

**Applicant:** SARAH PEACOCK BARBER MCMURRY ARCHITECTS

**Request:** BUILDING PERMIT

**Meeting Date:** 5/6/2024

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**Address:** 0 Hardin Valley Rd.

**Map/Parcel Number:** 104 00105

**Location:** North side of Hardin Valley Rd, west side of Cherahala Blvd

**Existing Zoning:** OB (Office, Medical, and Related Services), TO (Technology Overlay)

**Proposed Zoning:** N/A

**Existing Land Use:** Agriculture/Forestry/Vacant Land

**Proposed Land Use:** N/A

**Appx. Size of Tract:** 2.77 acres

**Accessibility:** Access is via Hardin Valley Rd, a median-divided 4-lane major arterial street with turn lanes and 97 ft of pavement width within a right-of-way of 177 ft. Access is also via Cherahala Blvd, a tree-planted avenue classified as a minor collector street, with 70 ft of pavement within a right-of-way of 143 ft. Access is also via Pentwater Dr, a local street with 30 ft of pavement within a right-of-way of 50 ft.

**Surrounding Zoning and Land Uses:**

North: BP (Business and Technology Park), TO (Technology Overlay) - Office

South: PC (Planned Commercial), TO (Technology Overlay) - Office, Commercial

East: CA (General Business), TO (Technology Overlay) - Commercial, Public/quasi-public land (school)

West: CA (General Business), TO (Technology Overlay) - Commercial

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**Comments:** This is a request for a new medical office building at the intersection of Hardin Valley Rd and Cherahala Blvd.

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**Design Guideline  
Conformity:**

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**Waivers and Variances  
Requested:**

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**Staff Recommendation:**

Table this request per the request of the applicant, consistent with Article VIII, Section 4 of the TTCDA Administrative Rules and Procedures.

# Request to Postpone • Table • Withdraw

Applicant Name (as it appears on the current TTCDA agenda)

Date of Request

Scheduled Meeting Date

File Number(s)

## POSTPONE

- POSTPONE:** All applications are eligible for postponement if the request is received in writing and paid for by 3:30PM on Monday the week prior to the TTCDA meeting. All requests must be acted upon by the TTCDA, except new applications which are eligible for one 30-day automatic postponement.

**SELECT ONE:**  30 days  60 days  90 days

Postpone the above application(s) until the \_\_\_\_\_ Planning Commission Meeting.

## WITHDRAW

- WITHDRAW:** Any application may be withdrawn by the applicant prior to and/or during the TTCDA meeting in which the application is heard. Applicants are eligible for a refund only if a written request for withdrawal is received no later than close of business 2 business days after the application submittal deadline and the request is approved by the Executive Director or Planning Services Manager.

## TABLE

*\*The refund check will be mailed to the original payee.*

- TABLE:** Any item requested for tabling must be acted upon by the TTCDA before it can be officially tabled. There is no fee to table or untable an item.

## AUTHORIZATION

*By signing below, I certify I am the property owner, and/or the owners authorized representative.*

*Sarah Peacock*

Applicant Signature

Please Print

Phone Number

Email

## STAFF ONLY

*Whitney Warner*

Staff Signature

Please Print

Date Paid

No Fee

Eligible for Fee Refund?  Yes  No

Amount:

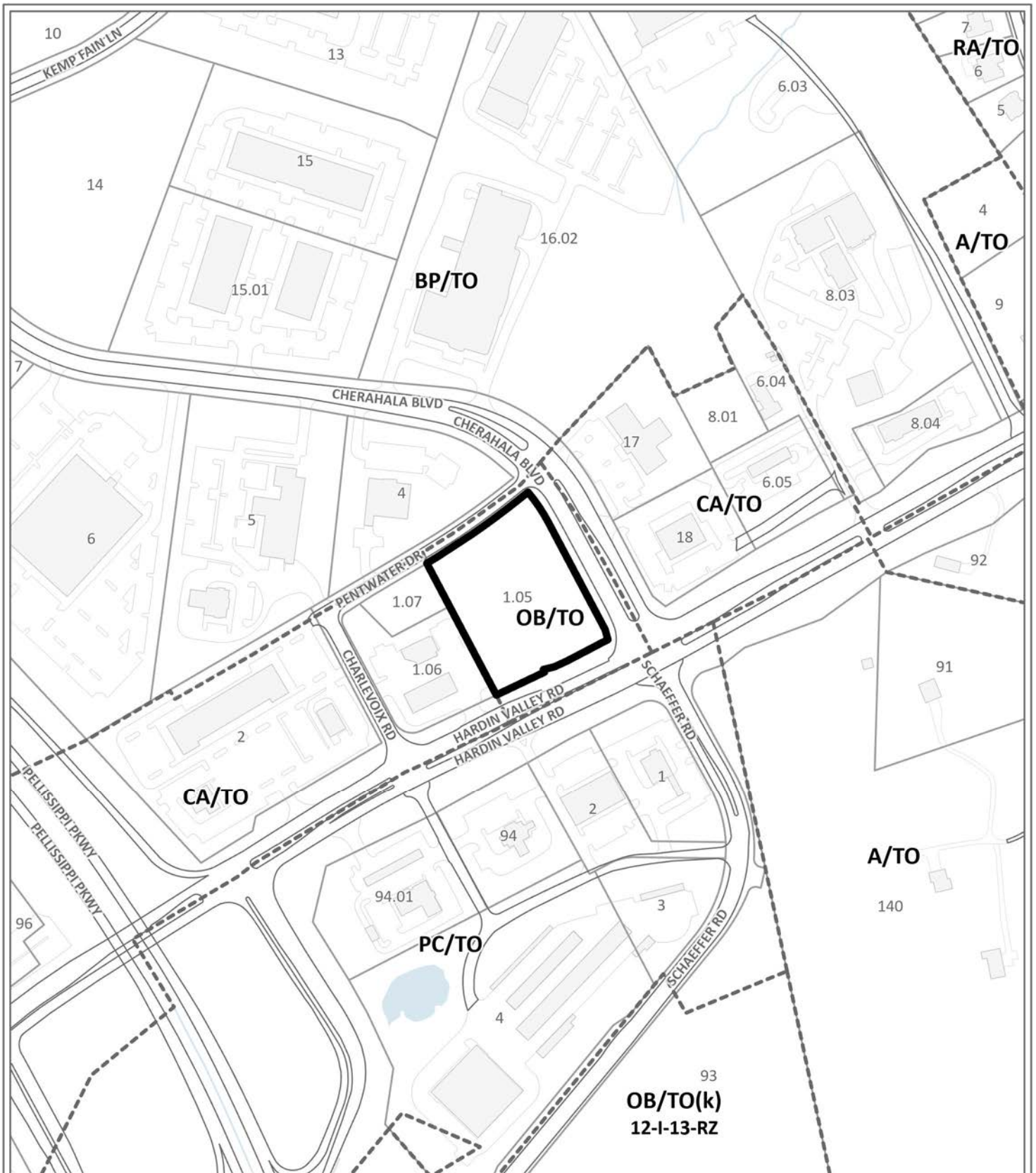
Approved by:

Date:

Payee Name

Payee Phone

Payee Address



**CERTIFICATE OF APPROPRIATENESS**

**5-A-24-TOB**

**Petitioner:** Sarah Peacock Barber  
McMurry Architects



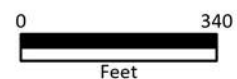
Purpose of Request: Building Permit - New Construction, Signage

**Map No:** 104

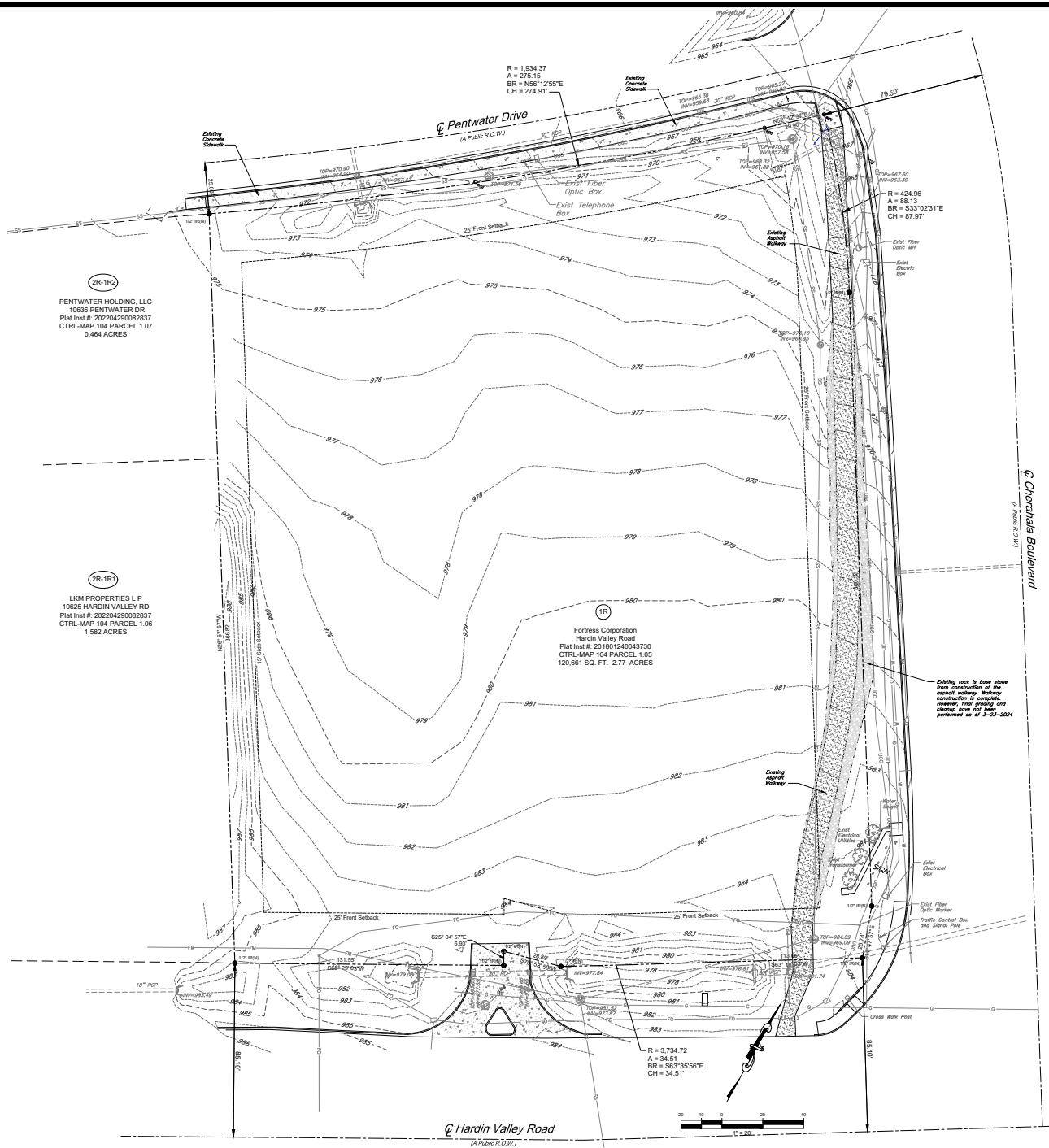
**Jurisdiction:** County

**Original Print Date:** 4/2/2024

Knoxville - Knox County Planning Commission \* City / County Building \* Knoxville, TN 37902



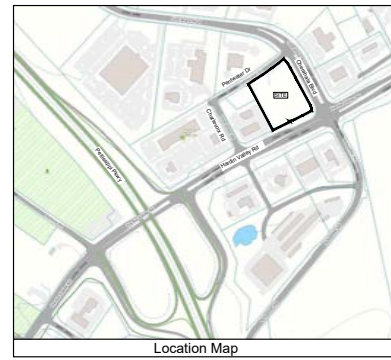
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2R-1R2  
PENTWATER HOLDING, LLC  
10636 PENTWATER DR  
Plat Inst #. 202204290082837  
CTRL-MAP 104 PARCEL 1.07  
0.464 ACRES

2R-1R1  
LHM PROPERTIES, L.P.  
10625 HARDIN VALLEY RD  
Plat Inst #. 202204290082837  
CTRL-MAP 104 PARCEL 1.06  
1.582 ACRES

1R  
Fortress Corporation  
Hardin Valley Road  
Plat Inst #. 20191210043730  
CTRL-MAP 104 PARCEL 1.05  
120,661 SQ. FT. 2.77 ACRES



Location Map

- General Notes**
- The contractor is specifically advised that the location and/or elevation of existing utilities as shown on these plans is based on records and where possible measurements taken in the field. This information is not to be relied upon as being exact or complete. The contractor must call Tennessee One Call and any utility that does not subscribe to one call at least 72 hours before any excavation. To report exact field location of the utilities, it shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.
  - Property is located in Knox County and is Zoned O/BTO - Office, Medical and Related Services with Technology Overlay.
  - Setbacks: Front - 25', Side - 15', Rear - 20'
  - Total Area = 2.77 Acres
  - Utility Providers:  
Water & Sanitary - West Knox Utility District  
Gas - KUB  
Electric - LCUB

**Civil/Site - Sheet Index**

Sheet Number	Description
C001	Site Survey / Existing Conditions
C101	Site Layout Plan
C101.1	Traffic Circulation Plan
C201	Site Grading Plan
C202	Site Drainage Plan
C301	Initial EPSC Plan
C302	Final EPSC Plan
C303.1	SWPPP Narrative
C303.2	SWPPP Narrative
C304	EPSC Details
C305	EPSC Details
C401	Site Utility Plan
C501	Site Details
C502	Site Details

1 Existing Conditions

Project: Covenant Health  
Hardin Valley Primary &  
Urgent Care MOB  
Hardin Valley - Knox County, Tennessee

LAND DEVELOPMENT SOLUTIONS

310 SIMMONS RD., SUITE K KNOXVILLE, TENNESSEE 37922  
PH. 865-571-2281

Drawing Description:

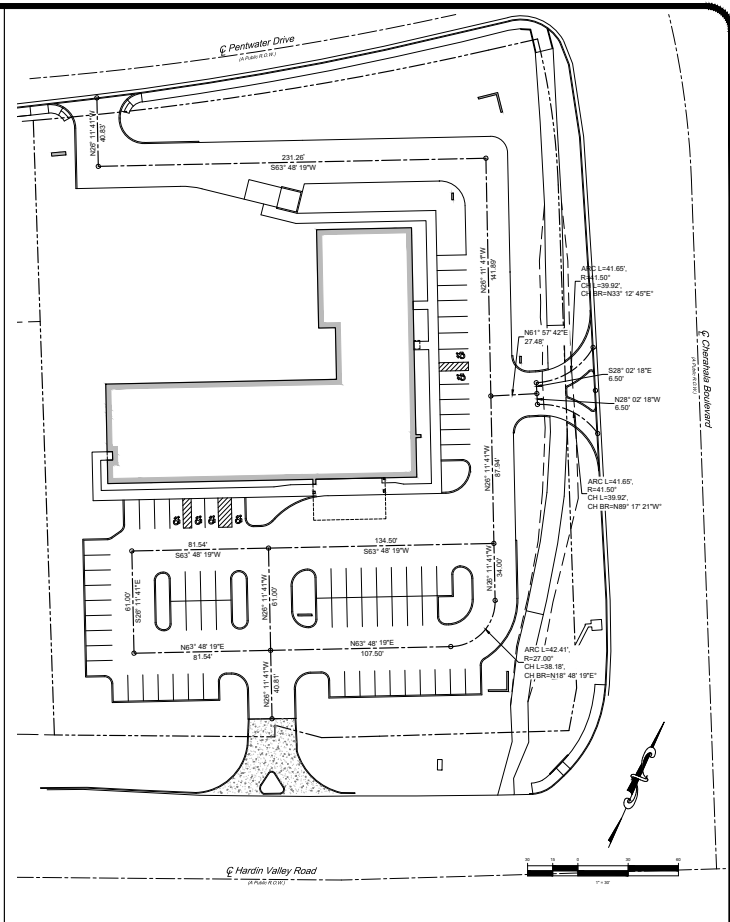
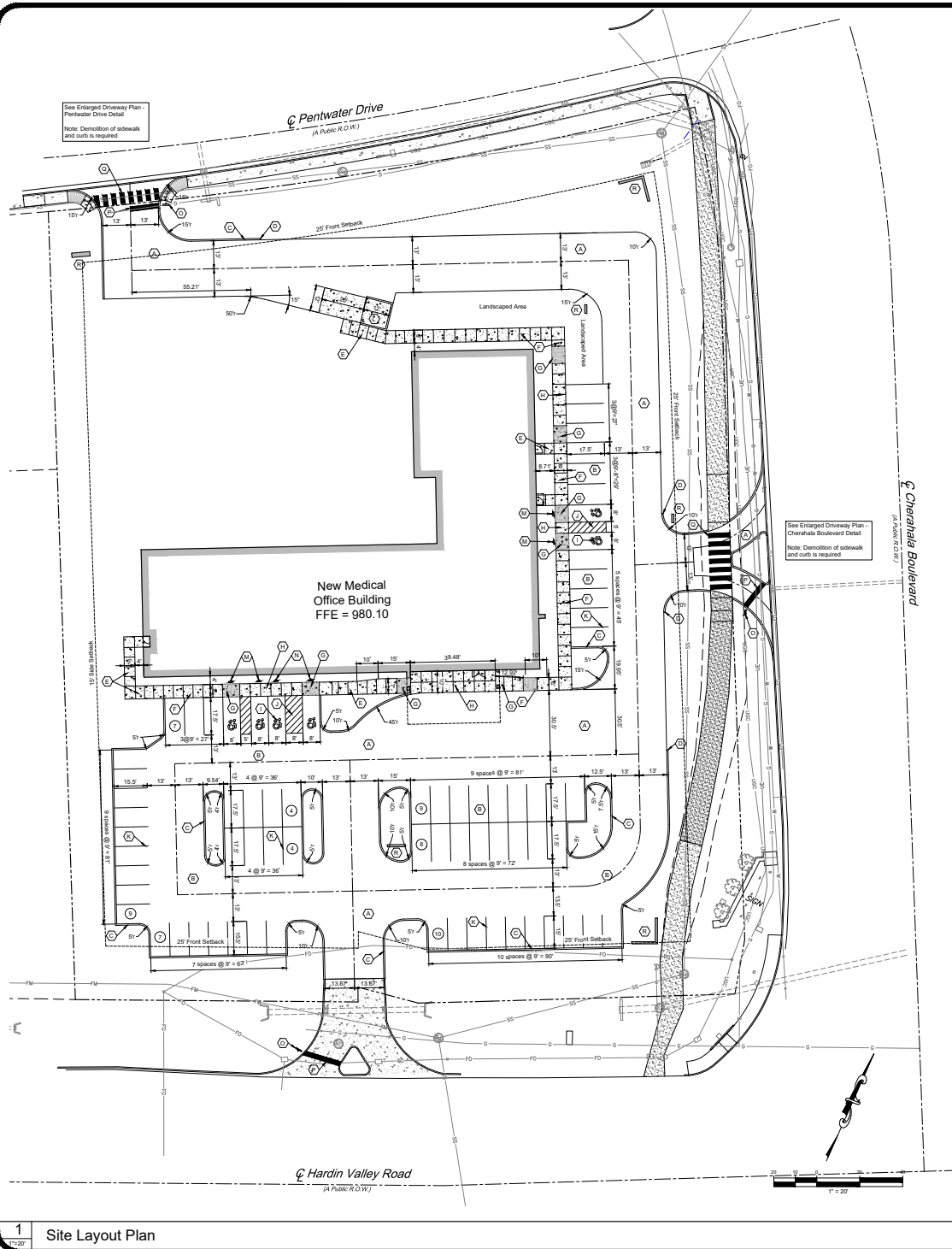
No.	Date	Revision

Drawn By: \_\_\_\_\_  
Checked: \_\_\_\_\_  
Approved: \_\_\_\_\_

Job No. 2023060  
1"=20'  
Scale Date 3-25-2024

C001  
Sheet No.

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**2**  
 1" = 20'

**Notes**

(A) Heavy Duty Paving	(L) Striped ADA Access Aisle
(B) Medium Duty Paving	(M) Parking Stripe
(C) Extruded Curb	(N) Dumpster Area
(D) Curb Wedge	(O) ADA Parking Signage
(E) Concrete Sidewalk	(P) ADA Parking Signage with Van Accessible
(F) Concrete Sidewalk with Turn Down Curb	(Q) Stop Sign
(G) Pedestrian Access Ramp	(R) Stop Bar
(H) Concrete Sidewalk Flush with Asphalt	(S) Cross-Walk Striping
(I) ADA Accessible Parking Symbol	(T) Monument Sign

- General Notes**
- The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records and aerial photographic measurements taken in the field. This information is not to be relied upon as being exact or complete. The contractor must call Tennessee One Call and any utility that does not subscribe to one call at least 72 hours before any excavation, to reveal exact field location of the utilities. It shall be the responsibility of the contractor to identify all existing utilities which conflict with the proposed improvements shown on the plans.
  - Property is located in Knox County and is Zoned OBT-O - Office, Medical and Related Services with Technology Overlay.
  - Setbacks: Front - 20'; Side - 5'; Rear - 20'.
  - Total Acreage = 2.77 Acres.
  - Utility Providers:  
 Water & Sewer - West Knox Utility District  
 Gas - XUS  
 Electric - LCUB

- Layout Notes**
- All dimensions to curb line reference face of curb - see detail.
  - See architectural drawings for building dimensions. All dimensions to building are approximate unless specifically noted on building layout points.
  - See Utility Plan for new and existing utility line locations. See Grading and Drainage Plan for new and existing storm drain locations.

**Parking Summary**

Parking Requirements (15,707 s.f. Building):  
 Minimum: 3 spaces / 1,000 s.f. = 47 spaces  
 Maximum: 4.5 spaces / 1,000 s.f. = 71 spaces

Parking Provided: 71 spaces (4.5 spaces / 1,000 s.f.)  
 ADA Spaces Required: 3 (1 Van)  
 ADA Spaces Provided: 6 (1 Van)

- Pavement Markings**
- All roadway pavement markings shall be thermoplastic or preformed plastic markings as specified in the latest edition of TDOTIS.
  - All parking space markings shall be painted markings as specified in the latest edition of TDOTIS.

**Project:** Covenant Health  
 Hardin Valley Primary &  
 Urgent Care MOB  
 Hardin Valley - Knox County, Tennessee

**LAND DEVELOPMENT SOLUTIONS**

310 SIMMONS RD., SUITE K KNOXVILLE, TENNESSEE 37922  
 PH. 865-571-2281

**Site Layout Plan & Driveway Centerline Plan**

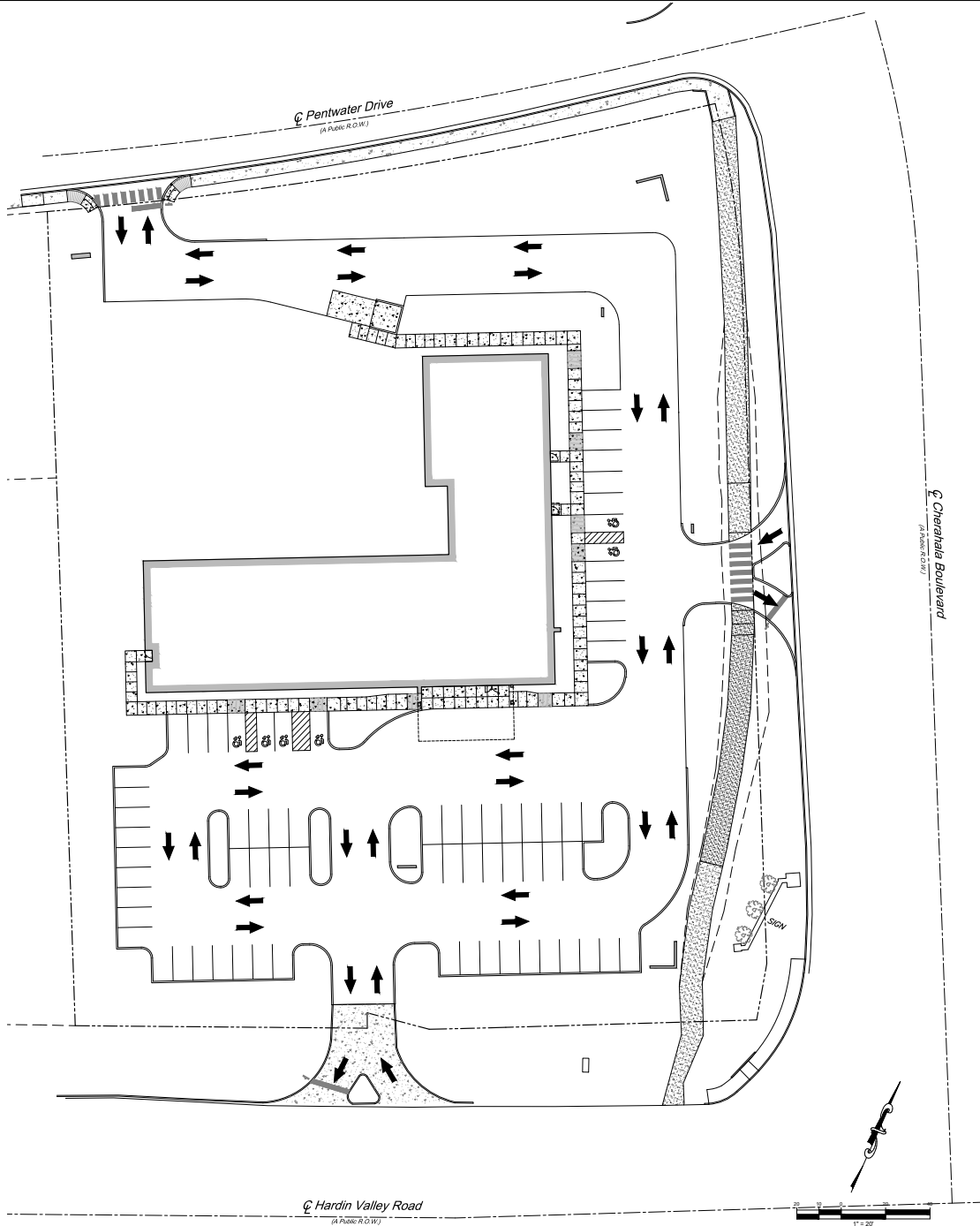
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Drawn By: \_\_\_\_\_  
 Checked: \_\_\_\_\_  
 Approved: \_\_\_\_\_

Job No.: 2023060  
 As Noted Scale: 3-25-2024  
 Date: \_\_\_\_\_

**C101**  
 Sheet No.

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1  
10/27/24 Site Layout Plan

Project

**Covenant Health  
Hardin Valley Primary &  
Urgent Care MOB**

Hardin Valley - Knox County, Tennessee

LAND  
DEVELOPMENT  
SOLUTIONS

310 SIMMONS RD., SUITE K KNOXVILLE, TENNESSEE 37922  
PH. 865-571-2281

Drawing Description:

**Traffic Circulation  
Plan**

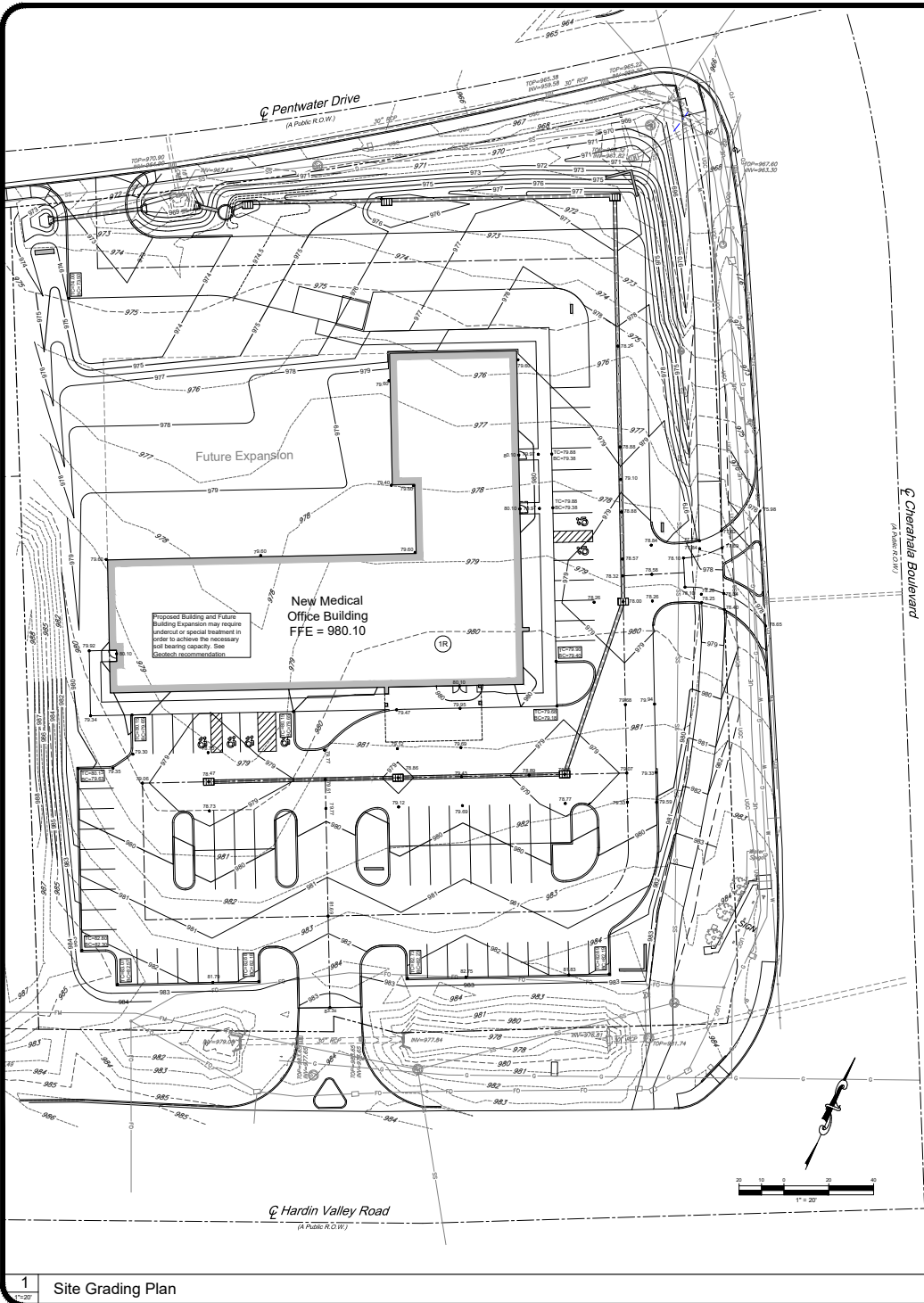
No.	Date	Revision



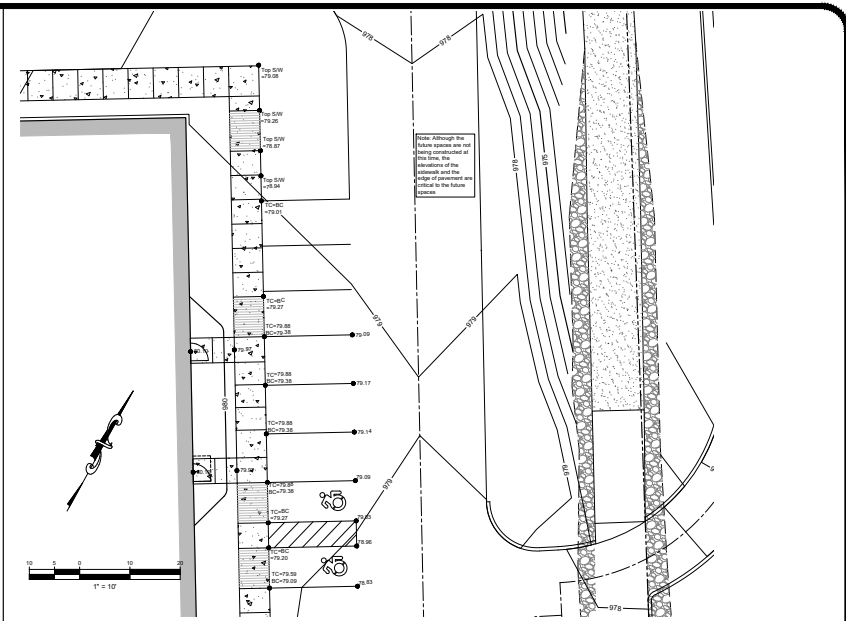
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Checked	
Approved	
Job No.	2023060
As Noted Scale	3-25-2024 Date

**C101.1**  
Sheet No.

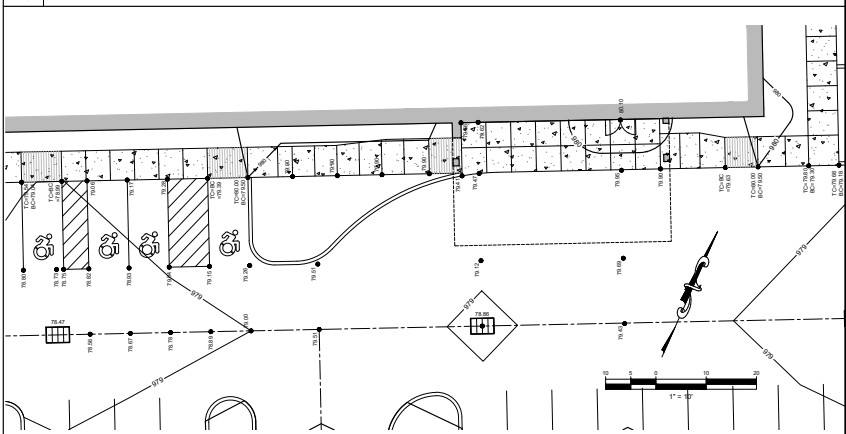
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1 Site Grading Plan



2 ADA Parking Area Enlarged Grading Plan



3 ADA Parking Area Enlarged Grading Plan

- Grading Notes**
- All disturbed areas not scheduled to be paved shall have a minimum of 3 inches of topsoil placed on them and shall be seeded as specified.
  - All grading construction practices shall conform to the Tennessee Erosion and Sediment Control Handbook.
  - Maximum topsoil thickness for slopes steeper than 3:1 shall be 3".
  - See Sheet C201 for Erosion Control Plan prior to beginning any grading activities.
  - Contractor shall follow Storm Water Pollution Prevention Plan at all times.
  - The grades shown are finished grades. Contractor shall determine subgrade elevations by examining typical pavement sections and the building drawings.

- Drainage Notes**
- All storm lines in paved areas shall be backfilled to pavement subgrade with #57 stone.
  - All trenching and shoring shall comply with OSHA standards.
  - Storm lines and structures shall be constructed as soon as possible. Inlet Protection shall be used around structures to minimize the dirt entering into drainage system. All silt shall be removed from structures and lines.
  - Pipe lengths and slope are measured from center of structure to center of structure.
  - All HDPE storm lines shall be smooth interior.
  - Contractor shall provide as-built survey of storm system PRIOR to paving. As-built survey shall include storm structure tops, inverts, pipe materials, slopes, and detention basin grading (1 foot contours). Survey shall be provided in electronic format (ACAD 2021 compatible) as well as stamped paper copy. Survey shall be on the same datum as coordinate system as the design plans. All survey points shall be provided in a comma delimited text file (PNEZD format).
  - After construction is complete, contractor shall provide as-built survey as noted above. Survey shall be updated to reflect any changes or modifications to the storm system since the first as-built survey. As-built survey shall include storm structure tops, inverts, pipe materials, slopes, and detention basin grading (1 foot contours). Survey shall be provided in electronic format (ACAD 2021 compatible) as well as stamped paper copy. Survey shall be on the same datum as coordinate system as the design plans. All survey points shall be provided in a comma delimited text file (PNEZD format).

Project: **Covenant Health  
Hardin Valley Primary &  
Urgent Care MOB**  
Hardin Valley - Knox County, Tennessee

LAND DEVELOPMENT SOLUTIONS  
310 SIMMONS RD., SUITE K KNOXVILLE, TENNESSEE 37921  
PH. 865-571-2281

Drawing Description: **Site Grading Plan**

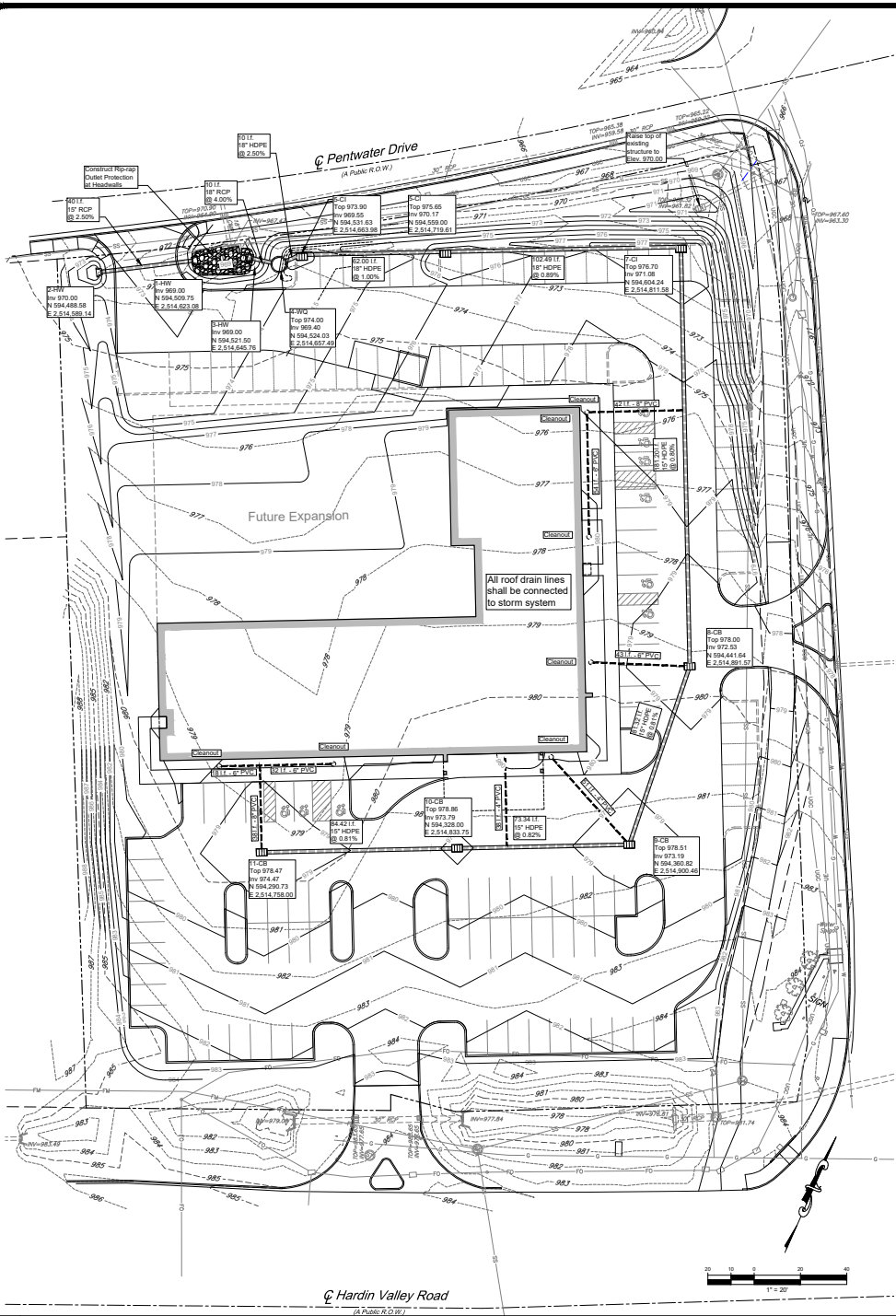
Revision	Date	No.

Drawn By: \_\_\_\_\_  
Checked: \_\_\_\_\_  
Approved: \_\_\_\_\_

Job No. 2023060  
As Noted Scale 3-25-2024 Date

**C201**  
Sheet No.

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1 Site Grading Plan

2 Water Quality Device

**HYDRO FRAME AND COVER (INCLUDED)**  
GRADE FINISH BY OTHERS (AS REQUIRED)

**SECTION A-A SCALE 1:40**

**PRODUCT SPECIFICATION:**

- Peak Hydraulic Flow: 32.5 cfs (900 l/s)
- Min. Sediment Storage Capacity: 1.8 cu. yd. (1.2 cu. m)
- Maximum Inlet/Outlet Pipe Diameter: 36 in. (915 mm)
- The treatment system shall use an induced vortex to separate pollutants from stormwater runoff.
- For more product information including regulatory acceptance, please visit <https://hydro-int.com/en/products/first-defense/>

**GENERAL NOTES:**

- General Arrangement drawings only. Contact Hydro International for site specific drawings.
- The diameter of the inlet and outlet pipes may be no more than 30".
- Multiple inlet pipes possible (refer to project plans).
- Individual pipe angle can vary to align with drainage network (refer to project plans).
- Peak flow rate and minimum heights limited by available cover and pipe diameter.
- Larger sediment storage capacity may be provided with a deeper sump depth.

ITEM	QTY	SIZE (in)	SIZE (mm)	DESCRIPTION
1	1	32	1800	I.D. PRECAST MANHOLE
2	1			INTERNAL COMPONENTS (PIPE-INSTALLED)
3	1	30	750	FRAME AND COVER (ROUND)
4	1	30 (MAX)	750 (MAX)	OUTLET PIPE (BY OTHERS)
5	1	30 (MAX)	750 (MAX)	INLET PIPE (BY OTHERS)

**IF IN DOUBT ASK**

**Hydro International**

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Project: Covenant Health Hardin Valley Primary & Urgent Care MOB

Project: 310 SIMMONS RD., SUITE 100 KNOXVILLE, TENNESSEE 37922

PH: 965-571-2281

LAND DEVELOPMENT SOLUTIONS

Drawing Description: Storm Drainage Plan

Revision	Date	No.

Drawn By: \_\_\_\_\_  
Checked: \_\_\_\_\_  
Approved: \_\_\_\_\_

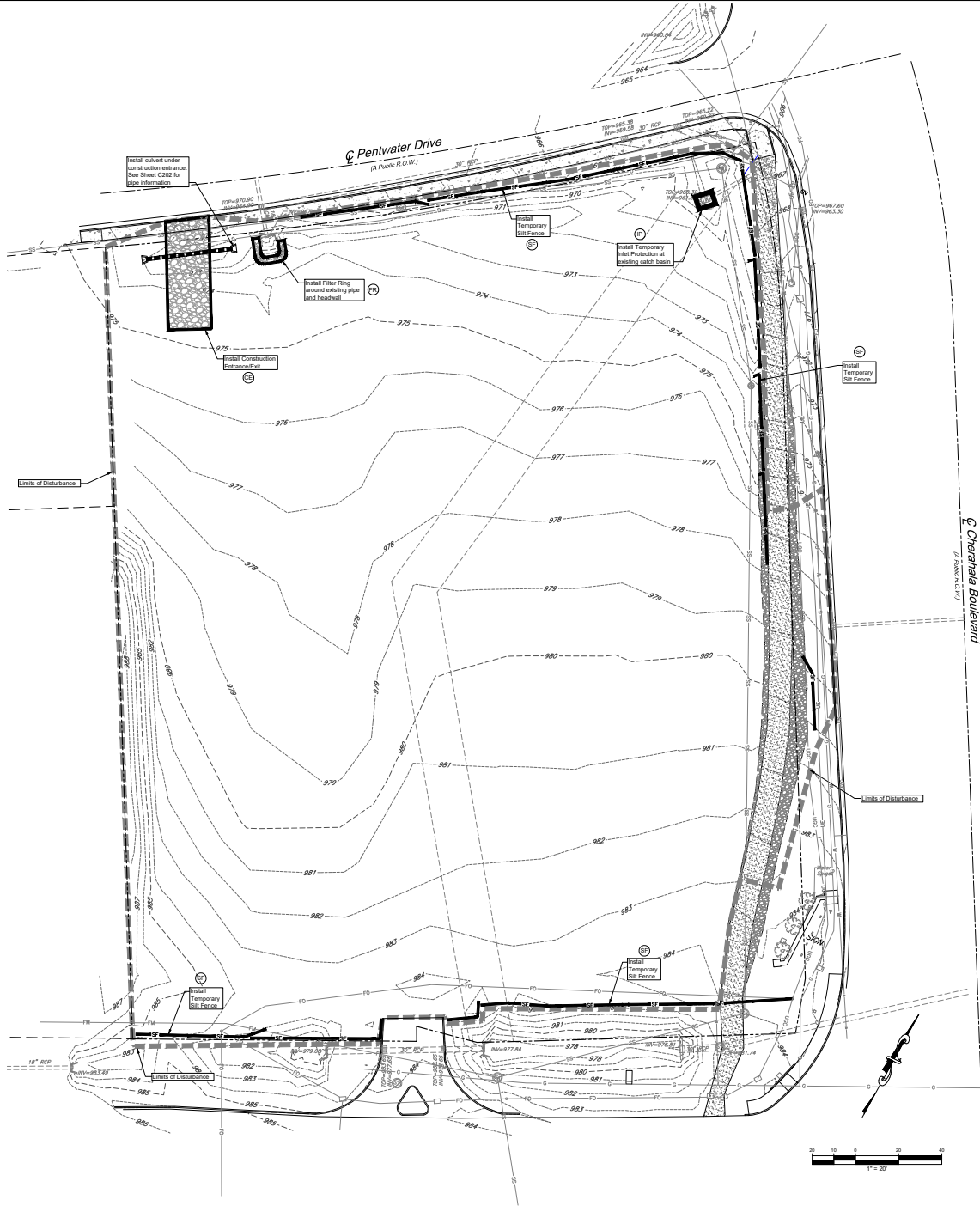
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Scale Date

**C202**  
Sheet No.





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- ### Erosion Control Notes
1. Total disturbed area = 2.8 acres ±.
  2. The contractor shall maintain all temporary erosion control devices indicated on the drawings and as required during construction operations to comply with Knox County and State of Tennessee Erosion Control Ordinances.
  3. Contractor shall maintain construction entrances to prevent dirt and mud from tracking onto street. Pavement shall be inspected daily and any dirt, mud and/or loose stone shall be cleaned off immediately.
  4. Contractor shall remove and dispose of all temporary erosion control devices after establishment of permanent vegetation.
  5. Erosion control devices shall be monitored during and after rainfall with any modifications and/or repair made as soon as conditions permit.
  6. Storm Water Pollution Prevention Plan (SWPPP) shall be followed at all times. Any deviations from the SWPPP or the drawings shall be coordinated with TDEC and the owner.

**Covenant Health**  
**Hardin Valley Primary & Urgent Care MOB**  
 Hardin Valley - Knox County, Tennessee

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**LAND DEVELOPMENT SOLUTIONS**  
  
 310 SIMMONS RD., SUITE K KNOXVILLE, TENNESSEE 37922  
 PH. 865-571-2281

**EPSC**  
**Initial Plan**

Drawing Description:

No.	Date	Revision



Drawn By	
Checked	
Approved	
Job No.	2023060
As Noted Scale	3-25-2024
Date	

C301

Sheet No.



C303.1

Sheet No.

### Part 7 - Retention, Accessibility and Submission of Records

#### 7.1 Documents

The primary permittee shall retain copies of SWPPPs, reports required by this permit, records of all data used to complete the NOI and NOI for a period of at least three years from the date the NOI is submitted. This period may be extended by written request of the director.

#### 7.2 Accessibility and Retention of Records

The permittee shall retain a copy of the SWPPP and a copy of the permit at the construction site (or other location accessible to the division) from the date construction commences to the date of termination of permit coverage. Permittees with day-by-day permit coverage and SWPPP permit coverage shall retain a copy of the SWPPP available at a central location onsite for the use of all operators and those identified as having responsibilities under the plan whenever they are on the construction site.

#### 7.2.1 Posting Information at the Construction Site

A notice shall be posted near the main entrance of the construction site visible to the public with the following information:

- a. A copy of the NOC with the NPDES permit tracking number for the construction project;
- b. A name or company name; E-mail address (if available); telephone number and address of the project site owner/operator or a local contact person; and
- c. The location of the SWPPP (Subpart 7.2).

The notice must be maintained in a legible condition. The notice shall be posted in a local public building if posting this information near a main entrance is infeasible due to safety concerns or if the site is not accessible to the public. If the construction project is a linear construction project (e.g., pipeline or highway), the notice must be placed in a publicly accessible location near where construction is actively underway and moved as necessary. This permit does not provide the public with any right to trespass on a construction site for any reason, including inspection of a site. This permit does not require permittees to allow members of the public access to a construction site.

The permittee shall also retain the following items in an appropriate location onsite (or at another location accessible to the division):

- a. A rain gauge (or a rain reference gauge for a record of daily precipitation) and accurate rainfall records;
- b. A copy of all required inspection reports; and
- c. Records of the dates when major grading activities occur when construction activities temporarily or permanently cease on a portion of the site, and when stabilization measures are installed.

#### 7.3 Electronic Submission of Documents

This permit requires the submission of forms developed by the director in order for a person to comply with certain requirements, but does not limit to making reports, submitting inspection findings, or requesting permit coverage and requesting for termination of permit coverage. The director may make these forms available electronically and, if submitted electronically, then that electronic submission shall comply with the requirements of Chapter 0405-0-10. Electronic submission may be required when available, unless waived by the Commissioner in accordance with 40 CFR R. 127.15.

If the division notifies applicants by email, E-mail, public notice or by making information available on the world wide web of electronic forms (see NPDES Electronic Reporting), the operators may require to use those electronic options to submit the NOI (Section 3.3.3).

In the event of large-scale emergencies and/or prolonged electronic reporting system outages, an electronic reporting waiver may be granted by the Commissioner in accordance with 40 CFR § 127.15. A request for a deadline extension or spicific electronic reporting waiver should be submitted to: DWR@tennessee.gov, in compliance with the Federal NPDES Electronic Reporting Rule.

In the event that NPDES Electronic Reporting is not functioning, the permittee shall comply with reporting conditions by mailing reports with wet-ink original signatures shall to the following address:

STATE OF TENNESSEE  
DEPARTMENT OF ENVIRONMENT AND CONSERVATION  
DIVISION OF WATER RESOURCES  
COMPLIANCE & ENFORCEMENT UNIT  
William R. Ziegler, Tennessee Tower  
312 Ross A. Park Avenue, 10th Floor  
Nashville, Tennessee 37243-1102

For purposes of determining compliance with this permit, data provided to the division electronically is legally equivalent to data submitted on signed and dated forms. A copy must be retained for the permittee's file.

#### 7.3.1 Monitoring Results

Monitoring results (if applicable, for projects exceeding 50 acres of disturbance at one time, see Subsection 5.5.3.3) shall be recorded monthly and submitted monthly using NetEMR. Submittals shall be no later than 15 days after the completion of the reporting period. If NetEMR is not functioning, a completed DMR with an original signature shall be submitted to the address for Compliance and Enforcement Unit as listed in the Subpart 7.3 above. The first DMR is due on the 15th of the month following permit effectiveness.

DMRs must be signed and certified by a responsible corporate officer as defined in Tennessee Rule 0405-0-05-.05(6). Such authorization must be submitted in writing and must explain the duties and responsibilities of the authorized representative.

### 5.5.3.12 Pollution Prevention Measures for Non-Stormwater Discharges

#### B. Hazardous Products

- a. Products shall be kept in original containers unless they are not be available. Original labels and material safety data shall be maintained.
- b. Empty product must be disposed of, manufacturer's or local state recommended methods for proper disposal shall be followed.
- c. All on-site vehicles shall be monitored for leaks and receive regular preventive maintenance to reduce the chance of leakage. Petroleum products shall be stored in approved containers which are clearly labeled. Asphalt shall not be applied according to manufacturer's recommendations.
- d. Fertilizers shall be applied only to the minimum amounts recommended by the manufacturer. Once applied, fertilizer shall be worked into the soil to limit exposure to storm water. Storage will be a covered shed. The contents of any partially used bags of fertilizer shall be transferred to a sealable plastic bin to avoid spills.

#### C. Spill Control Practices

- a. All fueling and maintenance of vehicles and equipment will be performed on the stabilized construction entrance (or another approved site that drains to a sedimentation basin or existing drain). Any spillage will be removed immediately. Contaminated soils will be placed on heavy plastic and covered or placed into approved containers to prevent contact with storm water. Any spill of over 2 gallons shall be reported.
- b. A release containing a hazardous substance in an amount equal to or in excess of a reporting quantity established under either 40 CFR section 401.40 CFR 302 occurs during a 24-hour period, the contractor will immediately notify the permittee who shall then file the following notification National Response Center (NRC) (800-424-8802) and the Tennessee Emergency Management Agency (TEMA) (awareness) 800-262-2000; non-emergencies 800-262-2400, as well as the local Environmental Assistance Center.
- c. Manufacturer's recommended methods for spill cleanup shall be clearly posted and site personnel shall be made aware of the procedures and the location of the information and cleanup supplies.
- d. Any spill cleanup shall follow all applicable local, state and federal agency requirements.
- e. In the event of a spill, the permittee shall adjust the spill prevention measures being utilized to prevent this type of spill from recurring. A description of the spill, what caused it, and the cleanup measures shall be recorded. The adjustments to the spill prevention measures shall be documented and added to the SWPPP.

### Part 6 - Special Conditions, Management Practices, and other Non-Numeric Limitations

#### 6.1 Release in Excess of Reportable Quantities

The discharge of hazardous substances or oil in the stormwater discharges will be prevented or minimized in accordance with the applicable SWPPP for the facility. This permit does not relieve the permittee of the reporting requirements of 40 CFR 117 and 40 CFR 302.

#### 6.2 Spills

This permit does not authorize the discharge of hazardous substances or oil resulting from an on-site spill.

#### 6.3 Discharge Compliance with State Water Quality Standards

##### 6.3.1 Violation of Water Quality Standards

This permit does not authorize stormwater or other discharges that would cause or contribute to violation of a state water quality standard (Tennessee State Rules, Chapters 0405-0-03, 0405-0-04). Such discharges constitute a violation of this permit.

Where a discharge is already authorized under this permit and the division determines the discharge to cause or contribute to the violation of applicable state water quality standards, the division will notify the operator of such violations. The permittee shall take all necessary actions to ensure future discharges do not cause or contribute to the violation of a water quality standard and shall document these actions in the SWPPP.

##### 6.3.2 Discharge Quality

- a. The construction activity shall be carried out in such a manner that will prevent violations of water quality criteria as stated in the Tennessee Rules, Chapter 0405-0-03.03. This includes, but is not limited to, the prevention of any discharge that causes a condition in which visible solids, bottom deposits or turbidity impair the usefulness of waters of the state for any of the uses designated for that water body by Tennessee Rules, Chapter 0405-0-03.03. Construction activity carried out in the manner required by this permit shall be conducted in compliance with the Tennessee Rules, Chapter 0405-0-03.03.
- b. There shall be no distinctly visible solids, silt, top, oil, silt, or the formation of slimes, bottom deposits, or sludge banks of such size or location as may be detrimental to fish and aquatic life.
- c. The stormwater discharge must not contain total suspended solids turbidity, or color in such amounts or character that will result in any objectionable appearance compared to the turbidity or color of the receiving water, considering the nature and location of the water.
- d. The stormwater discharge shall not contain pollutants in quantities that will be hazardous or otherwise detrimental to humans, livestock, wildlife, fish, or fish and aquatic life in the receiving stream. This provision includes species under Subpart 1.3.
- e. Solids or other materials removed by any sediment control treatment device must be disposed of in a manner that prevents its entrance into or pollution of any surface or subsurface waters.

#### 6.4 Discharges into Waters with Unavailable Parameters or Exceptional Tennessee Waters

##### 6.4.1 SWPPP/BMP Requirements

- a. Discharges that would cause measurable degradation of waters with unavailable parameters or that would cause more than the minimum degradation of Exceptional Tennessee Waters are not authorized by this permit (Subpart 1.3). To be eligible to obtain and maintain coverage under this permit, the operator must satisfy, at a minimum, the following additional requirements for discharges into waters with unavailable parameters for station and for discharges to Exceptional Tennessee Waters. All other provisions of this permit that apply to receiving waters with available parameters shall also apply.
- b. The SWPPP must certify that EPSC measures used at the site are designed to control stormwater runoff generated by a 5-year, 24-hour storm event (design storm), at a minimum, either from that rainfall in the designated period or the equivalent intensity as specified on the following website: [https://hhs.tn.gov/soa/gis/hydrologic/mc\\_tool.html](https://hhs.tn.gov/soa/gis/hydrologic/mc_tool.html).
- c. The permittee shall perform inspections described in Section 5.5.3.9 at least twice every calendar week. Inspections shall be performed at least 72 hours apart.
- d. If the division finds that an operator is contributing to the impairment of a receiving stream despite complying with the SWPPP, the operator will be notified by the division in writing that the discharge is no longer eligible for coverage under the general permit. The operator may opt out of the SWPPP and implement the necessary changes designed to eliminate further impairment of the receiving stream. If the permittee does not opt out of the SWPPP changes within seven days of receipt of notification, the permittee will be notified in writing that continued discharges must be covered by an individual permit (Subpart 1.1). To obtain the individual permit, the operator must file an individual permit application and send an updated SWPPP. The project must be stabilized immediately and remain stable until the SWPPP is updated and the individual permit is issued. Only discharges from other disturbing activities necessary for stabilization are authorized to continue until the individual permit is issued.
- e. For an on-site outlet in a drainage area totaling less than one acre, a minimum sediment basin volume that will provide treatment for a calculated volume of runoff from a 5-year, 24-hour storm and runoff from such area installed is required unless otherwise specified in the permit. Only discharges from other disturbing activities necessary for stabilization are authorized to continue until the individual permit is issued.
- f. For an on-site outlet in a drainage area totaling 1.5 - 4.9 acres, a minimum sediment trap volume or engineering equivalent that will provide the erosion and sediment control Handbook, shall be provided until permanent stabilization of the site.
- g. For an on-site outlet in a drainage area totaling 5.0 - 4.9 acres, a minimum sediment trap volume or engineering equivalent that will provide the stabilization of the site. A drainage area of 1.5 - 4.9 acres includes both disturbed and undisturbed portions of the site or areas adjacent to the site, all draining through the common outlet.

##### 6.4.2 Water Quality Buffer Zone Requirements

Sites that contain, or are adjacent to, receiving waters with unavailable parameters for station or designated as Exceptional Tennessee Waters shall preserve a 60-foot water quality riparian buffer zone adjacent to the receiving stream. All other buffer zone requirements as stated in Section 4.1.2 will apply.

The natural water quality riparian buffer zone shall be preserved between the top of stream bank and the disturbed construction area. The 60-foot criterion for the width of the buffer can be established on an average basis at a project, as long as the minimum width of the buffer is more than 30 feet at any measured location. If the construction site encompasses both sides of a stream, buffer averaging can be applied to both sides, but each side must meet the 60-foot criterion independently.

This requirement does not apply to an area that is being altered under the authorization of a valid Aquatic Resources Alteration Permit (ARAP) or equivalent permits issued by federal authorities. Additional natural buffer zone requirements may be established by the local MSA program.

### 5.5.3.6 Stormwater Management

- 1. Post-development stormwater controls are existing.
- 2. Rip-rap outlet protection shall be installed at discharge structures (designated per FHWA criteria).

#### 5.5.3.7 Other Controls

- a. No solid materials, including building materials, shall be placed in waters of the state, except as authorized by a section 404 permit and/or Aquatic Resource Alteration Permit. Liquid hazardous materials and other hazardous materials shall be stored up and away from the water's edge or before being carried off the site by wind so that they do not become a pollutant or stormwater discharge. EPSC materials shall be prevented from becoming a pollutant source for stormwater discharges.
- b. The SWPPP shall identify and provide the necessary EPSC measures for the installation of any waste disposal system, sanitary sewer or septic system. Permittees must also comply with applicable state and local water disposal, sanitary sewer or septic system regulations as necessary.
- c. The SWPPP shall include a description of construction and waste materials expected to be stored onsite. The SWPPP shall also include a description of controls used to reduce pollution from materials stored on site. Controls may include storage practices to minimize exposure of the materials to stormwater or spill prevention and response.

#### 5.5.3.8 Site Assessments

Site assessment shall be conducted at each outfall draining 10 or more acres (see Section 5.5.3.5) or 5 or more acres if draining to waters with unavailable parameters or Exceptional Tennessee Waters (Section 4.1). The site assessment is a documented site inspection conducted by a qualified individual to verify the installation, functionality and performance of the EPSC measures described in the SWPPP. Site assessments shall cover the entire disturbed area and occur within 30 days of construction commencing at each portion of the site that drains the qualifying area. The site assessment shall be performed by individuals with one or more of the following qualifications:

- 1. A licensed professional engineer or landscape architect;
- 2. A Certified Professional in Erosion and Sediment Control (CPESC); or
- 3. A person who has successfully completed the "Level I Design Principles for Erosion Prevention and Sediment Control for Construction Sites"

At a minimum, site assessments should be performed to verify the installation, functionality and performance of the EPSC measures described in the SWPPP. If structural BMPs (or equivalent EPSC measures) are not constructed or construction is in progress at the time of the site assessment, a follow-up site assessment may be required. The follow-up site assessment shall be performed with the inspector and should include a review and update (if applicable) of the SWPPP. Modifications of plans and specifications for any building or structure, including the design of sediment basins or other sediment control, including storm, hydraulic, hydrologic or other engineering calculations shall be prepared by a licensed professional engineer or landscape architect and certified in accordance with the Tennessee Code Annotated, Title 62, Chapter 2 and the rules of the Tennessee Board of Architectural and Engineering Examiners.

#### 5.5.3.9 Inspections

Operations shall ensure proper installation, maintenance, and overall effectiveness of erosion prevention and sediment controls (EPSCs) by performing twice weekly site inspections. Inspectors must verify and document the functionality and performance of the EPSC measures described in the SWPPP. Initial inspections shall also indicate if EPSCs have been installed as designed in the submitted SWPPP and EPSC plans, and, if not, reasons that it needs to be taken to those EPSCs meet the design specifications in the SWPPP and EPSC plans.

#### 5.5.3.10 Inspector Qualifications

Twice weekly inspections can be performed by:

- a. a person with a valid certification from the "Level I - Fundamentals of Erosion Prevention and Sediment Control" course;
- b. a licensed professional engineer or landscape architect;
- c. a Certified Professional in Erosion and Sediment Control (CPESC); or
- d. a person who has successfully completed the "Level II - Design Principles for Erosion Prevention and Sediment Control for Construction Sites"

An inspector performs and documents the required inspections, paying particular attention to time-sensitive permit requirements, such as stabilization and maintenance activities.

#### 5.5.3.11 Schedule of Inspections

- a. Inspections described in paragraphs b. and c. below, shall be performed at least twice every calendar week. Inspections shall be performed at least 72 hours apart. Where the disturbed areas have been temporarily stabilized, inspections only have to be conducted once on the storm runoff construction activities. Inspections need not occur on any topography that has been finally stabilized. Written notification of the intent to change the inspection frequency and the justification for such request must be submitted to the City of Cleveland, the local Environmental Field Office, or the Division's Nashville Central Office for projects of the Tennessee Department of Transportation (TODT) and the Tennessee Valley Authority (TVA). Should the division discover that monthly inspections of the site are not appropriate due to insufficient stabilization measures or otherwise, write monthly inspections shall be required. The division may inspect the site to confirm or deny the notification to conduct monthly.
- b. Qualified personnel, as defined in Subsection 3.5.1.1 above (or provided by the permittee or cooperatively by multiple permittees), shall inspect disturbed areas of the construction site that have not been finally stabilized, areas used for storage of materials that are exposed to precipitation, structural control measures, locations where vehicles enter or exit the site and each outfall.
- c. Disturbed areas and areas used for storage of materials that are exposed to precipitation shall be inspected for evidence of, or the potential for, pollutants entering the site's drainage system. EPSC measures shall be observed to ensure that they are operating correctly.
- d. Outfall points shall be inspected to determine whether EPSC measures are effectively preventing impacts to receiving waters. Where discharge locations are inaccessible, nearby downstream locations shall be inspected. Locations where vehicles enter or exit the site shall be inspected for evidence of other sediment tracking.
- e. Based on the results of the inspection, any inadequate control measures or control measures in disrepair shall be repaired, modified or replaced as necessary, before the next rain event, but in no case later than seven days after the need is identified.
- f. Based on the results of the inspection, the site shall be revised as appropriate, but in no case later than seven days following the inspection. Such modifications shall provide for timely implementation of any changes to the SWPPP, but in no case later than 14 days following the inspection.
- g. All inspections shall be documented on the Construction Stormwater Inspection Certification form provided in Appendix C of the permit for all construction sites (a copy of the form is included on the SWPPP plans and can also be obtained at <https://m.gov/environmental/permits/water-nr/erosion-sediment-construction-permit>). An alternative inspection form may be used as long as the form contents and the inspection certification language are, at a minimum, equivalent to the division's form and the permittee has obtained a written approval from the division to use the alternative form. The form must contain the printed name and signature of the inspector and the certification must be executed by a person who meets the regulatory requirements of Section 7.2 of the State of Tennessee General NPDES Permit For Discharges of Stormwater Associated with Construction Activities - Permit No. TNR10000. Inspection documentation will be maintained at the site and made available to the division upon request. Inspection reports will be submitted to the division within 10 days of the report. If the division requires the Construction Stormwater Inspection Certification form to be submitted, a copy of the signed original must be submitted.
- h. Trained certified inspectors shall complete inspection documentation to the best of their ability. Falsifying inspection records, or other documentation, or failure to complete inspection documentation shall be a violation of this permit and any other applicable acts or rules.
- i. Subsequent primary permittees who have obtained coverage under this permit should conduct twice weekly inspections, unless their portions of the site have been temporarily stabilized, runoff is unlikely due to winter conditions or due to extreme drought (as stated in paragraph a) above). The primary permittee (such as a developer) is no longer required to inspect portions of the site that are covered by a subsequent primary permittee (such as a home builder).

### 3.9 Pollution Prevention Measures for Non-Stormwater Discharges

- 1. The following non-stormwater discharges are authorized and covered by the permit and SWPPP:
  - a. Dewatering of collected stormwater or groundwater;
  - b. Water used to wash dirt and other materials when deleterious were not used and sediment and/or filtering is provided before the water leaves the site. Wash removal of process materials such as oil, asphalt or concrete is not authorized;
  - c. Acidic external wash water from any equipment;
  - d. Water water sources, including waterline flushings, from which chlorine has been removed to the maximum extent practicable;
  - e. Acidic external wash water from any equipment that is used to clean degreasing or other processes;
  - f. Uncontaminated groundwater or spring water;
  - g. Foundation or footing drains where flows are not contaminated with pollutants (e.g., process materials such as solvents, heavy metals, etc.).
- 2. All non-stormwater discharges authorized by the permit must be free of sediment and other solids, must not cause erosion of soils, and must not result in sediment impacts to receiving streams.

#### Spill Prevention:

- a. Good Housekeeping
  - i. The contractor shall follow good housekeeping practices to reduce the risk of slips or other accidental exposure of materials and substances to storm water runoff.
  - ii. All materials stored on-site shall be stored in a neat, orderly manner in their appropriate containers and, if possible, under a roof or other enclosure. Store only approved product packaging.
  - iii. Products will be kept in their original containers with the original manufacturer's label.
  - iv. The manufacturer's recommendations for proper use and disposal shall be followed.

### 5.5.1 Site Description

**Project Description:**  
The 2.77 acre site is located on Hardin Valley Road in Knox County, Tennessee. The existing site is a grass field that is bush hogged 2-3 times per year. The property slopes from a high point of 864 near Health Valley Road to a low point of 764 near "Pond" Drive. The site drains into the storm system on Penland Drive and then into an existing central detention basin east of Cherokee Boulevard. The detention basin discharges into an unnamed tributary to Beaver Creek.

The proposed development includes a 15,700-sq-ft medical office building and 71 parking spaces. The total disturbed area is 2.8 acres. The existing site consists of almost entirely Haskell silt loam (HSG C, K=0.43) with approximately 0.1 acres each of Elowah-Minvale complex (HSG B, K=0.32), Conyn-Townsend complex (HSG C, K=0.32) and Minvale-Fulton complex (HSG B, K=0.32). Pre-developed Curve Number is approximately 71 and the post-development is approximately 92.

Stormwater detention is existing per Knox County requirements.

#### Sequence of Major Activities:

- 1. Order of construction activities will be as follows:
  - a. Post to Beginning Major Grading Operations
  - b. First Notice of Construction (NOC) in a prominent display near the entrance to the site(s)
  - c. Install rain gauges on site - readings to be recorded daily.
  - d. Construct temporary construction entrance.
  - e. Install temporary silt fence.
  - f. Clear and grub ONLY the area necessary for site fence.

#### After Construction of Initial Erosion Control Measures

- 1. Clear & grub remainder of area to be disturbed.
- 2. Strip and stockpile topsoil. Store topsoil stockpile and install silt fence around stockpile.
- 3. Gravel site, construct parking and building areas.
- 4. Place parking areas, stabilize access drive with stone.
- 5. Stabilize all disturbed areas with topsoil, seed and mulch all disturbed areas as soon as the areas are graded to finished grades.

#### After Site is Stabilized

- 1. Remove all fence, construction entrances, temporary diversions and other temporary devices. Stabilize all areas disturbed during the removal of the temporary controls.

#### After All Construction is Complete

- 12. Prepare a Notice of Termination (NOT) and submit to the TDEC once the construction activities are completed and the final stabilization of the site is in place.

### 5.5.2 SWPPP and EPSC Plans

Sheet:	Initial EPSC Plan
C301	Initial EPSC Plan
C302	SWPPP Narrative
C303	SWPPP Narrative
C304	EPSC Details
C305	EPSC Details

### 5.5.3 Erosion and Sediment Control

#### 5.5.3.1 General Requirements (paraphrased from TDEC General Permit TNR10000)

a. The purpose of the Erosion Prevention Controls shown on the plans are to eliminate to the maximum extent practicable the dislodging and suspension of soil in water. The purpose of the Sedimentation areas is to retain mobilized sediment and to maintain water turbidity (see sediment on-site).

b. All control measures must be properly installed, installed and maintained in accordance with the manufacturer's specifications and/or good engineering practices. If periodic inspections or other maintenance is required, temporary, or permanent, the permittee must replace or modify the control.

c. If sediment accumulates in the permittee area, off-site accumulations that have not reached a stream must be removed at a frequency sufficient to minimize off-site impacts (e.g., sediment that has escaped a construction site and collected in a street must be removed so that it does not subsequently wash into storm sewers and streams during the next rain or so that it does not pose a safety hazard to users of public streets). Permittees shall not restore remediation or restoration of a stream without receiving prior authorization from the division. This permit does not authorize access to private property. Arrangements concerning the removal of sediment on adjoining property must be designed by the permittee and the adjoining landowner.

d. Sediment must be removed from sediment traps, silt fences, sediment basins and other sediment controls when design capacity has been reduced by 50%.

e. Erosion control storage areas (e.g., berms and ditches) of soil and bormer pits that are used primarily for the permitted project are considered a part of the site and shall be identified on the NOI, addressed in the SWPPP and included in the fee calculation. TDD projects shall be addressed in the Waste and Siltout Manual per the Stormwater Management Plan (SWMP).

f. The construction vegetative ground cover shall not be destroyed, removed or disturbed more than 14 days prior to commencement of grading or other moving activities unless it is a subsequent temporary or permanent stabilization.

g. Clearing and grubbing must be held to the minimum necessary for grading and equipment operation. Existing vegetation at the site shall be preserved to the maximum extent possible. The limits of soil disturbance shall be clearly outlined in the SWPPP and the areas to remain undisturbed clearly indicated on the site, with the methods to be used to mark these areas described in the SWPPP.

h. Construction must be sequenced to minimize the exposure of time of graded or disturbed areas.

i. EPSC measures must be in place and functional before earth moving operations begin and must be constructed and maintained throughout the construction period stages as appropriate. Temporary measures may be removed at the beginning of the workday but must be replaced at the end of the workday.

j. Off-site vehicle tracking of sediment and the generation of dust shall be minimized. A construction entrance access shall be described and implemented to reduce the tracking of mud and dirt on public roads by construction vehicles.

#### 5.5.3.2 Construction Phasing

Construction shall be phased to minimize erosion and limit sedimentation. This shall be accomplished by limiting disturbance to areas that will be graded within 14 days. Disturbed areas where construction is completed shall be stabilized within 14 days.

#### 5.5.3.3 Project Exceeding 50 Acres of Disturbance

Not Applicable.

#### 5.5.3.4 Stabilization Practices

- 1. Only those areas within the indicated limits of construction shall be disturbed during construction. The undisturbed grass areas outside of these areas shall remain as a buffer between the disturbed areas and the remainder of the construction.
- 2. Temporary stabilization measures include the following items which are noted on the plans:
  - a. Stabilization Construction Entrance/Cut
  - b. Temporary Seeding
- 3. Permanent stabilization measures include:
  - a. Permanent Seeding (including Mulch or EC Matting)
  - b. Outlet Protection

4. Stabilization measures shall be initiated as soon as possible in portions of the site where construction activities have temporary or permanent coverage. Temporary or permanent stabilization of the construction site must be completed no later than 14 days after the construction activity on that portion of the site has temporarily or permanently ceased. In the following situations, temporary stabilization measures are not required:

- a. Where the initiation of stabilization measures is precluded by snow cover or frozen ground conditions or adverse soggy ground conditions, stabilization measures shall be initiated as soon as practicable.
- b. Where the construction activity on a portion of the site is temporarily ceased, but soil disturbing activities will resume within 14 days.
- c. In arid, semi-arid, and drought-stricken areas where installing vegetative stabilization measures immediately is infeasible, alternative stabilization measures such as properly anchored mulch, soil binders or matting must be employed.

5. Sleep steps shall be stabilized no later than seven days after construction activity on the slope has temporarily or permanently ceased.

6. Permanent stabilization with perennial vegetation (using native herbaceous and woody plants where practicable) or other permanent stable, non-eroding surface shall replace any disturbed areas as soon as practicable. Unvegetated gravel containing fines (fill and clay sized particles) or crusher runs will not be considered a non-eroding surface. On sites where disturbed areas will be returned to its prior agricultural use (i.e. row crops, pasture) normal agricultural practices can be substituted.

#### 5.5.3.5 Structural Practices

- 1. The proposed plans include the implementation of the following structural practices (designed for a year, 24-hour return interval):
  - a. Silt Fence
  - b. Check Dams
  - c. Dust Control (as necessary)
  - d. Stabilized Construction Entrance/Cut
  - e. Erosion Protection
  - f. Erosion Protection (designated per FHWA Standards)



**CONSTRUCTION SPECIFICATIONS**  
**Grading and Shaping:** Grading and shaping may not be required where hydraulic seeding and fertilizing equipment to be used. Vertical banks must be allowed to erode parallel to embankment.

When conventional seeding and fertilizing are to be done, grade and shape the slope, which feasible and practical, so that equipment can be used safely and efficiently during seedbed preparation, seeding, mulching and maintenance of vegetation.

Concentrations of water that could cause excessive soil erosion should be diverted to a safe outlet. Diversion and other treatment practices must conform to the appropriate standards and specifications of the Tennessee Department of Transportation.

**Plant Selection:** Refer to Table 1 for suggested species. Plants should be selected on the basis of species characteristics, site and soil conditions, present use and maintenance of the site, type of planting method, method of planting, and the needs and desires of the land user.

Plant selection may also include annual companion crops. Annual companion crops should be used only when the perennial species are not planted during the optimum planting period. Care should be taken in selecting companion crop species and seeding rates because the annual crops will compete with the perennial species for water, nutrients, and growing space. A high seeding rate of the companion crop may prevent the establishment of perennial species.

**Hygras that are not used in any seeding mixtures containing permanent, perennial species are in its ability to out-compete desired species for permanent perennial cover.**

**Seed Quality:** The term "pure live seed" is used to express the quality of seed and is not shown on the label. Pure live seed (PLS) is expressed as a percentage of the total seed weight. PLS is determined by multiplying the percent germination and purity by the percent of germination, i.e.,

PLS = % germination x % purity  
 EXAMPLE: Common bermuda seed  
 70% germination, 80% purity  
 PLS = 70% germination x 80% purity  
 PLS = 56%

The percent of PLS determines the amount of seed needed. If the seeding rate is 10 pounds PLS and the bulk seed is 56% PLS, the bulk seed rate will be 17.9 lbs/bu.

An application of 17.9 bu/acre will provide 10 pounds of pure live seed.

**TABLE 1  
 PERMANENT COVER SEEDING MIXTURES**

Seeding Dates	Grass Seed	Percentages
February 1 to July 1	Kentucky 31 Fescue	80%
	Korean Leuzopodia	15%
	English Ryegrass	5%
June 1 to August 15	Kentucky 31 Fescue	50%
	English Ryegrass	20%
	Korean Leuzopodia	15%
April 15 to August 15	Kentucky 31 Fescue	50%
	Annual Leuzopodia	30%
	Common Ryegrass	10%
August 1 to December 1	Annual Leuzopodia	20%
	White Clover	10%
	Kentucky 31 Fescue	25%
February 1 to December	Crown Vetch	25%
	White Clover	5%

**TABLE 2  
 CUBIC YARDS OF TOPSOIL REQUIRED FOR APPLICATION TO VARIOUS DEPTHS**

Depth (inches)	Per 1,000 Square Feet	Per Acre
1	3.1	134
2	6.2	269
3	9.3	403
4	12.4	537
5	15.5	672
6	18.6	807

**Seedbed Preparation:** When conventional seeding is to be used, topsoil should be applied to any area where the disturbance results in subsoil being the final grade surface.  
**Broadcast Plantings:**

1. Seedbed preparation may not be required where hydraulic seeding equipment is to be used.
2. Traps, air minimum soil depth and broadcast seeding equipment should be adjusted to a depth of 4 to 6 inches, without compacting topsoil. Prepare firm and level seedbed, and firm the soil, above the proper placement of seed.
3. Wings, or plants, and/or the seedbed should be adjusted to a depth of 10 inches or more, if a crop is to be used.
4. Traps may be done with any suitable equipment.
5. A trap should be approved by the contractor before use.
6. On slopes too steep for the safe operation of trap equipment, the soil surface shall be placed or trenched to the slope with the appropriate hand tools to provide consecutive beds, 2 to 3 inches apart, in which seed may lodge and germinate.

**Individual Plants:**  
 1. Where individual plants are to be sown, the soil should be prepared by excavating holes, opening furrows, or other suitable planting.  
 2. For nursery stock plants, holes shall be large enough to accommodate roots without crowding.  
 3. Where one seedling area for the use of a subsoiler or wood pulp fiber, which includes a fertilizer, shall be used for two months prior to planting. Subsoiling should be done when the soil is dry, preferably in August or September.  
 4. Trees should be planted in power line right-of-ways or under power lines.

**PLANTING:**  
**Hydraulic Seeding:** Mix the seed (incorporated if needed), fertilizer, and seed fertilizer or wood pulp fiber mulch with water and apply in a slurry uniformly over the area to be treated. Apply either by hand or from the motor in a continuous stream.

**Conventional Seeding:** Seeding will be done on a freshly prepared seedbed. For traditional planting use a cultimeter seeder, disc, rotary seeder, other mechanical seeder, or hand seeding to distribute the seed uniformly over the area to be treated. Cover the seed lightly with 1/8 to 1/4 inch of soil for small seed and 1/2 to 1 inch for large seed when using a cultimeter or other suitable equipment.

**Inoculants:** All legumes shall be inoculated with appropriate nitrogen fixing bacteria. The inoculants shall be pure culture approved specifically for the seed species and used with the dates on the container.  
 A mixing medium recommended by the manufacturer shall be used to bind the inoculants to the seed. For conventional seeding, use twice the amount of inoculants recommended by the manufacturer. For hydraulic seeding, four times the amount of inoculant recommended by the manufacturer shall be used.

All inoculated seed shall be protected from the sun and high temperatures and shall be planted the same day (see the container) in the hydroseal trailer from the truck.

**No-Till Seeding:** No-till seeding is permitted on annual cover crops when planting is done following maturity of the cover crop or if the temporary cover stands is sown after well advanced growth of the permanent cover crop. The seed shall be applied with appropriate no-till seeding equipment. The seed must be uniformly distributed and planted at the proper depth.

**Individual Plants:** Plants, vines and sprigs may be planted with appropriate tractor or hand tools. Pine trees shall be planted normally in the above form. Each seedling shall be set in a hole no larger than the seedling's root system.  
**Nursery stock plants:** shall be planted as the depth or slightly deeper than they are at the nursery. The tops of vines and sprigs must be or slightly above the ground surface.

Where individual holes are dug, an appropriate amount of fertilizer shall be placed in the bottom of the hole, two inches of soil shall be placed over the hole and the hole backfilled.

**APPLYING MULCH:**  
**Mulch is required for all permanent vegetation applications.** Mulch applied to seeded areas shall achieve 75% soil cover. Select the mulching material from the following and apply as indicated:

1. When using temporary erosion control blankets or blocks such mulching is not required.
2. Dry straw or dry hay of good quality and free of weed seeds shall be applied at the rate of 5 tons per acre. Dry hay shall be applied at a rate of 1/2 tons per acre. Straw (legumes) hay containing mature seed shall be applied at a rate of 3 tons per acre.
3. Straw or hay mulch will be spread uniformly within 24 hours after seeding and/or planting. The mulch may be spread by blower type spreading equipment, other spreading equipment by hand.
4. Wood shavings must be wood pulp fiber shall be used with hydraulic seeding. It shall be applied at the rate of 500 pounds per acre. Dry straw or dry hay shall be applied at the rate indicated above after hydraulic seeding.
5. One thousand pounds per acre of wood mulch or wood pulp fiber, which includes a fertilizer, shall be used with hydraulic seeding on slopes 3:1 or steeper.
6. Wood mulch or wood pulp fiber shall not contain germination or growth inhibiting factors. They shall be evenly and uniformly applied to the area. The fibers shall contain a coat of a uniform application during seeding.

**ANCHORING MULCH:**  
 Anchor straw or hay mulch immediately after application of one of the following methods:

1. Emulsified asphalt can be sprayed uniformly onto the mulch or a sealer from two to three times or so sprayed on the mulch immediately following mulch application when straw or hay is spread by methods other than machine mulch.
2. A concrete or cement slurry can be applied to the mulch. The slurry should be applied at a rate of 100 gallons of emulsified asphalt and 100 gallons of water per acre. Care shall be taken at all times to protect the slates water, the public, adjacent property, pavements, curbs, sidewalks, and other structures from the slurry.
3. Hay or straw mulch may be pressed into the mulch immediately after the mulch is spread. A special "runner" or disk harrow with the disks set straight up and used. Seeded disks are preferred, and should be 20 inches or more in diameter and 8 to 12 inches apart. The edges of the disks shall be dull enough to press the mulch into the ground without cutting it, leaving much of an seed exposed. Mulch shall not be pressed into the mulch.

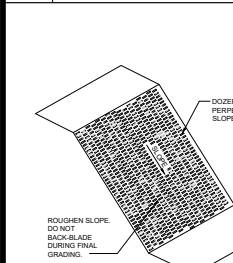
**BEEDING MATERIAL:**  
 Mulch as used as a bedding material to conserve moisture and control weeds in nurseries, ornamental beds, around shrubs, and on bare areas.

**IRRIGATION:**  
 Irrigation will be applied at a rate that will not cause runoff.

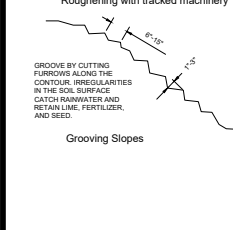
**MAINTENANCE:**  
 Inspection of seeding and mulching application should be performed within 48 hours of regular scheduled erosion and sediment control inspections. Any areas that have washed out or high storm water flows, areas that have been disturbed by blowing wind, and areas that do not show good germination should be reseeded. Maintenance needs identified in inspections or by other means shall be accomplished before the next storm event if possible, but in no case more than seven days after the storm is identified.

Material	Depth
Grass Straw	4" to 6"
Grass Hay	4" to 6"
Pine Needles	3" to 6"
Wood Waste	4" to 6"

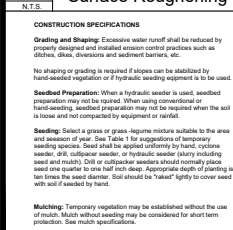
**1 Permanent Seeding**  
 N.T.S.



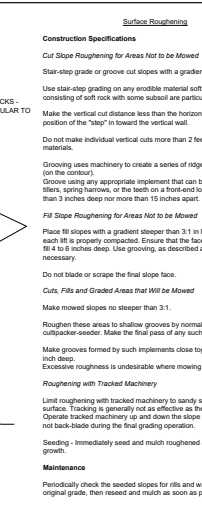
**2 Topsoiling**  
 N.T.S.



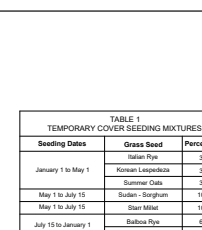
**3 Surface Roughening**  
 N.T.S.



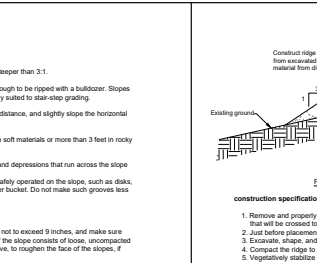
**4 Grass Lined Permanent Diversion Ditch**  
 N.T.S.



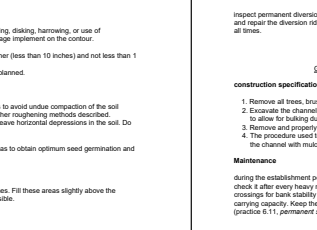
**5 Construction Entrance/Exit**  
 N.T.S.



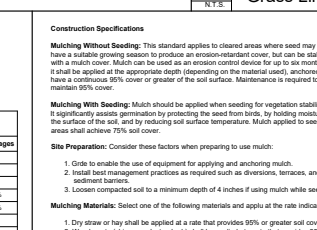
**6 Temporary Seeding**  
 N.T.S.



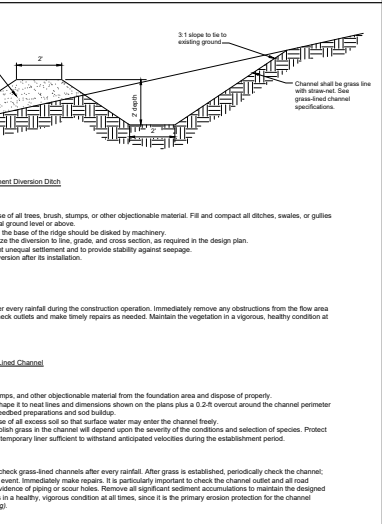
**7 Mulching**  
 N.T.S.



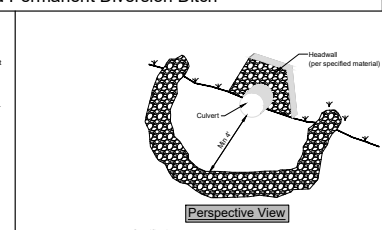
**8 Filter Ring**  
 N.T.S.



**9 Construction Entrance/Exit**  
 N.T.S.



**10 Construction Entrance/Exit**  
 N.T.S.



**CONSTRUCTION SPECIFICATIONS:**  
**Materials:**  
 Field exploration of the site shall be made to determine if there is sufficient surface soil of good quality to justify topsoiling. Topsoil shall be friable and heavy (loam, sandy loam, etc. loam, sandy clay loam, clay loam). It shall be free of debris, trash, stumps, rocks, roots, and noxious weeds, and shall give evidence of being able to support healthy vegetation. It shall contain no substance that is potentially toxic to plant growth.

All topsoil shall be tested by a recognized laboratory to the following criteria:

- Organic matter content shall not be less than 1.5% by weight.
- pH range shall be from 6.0 to 7.5. If pH is less than 6.0, lime shall be added in accordance with soil test results or in accordance with the recommendations of the vegetative establishment practice being used.
- Stable salts shall not exceed 500 ppm.

If additional off-site topsoil is needed, it must meet the standards stated above.

**Stripping:**  
 Topsoil operations should not be performed when the soil is wet or frozen. Stripping shall be confined to the immediate construction area. A 4-to 6-inch stripping depth is common, but depth may vary depending on the particular soil. All perimeter ditches, basins and other sediment controls shall be in place prior to stripping.

**Stockpiling:**  
 Topsoil shall be stockpiled in such a manner that natural drainage is not obstructed and no off-site sediment damage shall result. Stabilize or protect stockpiles in accordance with MS 82.

Sides slopes of the stockpile shall not exceed 2:1.

Perimeter controls must be placed around the stockpile immediately; seeding of stockpiles shall be completed within 7 days of the formation of the stockpile, in accordance with MS 8 & Spec. 3.1, TEMPORARY SEEDING if it is to remain dormant for longer than 30 days (refer to MS 81 and MS 82).

Sides slopes of the stockpile shall not exceed 2:1.

Perimeter controls must be placed around the stockpile immediately; seeding of stockpiles shall be completed within 7 days of the formation of the stockpile, in accordance with MS 8 & Spec. 3.1, TEMPORARY SEEDING if it is to remain dormant for longer than 30 days (refer to MS 81 and MS 82).

**Site Preparation Prior to and Maintenance During Topsoiling**  
 Before topsoiling, established erosion and sediment control practices such as diversions, grade stabilization structures, berms, ditches, level spreaders, waterway, sediment basins, etc. These practices must be maintained during topsoiling.

**Grading:** Previously established grades on the areas to be topsoiled shall be maintained according to the approved plan.

**Binding:** When the pH of the topsoil is 5.0 or less, or the soil is composed of heavy clays, agricultural limestone shall be spread in accordance with the soil test or the vegetative establishment practice being used.

**Leveling:** After the area to be topsoiled has been brought to grade, and immediately prior to grading and spreading the topsoil, the subgrade shall be smoothed by disking or scarifying to a depth of at least 2 inches to ensure binding or the topsoil and subsoil.

**Applying Topsoil**  
 Topsoil shall be placed while in a frozen or muddy condition, when topsoil or subgrade is excessively wet, or in a condition that may otherwise be detrimental to proper grading or proposed bedding or seeding. The topsoil shall be uniformly distributed to a minimum compacted depth of 2 inches on 3:1 or steeper slopes and 4 inches on flatter slopes. (See Table 3.30a to determine volume of topsoil required for application to various depths). Any irregularities in the surface, resulting from topsoiling or other operations, shall be corrected in order to prevent the formation of depressions or water pockets.

It is necessary to compact the topsoil enough to ensure good contact with the underlying soil and to obtain a level seedbed for the establishment of a high maintenance turf. However, undue compaction is to be avoided as it increases runoff velocity and volume, and delays seed germination. Special consideration should be given to the types of equipment used to place topsoil in areas to receive fine fire. Avoid unnecessary compaction by heavy machinery whenever possible. In areas which are not going to be mowed, the surface should be left rough in accordance with SURFACE ROUGHENING.

**Soil Sterilants:**  
 No soil or seed shall be placed on soil which has been treated with soil sterilants until sufficient time has elapsed to permit dissipation of toxic materials.

**TABLE 3.30A  
 CUBIC YARDS OF TOPSOIL REQUIRED FOR APPLICATION TO VARIOUS DEPTHS**

Depth (inches)	Per 1,000 Square Feet	Per Acre
1	3.1	134
2	6.2	269
3	9.3	403
4	12.4	537

**Project:** Covenant Health  
 Hardin Valley Primary &  
 Urgent Care MOB  
 Hardin Valley - Knox County, Tennessee

**LAND DEVELOPMENT SOLUTIONS**  
 310 SIMMONS RD., SUITE 400 (KNOXVILLE, TENNESSEE 37922)  
 PH. 865-971-2291

**EPSC Details**

Drawing Description:

Revision:

Date:

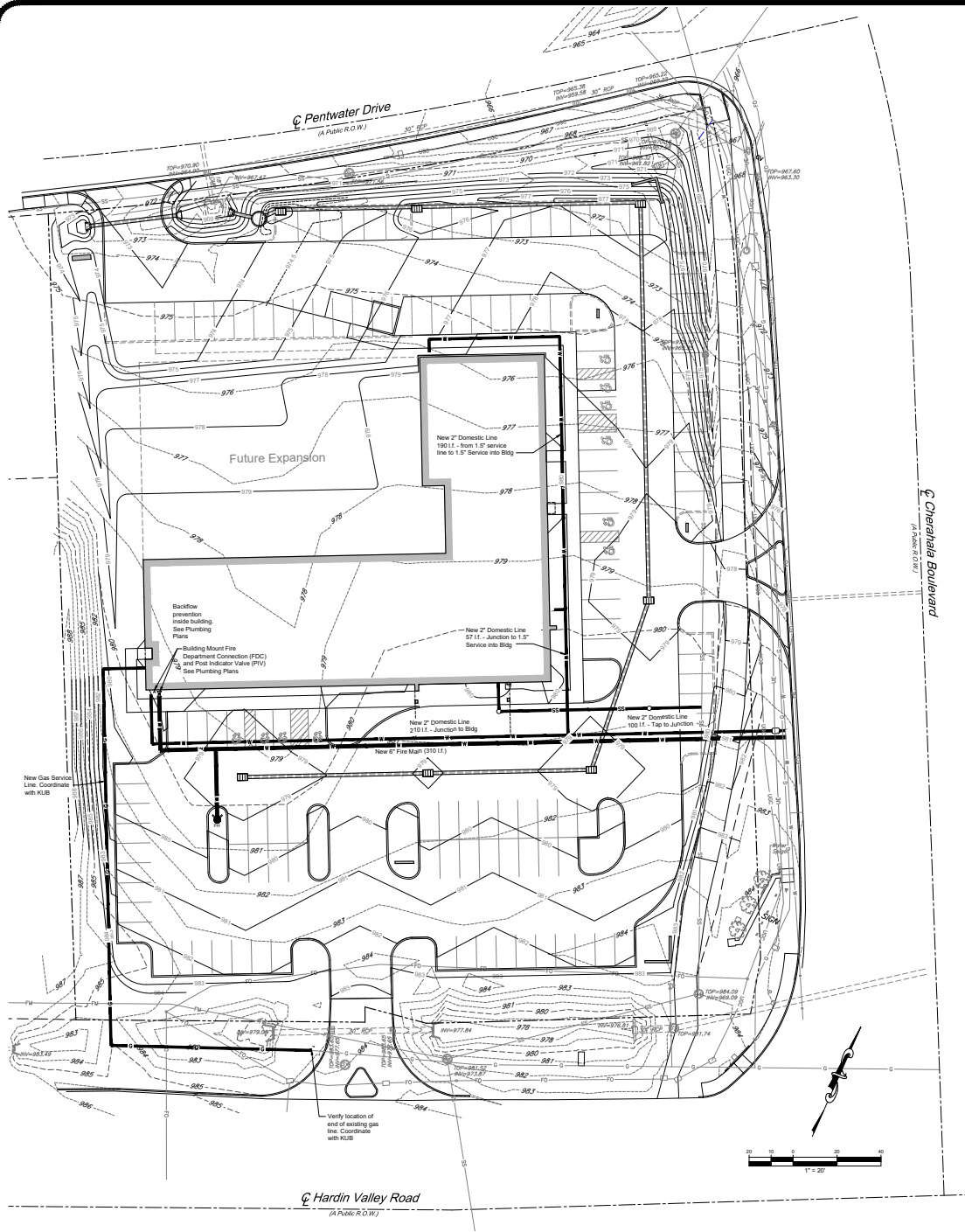
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Drawn By: \_\_\_\_\_  
 Checked: \_\_\_\_\_  
 Approved: \_\_\_\_\_  
 Job No.: 20230624  
 As Noted Scale: 3-25-2024  
 Date: \_\_\_\_\_

**C304**  
 Sheet No.

X:\2023\20230624 - Covenant Health Valley Urgent Care MOB - 2024 - 12-25-2024 - LDD Copyright 2024





- ### Utility Notes
- The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records and where possible measurements taken in the field. This information is not to be relied upon as being exact or complete. The contractor must call Tennessee One Call and any utility that does not subscribe to One Call at least 72 hours before any excavation, to request exact field location of the utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.
  - All water and sanitary construction shall comply with West Knox Utility District standard specifications.
  - Maintain 10' horizontal separation between water and sanitary lines. Where waterlines cross sanitary lines, the water line shall be a minimum of 18" above the sanitary line.
  - All trenching and shoring shall comply with OSHA standards.
  - Contractor shall provide As-built survey by registered land surveyor and drawings to Land Development Solutions. Water line As-built drawings shall include horizontal and approximate vertical location for lines, valves, the hydrants, meters, and any other pertinent information. Sanitary As-built drawings shall include manhole tops and inverts, tee-eye depths, all deviations from design plans, and any other pertinent information.
  - Blocking shall be per West Knox Utility District specifications.
  - Minimum depth of cover over sewer line is 36".
  - A minimum bedding layer of 6" of type 57 stone will be installed around the circumference of all pipe and fitting outside the limits of the roadway surface. Stone backfill to grade is required under all proposed roadways.
  - All existing utility covers shall be adjusted to match new grades.
  - Fire Lines from the Point of Service to the building are shown for reference only. All fire mains shall be designed and installed by a licensed sprinkler contractor.

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Project

Covenant Health  
Hardin Valley Primary &  
Urgent Care MOB

Hardin Valley - Knox County, Tennessee

Drawing Description:

Site Utility Plan

Revision	Date

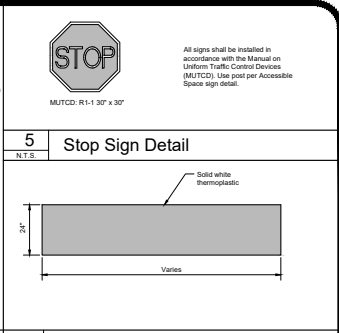
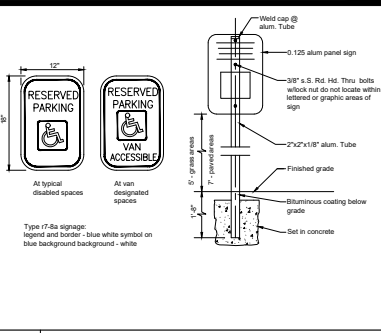
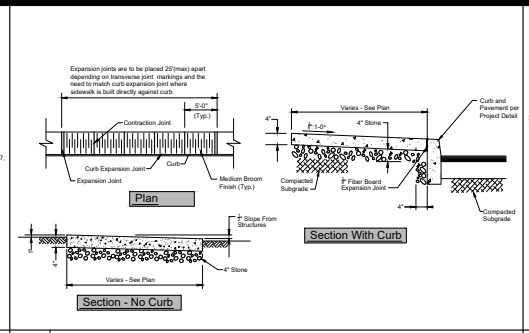
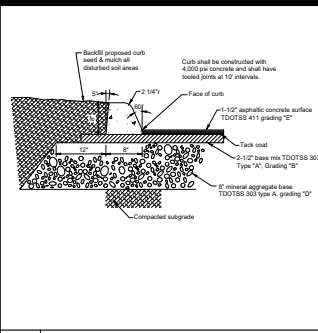
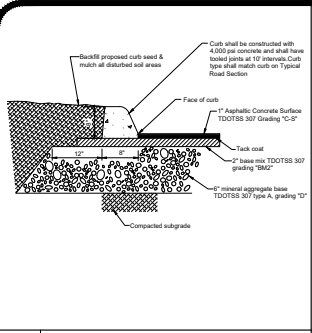
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Checked	
Approved	

Job No.	2023060
As Noted	3-25-2024
Scale	Date

# C401

Sheet No.



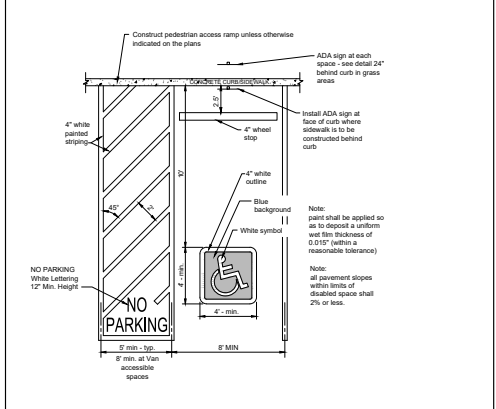
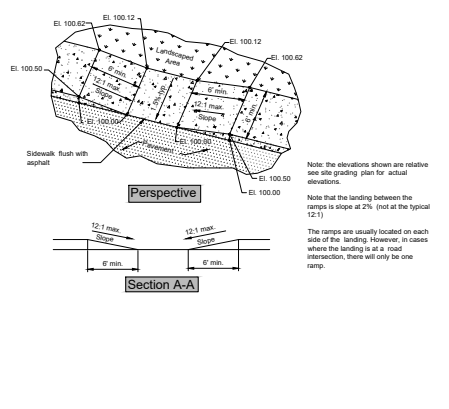
1 Medium Duty Paving With Curb

2 Heavy Duty Paving with Curb

3 Sidewalk Detail

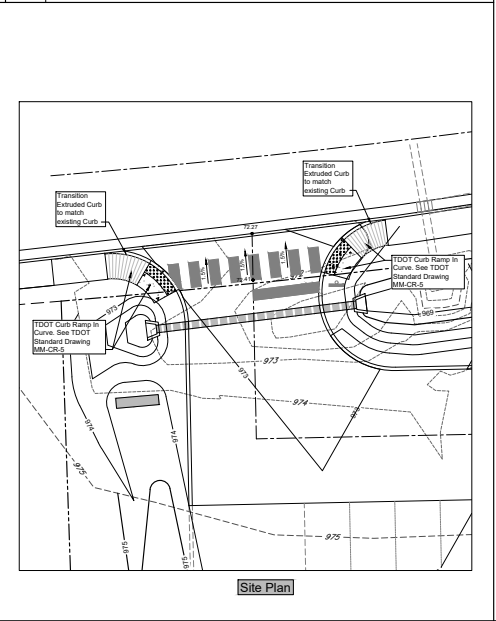
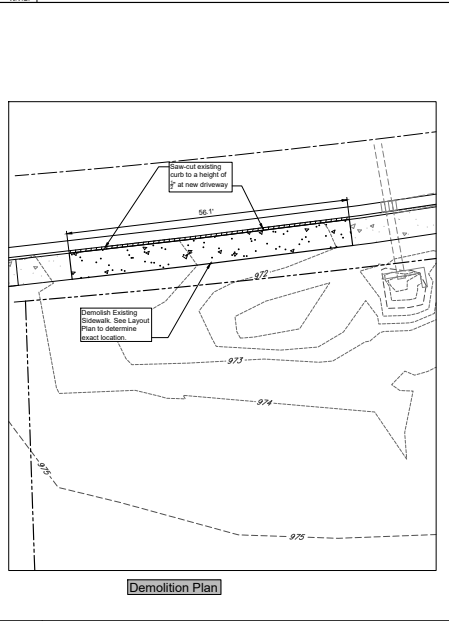
4 Accessible Parking Signage and Post

6 Stop Bar Detail



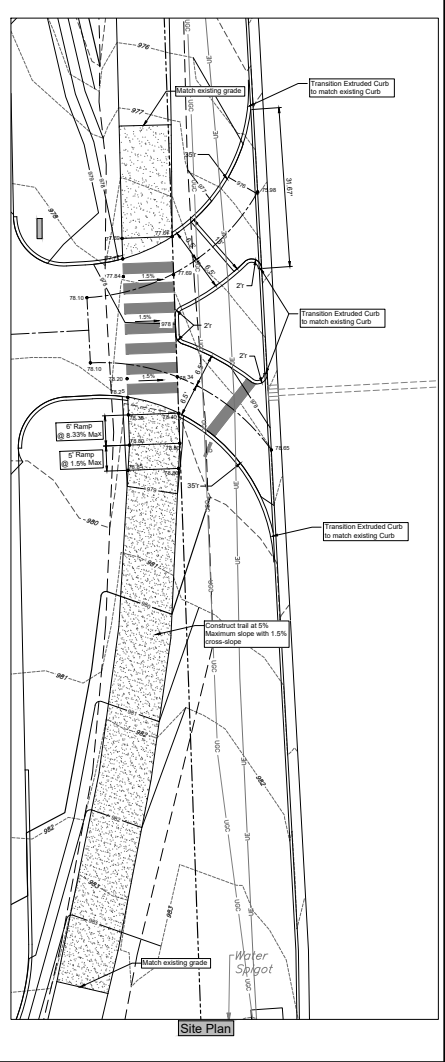
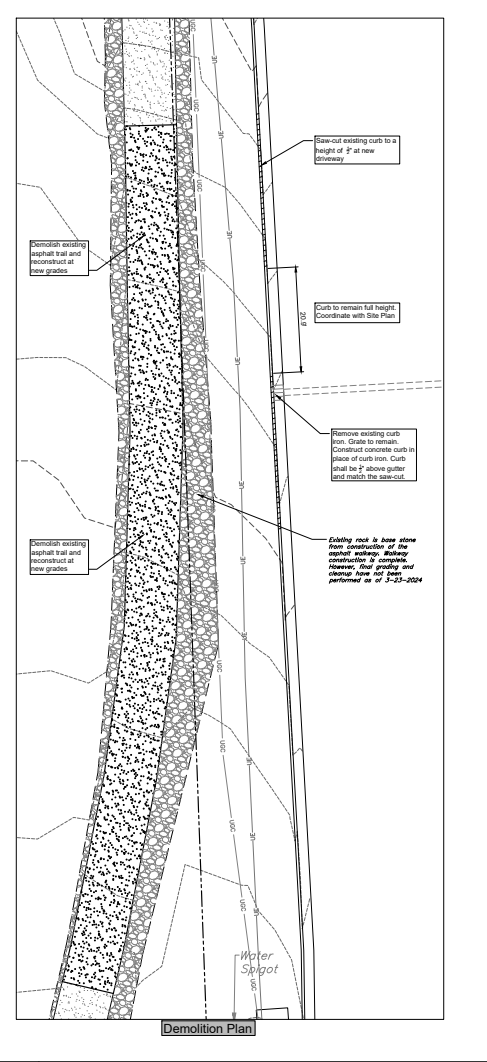
7 Pedestrian Access Ramp

8 Typical Accessible Parking Space



9 Enlarged Driveway Plan - Pentwater Drive

10 Enlarged Driveway Plan - Cherahala Boulevard



10 Enlarged Driveway Plan - Cherahala Boulevard

Project: Covenant Health  
Hardin Valley Primary & Urgent Care MOB  
Hardin Valley - Knox County, Tennessee

LAND DEVELOPMENT SOLUTIONS  
310 SIMMONS RD., SUITE K KNOXVILLE, TENNESSEE 37922  
PH. 865-571-2281

Site Details

Drawing Description:

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Date	
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Drawn By: [Signature]  
Checked: [Signature]  
Approved: [Signature]  
Job No.: 2023060  
As Noted Scale: 3-25-2024 Date

C501  
Sheet No.

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Drawing Description:

Revision

Date

No.

Drawn By

Checked

Approved

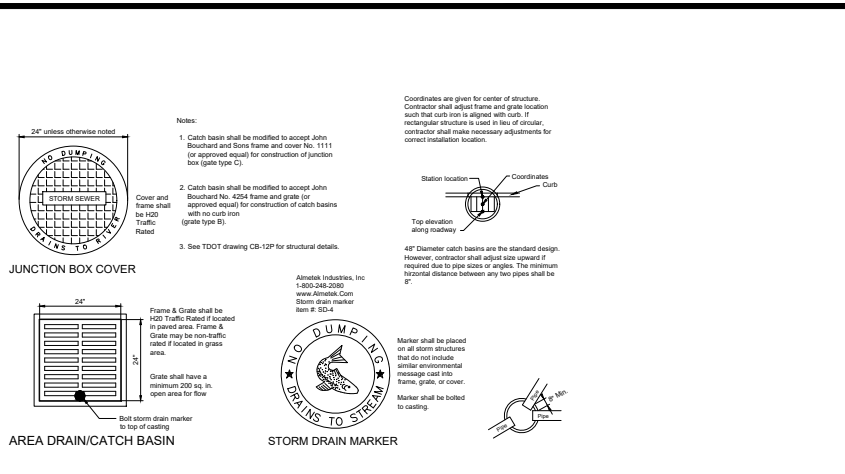
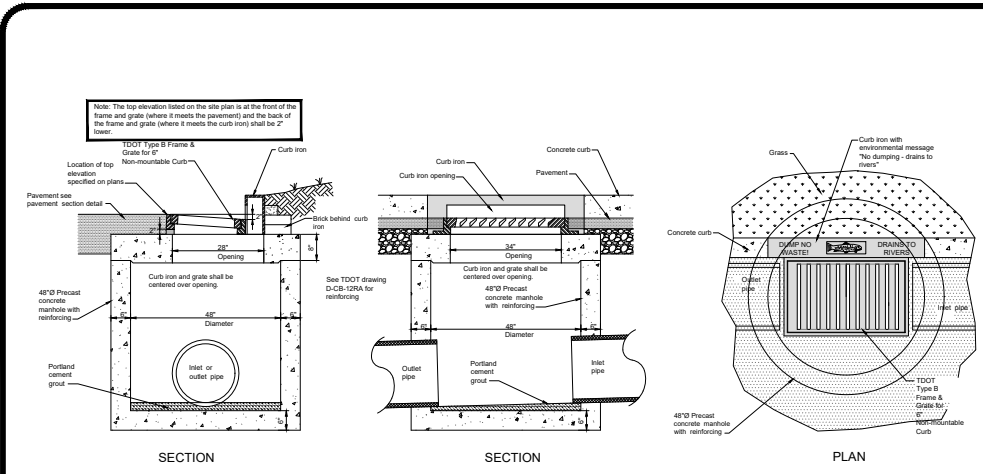
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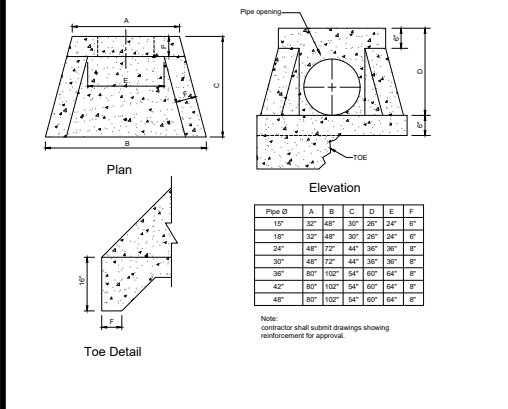
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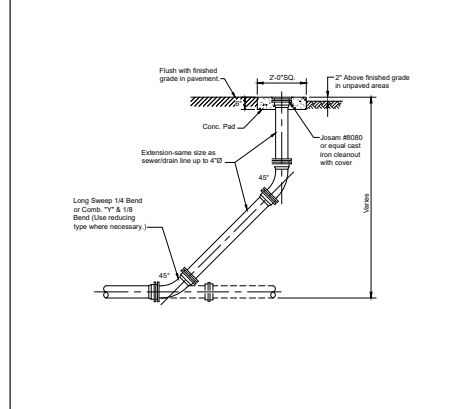
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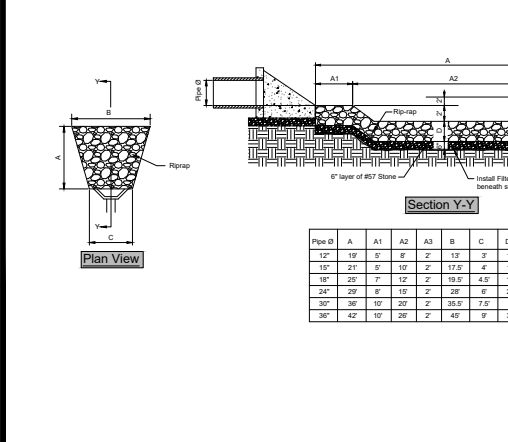
1 Curb Inlet - Junction Box - Area Drain/Catch Basin Detail



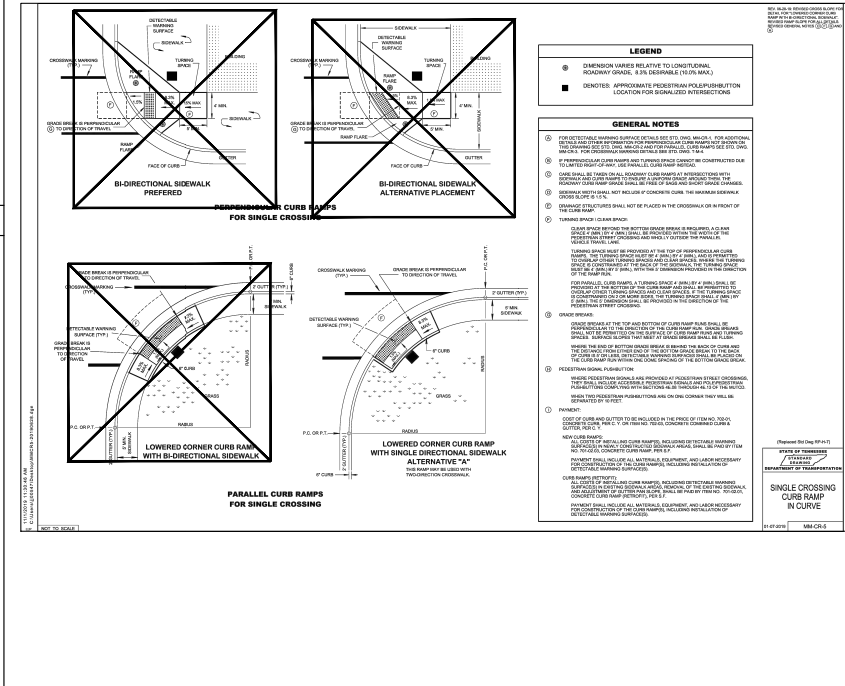
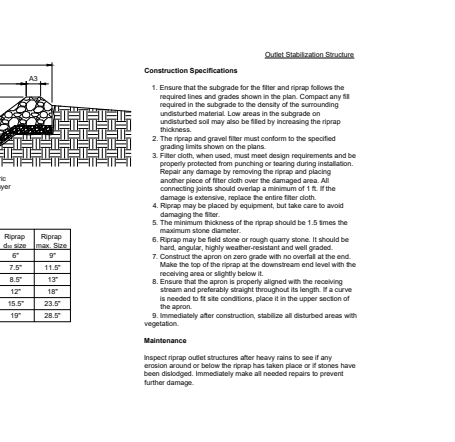
3 Cleanout Detail



2 Precast Concrete Headwall



4 Outlet Protection - Rip-rap



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**Covenant  
HEALTH**  
**MOB Harding Valley**  
10611 Hardin Valley Road  
Knoxville, TN

Date: 03/20/24

Revised: 03/25/24-KEH

Designer: KEH

File Name: Ext Site Loc Plan.ai

File Folder:  
C:\Covenant Health\Hardin Valley  
MOB\Location Plan

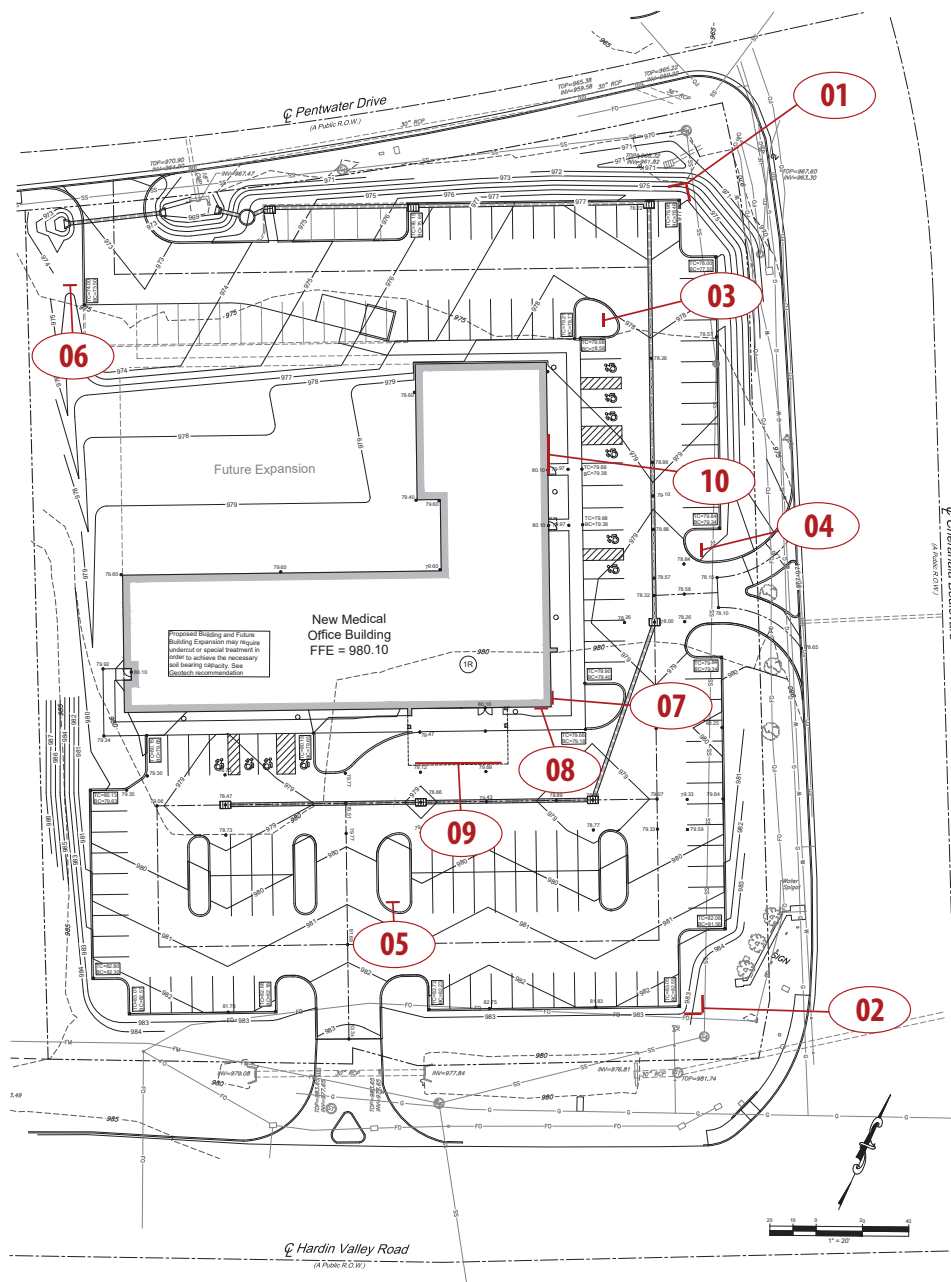
Project Manager: CSR

**Site Location Plan**  
Exterior Signage







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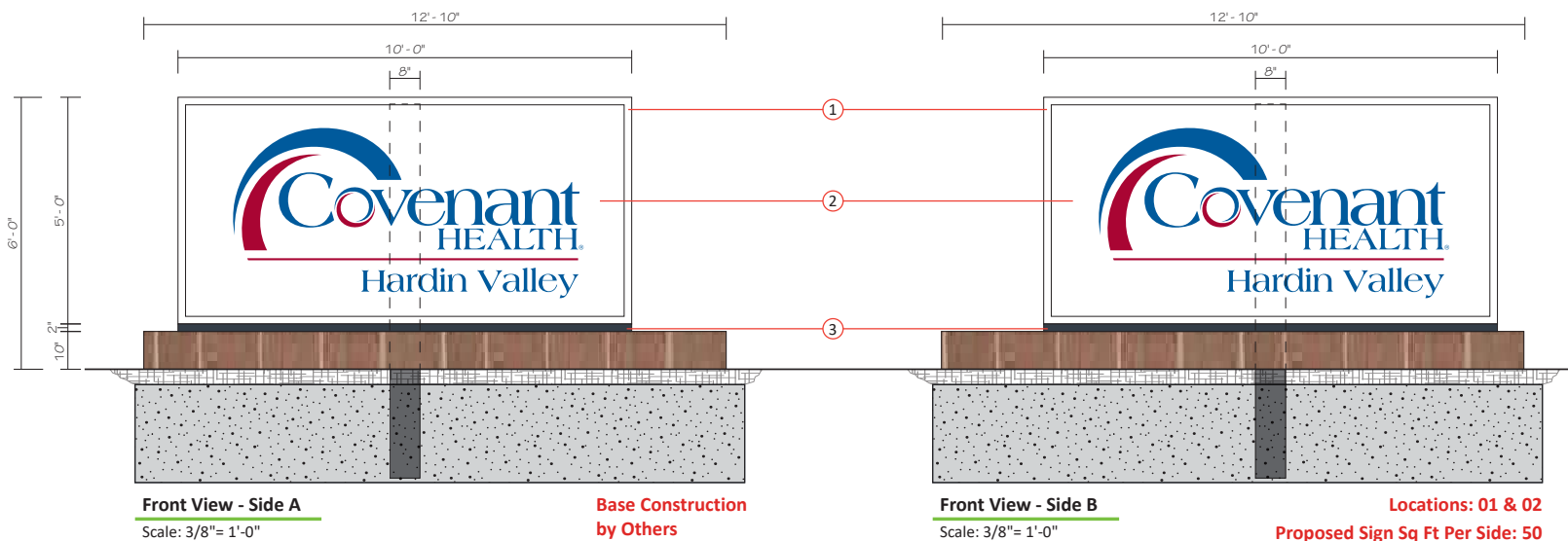
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**Exterior Signage Location Plan**

- 01. Illuminated Main Monument 
- 02. Illuminated Main Monument 
- 03. Non Illuminated Secondary Monument
- 04. Non Illuminated Secondary Monument
- 05. Non Illuminated Secondary Monument
- 06. Non Illuminated Secondary Monument
- 07. Illuminated Pan with Push Through Letters 
- 08. Illuminated Pan with Push Through Letters 
- 09. Illuminated Channel Letters 
- 09. Illuminated Channel Letters 

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**Covenant HEALTH**  
**MOB Harding Valley**  
10611 Hardin Valley Road  
Knoxville, TN

Date: 03/20/24

Revised: 03/25/24-KEH

Designer: KEH

File Name: Locs 01-02\_Main Monuments.ai

File Folder:  
C:\Covenant Health\Hardin Valley  
MOB\Shop Drawings\Exterior

Project Manager: CSR

**Locations: 01 & 02**

Internally Illuminated  
Main Monument  
- Exterior Signage Layouts

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**Final Logo and Messages To Be Determined**

**Locations: 01 & 02 - Internally Illuminated Main Monuments**

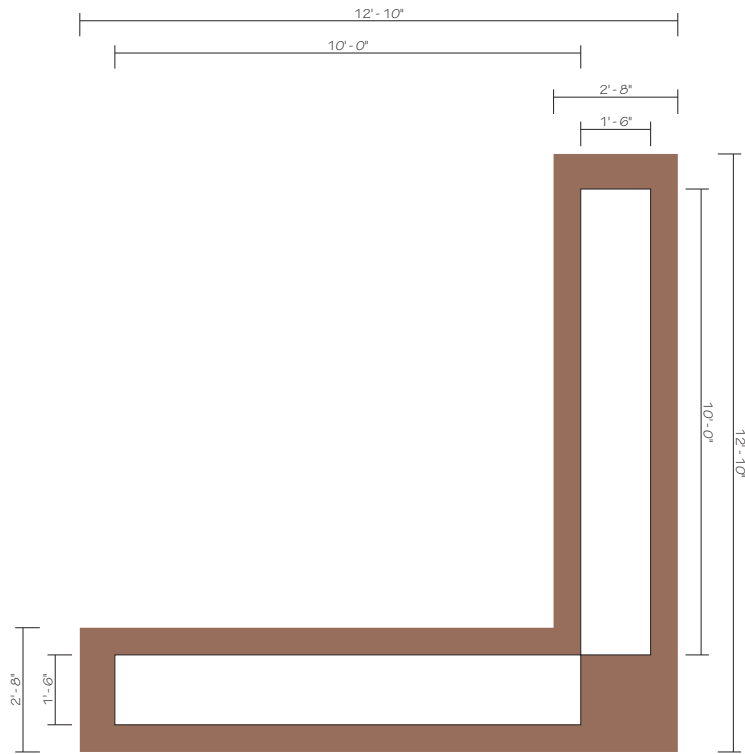
**Construction Details:**

- ① 18" Deep Fabricated Aluminum Cabinet, with LED Illumination. 2" Retainers. Paint cabinet MP White.
- ② 3/16" Thick white translucent polycarbonate faces with translucent vinyl to match PMS 294c blue and 201c red.
- ③ 2" Reveal to be painted to match PMS 432 Dark Gray.

**Notes:**

GC to provide electrical one 20amp/277V Circuit stubout for power connection pulled within 3' - 0" of sign location.

Sign to be mounted on 8" Schedule 40 round steel post provided by GC, set into base per engineering requirements. Signcraft to provide engeneered drawings for permitting.



**Plan View**  
 Scale: 3/8" = 1'-0"

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**MOB Harding Valley**  
 10611 Hardin Valley Road  
 Knoxville, TN

**Date:** 03/20/24

**Revised:** 03/25/24-KEH

**Designer:** KEH

Locs 01-02\_Main  
**File Name:** Monuments.ai

File Folder:  
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 MOB\Shop Drawings\Exterior

**Project Manager:** CSR

**Locations: 01 & 02**

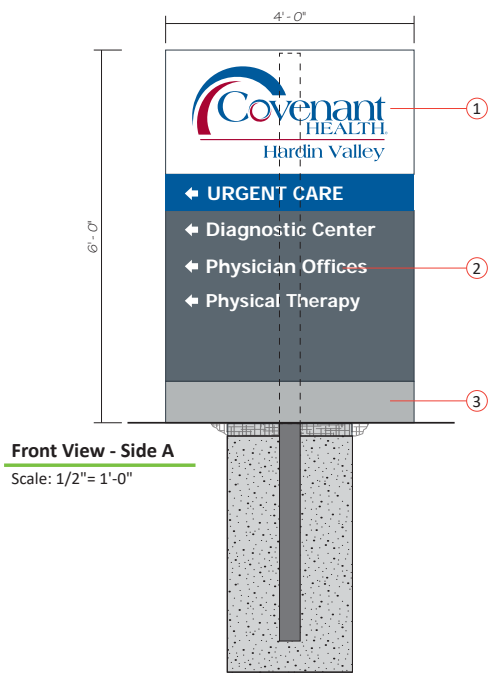
Internally Illuminated  
 Main Monument  
 - Exterior Signage Layouts



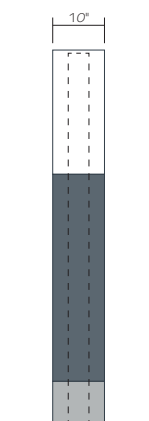
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**Front View - Side A**  
Scale: 1/2"= 1'-0"



**Side View**  
Scale: 1/2"= 1'-0"



**Front View - Side B** **Location: 03**  
Scale: 1/2"= 1'-0" **Proposed Sign Sq Ft: 24**

**Final Logo and Messages To Be Determined**

**Locations: Multiple - Non-Illuminated Secondary Monuments**

- ① 10" Deep Fabricated Aluminum cabinet masked and painted white and PMS 431c. First Surface applied Blue Vinyl to match PMS 294c and red vinyl to match PMS 201c or Digital Print.
- ② .125" Thick Aluminum face painted PMS 431c and PMS 294c, with first surface applied matte white vinyl.
- ③ Fabricated Aluminum Skirt painted to match SW7072 Online with textured finish.

**Notes:**

Sign to be saddle mounted on 4" Schedule 40 round steel post provided by vendor, and set into concrete per engineering requirements. Signcraft to provide engineered drawings for permitting.

**Covenant  
HEALTH**

**MOB Hardin Valley**  
10611 Hardin Valley Road  
Knoxville, TN

Date: 03/21/24

Revised: 03/25/24-KEH

Designer: KEH

Secondary  
File Name: Directionals.ai

File Folder:  
C:\Covenant Health\Hardin Valley  
MOB\Shop Drawings\Exterior

Project Manager: CSR

**Locations: Multiple**

Non-Illuminated Directional  
- Exterior Signage Layouts

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**MOB Hardin Valley**  
10611 Hardin Valley Road  
Knoxville, TN

Date: 03/21/24

Revised: 03/25/24-KEH

Designer: KEH

Secondary  
File Name: Directionals.ai

File Folder:  
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MOB\Shop Drawings\Exterior

Project Manager: CSR

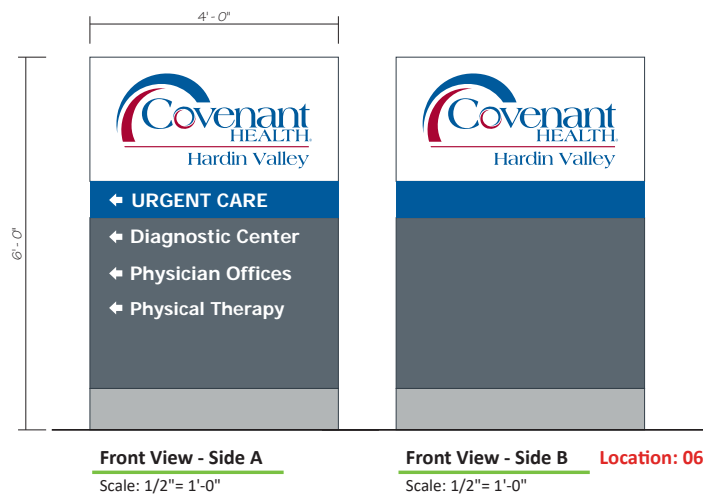
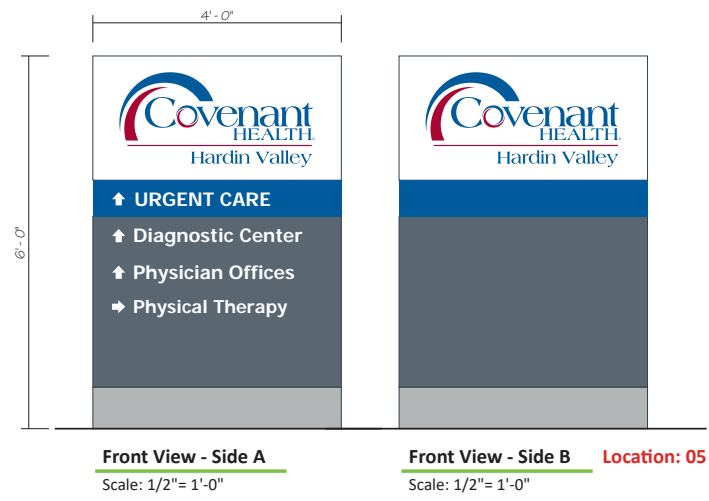
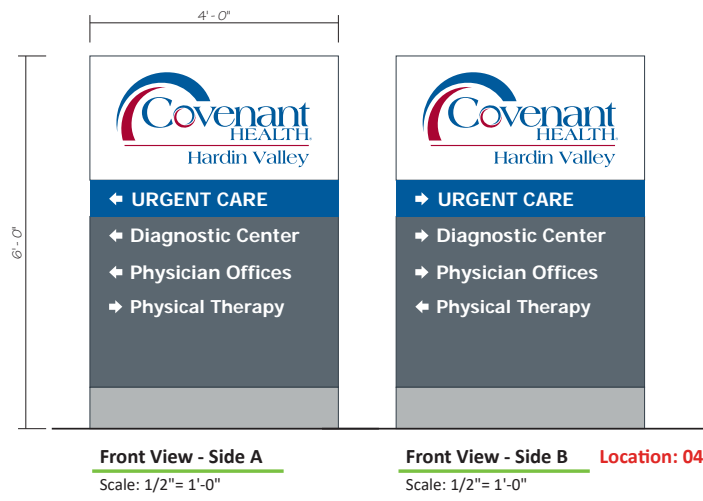
**Locations: Multiple**

Non-Illuminated Directional  
- Exterior Signage Layouts



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**Final Logo and Messages To Be Determined**



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**Covenant  
HEALTH**  
**MOB Hardin Valley**  
10611 Hardin Valley Road  
Knoxville, TN

**Date:** 03/21/24

**Revised:** 03/25/24-KEH

**Designer:** KEH

**File Name:** Locs 07-08\_Pan  
Signs.ai  
File Folder:  
C:\Covenant Health\Hardin Valley  
MOB\Shop Drawings\Exterior

**Project Manager:** CSR

**Locations: 07 & 08**  
Illuminated Building Cabinets  
- Exterior Signage Layouts

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**Final Logo To Be Determined**  
**Locations: 07-08 - Internally Illuminated Cabinets with Push Through Letters**

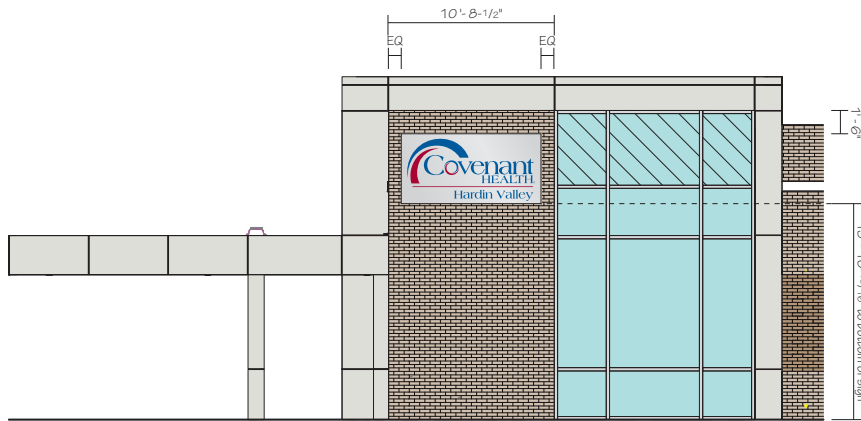
**Construction Details:**  
① 3" Deep, Internally Illuminated Cabinet Sign, painted all visible surfaces MP Brushed Aluminum. Rounded face to accept 1/2" push through acrylic letters. Aluminum letter centers to be stud mounted through acrylic and acrylic letters to be chemically bonded to back of aluminum face. First surface of letters to have digitally printed perforated vinyl to match PMS 294c, and PMS 201c. Standard white LED illumination. Inside of cabinet painted with white light enhancement paint.

Mounted flush to brick facade.

All penetrations through building exterior to be sealed with GE 50 year/100% Siliconized sealant or GC approved equivalent to prevent water intrusion.

**Notes:**  
GC to provide timer if required. No photo Cells. GC to provide one 20amp/277V Electrical Circuit with junction box in wall behind sign. \*ACCESS TO JUNCTION BOX IS NECESSARY FOR FINAL CONNECTIONS.

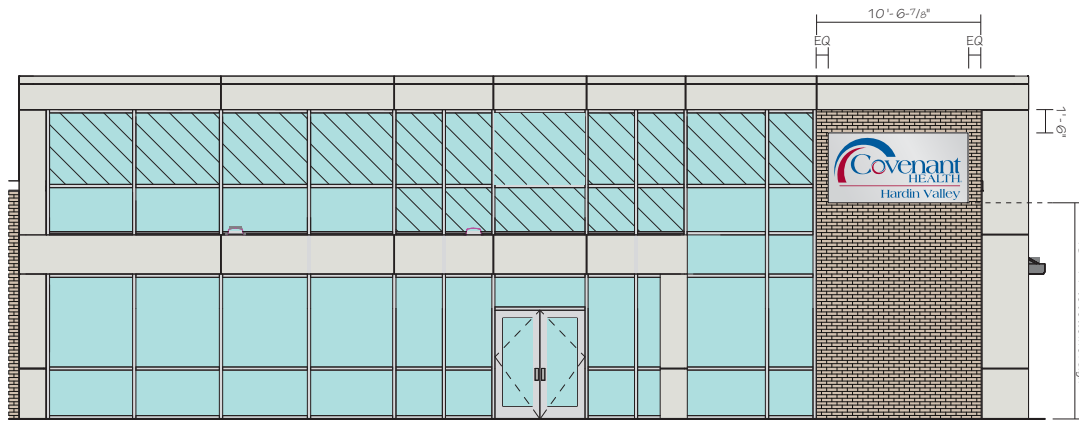
**DRAFT  
PACKAGE**



**East Elevation View - A301**

**Location: 07**

Scale: 1/8" = 1' - 0"



**South Elevation View - A301 - Main Entrance**

**Location: 08**

Scale: 1/8" = 1' - 0"

**Covenant  
HEALTH**

**MOB Harding Valley**  
10611 Hardin Valley Road  
Knoxville, TN

Date: 03/22/24

Revised: 03/25/24-KEH

Designer: KEH

File Name: Locs 07-08\_Pan  
Signs.ai

File Folder:  
C:\Covenant Health\Hardin Valley  
MOB\Shop Drawings\Exterior

Project Manager: CSR

**Locations: 07 & 08**

Illuminated Building Cabinets  
- Exterior Signage Layouts

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1301 Antioch Pike, Nashville, TN 37211  
p. 615-885-2900 | f. 615-885-2989

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**DRAFT  
PACKAGE**



**MOB Harding Valley**  
10611 Hardin Valley Road  
Knoxville, TN

Date: 03/22/24

Revised: 03/25/24-KEH

Designer: KEH

File Name: Loc 09\_ICL.ai

File Folder:  
C:\Covenant Health\Hardin Valley  
MOB\Shop Drawings\Exterior

Project Manager: CSR

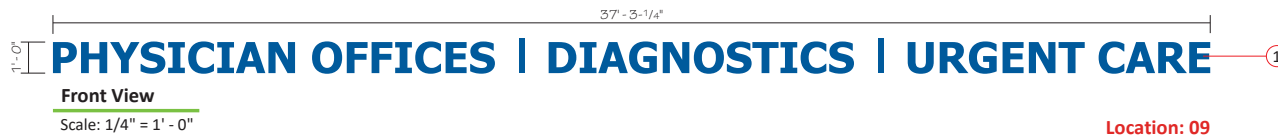
**Location: 09**

Channel Letters  
Exterior Signage  
Layouts



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**Location: 09**  
**Proposed Sign Sq Ft: 37.3**  
**Building Elevation total Linear Ft: 187.3**

**Final Messages To Be Determined**

**Location: 09 - Internally Illuminated Channel Letters**

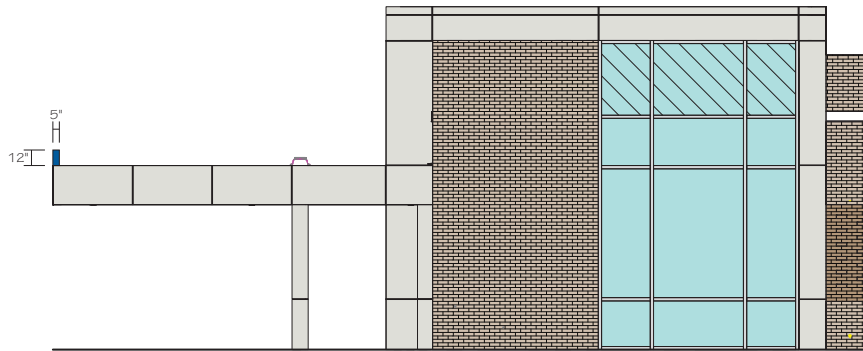
**Construction Details:**

- ① 5" Deep Aluminum Channel Letters Painted to match PMS 294c, inside of letters painted High Gloss White, 1" trimcap painted to match PMS 294c. Standard white LED internal illumination. 3/16" thick White Translucent Acrylic faces with first surface applied perforated vinyl to match PMS 294c. Letters to illuminate white at night.

**Notes:**

GC to provide timer if required. No photo Cells. GC to provide one 20amp/120V Electrical Circuit with junction box behind sign. \*ACCESS TO JUNCTION BOX IS NECESSARY FOR FINAL CONNECTIONS.

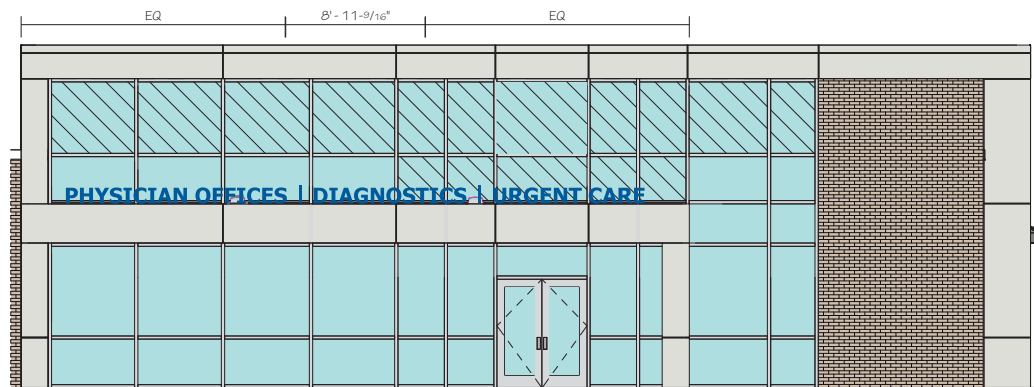
**DRAFT  
PACKAGE**



**East Elevation View - A301**

**Location: 09**

Scale: 1/8" = 1' - 0"



**South Elevation View - A301 - Main Entrance**

**Location: 09**

Scale: 1/8" = 1' - 0"

**Covenant  
HEALTH**

**MOB Harding Valley**  
10611 Hardin Valley Road  
Knoxville, TN

Date: 03/22/24

Revised: 03/25/24-KEH

Designer: KEH

File Name: Loc 09\_ICL.ai

File Folder:  
C:\Covenant Health\Hardin Valley  
MOB\Shop Drawings\Exterior

Project Manager: CSR

**Location: 09**

Channel Letters  
Exterior Signage  
Layouts

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**DRAFT  
PACKAGE**



**MOB Hardin Valley**  
10611 Hardin Valley Road  
Knoxville, TN

Date: 03/22/24

Revised: 03/25/24-KEH

Designer: KEH

File Name: Loc 10\_ICL.ai

File Folder:  
C:\Covenant Health\Hardin Valley  
MOB\Shop Drawings\Exterior

Project Manager: CSR

**Locations: 10**

Channel Letters  
Exterior Signage  
Layouts



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12' - 0 9/16"  
1" - 0"  
**PHYSICAL THERAPY** ①

**Front View**

Scale: 3/4" = 1'-0"

Location: 10

Proposed Sign Sq Ft: 12.83

Building Elevation total Linear Ft: 152

**Final Message To Be Determined**

**Location: 09 - Internally Illuminated Channel Letters**

**Construction Details:**

- ① 5" Deep Aluminum Channel Letters Painted to match PMS 294c, inside of letters painted High Gloss White, 1" trimcap painted to match PMS 294c. Standard white LED internal illumination. 3/16" thick White Translucent Acrylic faces with first surface applied perforated vinyl to match PMS 294c. Letters to illuminate white at night.

**Notes:**

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**DRAFT  
PACKAGE**

**Covenant**  
HEALTH  
**MOB Harding Valley**  
10611 Hardin Valley Road  
Knoxville, TN

**Date:** 03/22/24

**Revised:** 03/25/24-KEH

**Designer:** KEH

**File Name:** Loc 10\_ICL.ai

File Folder:  
C:\Covenant Health\Hardin Valley  
MOB\Shop Drawings\Exterior

**Project Manager:** CSR

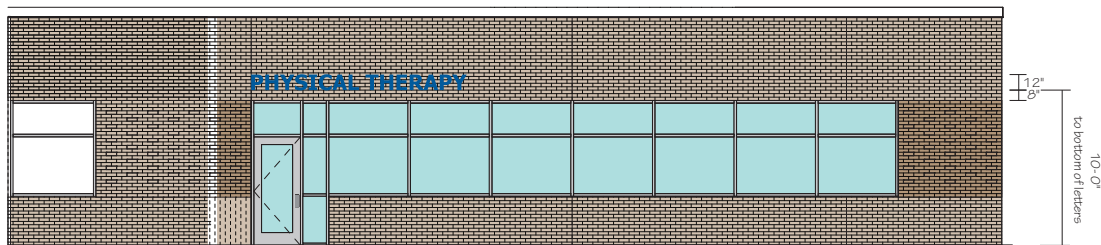
**Locations: 10**

Channel Letters  
Exterior Signage  
Layouts

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**East Elevation View - A301**

Scale: 1/8" = 1' - 0"



- |  |   |   |
|--|---|---|
| <input checked="" type="checkbox"/> BUILDING PERMIT - NEW CONSTRUCTION | <input type="checkbox"/> REZONING           | <input checked="" type="checkbox"/> ADMINISTRATIVE REVIEW |
| <input type="checkbox"/> BUILDING PERMIT - EXPANSION OR RENOVATION     | <input checked="" type="checkbox"/> SIGNAGE | <input checked="" type="checkbox"/> BOARD REVIEW          |
| <input type="checkbox"/> BUILDING PERMIT - GRADING PLAN                | <input type="checkbox"/> ZONING VARIANCE    |   |

SARAH PEACOCK

**PUBLISHED APPLICANT NAME** - *no individuals on behalf of -*

03/25/2024	05/06/2024	5-A-24-TOB
<b>DATE FILED</b>	<b>MEETING DATE (IF APPLICABLE)</b>	<b>FILE NUMBER</b>

### CORRESPONDENCE

*Correspondence related to this application will be directed to the contact listed below.*

- APPLICANT    OWNER    OPTION HOLDER    SURVEYOR    ENGINEER    ARCHITECT/LANDSCAPE ARCHITECT    ATTORNEY

SARAH PEACOCK	BARBERMCMURRY ARCHITECTS		
<b>NAME</b>	<b>COMPANY</b>		
505 MARKET ST, SUITE 300	KNOXVILLE	TN	37902
<b>ADDRESS</b>	<b>CITY</b>	<b>STATE</b>	<b>ZIP</b>
865-934-1915 ext 221	speacock@bma1915.com		
<b>PHONE</b>	<b>EMAIL</b>		

### CURRENT PROPERTY INFO

- MULTIPLE OWNERS / OPTION HOLDERS    PART OF PARCEL

FORTRESS CORPORATION	280 FORT SANDERS WEST BLVD	865-531-7219
<b>OWNER NAME - if different -</b>	<b>OWNER ADDRESS</b>	<b>OWNER PHONE/EMAIL</b>
0 HARDIN VALLEY RD		
<b>PROPERTY ADDRESS</b>		
104 00105	N	2.77 ACRES
<b>PARCEL ID(S)</b>	<b>PART OF PARCEL? (Y/N)</b>	<b>TRACT SIZE</b>

### STAFF USE ONLY

North side of Hardin Valley Rd, west side of Cherahala Rd	<input type="checkbox"/> CITY <input checked="" type="checkbox"/> COUNTY
	6
<b>GENERAL LOCATION</b>	<b>DISTRICT</b>
OB/TO	Office
<b>ZONING</b>	<b>SECTOR PLAN LAND USE CLASSIFICATION</b>
Northwest County	Agriculture/forestry/vacant
<b>PLANNING SECTOR</b>	<b>EXISTING LAND USE</b>

## REQUEST

### BUILDING PERMIT

- NEW CONSTRUCTION  
 EXPANSION OR RENOVATION  
 GRADING PLAN

- REZONING  
 SIGNAGE  
 ZONING VARIANCE

### PLAN MATERIALS:

- DEVELOPMENT PLAN  
 BUILDING ELEVATIONS  
 FLOOR PLAN  
 LANDSCAPE PLAN  
 SIGNAGE PLAN  
 OFF-STREET PARKING

OTHER:  
 LIGHTING PLAN

WAIVERS OR VARIANCES REQUESTED?  YES  NO

ADMINISTRATIVE REVIEW:  LIGHTING  LANDSCAPING PLAN

## RENOVATION OR EXPANSION

SUMMARY OF WORK TO BE PERFORMED:

## ZONING VARIANCE

SUMMARY OF ZONING VARIANCE REQUEST:

## REZONING

REZONE FROM: \_\_\_\_\_

TO: \_\_\_\_\_

SECTOR PLAN AMENDMENT FROM: \_\_\_\_\_

TO: \_\_\_\_\_

## SIGNAGE

- |   |  |  |
|---|--|--|
| <input checked="" type="checkbox"/> YARD SIGN<br>AREA: <u>100 SF</u><br>HEIGHT: <u>6 FT</u><br>FINISH: <u>MAT</u> | <input checked="" type="checkbox"/> BUILDING SIGN<br>AREA: <u>100 SF</u><br>HEIGHT: <u>4.5FT</u><br>FINISH: <u>MAT</u> | <input type="checkbox"/> OTHER SIGN<br>AREA: _____<br>HEIGHT: _____<br>TYPE: _____ |
|---|--|--|

## STAFF USE ONLY

- TTCDA Checklist  
 Property Owners/Option Holders

CODE	CODE	TOTAL
FEE	FEE	\$450
+	+	

## AUTHORIZATION

*By signing below You certify that you are the property owner and/or authorized representative.*

Danny Edsell | Covenant Health | 3-25-2024

APPLICATION AUTHORIZED BY | AFFILIATION | DATE

865-531-5797 | dedsell@covhlth.com

PHONE NUMBER | EMAIL



Shelley Gray | 03/25/2024

STAFF SIGNATURE | PRINT NAME | DATE PAID