

Report of Staff Recommendation

Administrative Review

File No.: 5-A-24-TOA

Applicant: CHRIS MORRIS DKLEVY PLLC

Request: BUILDING PERMIT

Meeting Date: 5/6/2024

Address: 1003 Chelsesa Place Way

Map/Parcel Number: 131 069

Location: East side of Lovell Rd, north side of Cornerstone Dr

Existing Zoning: OB (Office, Medical, and Related Services), TO (Technology Overlay)

Proposed Zoning: N/A

Existing Land Use: Apt complex (under construction)

Proposed Land Use: Multifamily development

Appx. Size of Tract: 19.1 acres

Accessibility: Access is via Cornerstone Dr, a local road with a 40 ft pavement width within a 60 ft right-of-way.

Surrounding Zoning and Land Uses: North: A (Agriculture), RA (Low Density Residential), TO (Technology Overlay) - Single family residential, Agriculture/forestry/vacant land

South: CB (Business and Manufacturing), TO (Technology Overlay) - Office

East: BP (Business & Technology Park), OB (Office, Medical, and Related Services), TO (Technology Overlay) - Office, Multifamily residential

West: OB (Office, Medical, & Related Services), A (Agricultural), TO (Technology Overlay) - Single family Residential, Agriculture/forestry/vacant land

Comments: PURSUANT TO ARTICLE V, SECTION 2 OF THE TTCDA ADMINISTRATIVE RULES AND PROCEDURES, THE TTCDA STAFF MAY REVIEW AND APPROVE MINOR CHANGES TO PREVIOUSLY APPROVED APPLICATIONS FOR CERTIFICATES OF APPROPRIATENESS FOR BUILDING, GRADING, AND SIGN PERMITS, CONSISTENT WITH THE FOLLOWING REQUIREMENTS:

A. Conformity of the proposal with the Tennessee Technology Corridor Design Guidelines.

a. The applicant is requesting to revise the previously approved plans for a 318 unit multifamily development on Lovell Rd and Cornerstone Dr (12-B-22-TOB/12-B-22-UR). The original approval received a waiver to increase the floor area ratio (FAR) from 30% to 54% and this approval still stands. This will be the second administrative approval. The first administrative approval was granted for revised building plans, site plan, and landscaping (7-C-23-TOA). These revisions were minor exterior adjustments and did not require a new development plan because the site plan remained the same. The development is distributed between 8 (3-story) multi-family buildings, 1 (3/4 split level) multi-family building, 6 (3 story) townhome buildings, one community building, a courtyard area and two 14-space garages.

1. The previous plans did not show any amenities in the courtyard. These revisions included a 14 ft pavilion, a patio with a grill and fire pit, and a hammock area for the east courtyard.

2. The community building has a new floor plan to include more office spaces. The façade of the community building increased the amount of brick to wrap so it wrapped around the entire first floor.

3. The brick veneer was reduced at the gables on the garages.

4. The maintenance building and car wash will have brick veneer but will be mostly hardie lap grey siding with a 4 inch reveal, which matches the multifamily buildings.

5. For the townhome buildings, a sprinkler room was added to the end of the building. The main level balcony on the back of the townhomes was removed and patios on the main entry side were added. The front elevation window sizes were reduced and the front roof bump ups extended over to the gables.

6. There are minimal brick veneer reductions on multifamily buildings A, B, C, and D.

B. Conformity of the proposal with the Knoxville-Knox County Minimum Subdivision Regulations and either the Knoxville Zoning Ordinance, or the Knox County Zoning Ordinance, as appropriate.

a. The proposed change complies with the requirements of the Knox County Zoning Ordinance for approval of minor changes in the TO zone (Article 5.90.11).

b. The applicant does not wish to replat the property, so the Subdivision Regulations are not applicable.

C. Effect of the proposal on the subject property, surrounding property and the community as a whole.

a. This area has developed with a range of office and residential uses, so the multifamily development is consistent with development nearby including the adjacent multifamily development on Murdock Dr.

D. Consistency of the proposal with the requirements of city or county departments, as appropriate.

a. Knox County has no comments on this proposal.

**Design Guideline
Conformity:**

This request is in compliance with the TTCCA Design Guidelines.

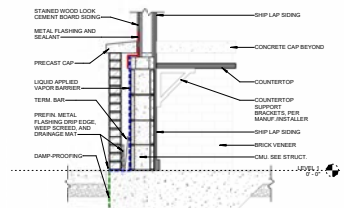
**Waivers and Variances
Requested:**

N/A

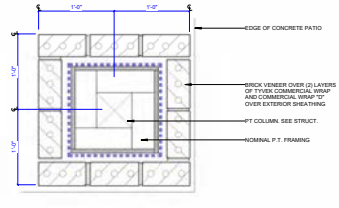
Staff Recommendation:

Application approved April 18, 2024, pursuant to Article VIII, Section 7 of the Administrative Rules and Procedures of the Tennessee Technology Corridor Development Authority (Staff Review and Approval of Minor Changes to Previously Approved Applications), for a Certificate of Appropriateness subject to the following conditions:

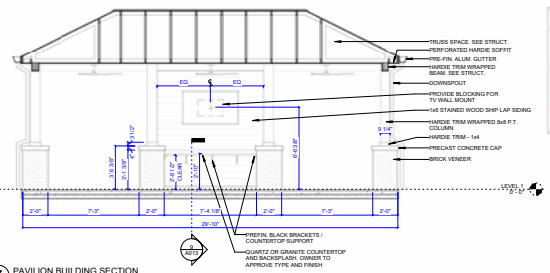
1) Meeting all relevant requirements of the Knoxville Zoning Ordinance, as appropriate.



9 PAVILION DETAIL SECTION
3/4" = 1'-0"



8 PAVILION BRICK COLUMN DETAIL
1 1/2\"/>

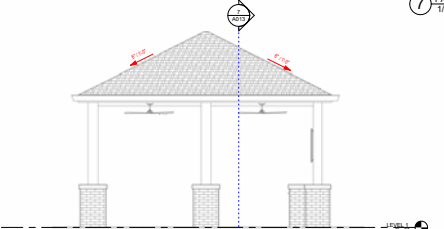


7 PAVILION BUILDING SECTION
1/4\"/>

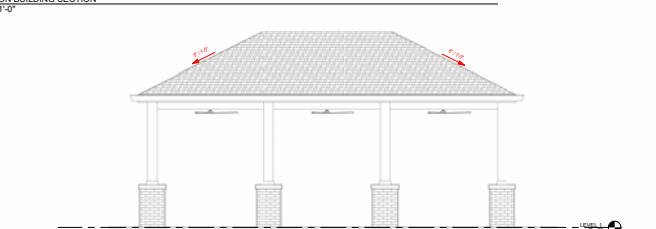
WALL RATING LEGEND

- INDICATES NON RATED PARTITION
- INDICATES NON RATED SOUND PARTITION
- INDICATES 1 HR RATED FIRE PARTITION
- INDICATES 1 HR FIRE RATED UNIT SEPARATION WALL

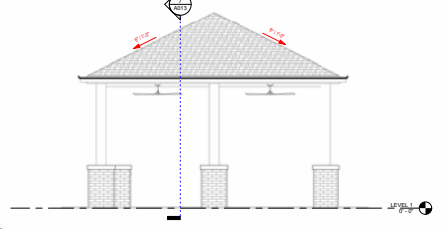
NOTE: SEE WALL TYPES AND UR ASSEMBLIES



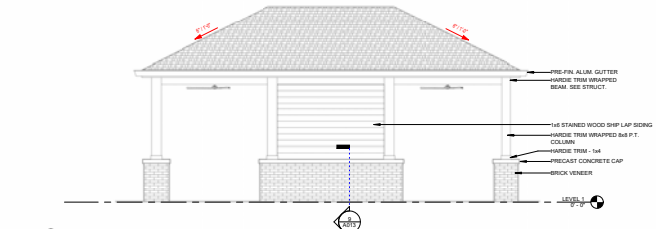
6 PAVILION ELEVATION
1/4\"/>



4 PAVILION ELEVATION
1/4\"/>

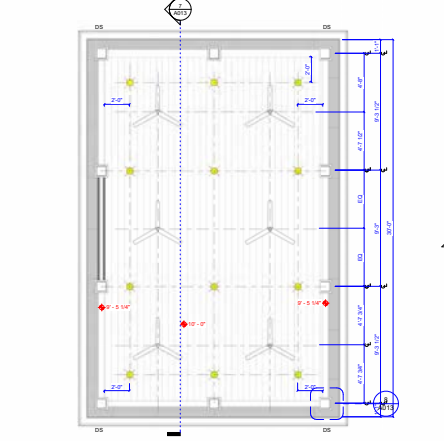


5 PAVILION ELEVATION
1/4\"/>

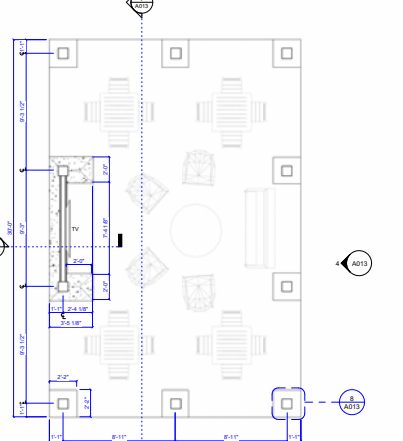


3 PAVILION ELEVATION
1/4\"/>

NOTE: GC TO PROVIDE AL TRIMME FREE REPAIRING PRECAST CONCRETE CAP WITH BRICK CAP.

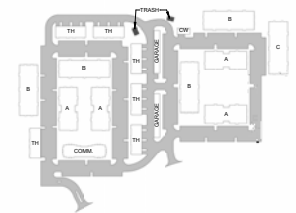


2 PAVILION CEILING PLAN
1/4\"/>



1 PAVILION FLOOR PLAN
1/4\"/>

APPROVED BY
TENNESSEE TECHNOLOGY CORRIDOR
DEVELOPMENT AUTHORITY
Meeting Date: 4/18/2024



KEY PLAN - TRASH
1\"/>

DKLEVY
architecture + design
3523 Maloney Rd., Knoxville, TN 37920
p. 865.474.9264 www.dklevy.com

NOT FOR CONSTRUCTION
10.24.2022

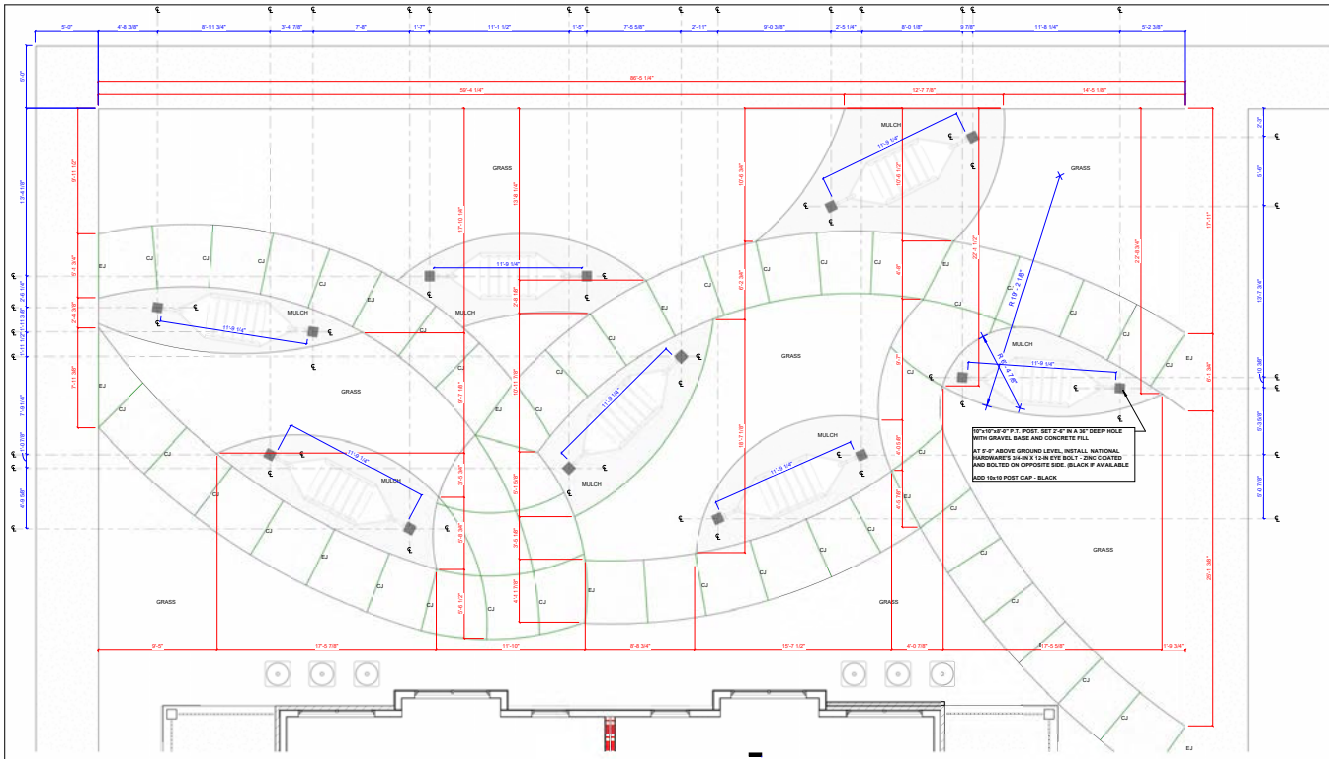
CORNERSTONE MULTI-FAMILY

12-B-22-UR / 12-B-22-TOB

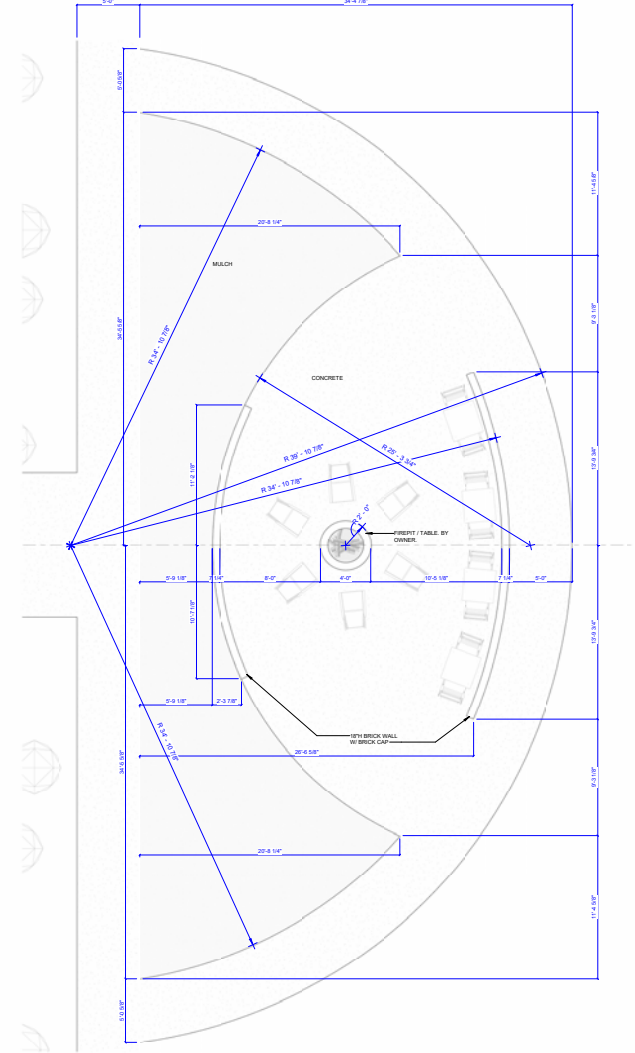
REVISIONS			22151	CORNERSTONE MULTI-FAMILY
NO	DESCRIPTION	DATE	ISSUE DATE	10.24.2022
			CLIENT	DOMINION DEVELOPMENT GROUP
			ADDRESS	Cornerstone Dr. Knoxville, TN 37932
			SCALE	As Indicated

A013
PAVILION

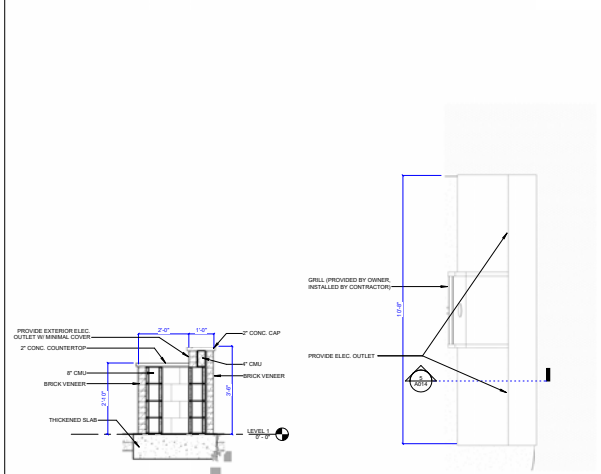
APPROVED BY
 TENNESSEE TECHNOLOGY CORRIDOR
 DEVELOPMENT AUTHORITY
 Meeting Date: 4/18/2024



3 HAMMOCK FOREST
 1/4" = 1'-0"

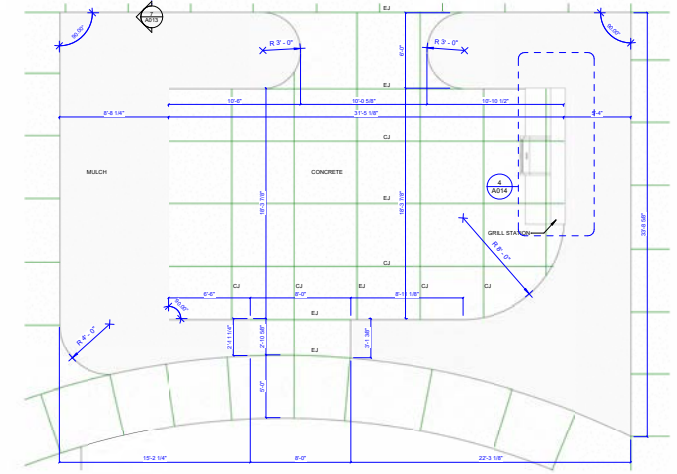


2 FIRE PIT AREA
 1/4" = 1'-0"



5 GRILL STATION SECTION
 1/2" = 1'-0"

4 GRILL STATION PLAN
 1/2" = 1'-0"



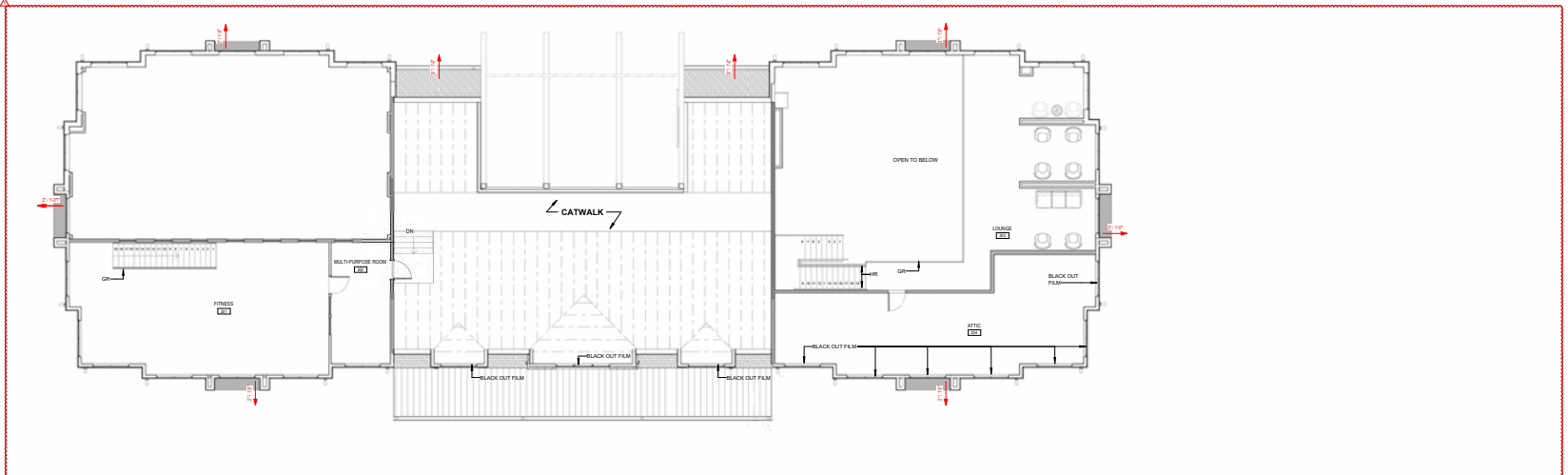
1 GRILL AREA
 1/4" = 1'-0"

REVISIONS			22151 CORNERSTONE MULTI-FAMILY	
NO	DESCRIPTION	DATE	ISSUE DATE	10.24.2022

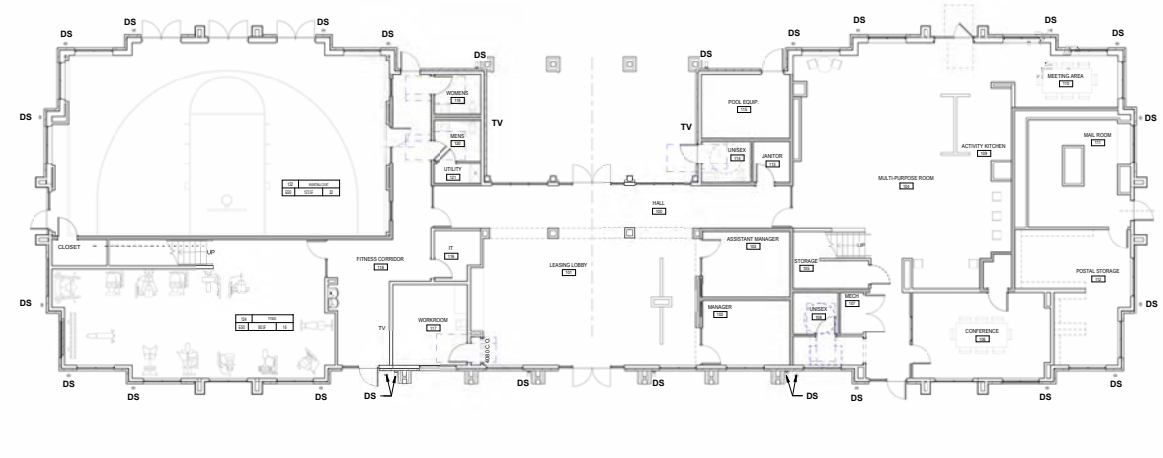
CLIENT	DOMINION DEVELOPMENT GROUP
ADDRESS	Cornerstone Dr. Knoxville, TN 37932
SCALE	As Indicated

A014
 LANDSCAPING

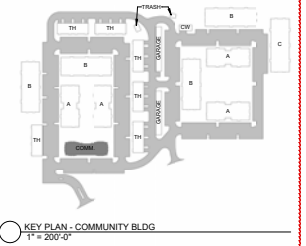
APPROVED BY
 TENNESSEE TECHNOLOGY CORRIDOR
 DEVELOPMENT AUTHORITY
 Meeting Date: 4/18/2024



② ANNOTATION PLAN - COMMUNITY BUILDING - LEVEL 2
 1/8" = 1'-0"



① FLOOR PLAN - COMMUNITY BUILDING
 1/8" = 1'-0"



○ KEY PLAN - COMMUNITY BLDG
 1" = 200'-0"

DKLEVY
 architecture + design
 3523 Maloney Rd., Knoxville, TN 37920
 p. 865.474.9264 www.dklevy.com

NOT FOR CONSTRUCTION
 10.24.2022

CORNERSTONE MULTI-FAMILY
 12-B-22-UR / 12-B-22-TOB

REVISIONS			22151 CORNERSTONE MULTI-FAMILY	
NO	DESCRIPTION	DATE	ISSUE DATE	10.24.2022
1	REVISED SUBMISSION	3/20/24	CLIENT	DOMINION DEVELOPMENT GROUP
			ADDRESS	Cornerstone Dr. Knoxville, TN 37932
			SCALE	As Indicated
				A099
				COMMUNITY BUILDING - ANNOTATION PLANS

APPROVED BY
 TENNESSEE TECHNOLOGY CORRIDOR
 DEVELOPMENT AUTHORITY
 Meeting Date: 4/18/2024



④ BUILDING ELEVATION - COMMUNITY BUILDING - SIDE ELEVATION
 1/8" = 1'-0"



③ BUILDING ELEVATION - COMMUNITY BUILDING - REAR
 1/8" = 1'-0"



② BUILDING ELEVATION - COMMUNITY BUILDING - SIDE ELEVATION
 1/8" = 1'-0"



① BUILDING ELEVATION - COMMUNITY BUILDING - FRONT
 1/8" = 1'-0"

DKLEVY
 architecture + design
 3523 Maloney Rd., Knoxville, TN 37920
 p. 865.474.9264 www.dklevy.com

NOT FOR CONSTRUCTION
 10.24.2022

CORNERSTONE MULTI-FAMILY

12-B-22-UR / 12-B-22-TOB

REVISIONS			22151 CORNERSTONE MULTI-FAMILY	
NO	DESCRIPTION	DATE	ISSUE DATE	10.24.2022
1	RESPONSE TO COMMENTS 1	11/16/22	CLIENT	DOMINION DEVELOPMENT GROUP
2	REVISED SUBMISSION	3/20/24	ADDRESS	Cornerstone Dr. Knoxville, TN 37932
			SCALE	1/8" = 1'-0"

A104

COMMUNITY BUILDING - ELEVATIONS



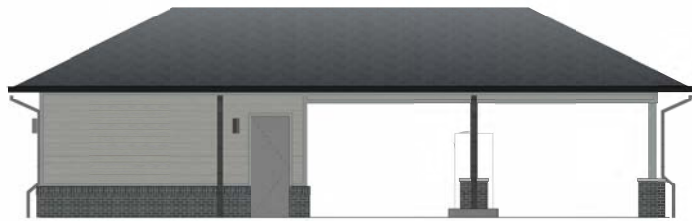
3 BUILDING ELEVATION - CARWASH - SIDE ELEVATION
1/4" = 1'-0"



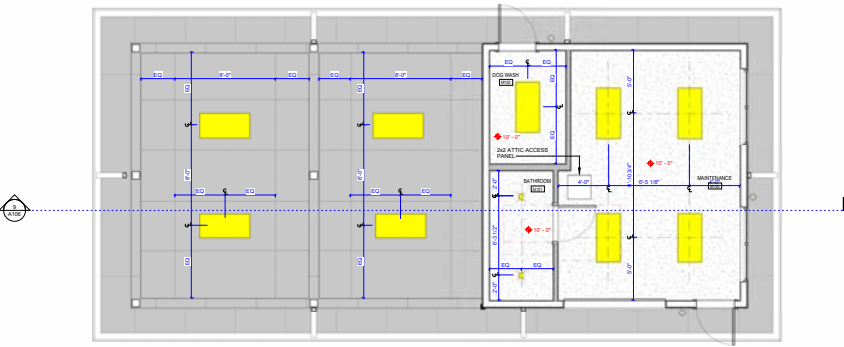
5 BUILDING ELEVATION - CARWASH - SIDE ELEVATION
1/4" = 1'-0"



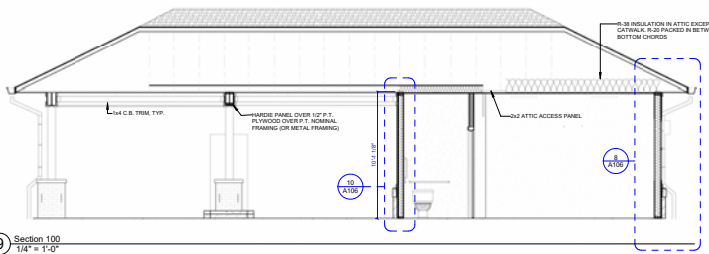
4 BUILDING ELEVATION - CARWASH - FRONT
1/4" = 1'-0"



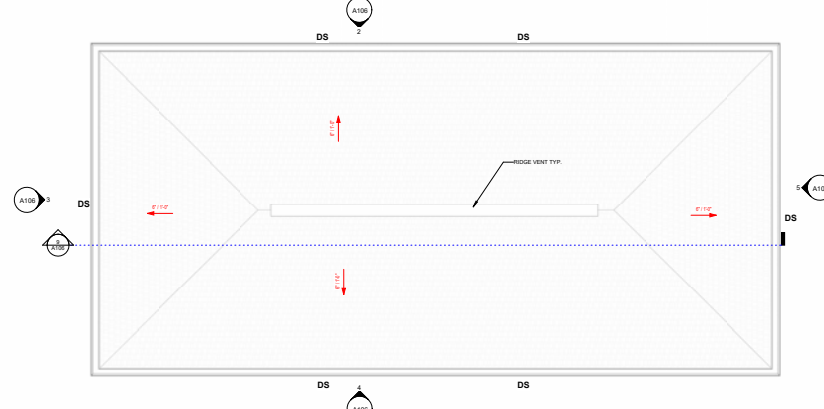
2 BUILDING ELEVATION - CARWASH - REAR
1/4" = 1'-0"



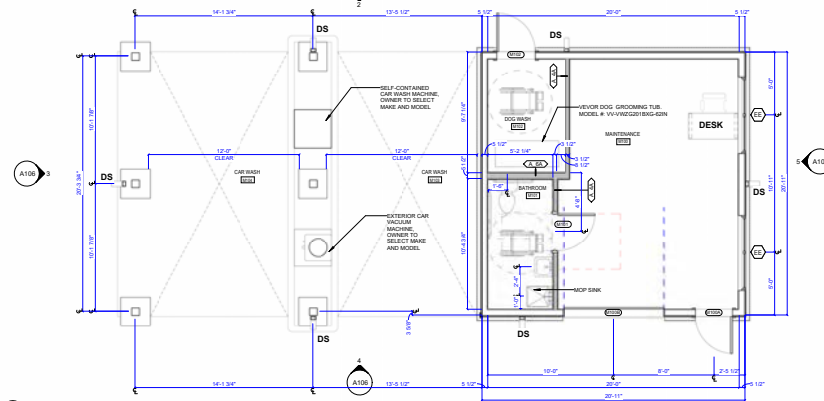
6 RCP - CARWASH
1/4" = 1'-0"



9 Section 100
1/4" = 1'-0"



7 CARWASH ROOF PLAN
1/4" = 1'-0"



1 CARWASH FLOOR PLAN
1/4" = 1'-0"

ROOF MATERIALS LEGEND

- 1 ICE/WATER SHIELD VALLEY FLASHING
- 2 ASPHALT SHINGLES
- 3 6" X 1" STYLE C ALUMINUM GUTTERS
- 4 2" D ALUMINUM DOWNSPOUTS

EXTERIOR MATERIALS LEGEND

- BOARD AND BATTEN FIBER CEMENT SIDING (SHED)
- BASE OF DESIGN: JAMES HARDIE PANEL AND BATTEN SIDING
- HARDE LAF SIDING (GREY) 1/4" REVEAL
- BASE OF DESIGN: JAMES HARDIE LAF SIDING
- BRICK VENEER
- HARDE PANEL REVEAL EDGE (7/16" IN OR SIMILAR)

NOTE: ALL FINISHES AND COLORS TO BE VERIFIED WITH OWNER

WALL RATING LEGEND

- INDICATES NON RATED PARTITION
- INDICATES NON RATED SOUND PARTITION
- INDICATES 1 HR RATED FIRE PARTITION
- INDICATES 1 HR FIRE RATED UNIT SEPARATION WALL

NOTE: SEE WALL TYPES AND UL ASSEMBLIES

REFLECTED CEILING PLAN LEGEND

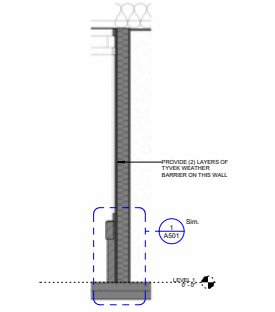
CEILING CONSTRUCTION

- PART OF 1 HR UL RATED ASSEMBLY
- 1/2" F.R. GIBS ON 12" RESILIENT CHANNELS
- SOFFITS - 1/4" HARDE SOFFIT
- 1/4" FLAT STOCK TRIM
- 2X4 ACOUSTIC TILE DROP CEILING
- 2X4 ACOUSTIC TILE DROP CEILING
- TONGUE & GROOVE WOOD CEILING

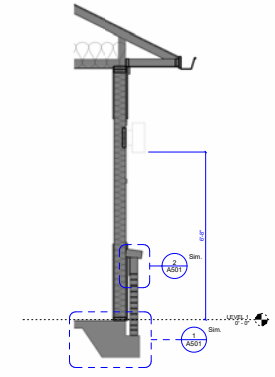
SEE ELECTRICAL DRAWINGS FOR SCHEDULES

LIGHTING FIXTURES

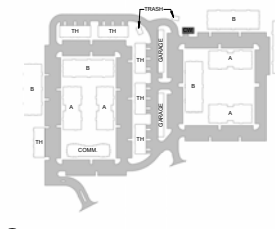
- SURFACE MOUNTED / RECESSED CAN LIGHT
- RECESSED TROFFER
- DECORATIVE PENDANT
- UNDER CABINET LIGHTING
- SAFETY LIGHT BOTTOM OF SOUNDE AT 8' AFF MIN.
- EXTERIOR WALL SOUNDE
- INTERIOR WALL SOUNDE BOTTOM OF SOUNDE AT 8' AFF
- CEILING FAN W/ LIGHT



10 CARWASH WALL SECTION 2
1/2" = 1'-0"



8 CARWASH WALL SECTION 1
1/2" = 1'-0"



KEY PLAN - CAR WASH
1" = 200'-0"

DKLEVY
architecture + design
3523 Maloney Rd., Knoxville, TN 37920
p. 865.474.9264 www.dklevy.com

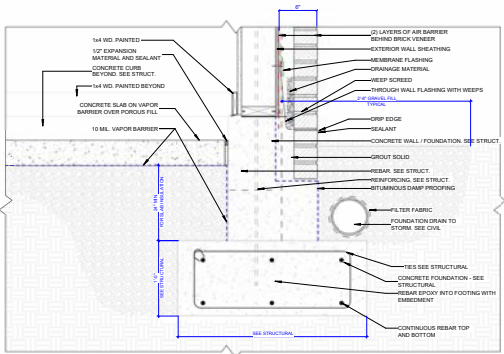
NOT FOR CONSTRUCTION
10.24.2022

CORNERSTONE MULTI-FAMILY

12-B-22-UR / 12-B-22-TOB

REVISIONS			22151		CORNERSTONE MULTI-FAMILY	
NO	DESCRIPTION	DATE	ISSUE DATE	10.24.2022		
1	REVISED SUBMISSION	3/20/24	CLIENT	DOMINION DEVELOPMENT GROUP		
			ADDRESS	Cornerstone Dr. Knoxville, TN 37922		
			SCALE	As Indicated		

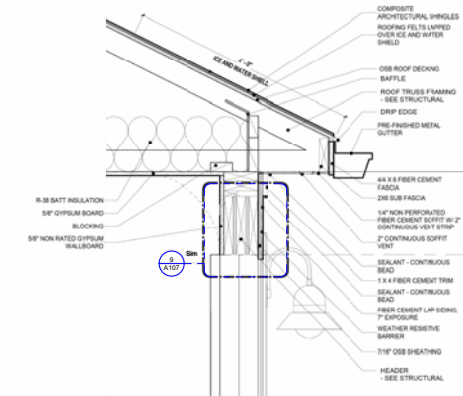
A106
CAR WASH - PLANS AND ELEVATIONS



12 GARAGE RETAINING WALL DETAIL
1 1/2" = 1'-0"

NOTE: THE RCN INCHES OF VENTILATION REQUIRED, SEE 90 INCHES OF VENTILATION RECOMMENDED PROVIDE MINIMUM ALLOWED VENTILATION THROUGH BOTH SOFFITS AND RIDGE VENTS.

NOTES TO BE USED: 1' X 4" 10" W/ 3" RCN CONCRETE TYPICAL.



11 GARAGE TYPICAL WALL SECTION
1 1/2" = 1'-0"

10 DOOR JAMB DETAIL AT OVERHEAD DOOR
1 1/2" = 1'-0"

9 DOOR HEAD DETAIL AT OVERHEAD DOOR
1 1/2" = 1'-0"

8 EXTERIOR ELEVATION - PLAN EAST
1/8" = 1'-0"

7 EXTERIOR ELEVATION - PLAN WEST
1/8" = 1'-0"

DKLEVY
architecture + design
3523 Maloney Rd., Knoxville, TN 37920
p. 865.474.9264 www.dklevy.com

NOT FOR CONSTRUCTION
10.24.2022

APPROVED BY
TENNESSEE TECHNOLOGY CORRIDOR
DEVELOPMENT AUTHORITY
Meeting Date: 4/18/2024

CORNERSTONE MULTI-FAMILY

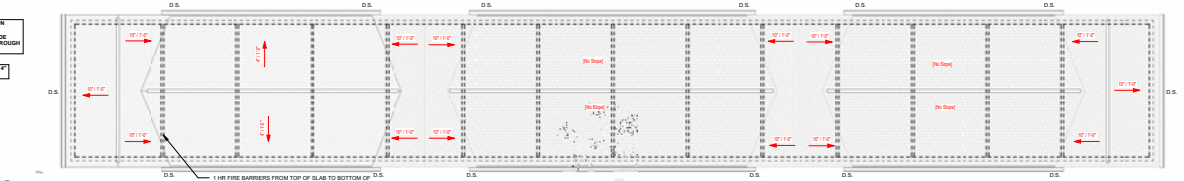
12-B-22-UR / 12-B-22-TOB



6 EXTERIOR ELEVATION - FRONT
1/8" = 1'-0"



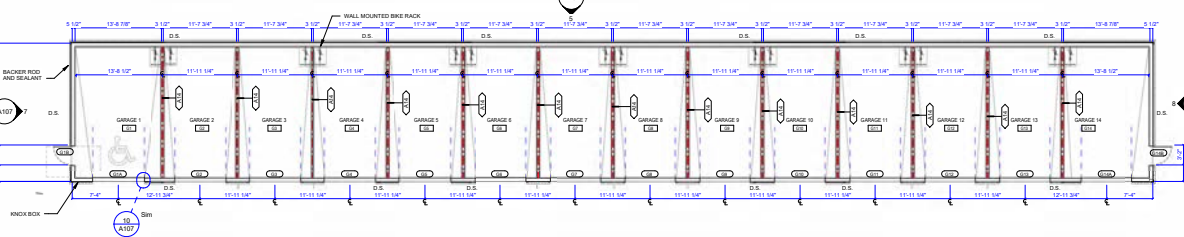
5 EXTERIOR ELEVATION - REAR
1/8" = 1'-0"



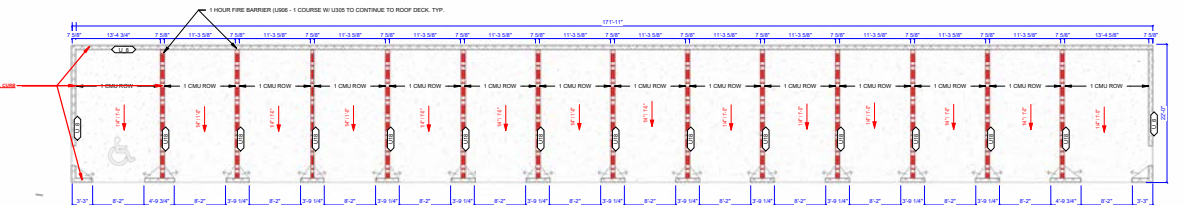
4 GARAGE ROOF PLAN
1/8" = 1'-0"



3 RCP - GARAGE
1/8" = 1'-0"



2 GARAGE FLOOR PLAN
1/8" = 1'-0"



1 GARAGE - SLAB EDGE PLAN
1/8" = 1'-0"

WALL RATING LEGEND

[Symbol]	INDICATES NON RATED PARTITION
[Symbol]	INDICATES NON RATED SOUND PARTITION
[Symbol]	INDICATES 1 HR FIRE RATED FIRE PARTITION
[Symbol]	INDICATES 1 HR FIRE RATED UNIT SPARTITION BY OWNER
[Symbol]	INDICATES 1 HR FIRE RATED UNIT SPARTITION BY ARCHITECT

NOTE: SEE WALL TYPES AND LI ASSEMBLIES

- FLOOR PLAN NOTES**
- ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE. CLEAR OUTLINE DENOTES CLEAR BETWEEN FINISH WALLS.
 - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. ALL PARTITION LOCATIONS, DIMENSIONS & TYPES, DOOR & WINDOW LOCATIONS SHALL BE AS SHOWN ON PARTITION PLAN IN CASE OF CONFLICT NOTIFY ARCHITECT. PARTITION PLAN BY ARCHITECT SUPERSEDES OTHER PLANS.
 - MAINTAIN A HEIGHT OF 8' PARTITION RATINGS WHERE RECESSED EQUIPMENT OR FIXTURES ARE TO BE PLACED.
 - PROVIDE AND INSTALL INSULATION FULL HEIGHT OF ALL INTERIOR AND EXTERIOR WALLS.
 - CONTRACTOR SHALL MARK LOCATIONS OF PARTITIONS AND DOORS ON FLOOR WITH PARTICULATE FOR REVIEW BY OWNER AND ARCHITECT PRIOR TO THE INSTALLATION OF STUD SOLE PLATE. REVIEW WILL BE FOR DESIGN INTENT ONLY. CONTRACTOR SHALL COORDINATE AND VERIFY ALL LOCATIONS TO ENSURE PROPER FIT.
 - PROVIDE AND INSTALL MOISTURE RESISTANT TOPPING ON ALL WALLS AND CEILING IN BATHS, RESTROOMS, JANITOR CLOSETS, AND FOR FULL HEIGHT OF ALL CABINET WALLS WHERE SINKS ARE LOCATED.
 - GOURNALL PROVIDE IN-WALL BLOCKING FOR ALL MILLWORK OVERHEAD UNITS. COORDINATE WITH INSTALLER FOR REQUIRED SIZE AND TYPE.
 - ALL WOOD IN CONTACT WITH W/ CONCRETE OR MASONRY SHALL BE PRESURE TREATED.
 - APPLIANCES AND KITCHEN FINISHES SELECTED BY OWNER (TYP) COORDINATE CABINETS WITH APPLIANCES AND CLEARANCES.
 - ALL EXTERIOR PATIOS AT SHALL SLOPE 1/4"12 AWAY FROM EXTERIOR WALLS.
 - INSTALL BLOCKING AT 80" AFF. AT ALL TV LOCATIONS (TYP).
 - COMMUNITY BUILDING FINISHES TO BE SELECTED BY OWNER.

EXTERIOR MATERIALS LEGEND

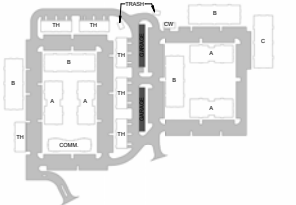
[Symbol]	BOARD AND BATTEN FIBER CEMENT SIDING (WHITE)
[Symbol]	BOARD DESIGN JAMES HARDIE PANELS (BATHS)
[Symbol]	BOARDS
[Symbol]	HARDE LAP SIDING (GREY) & ARCHITECTURAL BASE OF DESIGN (JAMES HARDIE LAP SIDING)
[Symbol]	BRICK VENEER
[Symbol]	HARDE PANEL REVUEL EDGE (TAMA-VIN OR SIMILAR)

NOTE: ALL FINISHES AND COLORS TO BE VERIFIED WITH OWNER

ROOF MATERIALS LEGEND

[Symbol]	ICEWATER SHIELD VALLEY FLASHING
[Symbol]	ASPHALT SHINGLES
[Symbol]	6" X 7 1/2" STYLE C ALUMINUM GUTTERS
[Symbol]	1/2" 6" ROUND ALUMINUM DOWNSPUTS

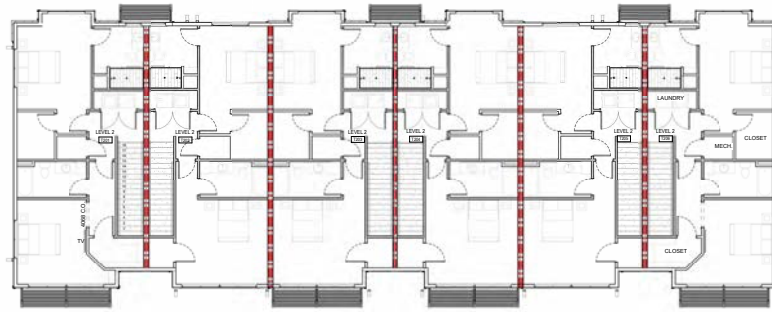
- GARAGE INFORMATION**
- OCCUPANCY GROUP - U
 - CONSTRUCTION TYPE: SB CONSTRUCTION
 - UNSPRINKLERED
 - 1 STORY BUILDING



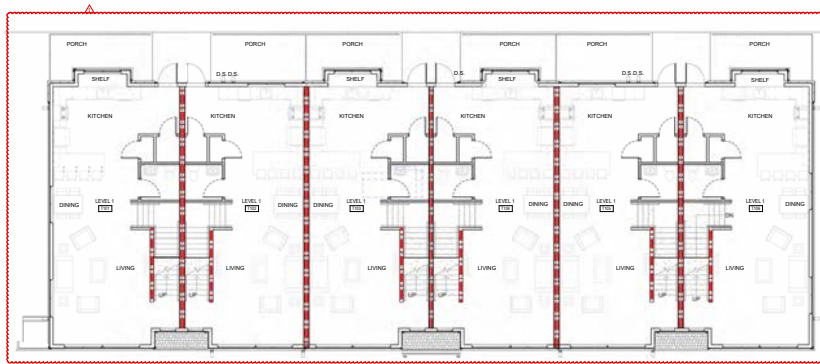
KEY PLAN - GARAGES
1" = 200'-0"

REVISIONS			22151 CORNERSTONE MULTI-FAMILY		
NO	DESCRIPTION	DATE	ISSUE DATE	CLIENT	10.24.2022
1	REVISED SUBMISSION	3/20/24	CLIENT	DOMINION DEVELOPMENT GROUP	
			ADDRESS	Cornerstone Dr. Knoxville, TN 37922	
			SCALE	As Indicated	

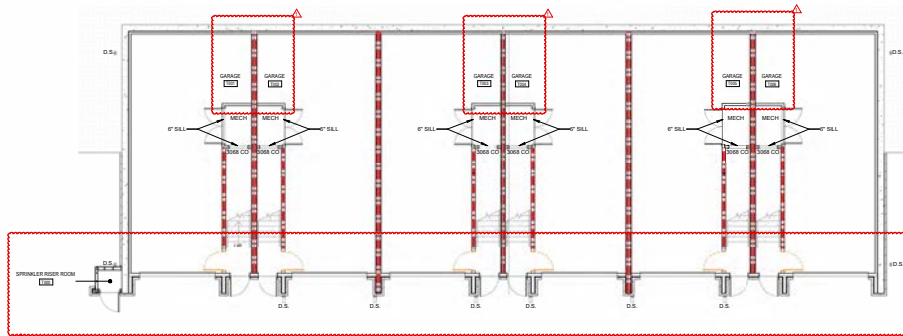
A107
GARAGE - PLANS AND ELEVATIONS



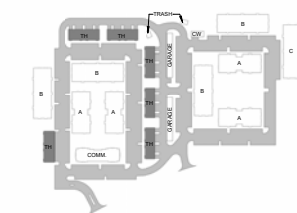
3 TOWNHOME SECOND LEVEL
1/8" = 1'-0"



2 TOWNHOME MAIN LEVEL
1/8" = 1'-0"



1 TOWNHOME GARAGE LEVEL
1/8" = 1'-0"



KEY PLAN - TOWNHOMES
1" = 200'-0"

APPROVED BY:
TENNESSEE TECHNOLOGY CORRIDOR
DEVELOPMENT AUTHORITY
Meeting Date: 4/18/2024

DKLEVY
architecture + design
3523 Maloney Rd., Knoxville, TN 37920
p. 865.474.9264 www.dklevy.com

NOT FOR CONSTRUCTION
10.24.2022

CORNERSTONE MULTI-FAMILY

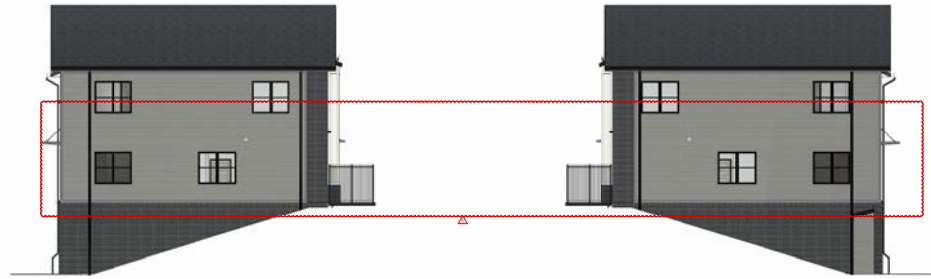
12-B-22-UR / 12-B-22-TOB

REVISIONS		
NO	DESCRIPTION	DATE
1	REVISED SUBMISSION	3/20/24

22151 CORNERSTONE MULTI-FAMILY	
ISSUE DATE	10.24.2022
CLIENT	DOMINION DEVELOPMENT GROUP
ADDRESS	Cornerstone Dr. Knoxville, TN 37932
SCALE	As Indicated

A121

TOWNHOUSE - ANNOTATION PLANS



④ TOWNHOUSE - SIDE ELEVATION 2
1/8" = 1'-0"

③ TOWNHOUSE - SIDE ELEVATION 1
1/8" = 1'-0"



② TOWNHOUSE - REAR ELEVATION
1/8" = 1'-0"



① TOWNHOUSE - FRONT ELEVATION
1/8" = 1'-0"

APPROVED BY
TENNESSEE TECHNOLOGY CORRIDOR
DEVELOPMENT AUTHORITY
Meeting Date: 4/18/2024

DKLEVY
architecture + design
3523 Maloney Rd., Knoxville, TN 37920
p. 865.474.9264 www.dklevy.com

NOT FOR CONSTRUCTION
10.24.2022

CORNERSTONE MULTI-FAMILY
12-B-22-UR / 12-B-22-TOB

REVISIONS			22151 CORNERSTONE MULTI-FAMILY	
NO	DESCRIPTION	DATE	ISSUE DATE	10.24.2022
1	REVISED SUBMISSION	3/20/24	CLIENT	DOMINION DEVELOPMENT GROUP
			ADDRESS	Cornerstone Dr. Knoxville, TN 37932
			SCALE	1/8" = 1'-0"
				A125
				TOWNHOUSE ELEVATIONS



5 BLDG A - ELEVATION 4
1/8" = 1'-0"



3 BLDG A - ELEVATION 2
1/8" = 1'-0"



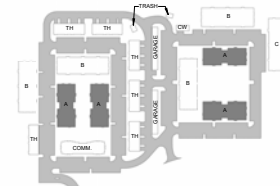
4 BLDG A - ELEVATION 3
1/8" = 1'-0"



2 BLDG A - ELEVATION 1
1/8" = 1'-0"



1 ANNOTATION PLAN - BUILDING "A" - LEVEL 1
1/8" = 1'-0"



KEY PLAN - BLDG A
1" = 200'-0"

APPROVED BY
TENNESSEE TECHNOLOGY CORRIDOR
DEVELOPMENT AUTHORITY
Meeting Date: 4/18/2024

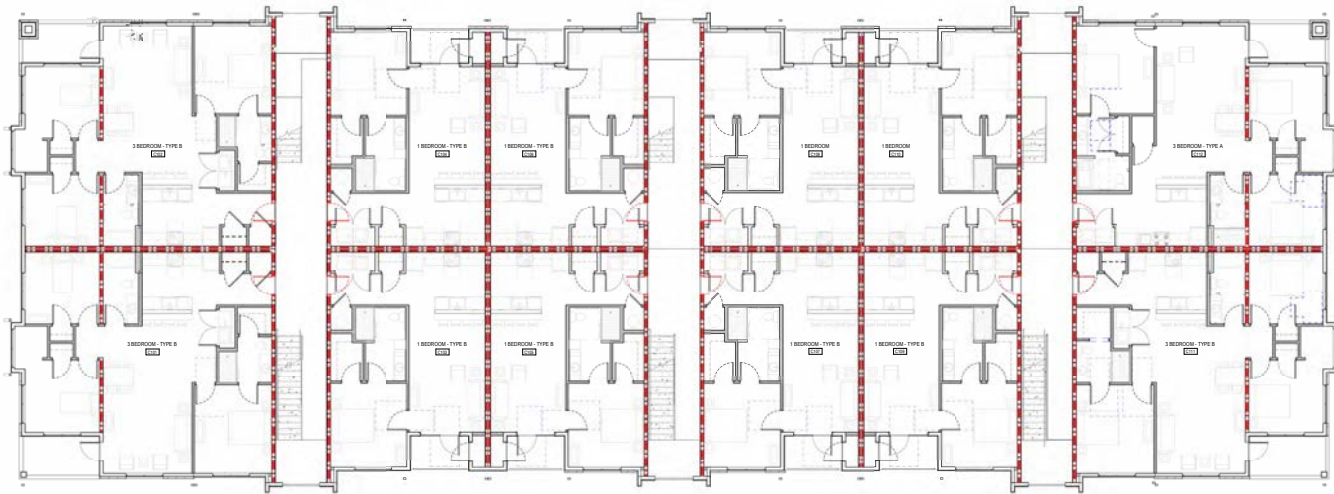
DKLEVY
architecture + design
3523 Maloney Rd., Knoxville, TN 37920
p. 865.474.9264 www.dklevy.com

NOT FOR CONSTRUCTION
10.24.2022

CORNERSTONE MULTI-FAMILY

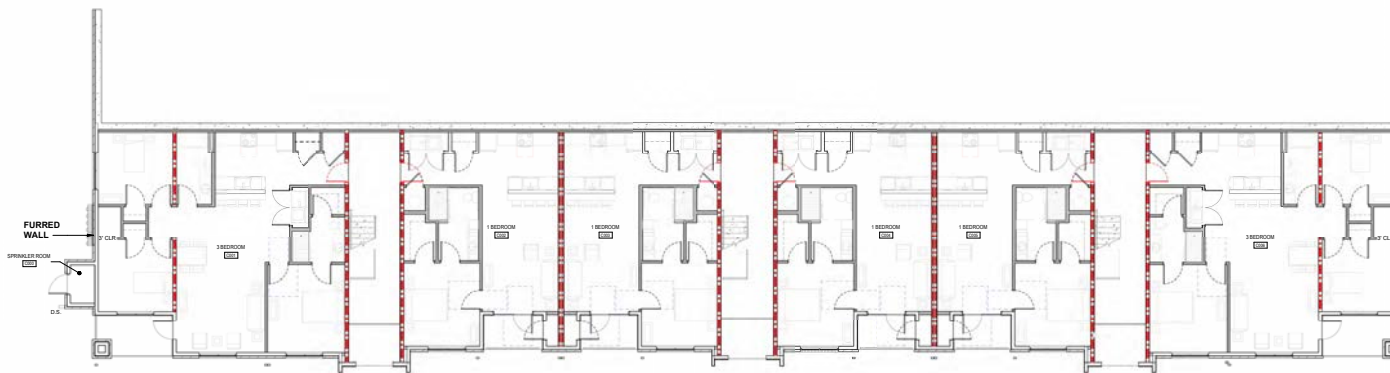
12-B-22-UR / 12-B-22-TOB

REVISIONS			22151 CORNERSTONE MULTI-FAMILY	
NO	DESCRIPTION	DATE	ISSUE DATE	10.24.2022
			CLIENT	DOMINION DEVELOPMENT GROUP
			ADDRESS	Cornerstone Dr. Knoxville, TN 37932
			SCALE	As Indicated
			A131	
			BUILDING "A" - LEVEL 1 DIMENSION AND ANNOTATION PLANS	

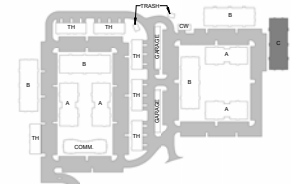


1 ANNOTATION PLAN - BUILDING "C" - LEVEL 1
1/8" = 1'-0"

APPROVED BY
 TENNESSEE TECHNOLOGY CORRIDOR
 DEVELOPMENT AUTHORITY
 Meeting Date: 4/18/2024



3 ANNOTATION PLAN - BUILDING "C" - LEVEL 0 (BELOW GRADE)
1/8" = 1'-0"



KEY PLAN - BLDG C
1" = 200'-0"

DKLEVY
 architecture + design
 3523 Maloney Rd., Knoxville, TN 37920
 p. 865.474.9264 www.dklevy.com

NOT FOR CONSTRUCTION
 10.24.2022

CORNERSTONE MULTI-FAMILY

12-B-22-UR / 12-B-22-TOB

REVISIONS			22151 CORNERSTONE MULTI-FAMILY	
NO	DESCRIPTION	DATE	ISSUE DATE	10.24.2022

CLIENT	DOMINION DEVELOPMENT GROUP
ADDRESS	Cornerstone Dr. Knoxville, TN 37932
SCALE	As Indicated
A151	
BUILDING "C" - LEVEL 0 DIMENSION AND ANNOTATION PLANS	

APPROVED BY
 TENNESSEE TECHNOLOGY CORRIDOR
 DEVELOPMENT AUTHORITY
 Meeting Date: 4/18/2024



2 BLDG C - ELEVATION 2
 1/8" = 1'-0"

3 BLDG C - ELEVATION 4
 1/8" = 1'-0"



4 BLDG C - ELEVATION 3
 1/8" = 1'-0"

1 BLDG C - ELEVATION 1
 1/8" = 1'-0"

DKLEVY
 architecture + design
 3523 Maloney Rd., Knoxville, TN 37920
 p. 865.474.9264 www.dklevy.com

NOT FOR CONSTRUCTION
 10.24.2022

CORNERSTONE MULTI-FAMILY

12-B-22-UR / 12-B-22-TOB

REVISIONS			22151 CORNERSTONE MULTI-FAMILY	
NO	DESCRIPTION	DATE	ISSUE DATE	10.24.2022

CLIENT	DOMINION DEVELOPMENT GROUP
ADDRESS	Cornerstone Dr. Knoxville, TN 37932
SCALE	1/8" = 1'-0"

A157
 BUILDING "C" EXTERIOR ELEVATIONS



- | | | |
|---|--|--|
| <input type="checkbox"/> BUILDING PERMIT - NEW CONSTRUCTION | <input type="checkbox"/> REZONING | <input type="checkbox"/> ADMINISTRATIVE REVIEW |
| <input checked="" type="checkbox"/> BUILDING PERMIT - EXPANSION OR RENOVATION | <input type="checkbox"/> SIGNAGE | <input type="checkbox"/> BOARD REVIEW |
| <input type="checkbox"/> BUILDING PERMIT - GRADING PLAN | <input type="checkbox"/> ZONING VARIANCE | |

Chris Morris

PUBLISHED APPLICANT NAME - no individuals on behalf of -

3/26/24	N/A (Administrative review)	5-A-24-TOA
DATE FILED	MEETING DATE (IF APPLICABLE)	FILE NUMBER

CORRESPONDENCE

Correspondence related to this application will be directed to the contact listed below.

- APPLICANT OWNER OPTION HOLDER SURVEYOR ENGINEER ARCHITECT/LANDSCAPE ARCHITECT ATTORNEY

Chris Morris	DKLEVY		
NAME	COMPANY		
3523 Maloney Road	Knoxville	TN	37920
ADDRESS	CITY	STATE	ZIP
865-474-9264	chris@dklevy.com		
PHONE	EMAIL		

CURRENT PROPERTY INFO

- MULTIPLE OWNERS / OPTION HOLDERS PART OF PARCEL

The Chelsea Cornerstone LLC	1003 Chelsea Place Way	
OWNER NAME - if different -	OWNER ADDRESS	OWNER PHONE/EMAIL
1003 Chelsesa Place Way		
PROPERTY ADDRESS		
131 069	N	19.1 acres
PARCEL ID(S)	PART OF PARCEL? (Y/N)	TRACT SIZE

STAFF USE ONLY

East side of Lovell Rd, north side of Cornerstone Dr	<input type="checkbox"/> CITY <input checked="" type="checkbox"/> COUNTY
GENERAL LOCATION	3rd
OB/TO	DISTRICT
O	
ZONING	SECTOR PLAN LAND USE CLASSIFICATION
Northwest County	Apt complex (under construction)
PLANNING SECTOR	EXISTING LAND USE

REQUEST

BUILDING PERMIT

- NEW CONSTRUCTION
 EXPANSION OR RENOVATION
 GRADING PLAN

- REZONING
 SIGNAGE
 ZONING VARIANCE

PLAN MATERIALS:

- DEVELOPMENT PLAN
 BUILDING ELEVATIONS
 FLOOR PLAN
 LANDSCAPE PLAN
 SIGNAGE PLAN
 OFF-STREET PARKING

OTHER:

WAIVERS OR VARIANCES REQUESTED? YES NO

ADMINISTRATIVE REVIEW: LIGHTING LANDSCAPING PLAN

RENOVATION OR EXPANSION

SUMMARY OF WORK TO BE PERFORMED:

Scope to include adding a 20'x30' pavilion in the Southeast Courtyard and minor updates to materials and floor plans

ZONING VARIANCE

SUMMARY OF ZONING VARIANCE REQUEST:

REZONING

REZONE FROM: _____

TO: _____

SECTOR PLAN AMENDMENT FROM: _____

TO: _____

SIGNAGE

- YARD SIGN BUILDING SIGN OTHER SIGN
- AREA: _____ AREA: _____ AREA: _____
- HEIGHT: _____ HEIGHT: _____ HEIGHT: _____
- FINISH: _____ FINISH: _____ TYPE: _____


STAFF USE ONLY

<input type="checkbox"/> TTCDA Checklist <input type="checkbox"/> Property Owners/Option Holders	CODE FEE 1106 / \$250	CODE FEE	TOTAL \$250.00
---	-----------------------------	-------------	-------------------

AUTHORIZATION

By signing below

You certify that you are the property owner and/or authorized representative.

Chris Morris	Arch	3/26/24
APPLICATION AUTHORIZED BY	AFFILIATION	DATE
865-474-9264	chris@dklevy.com	
PHONE NUMBER	EMAIL	
	Michelle Portier	3/26/2024 OI
STAFF SIGNATURE	PRINT NAME	DATE PAID