WALL LEGEND

- UNRATED PARTITION
- 1 HOUR RATED PARTITION

APPROVED BY:
TENNESSEE TECHNOLOGY CORRIDOR
DEVELOPMENT AUTHORITY
Meeting Date: 2/18/2025
(administrative approval)



BarberMurray Architects
300 MARKET STREET, SUITE 300
KNOXVILLE, TN 37920
www.bma1915.com



CONSULTANT LOG:

PROJECT TEAM:

CONTRACTOR:

LANDSCAPE ARCHITECT:
THE PENLAND STUDIO, INC.
2110 HOLLYWOOD LANE
KNOXVILLE, TN 37922
865.335.3584

STRUCTURAL ENGINEER:
BENNETT & PLESS INC.
111 WHEELER LN STE 200
KNOXVILLE, TN 37922
865.538.6227

MECHANICAL/PLUMBING ENGINEER:
ENGINEERING SERVICES GROUP, INC.
300 S HILL AVE SUITE 200
KNOXVILLE, TN 37915
865.323.0393

ELECTRICAL ENGINEER:
VREELAND ENGINEERS, INC.
1307 SUTHERLAND AVE
KNOXVILLE, TN 37919
865.627.4611

PROJECT NAME:
DOBBS ORTHODONTICS

PROJECT OWNER:
DR. MARY ELLEN DOBBS
10002 DUTCOTOWN ROAD
KNOXVILLE, TN 37922

REVISIONS	DATE
1. ISSUED BY:	2/23/24 09:24
2. COOK REVIEW	2/23/24 09:24
3. COOK REVIEW	2/24/24 09:19
4. Revision 4	Date 4

PROJECT NUMBER: 2309099
PROJECT NAME: DR. MARY ELLEN DOBBS
DRAWN BY: CHECKED BY: ISSUED BY:
PROJECT ISSUE DATE: 1 JULY 2024

FLOOR PLAN
A101

X:\2023\2023079 - BMA - Dobbs Orthodontics Site Plan\DWG\ Dobbs Orthodontics - Master 2026.dwg Jan 22, 2025 - 10:27am cbrown - LDS Copyright 2025

General Notes

- The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records and where possible measurements taken in the field. This information is not to be relied upon as being exact or complete. The contractor must call Tennessee One Call and any utility that does not submit to One Call at least 72 hours before any excavation, to request exact field location of the utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.
- Owner: Mary Ellen Dobbs
265 Conkorn Drive
Lenoir City, TN 37772
- Survey by: Land Development Solutions
310 Simmons Road, Suite K
Knoxville, TN 37922
Ph. 865-671-2281
- Property is located in Knoxville and is zoned OP & TO.
- Lot acreage = 2.58 acres.
- Office Building
 - Minimum Number of Parking Spaces Required
 - Office = (6,953 sf / 1000sf) x 3 = 21
 - Total Minimum Number of Parking Spaces = 21
 - Maximum Number of Parking Spaces Required
 - Office = (6,953 sf / 1000sf) x 4.5 = 31
 - Total Maximum Number of Parking Spaces = 31
 Parking provided: 30 Spaces including 2 Accessible spaces.
- Ground Area Coverage (GAC) max 25%
7,555 sf / 112,385 sf = 6.7 %
Floor Area Ratio (FAR) max 30%
7,555 sf / 112,385 sf = 6.7 %
Impervious Area Ratio (IAR) max 70%
24,880 sf / 112,385 sf = 22.1 %
- Setbacks: Front Yard = 60' (parking in front)
Side Yard = 20'
Rear Yard = 20'

Dobbs Orthodontics
 Project: TTCCA 3-B-24-TOB - DUTCHTOWN PLACE
 10100 DUTCHTOWN ROAD
 Knoxville, Tennessee

LAND DEVELOPMENT SOLUTIONS
 310 SIMMONS RD., SUITE K-KNOXVILLE, TENNESSEE 37922
 PH. 865-671-2281

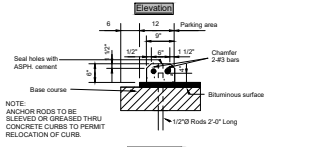
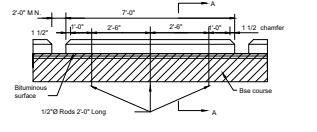
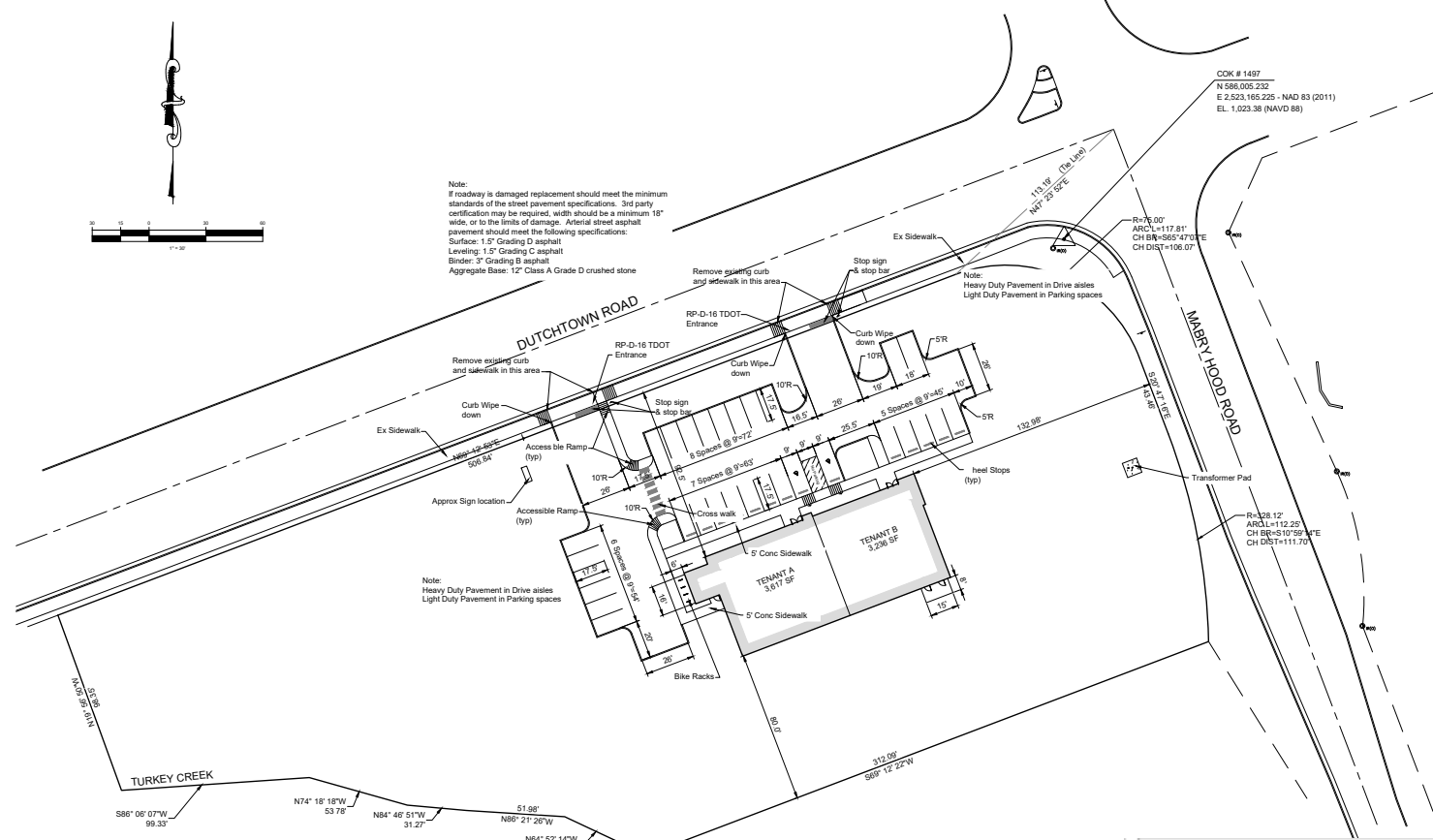
Site Layout
 Drawing Description:

No.	Date	Revision	Revisions per City of Knoxville & Owner
1	8-2-24	1	Revisions per Owner
2	1-6-25	2	Revisions per Owner



Drawn By:	COB
Checked:	EJB
Approved:	EJB
Job No.:	2023078
1"=30'	7-1-24
Scale:	Date

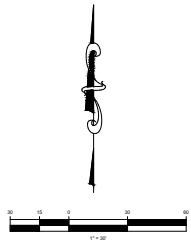
C101
Sheet No.



Wheel Stop

4
CENTURY PARK - PHASE II
 CPIII GP
 MAP 118 17706
 Plat # 20060519-0097451
 Inst.# 20170830-0013854

6
CENTURY PARK - PHASE II
 PELLISSIPPI DUTCHTOWN
 GENERAL PARTNERSHIP
 MAP 118 17711
 Plat # 20081120-0033396
 Inst.# 20070209-0064756



Note:
 If roadway is damaged replacement should meet the minimum standards of the street pavement specifications. 3rd party certification may be required, width should be a minimum 18' wide, or to the limits of damage. Arterial street asphalt pavement should meet the following specifications:
 Surface: 1.5" Grading D asphalt
 Leveling: 1.5" Grading C asphalt
 Binder: 3" Grading B asphalt
 Aggregate Base: 12" Class A Grade D crushed stone

Note:
 Heavy Duty Pavement in Drive aisles
 Light Duty Pavement in Parking spaces

Note:
 Heavy Duty Pavement in Drive aisles
 Light Duty Pavement in Parking spaces

QUANTITY	SYMBOL	COMMON NAME	BOTANICAL NAME	ROOTS	MARK SIZE @ INSTALLATION	REMARKS
DECIDUOUS TREES						
3	MD	Midland Glory Red Maple (V)	<i>Acer rubrum</i> 'October Glory'	BBB	12" Cal.	Specimen
1	CC	Forest Pansy Redbud (Cumb) (C)	<i>Cercis canadensis</i> 'Forest Pansy'	BBB	12" Cal.	Specimen
4	CA	Appalachian Spring Dogwood (C)	<i>Cornus florida</i> 'Appalachian Spring'	BBB	6" Ht.	Specimen
1	WP	Sweetbay Magnolia (C)	<i>Magnolia virginiana</i>	BBB	12" Ht.	Specimen
2	PA	Madison Cherry (C)	<i>Prunus virginiana</i> 'Madison'	BBB	12" Cal.	Specimen
2	DA	Amorpha Vari (P) (V)	<i>Amorpha fruticosa</i>	BBB	12" Cal.	Specimen
3	DM	Hard Cypress (V)	<i>Taxodium distichum</i>	BBB	12" Cal.	Specimen
2	LN	White Cedar Elm (V)	<i>Ulmus alatus</i> 'White Cedar Elm'	BBB	12" Cal.	Specimen
2	SG	Green Vase Yucca (V)	<i>Yucca verticillata</i> 'Green Vase'	BBB	12" Cal.	Specimen
20	S					
EVERGREEN TREES						
1	MIC	Florida Waxmanger Southern Magnolia (V)	<i>Magnolia grandiflora</i> 'Florida Waxmanger'	BBB	6" Ht.	Full to Ground @ 25' O.C.
10	TR	Green Heart Arborvitae (V)	<i>Thuja occidentalis</i> 'Green Heart'	BBB	6" Ht.	Full to Ground @ 20' O.C.
22	20	20%				TOTAL EVERGREEN, TOTAL LARVE YARD (E, Evergreen & Shrub), EVERGREEN PERCENTAGE
SHRUBS						
12	AGR	Rose Creek Abelia*	<i>Abelia grandiflora</i> 'Rose Creek'	Cont.	1.6 Gal.	Full Plants @ 48" O.C.
12	CL	Carolina Yew*	<i>Taxus canadensis</i>	Cont.	1.6 Gal.	Full Plants @ 48" O.C.
18	SC	Henry's Garnet Sweetgum*	<i>Liquidambar styraciflua</i> 'Henry's Garnet'	Cont.	1.6 Gal.	Full Plants @ 48" O.C.
4	PLS	Ship Laurel*	<i>Prunus burseriana</i> 'Ship Laurel'	Cont.	7 Gal., 36" Ht. (Min.)	Full Plants @ 60" O.C.
4	BR	Katsumi Lace Encore Dwarf Azalea*	<i>Rhododendron</i> 'Katsumi P22222'	Cont.	1.6 Gal.	Full Plants @ 48" O.C.
13	MI	Peace Duff Rose*	<i>Rosa</i> 'Meigui'	Cont.	1.6 Gal.	Full Plants @ 36" O.C.
11	TC	Emerald Green Abonotata*	<i>Prunus canadensis</i> 'Emerald Green'	Cont.	1.6 Gal.	Full Plants @ 48" O.C.
30	WP	Spilled Wine Weigela*	<i>Weigela florida</i> 'Spilled Wine'	Cont.	1.6 Gal.	Full Plants @ 48" O.C.
30						
SHRUB COVER & PERENNIALS						
118	SDM-A	Blue D'Oro Daylily (Daylily/Daylily Min)	<i>Hemerocallis</i> 'Blue D'Oro'	Cont.	1.6 Gal.	Full Plants @ 36" O.C. - See Detail
53	SCB	Blue Fescue Grass*	<i>Festuca ovina</i> 'Blue Fescue'	Cont.	1.6 Gal.	Full Plants @ 36" O.C.
264	LMB	Big Blue Linum*	<i>Linum catharticum</i> 'Big Blue'	Cont.	4" Plants	Full Plants @ 36" O.C.
25	SCA	Pink Lady's Slipper*	<i>Delphinium consolida</i>	Cont.	1.6 Gal.	Full Plants @ 36" O.C.
354	SDM-B	Peach Master Daylily (Daylily/Daylily Min)	<i>Hemerocallis</i> 'Peach Master'	Cont.	1.6 Gal.	Full Plants @ 36" O.C. - See Detail
2	WH	Heavy Metal Sweetgum*	<i>Liquidambar styraciflua</i> 'Heavy Metal'	Cont.	1.6 Gal.	Full Plants @ 48" O.C.
25	PAH	Heavy Metal Sweetgum*	<i>Liquidambar styraciflua</i> 'Heavy Metal'	Cont.	1.6 Gal.	Full Plants @ 36" O.C.
20	FA	Black Eyed Susan*	<i>Rudbeckia hirta</i>	Cont.	1.6 Gal.	Full Plants @ 24" O.C.
LAWNS						
42,000		Seedbed Lawns - Sodded Blend		Seed	12" Sp.	See Notes and Specifications
8,000		Sodded Lawns - Sodded Blend		Sod	12" Sp.	See Notes and Specifications

LANDSCAPE NOTES:

- EXAMINE SITE UPON WHICH WORK IS TO BE PERFORMED. PROVIDE PERCOLATION TESTS, PH TESTS AND OTHER TESTS NECESSARY TO ASCERTAIN THAT ADEQUATE GROWING CONDITIONS WILL BE PROVIDED FOR THE PLANTS. IF PERCOLATION TEST OR SUBSOIL CONDITIONS INDICATE RETENTION OF WATER IN PLANTING AREAS, AS SHOWN BY SEEPAGE OR OTHER EVIDENCE INDICATING PRESENCE OF UNDERGROUND WATER, RECTIFY UNSATISFACTORY CONDITIONS BEFORE BACKFILLING. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. COMPLETION OF PLANTING WORK INDICATES SITE CONDITIONS HAVE BEEN ACCEPTED BY CONTRACTOR.
- UNDERGROUND UTILITIES EXIST ON SITE. VERIFY LOCATIONS AND DEPTHS BEFORE COMMENCING WITH PLANTING WORK. PROTECT EXISTING TREES AND VEGETATION SHOWN TO REMAIN THROUGHOUT CONSTRUCTION.
- COORDINATE PLANTING OF EXISTING TREES AND VEGETATION TO REMAIN PRIOR TO GROUND BREAK. PROTECT EXISTING TREES AND VEGETATION SHOWN TO REMAIN THROUGHOUT CONSTRUCTION.
- PLANT MATERIAL SHALL BE INSTALLED IN THE OPTIMUM SEASON UNLESS SPECIFIED OTHERWISE.
- FOR LANDSCAPING BEDS (AREAS FOR BENCH PLANTING OF SHRUBS AND/OR GROUPS) TO BE ESTABLISHED IN AREAS THAT HAVE NOT BEEN MAINTAINED OR DISTURBED BY EXCAVATION, GRADING, OR STRIPPING OPERATIONS, PREPARE SOIL BY TILLING TO A HOMOGENEOUS MIXTURE OF FINE TEXTURE, FREE OF LIMPS, CLOSURE STONES LARGER THAN 2" IN GREATEST DIMENSION, ROOTS AND OTHER EXTRANEUS MATERIAL, TO A DEPTH OF NOT LESS THAN 4". ELIMINATING UNWEIGHTED AREAS AND LOW SPOTS, REMOVING FOREIGN MATERIALS, SPREADING 8" MINIMUM TOPSOIL, DEFINE BEDS WITH TRENCHED EDGING AT LAWNS.
- IF QUANTITY OF STOCKED TOPSOIL IS INSUFFICIENT, PROVIDE ADDITIONAL TOPSOIL AS REQUIRED TO ACHIEVE A MINIMUM 8" DEPTH AT PLANTING BEDS. ENSURE THAT TOPSOIL IS STRIPE FERTILE, NATURAL LOAM, TYPICAL FOR LOCALITY, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. TAKEN FROM WELL-DRAINED SITE, FREE OF SUBSOIL, CLAY LIMPS OR STONES LARGER THAN 2" IN GREATEST DIMENSION, PLANTS, WEEDS, AND ROOTS. MAINTAIN PH VALUE OF 5.5 TO 6.5. MAXIMUM CONTAINING A PERCENT MINIMUM ORGANIC MATTER. AMEND TOPSOIL WITH FERTILIZER AND/OR LIMES AS REQUIRED TO PROMOTE VIGOROUS PLANT GROWTH.
- ASSURE THAT BEDS SHOWN TO REMAIN THROUGHOUT CONSTRUCTION.
- CONTRACTOR SHALL STAKE THE LOCATION OF ALL GROUND COVER BEDS, SHRUBS AND TREES FOR APPROVAL PRIOR TO INSTALLATION.
- CONTRACTOR SHALL ERIGATE WEEDS AND NON-IDENTIFIED PLANT MATERIAL AT ALL LOCATIONS PRIOR TO PLANTING/INSTALLATION.
- PROVIDE AND INSTALL ONLY PLANTS THAT ARE FREE FROM DISEASE AND PESTS, AND THAT COMPLY WITH THE LATEST EDITION OF PUBLICATION AND 2601 "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ADD PRE-EMERGENT HERBICIDE UNDERNEATH AND ON TOP OF MULCH IN LANDSCAPED BEDS.
- MULCH TREE RINGS WITH 3" DEPTH OF APPROVED SHREDED HARDWOOD BARK MULCH IN A FOUR FOOT DIAMETER FOR TREES IN LAWN AREAS.
- UNLESS NOTED OTHERWISE, MULCH BEDS WITH 3" DEPTH OF APPROVED SHREDED HARDWOOD MULCH.
- PLANT GROUND COVERS THROUGH MULCH.
- REMOVE STRINGS AND OTHER TIES FROM PLANT MATERIAL.
- REMOVE SPRES 1/2 OF SUBSTRATE FROM PLANT ROOT BALLS.
- DO NOT PERCE TREE ROOT BALLS WITH SUPPORT STAKES.
- ADD FERTILIZER AS REQUIRED FOR OPTIMAL PLANT PERFORMANCE AND PRE-EMERGENT HERBICIDE.
- DO NOT MAKE SUBSTITUTIONS REGARDING PLANT SIZES OR SPECIES WITHOUT WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.
- PLANT MATERIAL, MULCH AND OTHER RELATED PRODUCTS MUST BE TREATED FOR PESTS.
- WARRANTY MATERIALS AND WORKMANSHIP FOR TWELVE MONTHS FROM THE DATE OF SUBSTANTIAL COMPLETION. ANY TREE WHICH FAILS TO SURVIVE TWELVE (12) MONTHS SHALL BE REPLACED WITHIN 60 MONTHS OF LOSS.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAKING REPAIRS NECESSITATED BY DAMAGE OCCURRING DURING THE PERFORMANCE OF THEIR WORK.
- CONTRACTOR SHALL REMOVE STAKES AND CUV WIRES FOR TREES APPROVED BY THE LANDSCAPE ARCHITECT DURING THE WARRANTY INSPECTION.
- SEE AREAS DISTURBED DURING CONSTRUCTION WITH APPROVED FESCUE BLEND.
- ESTABLISH LAWNS AS INDICATED ON PLANS. SEE LAND NOTES FOR ADDITIONAL REQUIREMENTS.
- INSTALL APPROVED RIVER GRAVEL AND METAL BED EDGING AT BUILDING PERIMETER AND AS SHOWN ON THE LANDSCAPE PLAN. SEE ARCHITECTURAL DRAWINGS FOR DETAIL AND ADDITIONAL REQUIREMENTS.
- RIVER COBBLES SHALL BE SIMILAR IN COLOR TO APPROVED RIVER GRAVEL. SUBMIT SAMPLES OF 7" DIA. DIAMETER AND 6" DIA. DIAMETER FOR APPROVAL BY THE LANDSCAPE ARCHITECT.
- PROVIDE METAL BED EDGING AS SHOWN ON THE PLAN.
- SEE LANDSCAPE DETAILS AND WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

IRRIGATION SLEEVING NOTES:

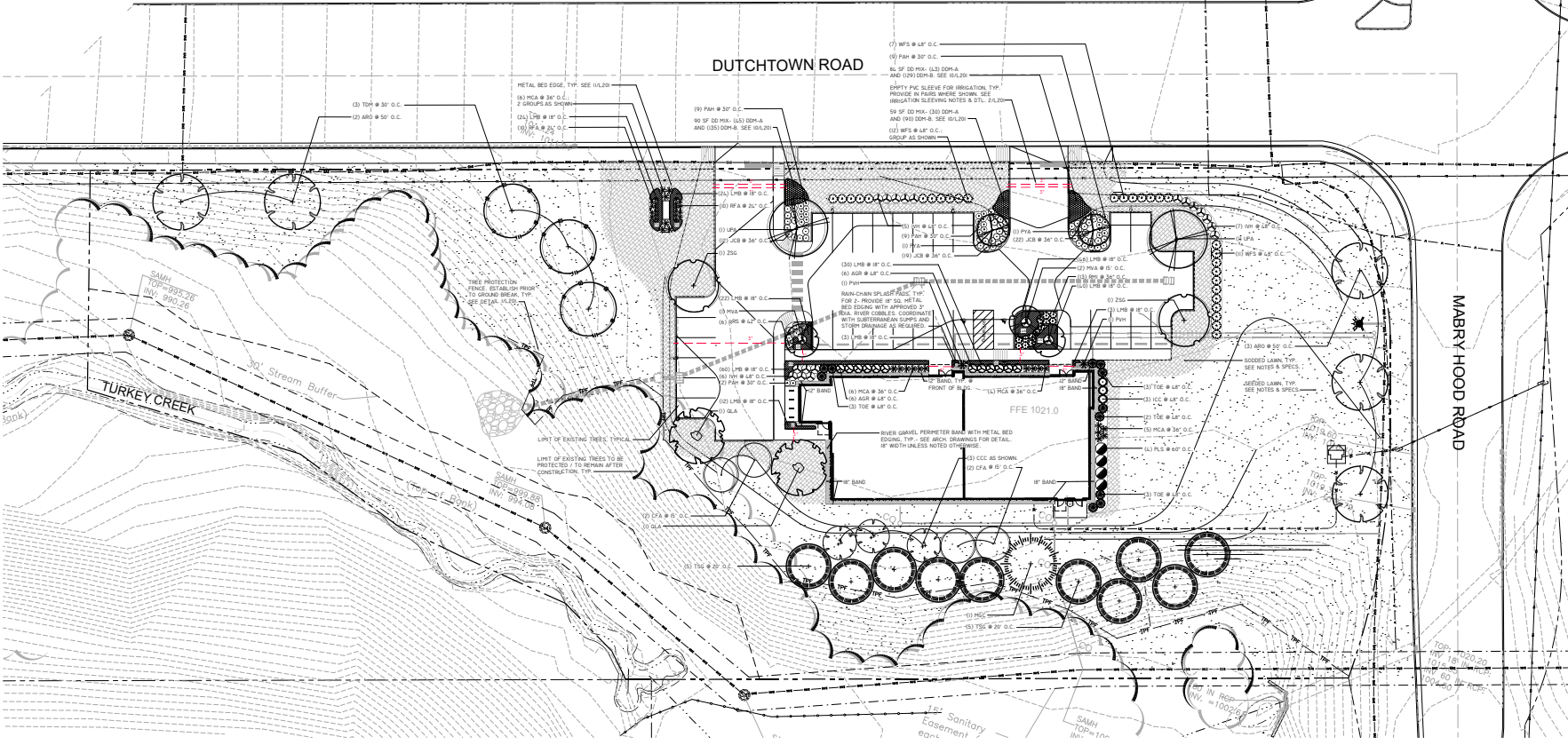
- CONTRACTOR SHALL PROVIDE THE LANDSCAPE ARCHITECT, THE ARCHITECT, AND THE OWNER WITH AS-BUILT DRAWINGS OF THE SLEEVING LOCATION AND SLEEVING.
- IRRIGATION SYSTEMS SHALL BE INDEPENDENTLY PIPER, UNLESS OTHERWISE DIRECTED BY THE ARCHITECT.
- SLEEVES UNDER PAVEMENT SHALL BE SCHEDULE 40 PVC, SIZES AS NOTED. SEE SLEEVING DETAIL FOR ADDITIONAL REQUIREMENTS.
- THE INTENT OF THE IRRIGATION SLEEVING PLAN IS TO PROVIDE ACCESS TO PLANTING BEDS WITHOUT PAVEMENT CUTTING AND MINIMAL DISTURBANCE TO LANDSCAPING FOR LANDSCAPE IRRIGATION THAT MAY BE INSTALLED IN THE FUTURE.

LAWN NOTES:

- SEED ALL LAWN AREAS AND ALL DISTURBED AREAS WITHIN THE PROJECT LIMITS WITH APPROVED FESCUE BLEND.
- VERIFY EROSION IS AT PROPER LEVELS FOR TOPSOIL AND SOIL OR SEED INSTALLATION. PROCEED WITH COMPLETE LAWNS AND GRASSES AS SHOWN BY PORTIONS OF SITE BECOME AVAILABLE, WORKING WITHIN SEASONAL LIMITATIONS.
- FOR NEW LAWNS, PREPARE SOIL BY TILLING TO A HOMOGENEOUS MIXTURE OF FINE TEXTURE, FREE OF LIMPS, CLOSURE STONES LARGER THAN 2" IN GREATEST DIMENSION, ROOTS AND OTHER EXTRANEUS MATERIAL, TO A DEPTH OF NOT LESS THAN 4". ELIMINATING UNWEIGHT AREAS AND LOW SPOTS, REMOVING FOREIGN MATERIALS, SPREADING TOPSOIL TO A MINIMUM DEPTH FOR SEEDED LAWNS OR TO A MINIMUM DEPTH FOR SODDED LAWNS.
- IF QUANTITY OF STOCKED TOPSOIL IS INSUFFICIENT, PROVIDE ADDITIONAL TOPSOIL AS REQUIRED. ENSURE THAT TOPSOIL IS FERTILE, NATURAL LOAM, TYPICAL FOR LOCALITY, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. TAKEN FROM WELL-DRAINED SITE, FREE OF SUBSOIL, CLAY LIMPS OR STONES LARGER THAN 2" IN GREATEST DIMENSION, PLANTS, WEEDS, AND ROOTS. MAINTAIN PH VALUE OF 5.5 TO 6.5. MINIMUM AND 0.5 MAXIMUM CONTAINING A PERCENT MINIMUM ORGANIC MATTER. AMEND TOPSOIL WITH FERTILIZER AND/OR LIMES AS REQUIRED TO PROMOTE VIGOROUS LAWN GROWTH.
- REPAIRS EXISTING LAWNS TO REMAIN WHICH HAVE NOT BEEN DISTURBED BY CONSTRUCTION. INCLUDE CORE AERATION, OVERSEEDING, STRAW AT 100# OR BARE AREAS AND FERTILIZER AS REQUIRED.
- PROVIDE FERTILIZER WITH NOT LESS THAN 8 PERCENT TOTAL NITROGEN, 12 PERCENT PHOSPHORIC ACID, AND 12 PERCENT SOLUBLE POTASH. PROVIDE NITROGEN IN A FORM THAT IS AVAILABLE TO LAWN DURING INITIAL PERIOD OF GROWTH, AT LEAST 50% OF NITROGEN TO BE ORGANIC FERTILIZER FROM NATURAL DOLOMITE LIMESTONE CONTAINING NOT LESS THAN 85% OF TOTAL CARBONATES WITH A MINIMUM OF 20% INDIUMOUS CARBONATES. GROUND SO THAT NOT LESS THAN 90% PASSES A 20# MESH SIEVE AND NOT LESS THAN 50% PASSES A 10# MESH SIEVE.
- LIMIT PREPARATION TO AREAS WHICH SHALL BE SEED OR SOOD IMMEDIATELY.
- WATER THROUGHLY AND ALLOW SURFACE MOISTURE TO DRY BEFORE SEEDING OR SOODING. DO NOT CREATE A MUDDY CONDITION. DO NOT SEED OR SOOD WHEN THE GROUND IS FROZEN.
- FOR SODDED AREAS, COMPLY WITH AMERICAN SOIL PRODUCERS ASSOCIATION (ASPA) "SUBTLE SPECIFICATIONS FOR SOODING" FOR HARVESTING AND INSTALLING SOOD.
- THE SOOD DELIVERY SOOT THAT WILL BE PLACED WITHIN 24 HOURS AFTER STRIPPING. PROTECT SOOT AGAINST DRYING AND BREAKING.
- PROVIDE THOROUGHLY SOODED CULTIVATED GRASS SOOT, NOT LESS THAN 1 YEAR OLD, FREE OF WEEDS AND UNDESIRABLE NATIVE GRASSES. PRINCIPALLY COMPOSED OF 100% THERMAL BLUE OR SP 20 BLUE GRASS, 10% WAX COOH TALL FESCUE, AND 10% WAX TALL FESCUE. BROKEN PADS OR PADS WITH UNWEIGHT ENDS WILL NOT BE ACCEPTABLE. SOOD PADS INCAPABLE OF SUPPORTING THEIR OWN WEIGHT.
- MAINTAIN LAWN LIMITS, GRASS IS WELL ESTABLISHED AND EXHIBITS A VIGOROUS GROWING CONDITION AND NOT LESS THAN 60 DAYS FROM DATE OF SUBSTANTIAL COMPLETION, IF SEEDING IN FALL, CONTINUE MAINTENANCE THE FOLLOWING SPRING UNTIL ACCEPTABLE LAWN IS ESTABLISHED.
- INSTALL LAWN FOR ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.
- SEE WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

TCDA NOTES:

- TCDA GUIDELINES 3.1.1: AT LEAST 25% OF PROPOSED EXISTING TREES SHALL BE EVERGREEN. 51% OF THE PROPOSED TREES ARE EVERGREEN.
- TCDA GUIDELINES 3.1.3: FOR DEVELOPMENT SITES, AT LEAST 10 LARGE MATURING TREES ARE REQUIRED PER ACRE OF YARD SPACE, 2.0 ACRES OF YARD SPACE (X 10 X 20 MM). LARGE TREES REQUIRED. 20 LARGE MATURING TREES ARE REQUIRED IN YARD SPACE OPEN.
- TCDA GUIDELINES 3.1.7: EVERGREEN PLANT MATERIAL SHOULD BE USED TO SCREEN PARKING AND TO PROVIDE TRANSITIONS BETWEEN LAND USES. EVERGREEN TREES ARE PROPOSED TO BUFFER THE ADJACENT PARCELS AND TO SCREEN PARKING.
- TCDA GUIDELINES 3.1.2: AREAS AROUND THE BUILDINGS EQUAL TO AT LEAST 50% OF EACH FRONT AND SIDE ELEVATIONS SHALL BE LANDSCAPED WITH ORNAMENTAL TREES, SHRUBS AND BEDDING PLANTS.
- TCDA GUIDELINES 3.1.6: LANDSCAPING SHOULD BE USED TO SCREEN MECHANICAL EQUIPMENT AND OTHER UNDESIRABLE BUILDING ELEMENTS. EVERGREEN SHRUBS ARE PROPOSED TO SCREEN THE EXTERIOR ENCLOSURE AND MECHANICAL EQUIPMENT.
- TCDA GUIDELINES 3.2: PARKING AREAS SHOULD BE SCREENED FROM PUBLIC RIGHTS-OF-WAY. SHRUBS ARE PROPOSED TO SCREEN PARKING FROM ADJACENT STREETS.
- TCDA GUIDELINES 3.4.3: TREES SHALL BE REQUIRED AT THE RATE OF ONE (1) MEDIUM OR LARGE MATURING CANOPY TREE FOR EVERY TEN PARKING SPACES PROVIDED. 50 PARKING SPACES = 5 SHADE TREES REQUIRED. 5 SHADE TREES ARE PROPOSED AT THE PARKING AREAS.
- TCDA GUIDELINES 3.4.4: IN ADDITION TO THE PLANTING OF REQUIRED CANOPY TREES, PLANTING AREAS FOR ORNAMENTAL TREES, SHRUBBERY AND BEDDING PLANTS SHALL BE NO LESS THAN FIVE (5) PERCENT OF THE SURFACE AREA DEVOTED TO PARKING. (2,000 SF X 10% = 200 SF MINIMUM REQUIRED. AT LEAST 60% SF OF PLANTING ADJACENT TO PARKING IS PROPOSED).



LANDSCAPE PLAN
SCALE 1"=20'-0"



THE PENLAND STUDIO
LANDSCAPE ARCHITECTURE

PROJECT NAME:
DOBS ORTHODONTICS

OWNER:
LAND DEVELOPMENT SOLUTIONS
310 HOLLERWOOD LANE
ROCKVILLE, TN 37077
865.871.2381

LANDSCAPE ARCHITECT:
THE PENLAND STUDIO, INC.
2110 HOLLERWOOD LANE
ROCKVILLE, TN 37077
865.333.5584

STRUCTURAL ENGINEER:
BENNETT & PLESS INC.
111 MILLER AVE SUITE 200
ROCKVILLE, TN 37077
865.529.8257

MECHANICAL/PLUMBING ENGINEER:
ENGINEERING SERVICES GROUP, INC.
300 MILLER AVE SUITE 200
ROCKVILLE, TN 37077
865.529.5200

ELECTRICAL ENGINEER:
VREELAND ENGINEERS, INC.
300 MILLER AVE SUITE 200
ROCKVILLE, TN 37077
865.529.4451

PROJECT NUMBER:
TTDA-24-04-T08 - DUTCHTOWN PLACE

PROJECT OWNER:
DR. MARY ELLEN DOBBS
DUTCHTOWN ROAD
ROCKVILLE, TN 37077

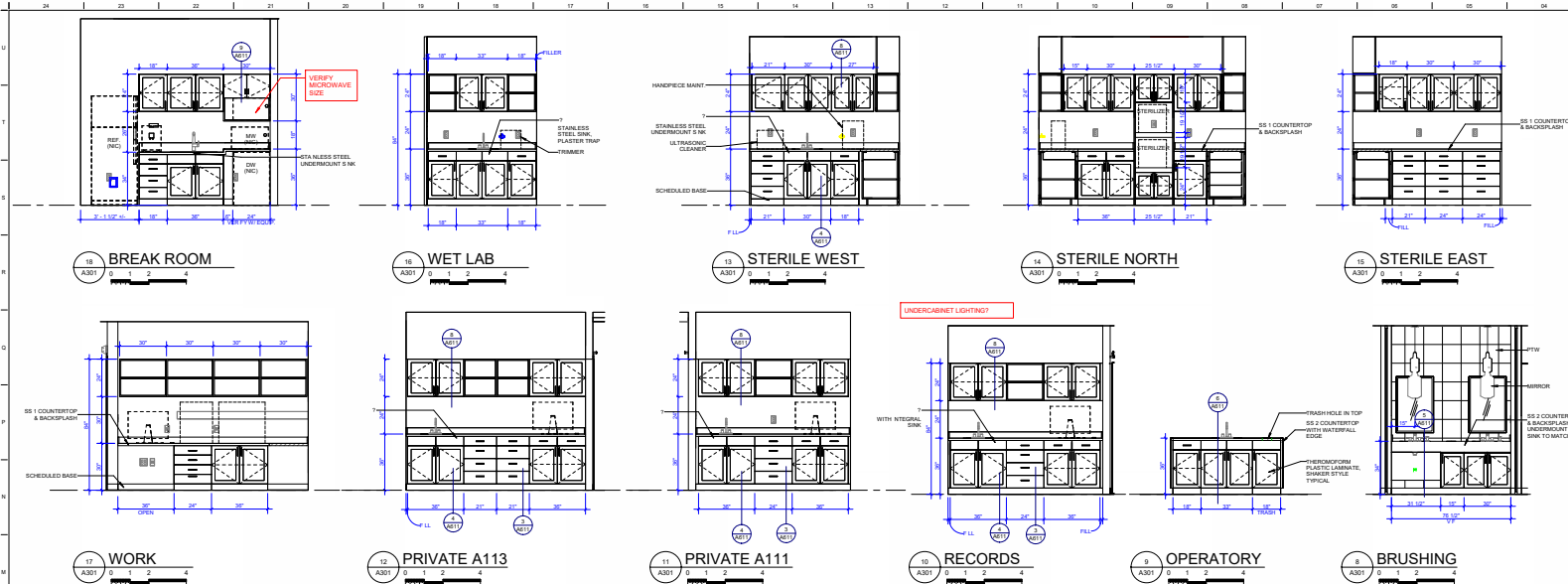
REVISIONS:

#	ISSUED BY	DATE
1 <td>REVISION #</td> <td>6/28/2024</td>	REVISION #	6/28/2024

PROJECT NUMBER: 230909
PROJECT NAME: DOBS ORTHODONTICS
DRAWN BY: JESSICA
CHECKED BY: JESSICA
PROJECT ISSUE DATE: 1 JULY 2024

LANDSCAPE PLAN

L101



- ### ELEVATION GENERAL NOTES
- COORDINATE WITH APPLICABLE DIMENSIONS AND DETAILS ON OTHER SHEETS.
 - NOTES AND DETAILS ARE TYPICALLY APPLICABLE TO SIMILAR ITEMS DRAWN ELSEWHERE ON THE SHEET.
 - DIMENSIONS ARE TO FACE OF MASONRY, SINKCAST COMPOSITE METAL PANEL, CURTAINWALL, OR EDGE OF OPENING UNLESS OTHERWISE NOTED.
 - LOCATE VERTICAL VENEER EXPANSION JOINTS (EJ) AT MAX 25 FEET ON CENTER WHERE NOT SHOWN OTHERWISE. COORDINATE LOCATIONS WITH THE ARCHITECT.
 - SHALL ANALYZE TYPICAL FUNCTION AS HORIZONTAL VENEER EXPANSION JOINTS.
 - SEE SHEET A FOR EXTERIOR WINDOW TYPES AND DETAIL REFERENCE.
 - DIAGONAL HATCHING INDICATES SPANBLES, GLASS TYPICALLY REFERENCED.
 - COORDINATE ALL SUPPLIER LOCATIONS WITH ROOF PLANS. SEE SHEETS A AND A.
 - PROVIDE MASONRY VENEER EXPANSION JOINTS (EJ) AT JOINT CORNERS AND INTERSECTIONS WITH OTHER MATERIALS TYP.
- ### ENLARGED PLAN & INTERIOR ELEVATION GENERAL NOTES
- COORDINATE WITH APPLICABLE DIMENSIONS AND DETAILS ON OTHER SHEETS.
 - NOTES AND DETAILS ARE TYPICALLY APPLICABLE TO SIMILAR ITEMS ELSEWHERE ON THE SHEET.
 - SEE 1/8" FLOOR PLANS FOR PARTITION TYPES.
 - PROVIDE BLOCKING, ROUGH HOWE, ETC. AS REQ'D TO MOUNT EQUIPMENT.
 - NOT USED.
 - SYMBOL INDICATES EQUIPMENT ITEM. SEE SHEET A00 FOR STANDARDIZING REQUESTS.
 - FIELD INDICATE ALL CASEWORK DIMENSIONS PRIOR TO FABRICATION.
 - PROVIDE FILLER PANELS, WHERE REQUIRED, A MAXIMUM OF 3" IN WIDTH.
 - PROVIDE FINISHED PLASTIC LAMINATE SCOFFS ABOVE ALL WALL CABINETS TO FINISH DETAILING, UNLESS OTHERWISE NOTED.
 - PROVIDE FINISHED SURFACES AT ALL EXPOSED SURFACES AND 1" EDGE OF PLASTIC LAMINATE UNLESS OTHERWISE NOTED.
 - COORDINATE ALL CASEWORK WITH OWNER-FURNISHED EQUIPMENT AS REQUIRED.
 - PROVIDE CORNER-ROOF CORNERS AS REQUIRED FOR EQUIPMENT OR AS DIRECTED BY THE OWNER.
 - PROVIDE SCHEDULED FRAME MATERIAL AT ALL CABINETS UNLESS OTHERWISE NOTED.
 - PROVIDE 1" HIGH HOLES AT EXPOSED TOP CORNERS UNLESS OTHERWISE NOTED.
 - ALL CABINETS TO BE FLUSH OVERLAY CONSTRUCTION.
 - NOT USED.
 - NOT USED.
 - CASEWORK DETAILS INDICATE A GYPSUM BOARD SUBSTRATE, ROOFY AS REQUIRED FOR UTM.
 - 1 * ASTERISK INDICATES CABINET TO BE LOCKABLE.
 - 1 INDICATES DIRECTION TO RUN PLASTIC LAMINATE OR FINISH WOOD GRAIN.



BarberMurray Architects
300 MARKET STREET, SUITE 300
KNOXVILLE, TN 37902
865.524.1919
www.bma1919.com



CONSULTANT LOGO

PROJECT TEAM
Civil Engineer:
LAND DEVELOPMENT SOLUTIONS
310 HOLLERWOOD LANE
KNOXVILLE, TN 37922
865.871.2281

LANDSCAPE ARCHITECT:
THE PENLAND STUDIO, INC.
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ELECTRICAL ENGINEER:
VREELAND ENGINEERS, INC.
3107 SUTHERLAND AVE
KNOXVILLE, TN 37919
865.827.4411

PROJECT NAME:
DOBBS ORTHODONTICS

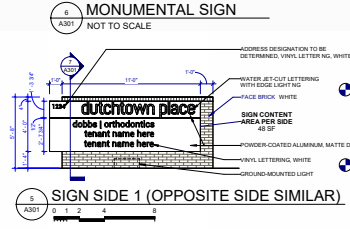
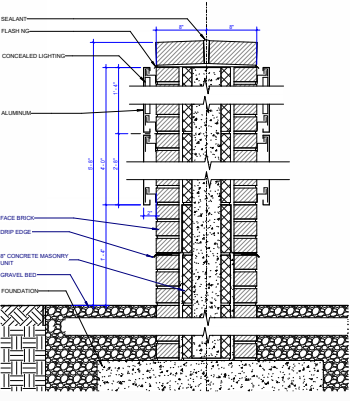
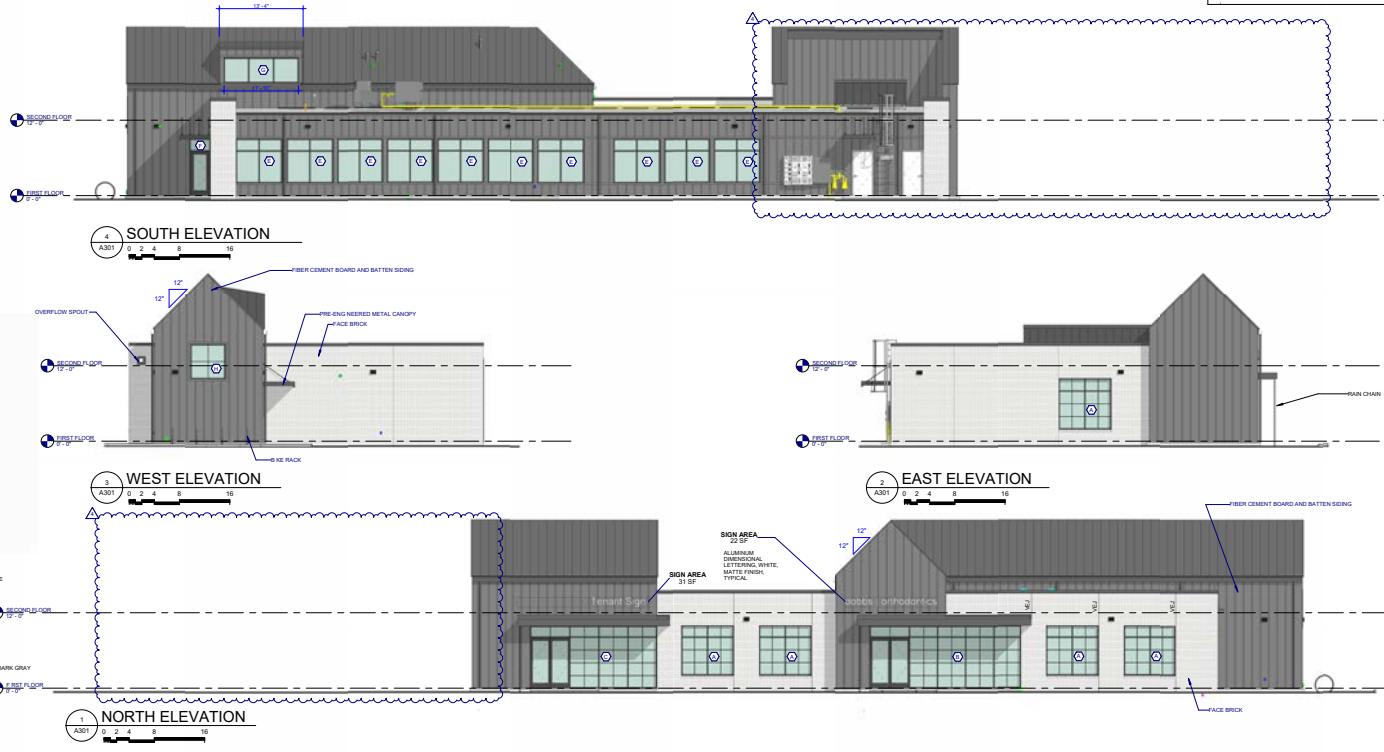
PROJECT OWNER:
DR. MARY ELLEN DOBBS
10002 DUTCHTOWN ROAD
KNOXVILLE, TN 37922

REVISIONS	DATE
1. COR. REVISION	2/24/24
2. COR. REVISION	2/24/24
3. COR. REVISION	2/24/24
4. REVISION 4	ENR 4

PROJECT NUMBER:	230909
PROJECT NAME:	DOBBS ORTHODONTICS
DESIGNED BY:	MSJ/MSJ
DRAWN BY:	MSJ/MSJ
CHECKED BY:	MSJ/MSJ
PROJECT ISSUE DATE:	1 JULY 2024

ELEVATIONS

A301





- | | | |
|--|--|---|
| <input type="checkbox"/> BUILDING PERMIT - NEW CONSTRUCTION | <input type="checkbox"/> REZONING | <input checked="" type="checkbox"/> ADMINISTRATIVE REVIEW |
| <input type="checkbox"/> BUILDING PERMIT - EXPANSION OR RENOVATION | <input type="checkbox"/> SIGNAGE | <input type="checkbox"/> BOARD REVIEW |
| <input type="checkbox"/> BUILDING PERMIT - GRADING PLAN | <input type="checkbox"/> ZONING VARIANCE | |

Ryan Dobbs

PUBLISHED APPLICANT NAME - no individuals on behalf of -

1/28/2024

Admin Review

3-B-25-TOA

~~3-B-24-TOB~~

DATE FILED

MEETING DATE (IF APPLICABLE)

FILE NUMBER

CORRESPONDENCE

Correspondence related to this application will be directed to the contact listed below.

- APPLICANT OWNER OPTION HOLDER SURVEYOR ENGINEER ARCHITECT/LANDSCAPE ARCHITECT ATTORNEY

Matt Jordan

BarberMcMurry Architects

NAME

COMPANY

505 Market Street, Suite 300

Knoxville

TN

37914

ADDRESS

CITY

STATE

ZIP

865-934-1915 x216

mjordan@bma1915.com

PHONE

EMAIL

CURRENT PROPERTY INFO

- MULTIPLE OWNERS / OPTION HOLDERS PART OF PARCEL

Mary Ellen Dobbs

265 Conkinnon Dr
Lenoir City 37772

maryellendobbs@gmail.com

OWNER NAME - if different -

OWNER ADDRESS

OWNER PHONE/EMAIL

10100 Dutchtown Road Knoxville 37932

PROPERTY ADDRESS

~~177.19~~ 118 17719

N

2.58

PARCEL ID(S)

PART OF PARCEL? (Y/N)

TRACT SIZE

STAFF USE ONLY

Corner of Dutchtown Rd & Mabry Hood Rd

CITY COUNTY

2nd

GENERAL LOCATION

DISTRICT

OP/TO

MU-SD NWCO-2

ZONING

LAND USE / PLACE TYPE

Northwest County

AgForVac

PLANNING SECTOR

EXISTING LAND USE

REQUEST

BUILDING PERMIT

- NEW CONSTRUCTION
- EXPANSION OR RENOVATION
- GRADING PLAN

- REZONING
- SIGNAGE
- ZONING VARIANCE

WAIVERS OR VARIANCES REQUESTED? (Y/N)

ADMINISTRATIVE REVIEW: LIGHTING LANDSCAPING PLAN

PLAN MATERIALS:

- DEVELOPMENT PLAN
- BUILDING ELEVATIONS
- FLOOR PLAN
- LANDSCAPE PLAN
- SIGNAGE PLAN
- OFF-STREET PARKING

OTHER:

RENOVATION OR EXPANSION

PLEASE PROVIDE A SUMMARY OF THE WORK TO BE PERFORMED:

Following the previous certificate of appropriateness process, we are looking to reduce the size of the building (from approx. 10,000 sf footprint to approx. 6,800 sf footprint) and parking count (from 50 to 30). The use, materials, and design remains the same.

REZONING

REZONE FROM: _____

TO: _____

SECTOR PLAN AMENDMENT FROM: _____

TO: _____

SIGNAGE

- YARD SIGN
AREA: _____
HEIGHT: _____
FINISH: _____
- BUILDING SIGN
AREA: _____
HEIGHT: _____
FINISH: _____
- OTHER SIGN
AREA: _____
HEIGHT: _____
TYPE: _____

STAFF USE ONLY

- TTCDA Checklist
- Property Owners/Option Holders

CODE	CODE	TOTAL
FEE	FEE	
1106		\$250.00

AUTHORIZATION

By signing below

You certify that you are the property owner and/or authorized representative.


MATT JORDAN

BARBERMCMURRY ARCHITECTS

2025 01 22

APPLICATION AUTHORIZED BY

AFFILIATION

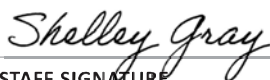
DATE

865 934 1915 X216

MJORDAN@BMA1915.COM

PHONE NUMBER

EMAIL



Shelley Gray

01/23/2025, SG

STAFF SIGNATURE

PRINT NAME

DATE PAID