

Report of Staff Recommendation

Administrative Review

File No.: 6-A-24-TOA

Applicant: MIKE BRINEGAR BROOKSTONE PARTNERS

Request: BUILDING PERMIT

Meeting Date: 6/10/2024

Address: 2150 Gliding Hawk Ln.

Map/Parcel Number: 103 11502

Location: Northwest quadrant of the intersection of Valley Vista Rd and Carmichael Rd, east side of Gliding Hawk Dr

Existing Zoning: OB (Office, Medical, and Related Services), TO (Technology Overlay)

Proposed Zoning: N/A

Existing Land Use: Agriculture/forestry/vacant

Proposed Land Use: Multifamily development

Appx. Size of Tract: 39.24 acres

Accessibility: Access is via Gliding Hawk Ln, a local road off of Hardin Valley Road with a 25-ft pavement width inside a 56-ft wide right-of-way, and Valley Vista Road, a collector with a protected left turn lane and a 32-ft pavement width inside a 72-ft wide right-of-way.

Surrounding Zoning and Land Uses: North: PC (Planned Commercial), TO (Technology Overlay) - Commercial

South: OB (Office, Medical and Related Services), BP (Business and Technology Park, TO (Technology Overlay) - Multifamily, single family, and rural residential

East: OB (Office, Medical and Related Services), BP (Business and Technology Park), A (Agricultural), and TO (Technology Overlay) - Commercial, transportation/communication/utilities, and multifamily

West: OB (Office, Medical and Related Services), RA (Low Density Residential), A (Agricultural), TO (Technology Overlay) - Multifamily, single family residential, and agricultural/forestry/vacant land

Comments: The applicant is requesting to revise the previously approved plans for a 316 unit multifamily development Gliding Hawk Lane just south of Hardin Valley Road to Carmichael Road at Valley Vista Road (3-A-23-TOB). The original approval received a waiver to increase the maximum light levels on the road from 0.5 fc to 1.0 fc (Section 1.8.5.d) and this approval still stands. This is the first administrative approval. The development is distributed between 7 (3/4 split level) multifamily buildings, 4 (3-story) multi-family building, and 1 carriage house. There are many amenities throughout the property including a clubhouse, workout center, pool, bar pavilion, putting green, pickleball court, playground, sports lawn, dog park, and several fire pit rings.

PURSUANT TO ARTICLE V, SECTION 2 OF THE TTCDA ADMINISTRATIVE RULES AND PROCEDURES, THE TTCDA STAFF MAY REVIEW AND APPROVE MINOR CHANGES TO PREVIOUSLY APPROVED APPLICATIONS FOR CERTIFICATES OF APPROPRIATENESS FOR BUILDING, GRADING, AND SIGN PERMITS, CONSISTENT WITH THE FOLLOWING REQUIREMENTS:

A. Conformity of the proposal with the Tennessee Technology Corridor Design Guidelines.

1. The original approval was for 274 units at a density of 6.98 du/ac. The previous plans had 8 carriage houses. The proposed plan has one carriage house next to Building 11 and the pool and

clubhouse area. Buildings 2-5 have increased the number of units from 28 units to 42 units.

Relocated Building 8 from previous plan to Building 6 location on proposed plan. This plan has increased its number of units and is now 316 units at a density of 8.05 du/ac. The OB zone allows up to 12 du/ac by right and 12-24 du/ac as a use permitted on review.

2. The pervious area increased minimally by 0.13 acres with the increase in the number of units. The Ground Area coverage, Floor Area Ratio, and Impervious Area Ratio all remain nearly the same and within the recommended guidelines.

3. The number of large trees decreased from 202 trees to 121 trees and the medium trees increased from 179 to 181 trees. Combined there are 302 medium and large trees on the entire property. The minimum number of yard trees is 262 trees, which is based on 10 trees per acre of yard space (26.2 acres). There are 72 parking lot trees. The minimum number of parking lot trees is 52, which is based on 1 tree per 10 parking spaces (521 parking spaces). Despite the decrease in trees, the applicant is still meeting the minimum number of trees required.

4. The final change was relocating the dumpster from the Hardin Valley entrance to the interior of site near the dog park.

B. Conformity of the proposal with the Knoxville-Knox County Minimum Subdivision Regulations and either the Knoxville Zoning Ordinance, or the Knox County Zoning Ordinance, as appropriate.

1. The proposed change complies with the requirements of the Knox County Zoning Ordinance for approval of minor changes in the TO zone (Article 5.90.11).

2. The property was platted recently in 2023 and the applicant does not wish to replat the property, so the Subdivision Regulations are not applicable.

C. Effect of the proposal on the subject property, surrounding property and the community as a whole.

1. This area has developed with a range of office and residential uses. The multifamily development is consistent with the 3 abutting multifamily developments.

D. Consistency of the proposal with the requirements of city or county departments, as appropriate.

1. Knox County has no comments on this proposal.

**Design Guideline
Conformity:** This request is in compliance with the TTCDA Design Guidelines.

**Waivers and Variances
Requested:** N/A

Staff Recommendation:

Application approved June 6 , 2024, pursuant to Article VIII, Section 7 of the Administrative Rules and Procedures of the Tennessee Technology Corridor Development Authority (Staff Review and Approval of Minor Changes to Previously Approved Applications), for a Certificate of Appropriateness subject to the following conditions:

1) Meeting all relevant requirements of the Knoxville Zoning Ordinance, as appropriate.

UNIT MIX					
BLDG. NO.	BLDG. TYPE	UNIT TYPES			TOTAL UNITS
		1 BR UNITS	2 BR UNITS	3 BR UNITS	
1	3/4 STY	7	7	14	28
2	3/4 STY	28	7	7	42
3	3/4 STY	28	7	7	42
4	3/4 STY	28	7	7	42
5	3/4 STY	28	7	7	42
6	3 STY	0	12	0	12
7	3/4 STY	7	7	14	28
8	3 STY	0	12	0	12
9	3 STY	0	12	0	12
10	3 STY	0	12	0	12
11	3/4 STY	28	7	7	42
CARRIAGE 1	CARRIAGE	0	2	0	2
TOTALS		154	99	63	316

DEVELOPMENT AREA & DENSITY

PROPOSED DEVELOPMENT
 TOTAL AREA 39.24 AC.
 PROPOSED DENSITY (UNITS/AREA) 8.05 UNITS/AC.

RESIDENTIAL DEVELOPMENT INTENSITY

GROUND AREA COVERAGE (GAC)
 REQUIREMENT: GAC < 25%
 LA = AREA COVERED BY A BUILDING 2.97 AC.
 GA = GROSS AREA OF LOT 39.24 AC.
 GAC = LA/GA 7.57 %

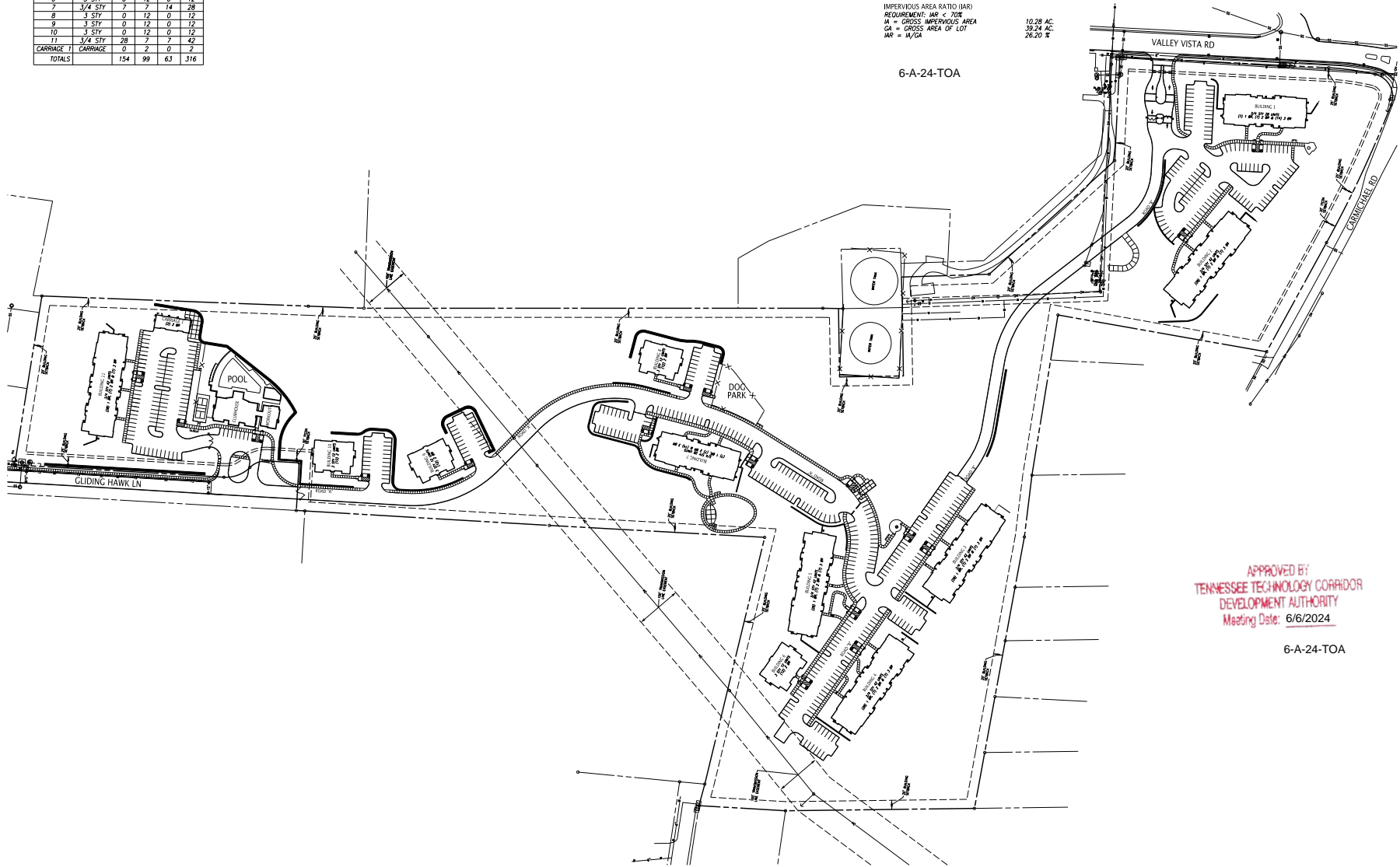
FLOOR AREA RATIO (FAR)
 REQUIREMENT: FAR < 3.0/2
 GAF = GROSS FLOOR AREA OF BUILDING 8.67 AC.
 GA = GROSS AREA OF LOT 39.24 AC.
 FAR = GAF/GA 24.64 %

IMPERVIOUS AREA RATIO (IAR)
 REQUIREMENT: IAR < 70%
 IA = GROSS IMPERVIOUS AREA 10.28 AC.
 GA = GROSS AREA OF LOT 39.24 AC.
 IAR = IA/GA 26.20 %

GENERAL NOTES

1. TTCA FILE NUMBER 3-A-23-10B

6-A-24-TOA



APPROVED BY
 TENNESSEE TECHNOLOGY CORRIDOR
 DEVELOPMENT AUTHORITY
 Meeting Date: 6/6/2024

6-A-24-TOA



0 100 200
 SCALE FEET

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 MIKE BRINEGAR
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 407.703.0517

REV.	DATE	BY	DESCRIPTION
C	05/24/24	BRINEGAR	REVISED FOR FINANCIAL CHANGES
B	05/24/24	BRINEGAR	REVISED TO INCLUDE COMMENTS
A	05/24/24	BRINEGAR	REVISED FOR FINANCIAL CHANGES

SILVER CREEK AT HARDIN VALLEY
 GLIDING HAWK LANE
 KNOX COUNTY, TN 37932

TTCA SITE PLAN

PRELIMINARY
 NOT FOR
 CONSTRUCTION

JOB NO: 717.001
 DATE: 05/01/2023

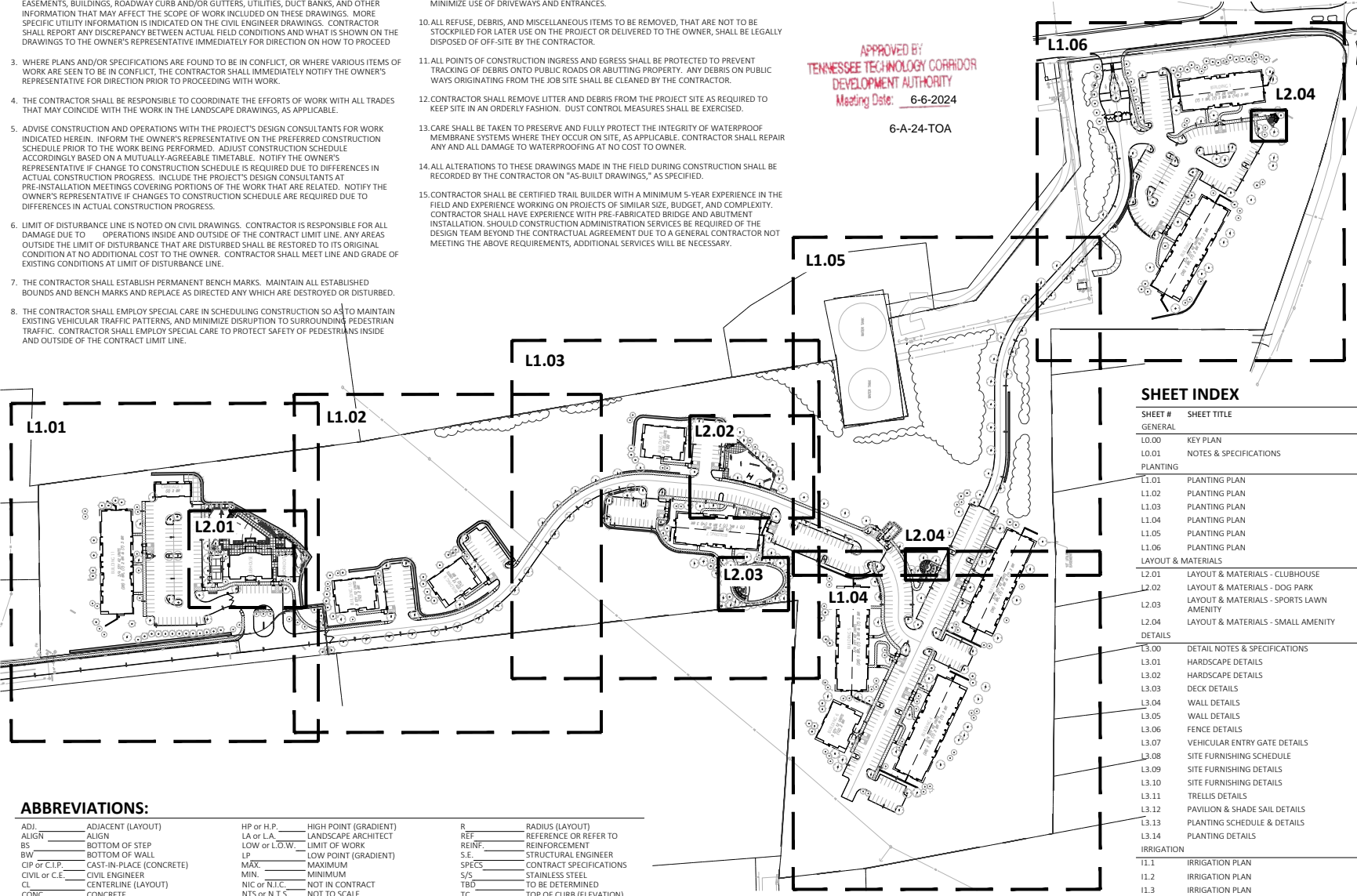
C1A

IFC
 05/01/2023

GENERAL NOTES:

- EXISTING CONDITIONS ARE COMPILED FROM A SURVEY ISSUED BY 4D ENGINEERING ON JANUARY 26, 2022 TO THE DESIGN TEAM.
- THE CONTRACTOR SHALL VERIFY SITE INFORMATION, INCLUDING PROPERTY LINES, LIMITS OF WORK, EASEMENTS, BUILDINGS, ROADWAY CURB AND/OR GUTTERS, UTILITIES, DUCT BANKS, AND OTHER INFORMATION THAT MAY AFFECT THE SCOPE OF WORK INCLUDED ON THESE DRAWINGS. MORE SPECIFIC UTILITY INFORMATION IS INDICATED ON THE CIVIL ENGINEER DRAWINGS. CONTRACTOR SHALL REPORT ANY DISCREPANCY BETWEEN ACTUAL FIELD CONDITIONS AND WHAT IS SHOWN ON THE DRAWINGS TO THE OWNER'S REPRESENTATIVE IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED
- WHERE PLANS AND/OR SPECIFICATIONS ARE FOUND TO BE IN CONFLICT, OR WHERE VARIOUS ITEMS OF WORK ARE SEEN TO BE IN CONFLICT, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE FOR DIRECTION PRIOR TO PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THE EFFORTS OF WORK WITH ALL TRADES THAT MAY COINCIDE WITH THE WORK IN THE LANDSCAPE DRAWINGS, AS APPLICABLE.
- ADVISE CONSTRUCTION AND OPERATIONS WITH THE PROJECT'S DESIGN CONSULTANTS FOR WORK INDICATED HEREIN. INFORM THE OWNER'S REPRESENTATIVE ON THE PREFERRED CONSTRUCTION SCHEDULE PRIOR TO THE WORK BEING PERFORMED. ADJUST CONSTRUCTION SCHEDULE ACCORDINGLY BASED ON A MUTUALLY-AGREEABLE TIMETABLE. NOTIFY THE OWNER'S REPRESENTATIVE IF CHANGE TO CONSTRUCTION SCHEDULE IS REQUIRED DUE TO DIFFERENCES IN ACTUAL CONSTRUCTION PROGRESS. INCLUDE THE PROJECT'S DESIGN CONSULTANTS AT PRE-INSTALLATION MEETINGS COVERING PORTIONS OF THE WORK THAT ARE RELATED. NOTIFY THE OWNER'S REPRESENTATIVE IF CHANGES TO CONSTRUCTION SCHEDULE ARE REQUIRED DUE TO DIFFERENCES IN ACTUAL CONSTRUCTION PROGRESS.
- LIMIT OF DISTURBANCE LINE IS NOTED ON CIVIL DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE DUE TO OPERATIONS INSIDE AND OUTSIDE OF THE CONTRACT LIMIT LINE. ANY AREAS OUTSIDE THE LIMIT OF DISTURBANCE THAT ARE DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR SHALL MEET LINE AND GRADE OF EXISTING CONDITIONS AT LIMIT OF DISTURBANCE LINE.
- THE CONTRACTOR SHALL ESTABLISH PERMANENT BENCH MARKS. MAINTAIN ALL ESTABLISHED BOUNDS AND BENCH MARKS AND REPLACE AS DIRECTED ANY WHICH ARE DESTROYED OR DISTURBED.
- THE CONTRACTOR SHALL EMPLOY SPECIAL CARE IN SCHEDULING CONSTRUCTION SO AS TO MAINTAIN EXISTING VEHICULAR TRAFFIC PATTERNS, AND MINIMIZE DISRUPTION TO SURROUNDING PEDESTRIAN TRAFFIC. CONTRACTOR SHALL EMPLOY SPECIAL CARE TO PROTECT SAFETY OF PEDESTRIANS INSIDE AND OUTSIDE OF THE CONTRACT LIMIT LINE.
- LIMIT USE OF PREMISES TO WORK IN AREAS AS INDICATED. DO NOT DISTURB PORTIONS OF THE SITE BEYOND AREAS IN WHICH WORK IS INDICATED. KEEP DRIVEWAYS AND ENTRANCES SERVING PREMISES CLEAR AND AVAILABLE TO THE OWNER AND EMERGENCY VEHICLES AT ALL TIMES. DO NOT USE THESE AREAS FOR PARKING OR STORAGE OF MATERIALS. SCHEDULE DELIVERIES TO MINIMIZE USE OF DRIVEWAYS AND ENTRANCES.
- ALL REFUSE, DEBRIS, AND MISCELLANEOUS ITEMS TO BE REMOVED, THAT ARE NOT TO BE STOCKPILED FOR LATER USE ON THE PROJECT OR DELIVERED TO THE OWNER, SHALL BE LEGALLY DISPOSED OF OFF-SITE BY THE CONTRACTOR.
- ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS SHALL BE PROTECTED TO PREVENT TRACKING OF DEBRIS ONTO PUBLIC ROADS OR ABUTTING PROPERTY. ANY DEBRIS ON PUBLIC WAYS ORIGINATING FROM THE JOB SITE SHALL BE CLEANED BY THE CONTRACTOR.
- CONTRACTOR SHALL REMOVE LITTER AND DEBRIS FROM THE PROJECT SITE AS REQUIRED TO KEEP SITE IN AN ORDERLY FASHION. DUST CONTROL MEASURES SHALL BE EXERCISED.
- CARE SHALL BE TAKEN TO PRESERVE AND FULLY PROTECT THE INTEGRITY OF WATERPROOF MEMBRANE SYSTEMS WHERE THEY OCCUR ON SITE, AS APPLICABLE. CONTRACTOR SHALL REPAIR ANY AND ALL DAMAGE TO WATERPROOFING AT NO COST TO OWNER.
- ALL ALTERATIONS TO THESE DRAWINGS MADE IN THE FIELD DURING CONSTRUCTION SHALL BE RECORDED BY THE CONTRACTOR ON "AS-BUILT DRAWINGS," AS SPECIFIED.
- CONTRACTOR SHALL BE CERTIFIED TRAIL BUILDER WITH A MINIMUM 5-YEAR EXPERIENCE IN THE FIELD AND EXPERIENCE WORKING ON PROJECTS OF SIMILAR SIZE, BUDGET, AND COMPLEXITY. CONTRACTOR SHALL HAVE EXPERIENCE WITH PRE-FABRICATED BRIDGE AND ABUTMENT INSTALLATION. SHOULD CONSTRUCTION ADMINISTRATION SERVICES BE REQUIRED OF THE DESIGN TEAM BEYOND THE CONTRACTUAL AGREEMENT DUE TO A GENERAL CONTRACTOR NOT MEETING THE ABOVE REQUIREMENTS, ADDITIONAL SERVICES WILL BE NECESSARY.

APPROVED BY
**TENNESSEE TECHNOLOGY CORRIDOR
 DEVELOPMENT AUTHORITY**
 Meeting Date: 6-6-2024
 6-A-24-TOA

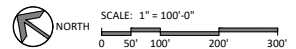


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L1.02	PLANTING PLAN
L1.03	PLANTING PLAN
L1.04	PLANTING PLAN
L1.05	PLANTING PLAN
L1.06	PLANTING PLAN
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I1.3	IRRIGATION PLAN
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I1.7	IRRIGATION DETAILS
I1.8	IRRIGATION DETAILS

ABBREVIATIONS:

ADJ. _____ ADJACENT (LAYOUT)	HP or H.P. _____ HIGH POINT (GRADIENT)	R _____ RADIUS (LAYOUT)
ALIGN _____ ALIGN	LA or L.A. _____ LANDSCAPE ARCHITECT	REF _____ REFERENCE OR REFER TO
BS _____ BOTTOM OF STEP	LOW or L.O.W. _____ LIMIT OF WORK	REINF. _____ REINFORCEMENT
BW _____ BOTTOM OF WALL	LP _____ LOW POINT (GRADIENT)	S.E. _____ STRUCTURAL ENGINEER
CIP or C.I.P. _____ CAST-IN-PLACE (CONCRETE)	MAX. _____ MAXIMUM	SPECS _____ CONTRACT SPECIFICATIONS
CIVIL or C.E. _____ CIVIL ENGINEER	MIN. _____ MINIMUM	S/S _____ STAINLESS STEEL
CL _____ CENTERLINE (LAYOUT)	NIC or N.I.C. _____ NOT IN CONTRACT	TBD _____ TO BE DETERMINED
CONC. _____ CONCRETE	NTS or N.T.S. _____ NOT TO SCALE	TC _____ TOP OF CURB (ELEVATION)
DIA. _____ DIAMETER (LAYOUT)	OC or O.C. _____ ON-CENTER (LAYOUT)	TG _____ TOP OF GRATE (ELEVATION)
ELEV. _____ ELEVATION	OD or O.D. _____ OUTSIDE DIAMETER (LAYOUT)	TS _____ TOP OF STEP (ELEVATION)
EJ _____ EXPANSION JOINT (CONCRETE)	PA or P.A. _____ PLANTING AREA	TOSS _____ TOP OF STRUCTURAL SLAB
EQ. _____ EQUAL (LAYOUT)	PERF. _____ PERFORATED	TW _____ TOP OF WALL (ELEVATION)
FG or F.G. _____ FINISHED GRADE (PLANTING)	POB or P.O.B. _____ POINT OF BEGINNING (LAYOUT)	TYP. _____ TYPICAL
FS or F.S. _____ FINISHED SURFACE (PAVING)	PL _____ PROPERTY LINE	W/ or W- _____ WITH



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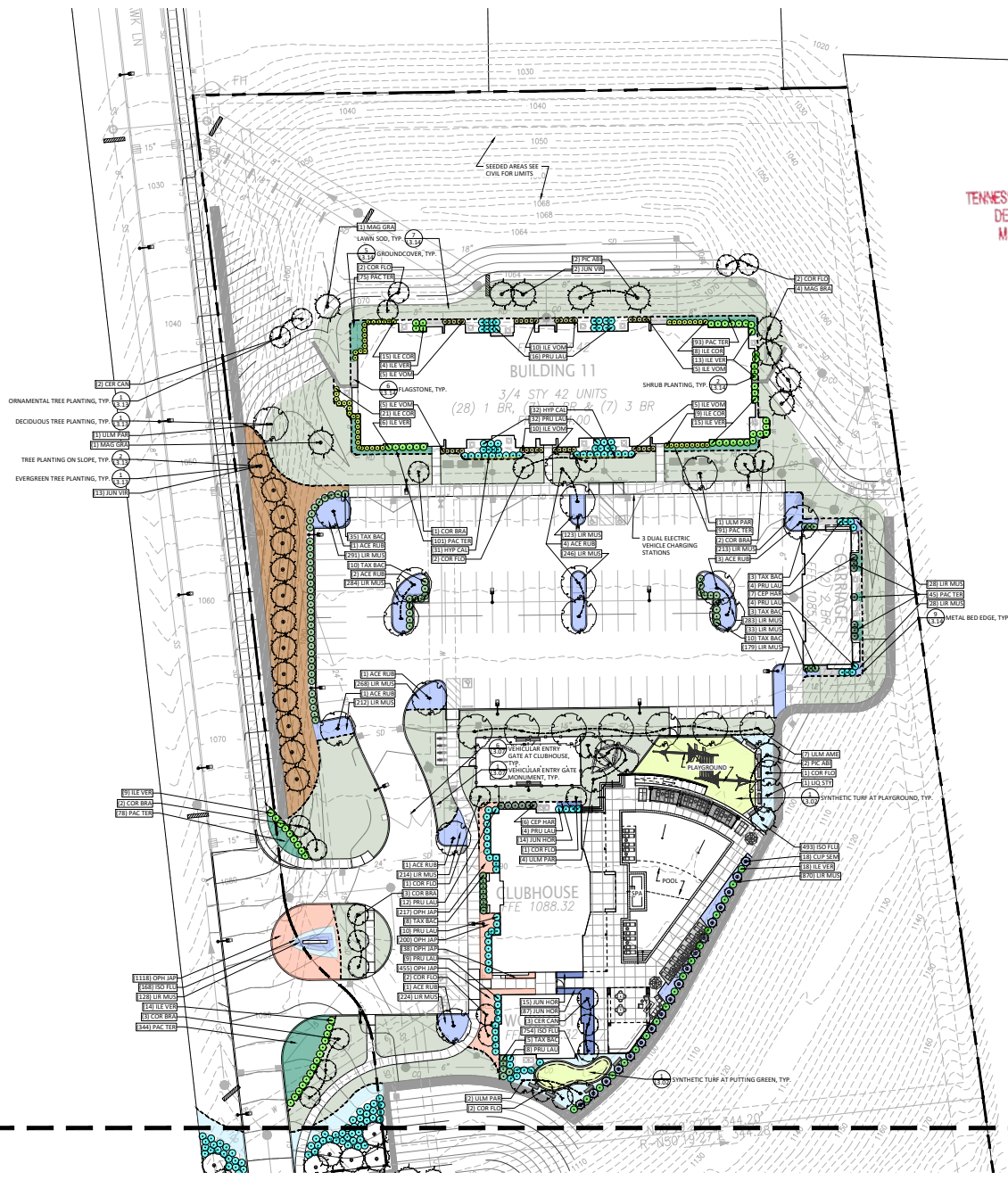


Project: Silver Creek at Hardin Valley
 Project #: 141635
 Drawn By: CTS, E.E. AY CKD By: CB
 Date: 2024.04.19 Scale: As Noted

Rev.	Description	Date
TTCDA	Submittal	2024.04.19

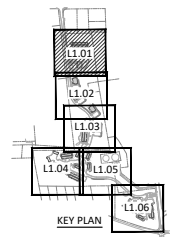
KEY PLAN

L0.00



APPROVED BY
 TENNESSEE TECHNOLOGY CORRIDOR
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6-A-24-TOA



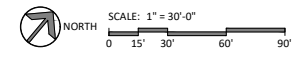
PLANTING LEGEND

	DECIDUOUS / SHADE TREE	(112) (12.0)
	ORNAMENTAL / FLOWERING TREE	(112) (12.0)
	EVERGREEN TREE	(112) (12.0)
	SHRUBS; SEE PLANT SCHEDULE FOR SPECIES IDENTIFICATION	(213) (12.1)
	GROUNDCOVER / PERENNIALS; SEE PLANT SCHEDULE FOR SPECIES IDENTIFICATION	(5) (12.1)
	LAWN SOD	(7) (12.1)
	FLAGSTONE	(6) (12.1)
	METAL BED EDGE	(9) (12.1)
	PLANT SPECIES ID / QUANTITY	

PLANTING NOTES:

1. ALL NEW PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED FOR NURSERY STOCK PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, ANSI Z-60.1.
2. ALL NEW PLANTS SHALL BE BALLED AND BURLAPPED UNLESS OTHERWISE NOTED ON THE PLANT SCHEDULE.
3. THE GENERAL CONTRACTOR SHALL SUPPLY ALL NEW PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWINGS.
4. ALL NEW PLANTS SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
5. THE GENERAL CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITY LINES PRIOR TO PLANTING AND REPORT ANY CONFLICTS TO THE OWNER'S REPRESENTATIVE.
6. TREES SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE PLUS PLANTING SOIL AS THEY BORE TO PREVIOUS GRADE. SEE DECIDUOUS TREE PLANTING DETAILS.
7. STATE LOCATION OF ALL TREES AND PLANT BED LINES FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO THE COMMENCEMENT OF PLANTING.
8. ALL PLANT BEDS ARE TO RECEIVE MULCH AS SPECIFIED.
9. ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE ONLY AS APPROVED BY THE OWNER'S REPRESENTATIVE.
10. PREPARE ALL PLANT BEDS WITH PLANTING SOIL TO A MINIMUM DEPTH MATCHING THE DEPTH OF ROOT BALLS. PLANTING SOIL SHALL BE CONTINUOUS WITHIN EACH PLANT BED.
11. ANY EXISTING INVASIVE SPECIES SHOULD BE PROPERLY REMOVED FROM THE SITE.

MATCHLINE SHEET L1.02



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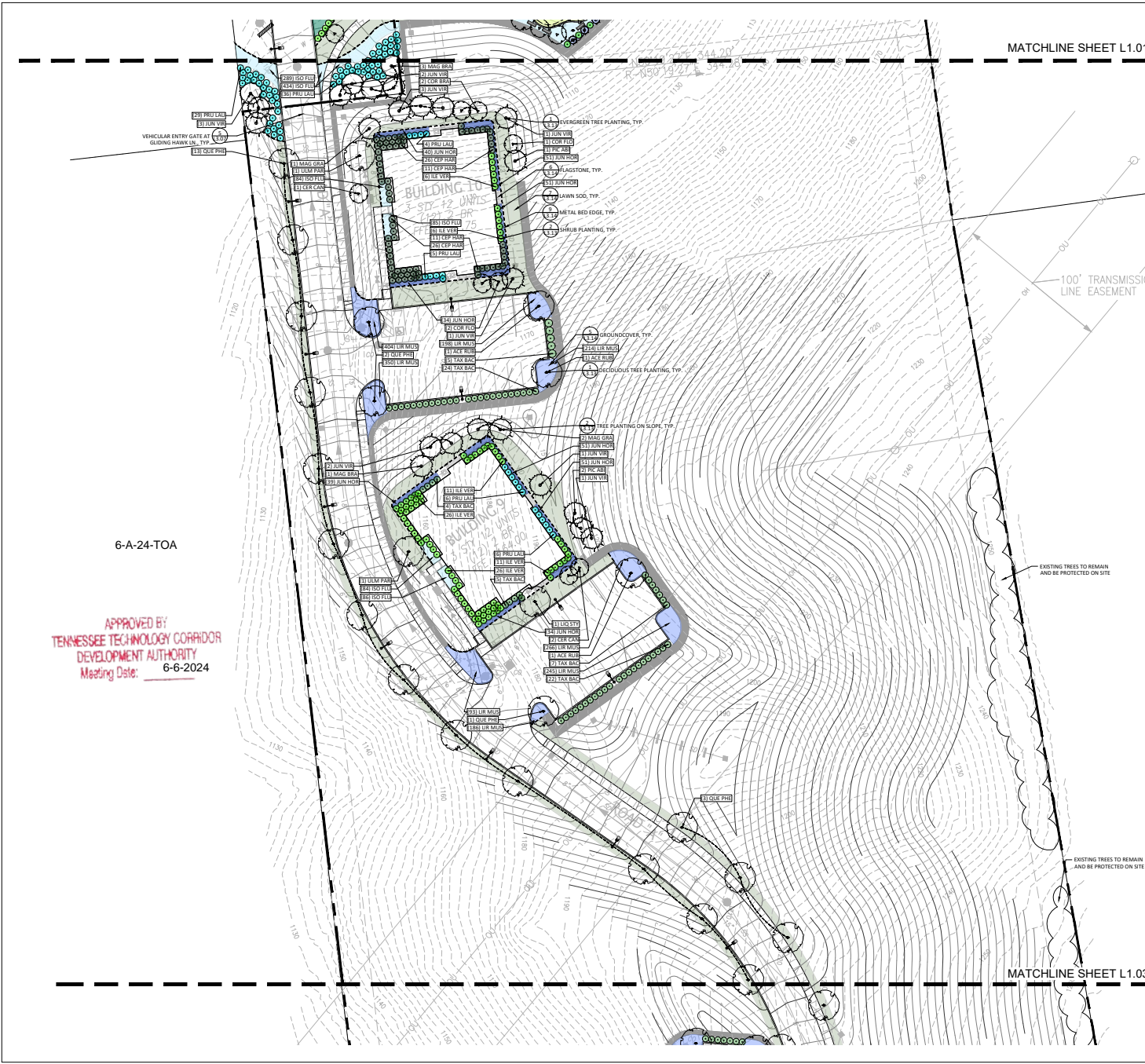
Project: Silver Creek at Hardin Valley

Project #: 141835
 Drawn By: CTS, EE, AY CKD By: CB
 Date: 2024.04.19 Scale: As Noted

Rev: Description: Date:
 TTCDMA Submittal 2024.04.19

PLANTING PLAN

L1.01

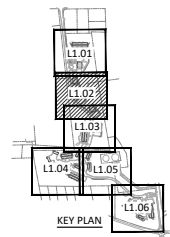


6-A-24-TOA

APPROVED BY:
 TENNESSEE TECHNOLOGY CORRIDOR
 DEVELOPMENT AUTHORITY
 Meeting Date: 6-6-2024

MATCHLINE SHEET L1.01

MATCHLINE SHEET L1.03

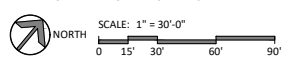


PLANTING LEGEND

	DECIDUOUS / SHADE TREE	(1)2 (12.0)
	ORNAMENTAL / FLOWERING TREE	(1)2 (12.0)
	EVERGREEN TREE	(1)2 (12.0)
	SHRUBS; SEE PLANT SCHEDULE FOR SPECIES IDENTIFICATION	(2)3 (12.1)
	GROUNDCOVER / PERENNIALS; SEE PLANT SCHEDULE FOR SPECIES IDENTIFICATION	(5) (12.1)
	LAWN SOD	(7) (12.1)
	FLAGSTONE	(6) (12.1)
	METAL BED EDGE	(9) (12.1)
	PLANT SPECIES ID / QUANTITY	

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7. STAKE LOCATION OF ALL TREES AND PLANT BED LINES FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO THE COMMENCEMENT OF PLANTING.
8. ALL PLANT BEDS ARE TO RECEIVE MULCH AS SPECIFIED.
9. ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE ONLY AS APPROVED BY THE OWNER'S REPRESENTATIVE.
10. PREPARE ALL PLANT BEDS WITH PLANTING SOIL TO A MINIMUM DEPTH MATCHING THE DEPTH OF ROOT BALLS. PLANTING SOIL SHALL BE CONTINUOUS WITHIN EACH PLANT BED.
11. ANY EXISTING INVASIVE SPECIES SHOULD BE PROPERLY REMOVED FROM THE SITE.



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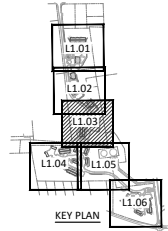
Rev.	Description:	Date:
	TTCDA Submittal	2024.04.19

PLANTING PLAN

L1.02

APPROVED BY
 TENNESSEE TECHNOLOGY CORRIDOR
 DEVELOPMENT AUTHORITY
 Meeting Date: 6-6-2024

6-A-24-TOA



MATCHLINE SHEET L1.02

EXISTING TREES TO REMAIN
 AND BE PROTECTED ON SITE

MATCHLINE SHEET L1.05

TRANSMISSION
 CEMENT

MATCHLINE SHEET L1.04

R-N86°55'42"E L1.09-10

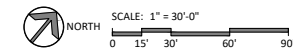
LPS

PLANTING LEGEND

	DECIDUOUS / SHADE TREE	(112 / 12.0)
	ORNAMENTAL / FLOWERING TREE	(112 / 12.0)
	EVERGREEN TREE	(112 / 12.0)
	SHRUBS; SEE PLANT SCHEDULE FOR SPECIES IDENTIFICATION	(213 / 12.1)
	GROUNDCOVER / PERENNIALS; SEE PLANT SCHEDULE FOR SPECIES IDENTIFICATION	(9 / 12.1)
	LAWN SOD	(7 / 12.1)
	FLAGSTONE	(6 / 12.1)
	METAL BED EDGE	(9 / 12.1)
	PLANT SPECIES ID / QUANTITY	

PLANTING NOTES:

1. ALL NEW PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED FOR NURSERY STOCK PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, ANSI Z-60.1.
2. ALL NEW PLANTS SHALL BE BALLED AND BURLAPPED UNLESS OTHERWISE NOTED ON THE PLANT SCHEDULE.
3. THE GENERAL CONTRACTOR SHALL SUPPLY ALL NEW PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWINGS.
4. ALL NEW PLANTS SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
5. THE GENERAL CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITY LINES PRIOR TO PLANTING AND REPORT ANY CONFLICTS TO THE OWNER'S REPRESENTATIVE.
6. TREES SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE PLUS PLANTING SOIL AS THEY BORE TO PREVIOUS GRADE. SEE DECIDUOUS TREE PLANTING DETAILS.
7. STAKE LOCATION OF ALL TREES AND PLANT BED LINES FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO THE COMMENCEMENT OF PLANTING.
8. ALL PLANT BEDS ARE TO RECEIVE MULCH AS SPECIFIED.
9. ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE ONLY AS APPROVED BY THE OWNER'S REPRESENTATIVE.
10. PREPARE ALL PLANT BEDS WITH PLANTING SOIL TO A MINIMUM DEPTH MATCHING THE DEPTH OF ROOT BALLS. PLANTING SOIL SHALL BE CONTINUOUS WITHIN EACH PLANT BED.
11. ANY EXISTING INVASIVE SPECIES SHOULD BE PROPERLY REMOVED FROM THE SITE.



Gliding Hawk Lane
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Client:



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Project: Silver Creek at Hardin Valley

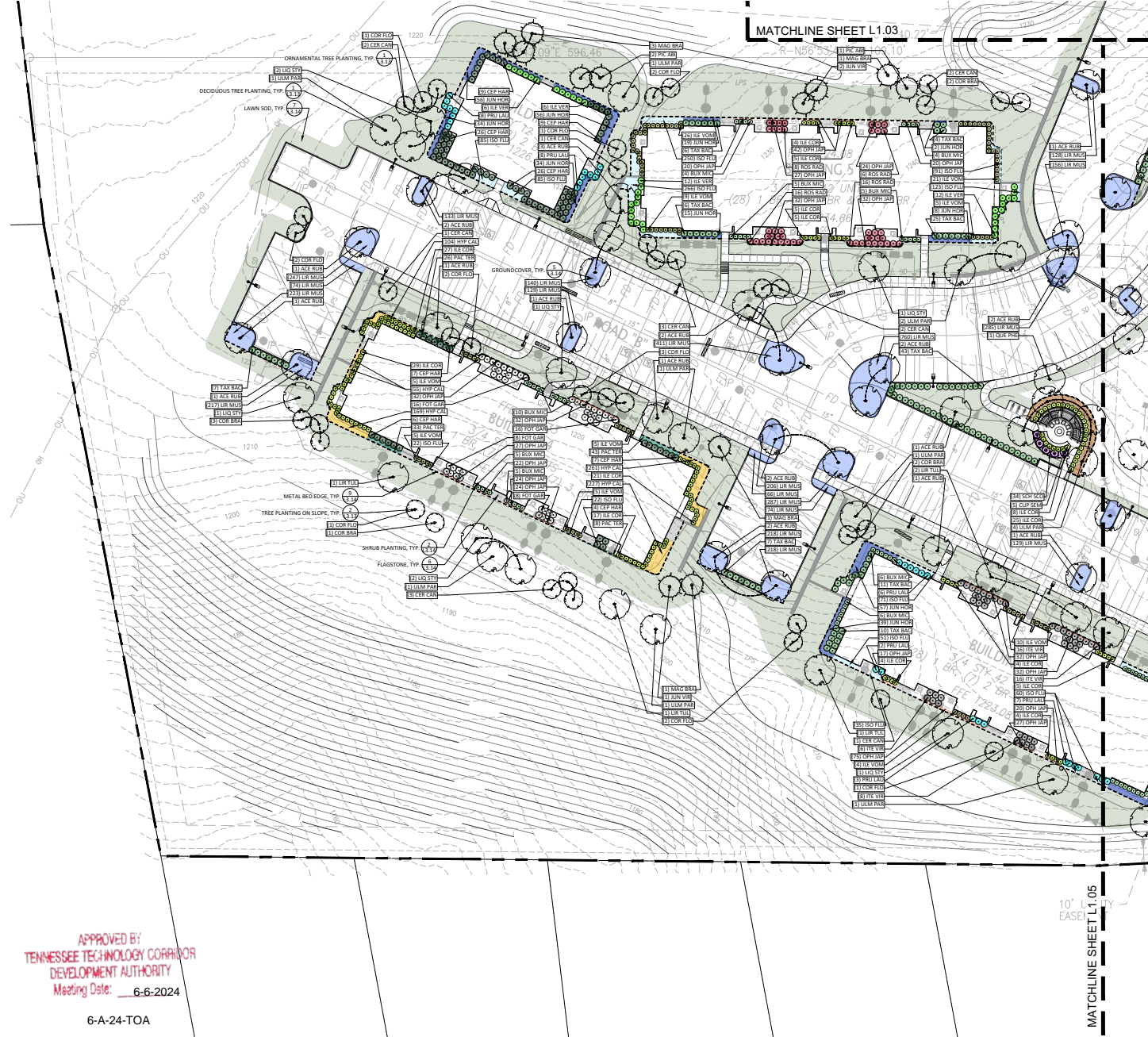
Project #: 141835
 Drawn By: CH, EE, AY CKD By: CB
 Date: 2024.04.19 Scale: As Noted

Rev.	Description	Date
	TTCDA Submittal	2024.04.19

PLANTING PLAN

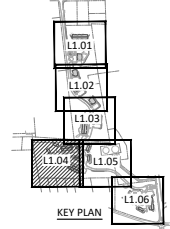
L1.03

MATCHLINE SHEET L1.03



APPROVED BY:
 TENNESSEE TECHNOLOGY CORRIDOR
 DEVELOPMENT AUTHORITY
 Meeting Date: 6-6-2024

6-A-24-TOA

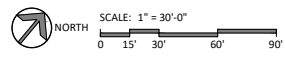


PLANTING LEGEND

	DECIDUOUS / SHADE TREE	(1)2 (1)2.0
	ORNAMENTAL / FLOWERING TREE	(1)2 (1)2.0
	EVERGREEN TREE	(1)2 (1)2.0
	SHRUBS; SEE PLANT SCHEDULE FOR SPECIES IDENTIFICATION	(1)3 (1)2.1
	GROUNDCOVER / PERENNIALS; SEE PLANT SCHEDULE FOR SPECIES IDENTIFICATION	(5) (1)2.1
	LAWN SOD	(7) (1)2.1
	FLAGSTONE	(6) (1)2.1
	METAL BED EDGE	(9) (1)2.1
	PLANT SPECIES ID / QUANTITY	

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MATCHLINE SHEET L1.05



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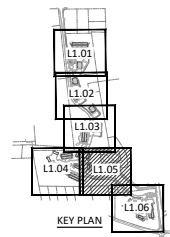
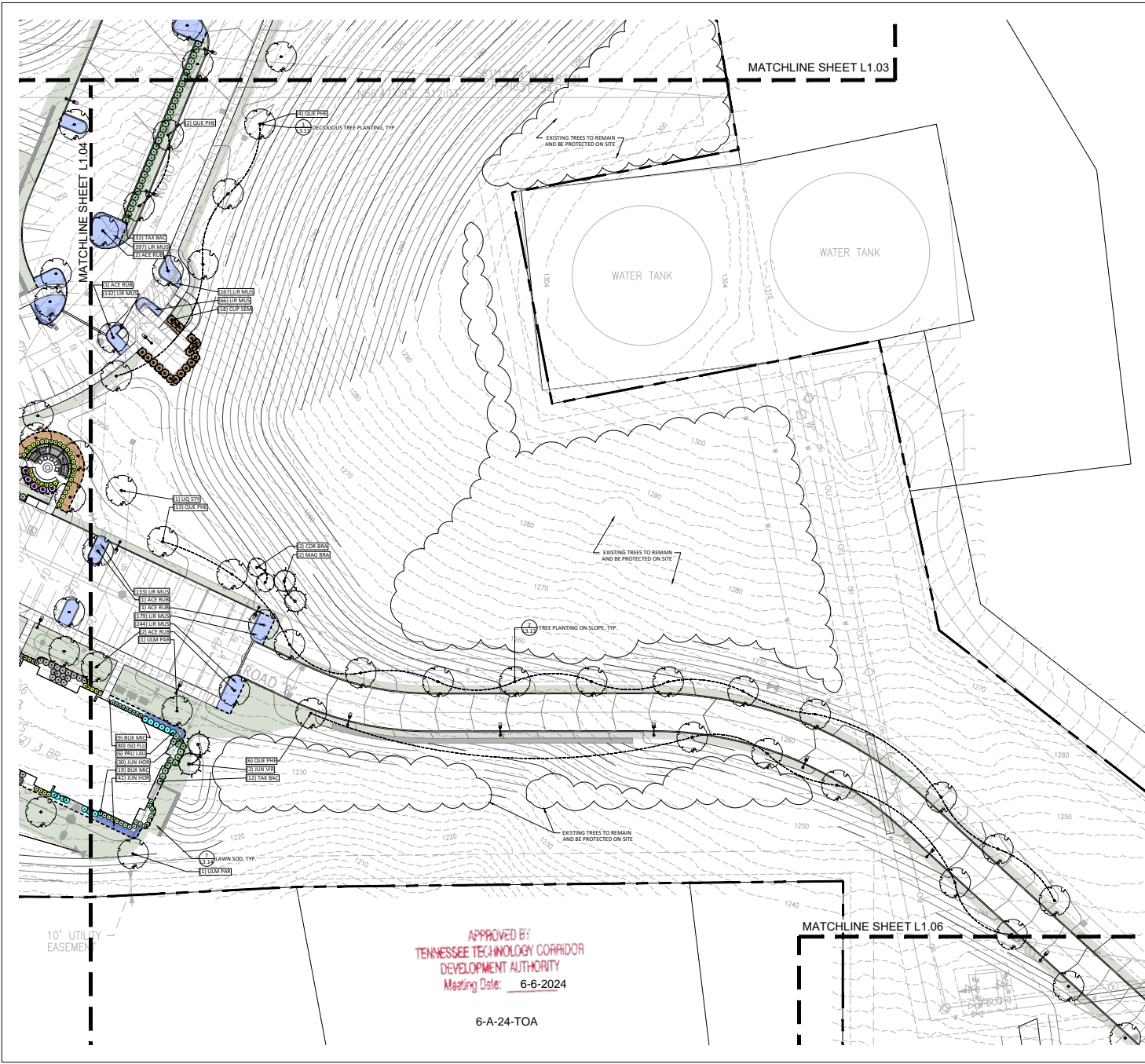
Project: Silver Creek at Hardin Valley

Project #: 141835
 Drawn By: CJS, EE, AY CKD By: CB
 Date: 2024.04.19 Scale: As Noted

Rev.	Description	Date
1	TTCDA Submittal	2024.04.19

PLANTING PLAN

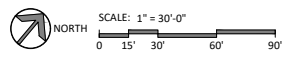
L1.04



PLANTING LEGEND

	DECIDUOUS / SHADE TREE	(112) (12.0)
	ORNAMENTAL / FLOWERING TREE	(112) (12.0)
	EVERGREEN TREE	(112) (12.0)
	SHRUBS; SEE PLANT SCHEDULE FOR SPECIES IDENTIFICATION	(213) (12.1)
	GROUNDCOVER / PERENNIALS; SEE PLANT SCHEDULE FOR SPECIES IDENTIFICATION	(5) (12.1)
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	PLANT SPECIES ID / QUANTITY	

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APPROVED BY:
**TENNESSEE TECHNOLOGY CORRIDOR
 DEVELOPMENT AUTHORITY**
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6-A-24-TOA



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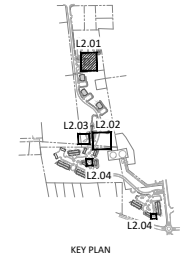
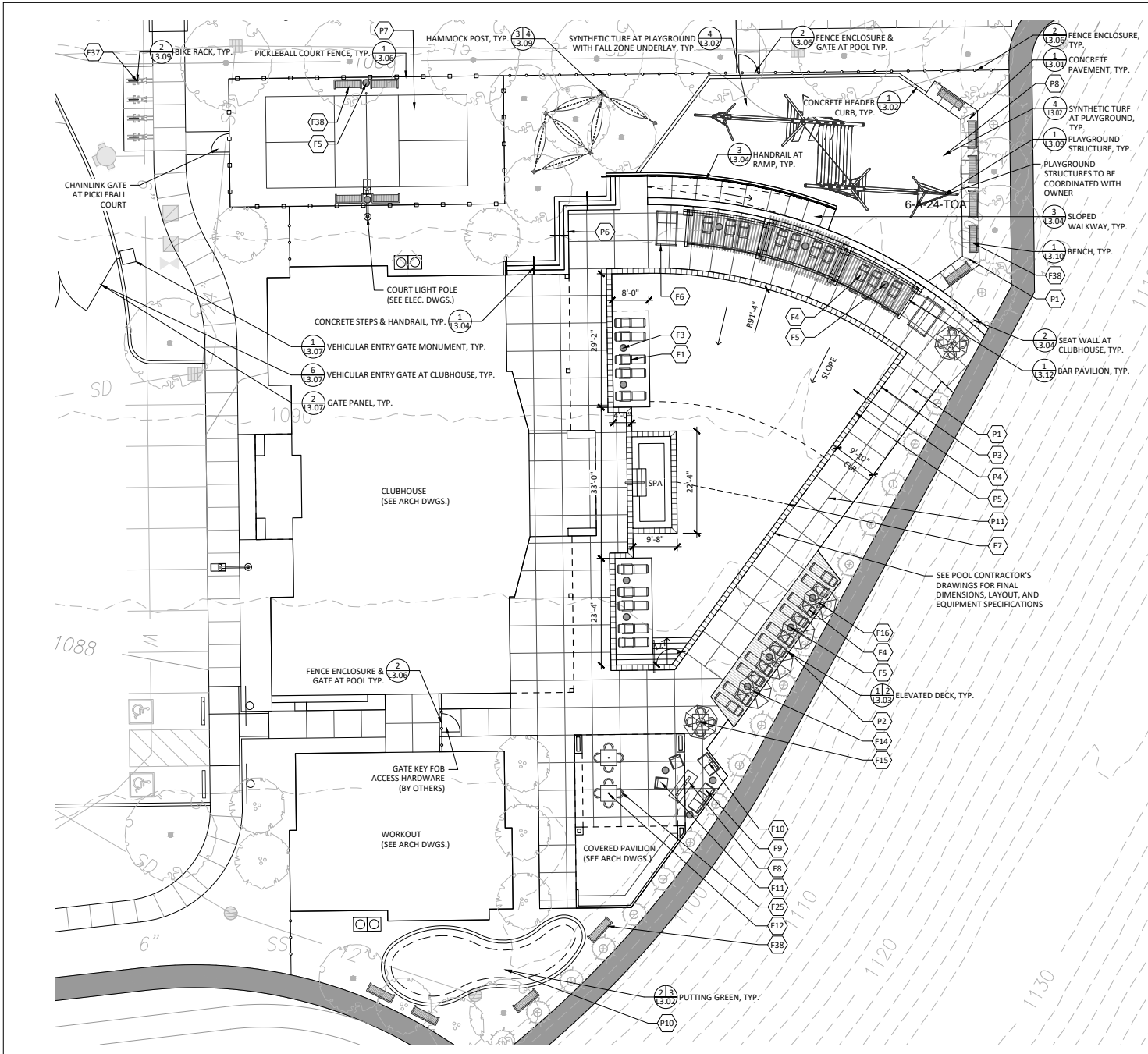


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PLANTING PLAN

L1.05



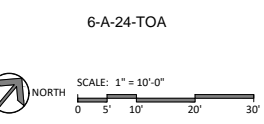
MATERIALS LEGEND

Symbol	Description	Reference
---/---	LIMIT OF WORK	(X) (X)
▭	CONC. PAVEMENT	(X) (X)
—	CURB	(X) (X)
⊙	AREA LIGHT	(X) (X) SEE ELEC DWG
▭	PICNIC TABLE	(X) (X)
▭	BENCH	(X) (X)
⊙	LITTER & RECYCLING RECEPTACLE	(X) (X)
—	ENTRANCE SIGNAGE	(X) (X)
⊙	FIREPIT	(X) (X)
▭	POOLS	(X) (X)

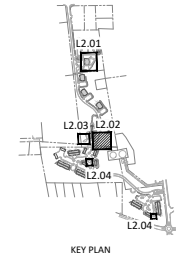
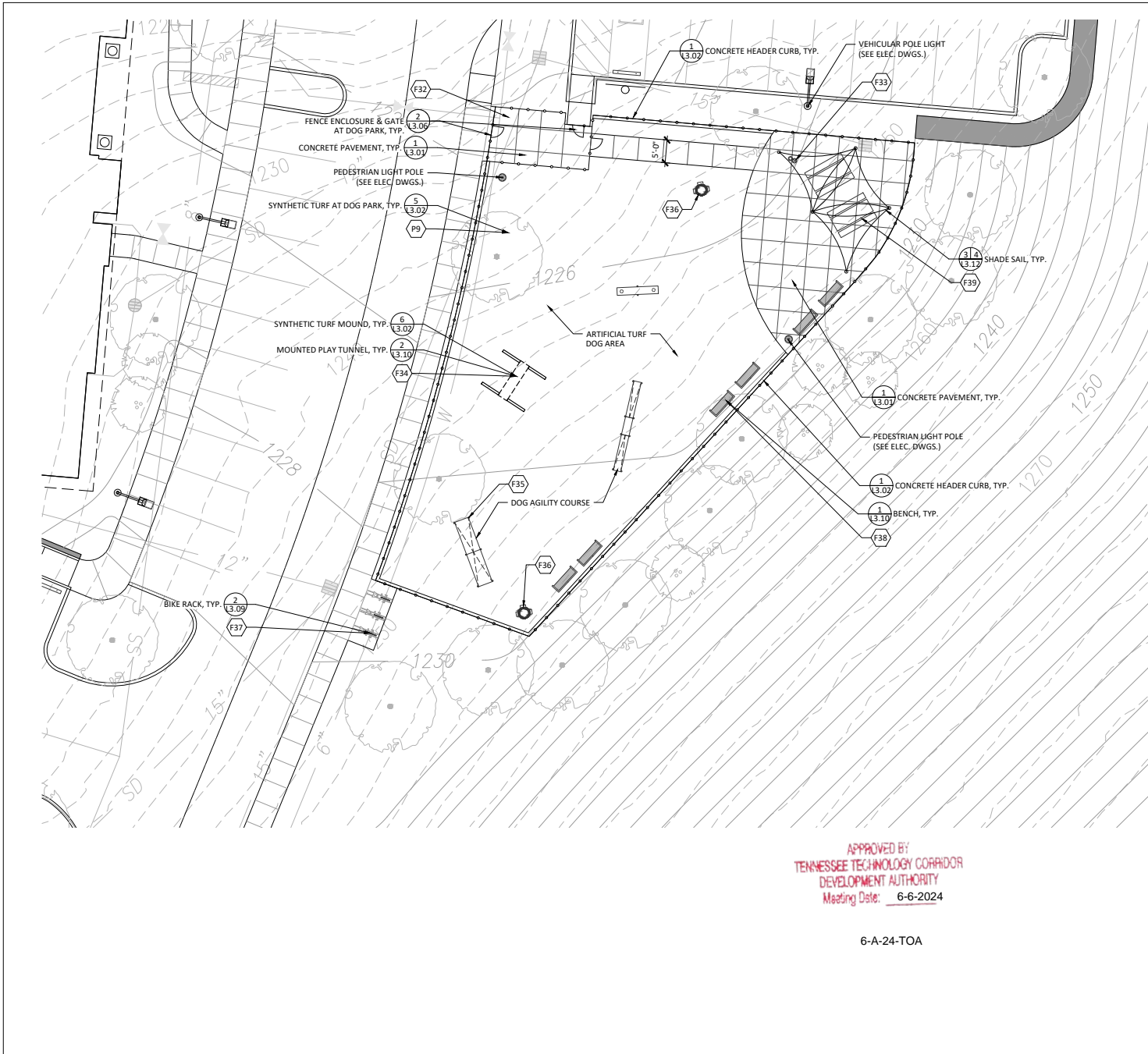
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MATERIALS LEGEND

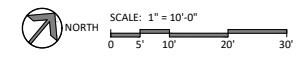
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[Line with X]	CONC. PAVEMENT	[Circle with X]	AREA LIGHT
[Line with X]	CURB	[Circle with X]	PICNIC TABLE
[Circle with X]	AREA LIGHT	[Circle with X]	BENCH
[Square with X]	PICNIC TABLE	[Circle with X]	LITTER & RECYCLING RECEPTACLE
[Rectangle with X]	BENCH	[Circle with X]	ENTRANCE SIGNAGE
[Circle with X]	LITTER & RECYCLING RECEPTACLE	[Circle with X]	FIREPIT
[Line with X]	ENTRANCE SIGNAGE	[Circle with X]	POOLS
[Circle with X]	FIREPIT		
[Circle with X]	POOLS		

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6-A-24-TOA



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Project: Silver Creek at Hardin Valley

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 Drawn By: CH, EE, AY CKD By: CB
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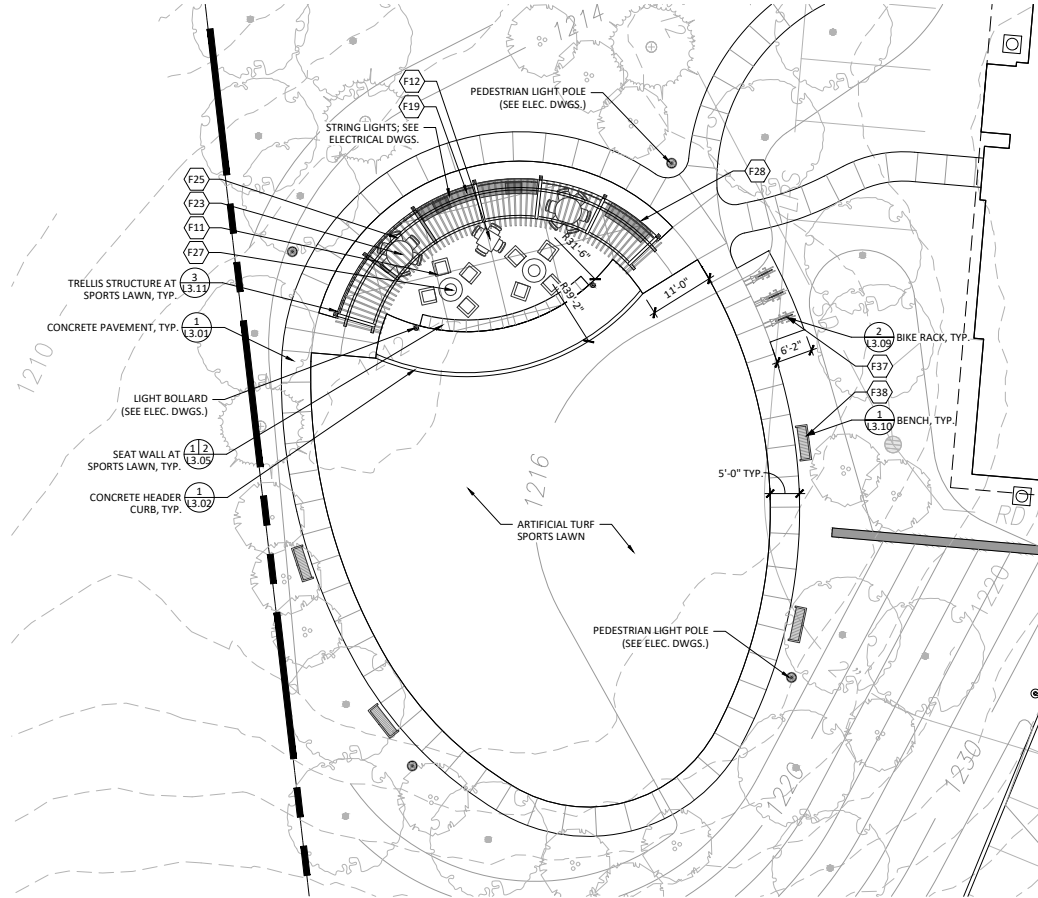
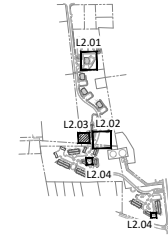
Rev.	Description	Date:
	TTCDA Submittal	2024.04.19

LAYOUT &
 MATERIALS - DOG
 PARK

L2.02

APPROVED BY:
 TENNESSEE TECHNOLOGY CORRIDOR
 DEVELOPMENT AUTHORITY
 Meeting Date: 6-6-2024

6-A-24-TOA



MATERIALS LEGEND

---	LIMIT OF WORK	(X)
▭	CONC. PAVEMENT	(X)
—	CURB	(X)
●	AREA LIGHT	(X)
▭	PICNIC TABLE	(X)
▭	BENCH	(X)
○	LITTER & RECYCLING RECEPTACLE	(X)
—	ENTRANCE SIGNAGE	(X)
▭	FIREPIT	(X)
▭	POOLS	(X)

MATERIAL NOTES:

1. STORAGE AREAS FOR THE GENERAL CONTRACTOR'S EQUIPMENT AND MATERIALS SHALL BE LOCATED WITHIN THE LIMITS OF WORK AND / OR CONSTRUCTION STAGING AREA AND SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE.
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SCALE: 1" = 10'-0"
 0 5' 10' 20' 30'



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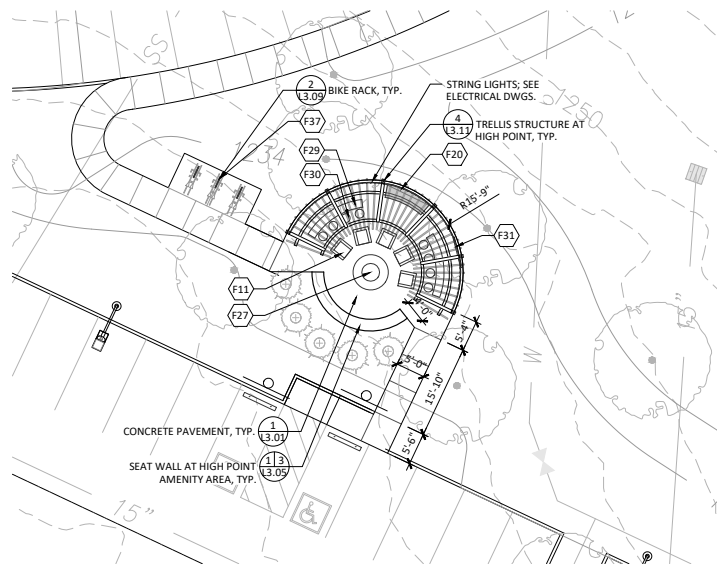
Rev.	Description	Date
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LAYOUT &
 MATERIALS - SPORTS
 LAWN AMENITY

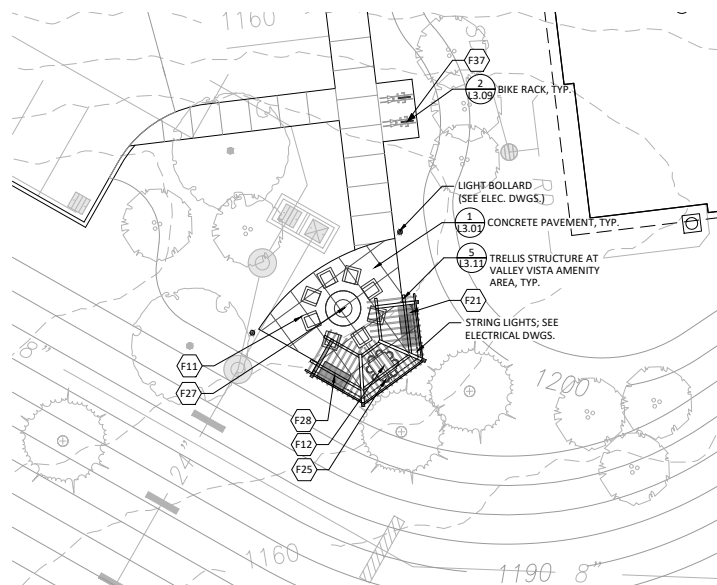
L2.03

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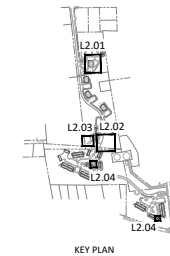
6-A-24-TOA



1 HIGH POINT AMENITY AREA
 1" = 10'-0"



2 VALLEY VISTA AMENITY AREA
 1" = 10'-0"

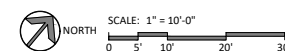


MATERIALS LEGEND

	LIMIT OF WORK		SEE ELEC DWG
	CONC. PAVEMENT		
	CURB		
	AREA LIGHT		
	PICNIC TABLE		
	BENCH		
	LITTER & RECYCLING RECEPTACLE		
	ENTRANCE SIGNAGE		
	FIREPIT		
	POOLS		

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LAYOUT &
 MATERIALS - SMALL
 AMENITY

L2.04

PICKLEBALL FENCE AND GATES:

1. INSTALLER SHALL SCHEDULE A PROJECT SITE MEETING WITH THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO BEGINNING WORK RELATED TO INSTALLATION OF FENCE AND GATES AT THE PICKLEBALL COURT. SHOP DRAWINGS SHALL BE SUBMITTED INDICATING FENCE AND GATE MATERIALS, DIMENSIONS, HARDWARE AND CONNECTIONS.
2. FENCE SHALL BE 10' HT CHAIN LINK FENCE WITH BLACK VINYL COATED FABRIC MESH, POSTS, CLAMPS, CAPS, TIES, AND CONNECTIONS.
3. CORNER POSTS SHALL BE 4" O.D. STEEL. LINE POSTS SHALL BE 2-7/8" O.D.
4. FABRIC SHALL BE 9 GAUGE 2" MESH.
5. PROVIDE BOTTOM, MIDDLE AND TOP RAILS. RAILS SHALL BE 1-5/8" O.D.
6. ALL POST SHALL BE FINISHED WITH DOME STYLE CALPS
7. TIES SHALL BE 9 GAUGE ALUMINUM

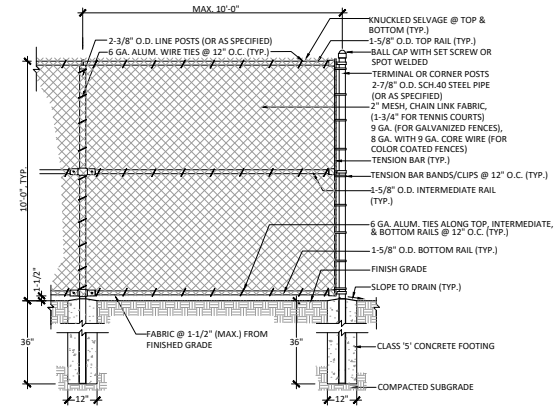
CLUBHOUSE FENCE:

1. THE CLUBHOUSE FENCE SHALL MEET REQUIREMENTS OF THE KNOX CO. HEALTH DEPARTMENT FOR POOL ENCLOSURE FENCING.
2. INSTALLER SHALL SCHEDULE A PROJECT SITE MEETING WITH THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO BEGINNING WORK.
3. LOCATION AND LAYOUT OF THE FENCING AND GATES SHALL BE STAKED IN THE FIELD BY THE INSTALLER AND REVIEWED AND APPROVED PRIOR TO COURT INSTALLATION.
4. INSTALLER SHALL PROVIDE ONE FENCE PANEL MOCK-UP SHOWING ALL FENCE MATERIALS AND CONNECTIONS.
5. FENCE SHALL BE 6' HT. RICHMOND FENCE WITH 5.5" POSTS MANUFACTURED BY WALPOLE WOODWORKERS 866-491-4708.
6. FENCE COMPONENTS INCLUDING PICKETS, POSTS, AND RAILS SHALL BE SOILD VINYL (AZEK) MATERIAL PRECOATED WITH VINYL SAFE PAINT.
7. GATE HARDWARE SHALL INCLUDE HINGES AND LOCKS, HARDWARE SHALL BE RUST RESISTANT STEEL PAINTED BLACK.

DOG PARK PERIMETER FENCE AND GATE:

1. INSTALLER SHALL SCHEDULE A PROJECT SITE MEETING WITH THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO BEGINNING WORK RELATED TO INSTALLATION OF FENCE AND GATES AT THE DOG PARK. SHOP DRAWINGS SHALL BE SUBMITTED INDICATING FENCE AND GATE MATERIALS, DIMENSIONS, HARDWARE AND CONNECTIONS.
2. LOCATION AND LAYOUT OF FENCING AND GATES SHALL BE STAKED IN THE FIELD BY THE INSTALLER AND REVIEWED AND APPROVED PRIOR TO INSTALLATION.
3. DOG PARK FENCING SHALL BE COMPRISED TWO FENCE TYPES. RICHMOND STYLE ORNAMENTAL FENCE FACING THE ROAD WITH CHAINLINK BEHIND. SEE PLANS FOR LOCATIONS.
4. ORNAMENTAL FENCE SHALL BE 6' HT. RICHMOND FENCE WITH 5.5" POSTS MANUFACTURED BY WALPOLE WOODWORKERS 866-491-4708.
5. FENCE COMPONENTS INCLUDING PICKETS, POSTS, AND RAILS SHALL BE SOILD VINYL (AZEK) MATERIAL PRECOATED WITH VINYL SAFE PAINT.
6. GATE HARDWARE SHALL INCLUDE HINGES AND LOCKS, AND AUTOMATIC CLOSURES. HARDWARE SHALL BE RUST RESISTANT STEEL PAINTED BLACK.
7. CHAIN LINK FENCE SHALL BE 6' HT CHAIN LINK FENCE WITH BLACK VINYL COATED FABRIC MESH, POSTS, CLAMPS, CAPS, TIES, AND CONNECTIONS.
8. CORNER POSTS SHALL BE 2-7/8" O.D. STEEL. LINE POSTS SHALL BE 2-3/8" O.D.
9. FABRIC SHALL BE 9 GAUGE 2" MESH
10. PROVIDE BOTTOM AND TOP RAILS. RAILS SHALL BE 1-5/8" O.D.
11. ALL POST SHALL BE FINISHED WITH DOME STYLE CALPS
12. TIES SHALL BE 9 GAUGE ALUMINUM

NOTE:
1. ALL FENCE FABRIC, POST, CLAMPS, AND MISC. HARDWARE SHALL BE BLACK VINYL COATED.



1 PICKLEBALL COURT FENCE - SECTION
N.T.S.



PRODUCT: RICHMOND FENCE ENCLOSURE
COLOR: WHITE WITH BLACK HARDWARE
HEIGHT: 6 FEET
MANUFACTURER: WALPOLE OUTDOORS
CONTACT: 866-214-3852 walpoleoutdoors.com

2 FENCE ENCLOSURE & GATE AT POOL / DOG PARK
N.T.S.

APPROVED BY
TENNESSEE TECHNOLOGY CORRIDOR
DEVELOPMENT AUTHORITY
Meeting Date: 6-6-2024

6-A-24-TOA



Gliding Hawk Lane
Knox County, TN 37932



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Project: Silver Creek at Hardin Valley

Project #: 141835
Drawn By: CTS, EE, AY CKD By: CB
Date: 2024.04.19 Scale: As Noted

Rev.	Description:	Date:
	TTCDA Submittal	2024.04.19

FENCE DETAILS

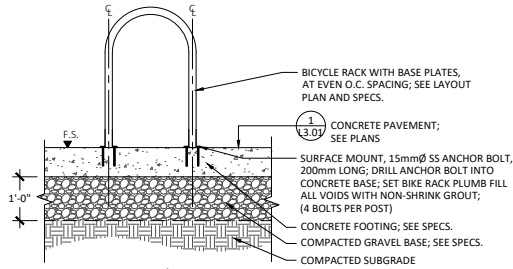
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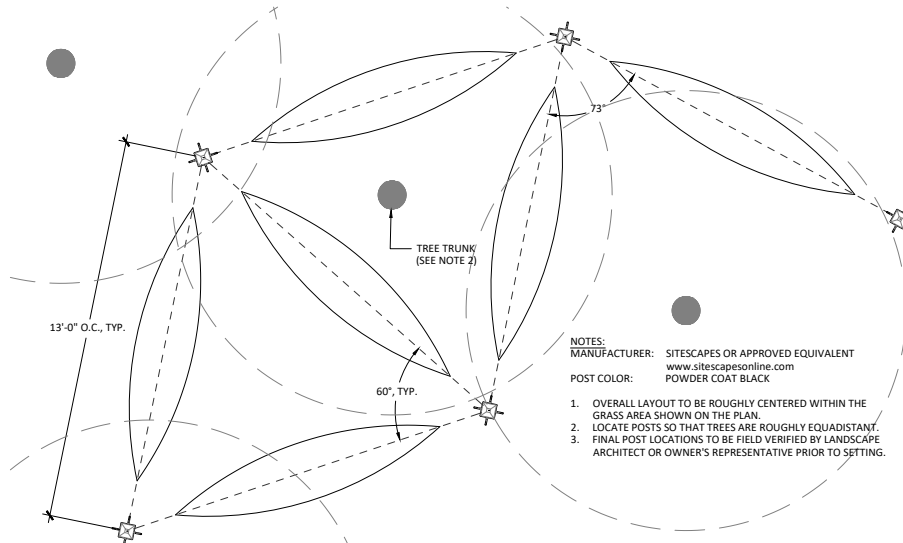
6-A-24-TOA

PRODUCT:
 DERO HOOP RACK, FT - SURFACE MOUNT
 BY DERO BIKE RACK COMPANY OR EQUAL
 COLOR: BLACK POWDER COAT FINISH

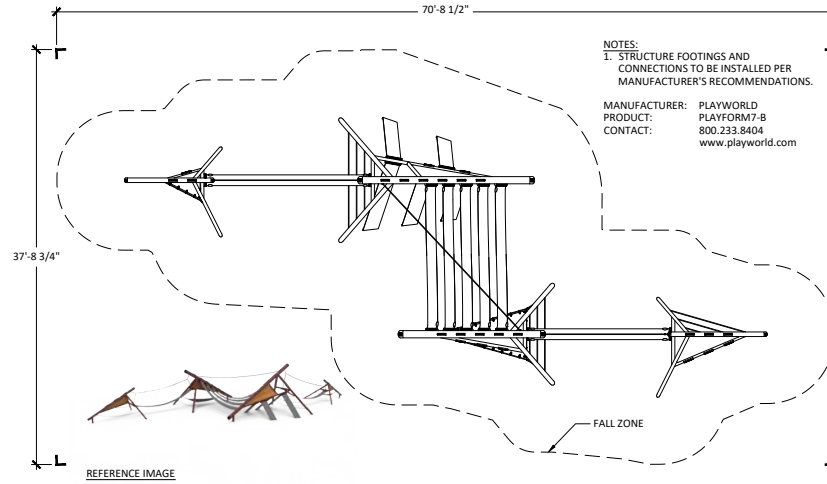
NOTES:
 1. CONTRACTOR SHALL COORDINATE SITE WALK TO LOCATE ALL
 SITE FURNISHINGS WITH LANDSCAPE ARCHITECT AND
 OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.



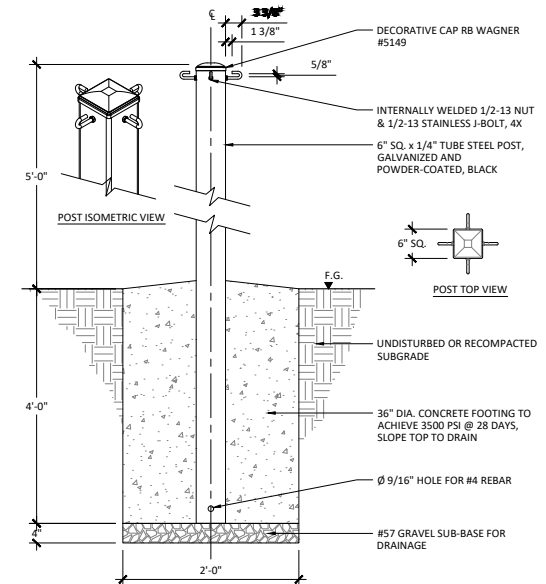
2 BIKE RACK (SURFACE MOUNT)
 N.T.S.



3 HAMMOCK POST - LAYOUT PLAN
 1/2" = 1'-0"



1 PLAYGROUND STRUCTURE
 N.T.S.



4 HAMMOCK POST - SECTION
 1" = 1'-0"



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SITE FURNISHING
 DETAILS

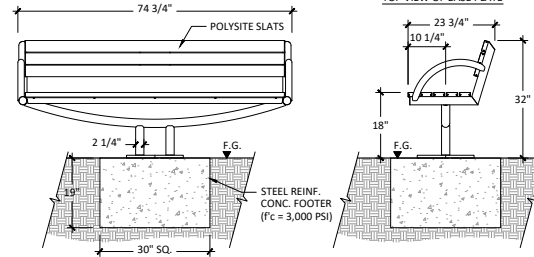
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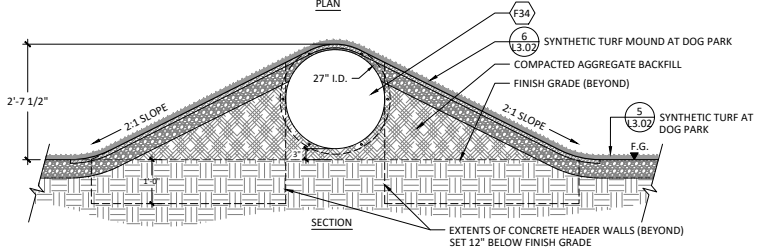
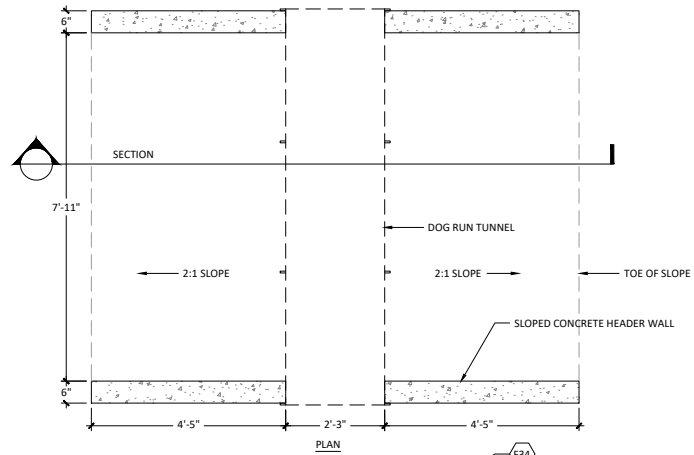
6-A-24-TOA

- NOTES:
 1. SEE LANDSCAPE FORMS INSTALLATION GUIDE FOR ADDITIONAL FOOTING AND ANCHOR OPTIONS.
 2. CONTRACTOR SHALL COORDINATE SITE WALK TO LOCATE ALL SITE FURNISHINGS WITH LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

MANUFACTURER: LANDSCAPE FORMS
 PRODUCT: ARCATA (AR422-02) BACKED BENCH, SURFACE MOUNT, WITH ARMS
 MATERIAL: FRAME - ALUMINUM SLATS - POLYSITE
 FINISH: FRAME - POWDERCOAT SILVER SLATS - DRIFT WOOD



1 BENCH
 3/4" = 1'-0"



2 MOUNTED PLAY TUNNEL AT DOG PARK
 3/4" = 1'-0"



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SITE FURNISHING
 DETAILS

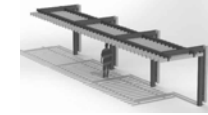
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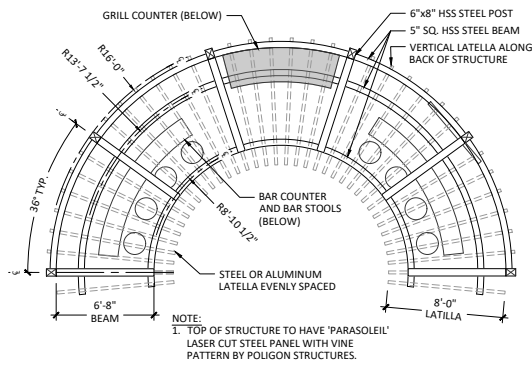
6-A-24-TOA

- NOTES:
- ALL STEEL COMPONENTS (STRUCTURAL MEMBERS, ORNAMENTATION, RAILINGS, ETC.) ARE POWDER COATED IN THE FOLLOWING MANNER:
 - SHOT BLASTED TO NEAR WHITE CONDITION (SSPC SP-10)
 - WASHED AND SEALED IN A PHOSPHATE SPRAY
 - PRIME-COATED WITH POLI-5000 HIGH PERFORMANCE POWDER APPLIED EPOXY
 - TOP-COATED WITH SUPER-DURABLE TGIC POLYESTER POWDER AND OVEN CURED
 - SEE POLYGON.COM FOR COLOR OPTIONS.
 - THIS IS A CONCEPT DRAWING, DIMENSIONS SHOWN ARE REPRESENTATIVE.

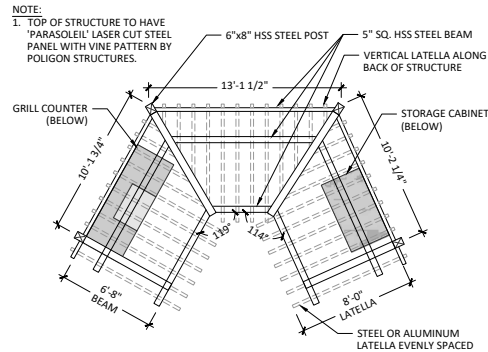
PRODUCT #: DB115
 MANUFACTURER: POLYGON
 CONTACT: POLYGON.COM
 616-399-1963



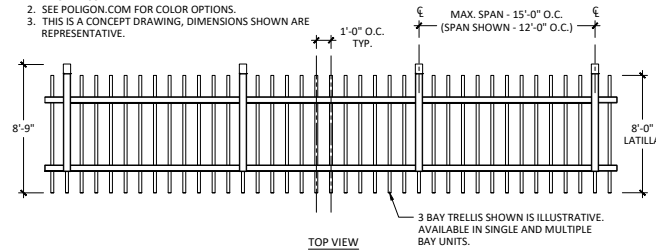
PERSPECTIVE IMAGES



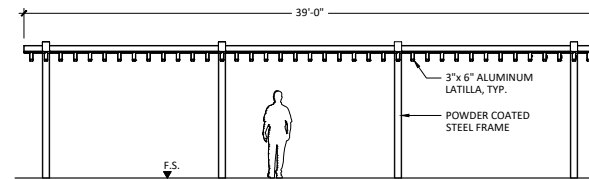
3 TRELLIS AT HIGH POINT AMENITY AREA - FRAMING PLAN
 1/4" = 1'-0"



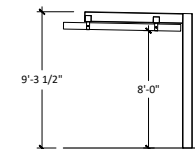
4 TRELLIS AT VALLEY VISTA AMENITY AREA - FRAMING PLAN
 1/4" = 1'-0"



TOP VIEW

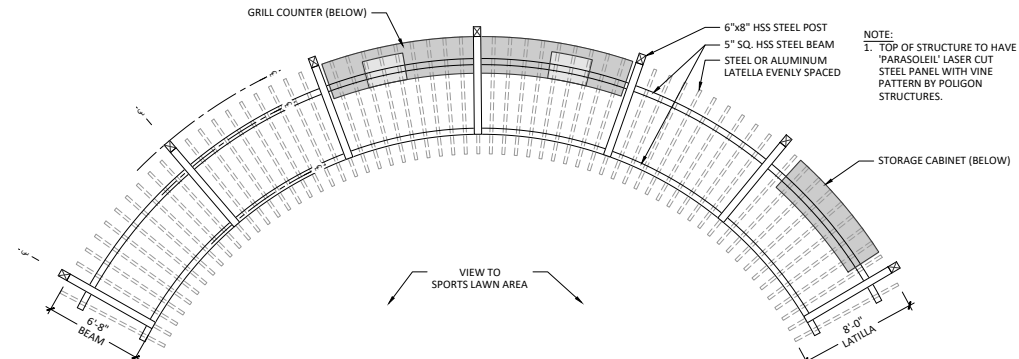


FRONT VIEW



SIDE VIEW

1 TRELLIS STRUCTURES - SECTION/ELEVATION (TYPICAL)
 1/4" = 1'-0"



2 TRELLIS AT SPORTS LAWN AMENITY AREA - FRAMING PLAN
 1/4" = 1'-0"



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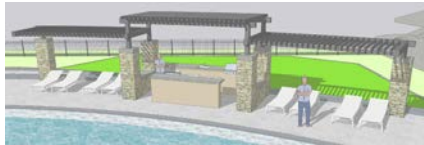
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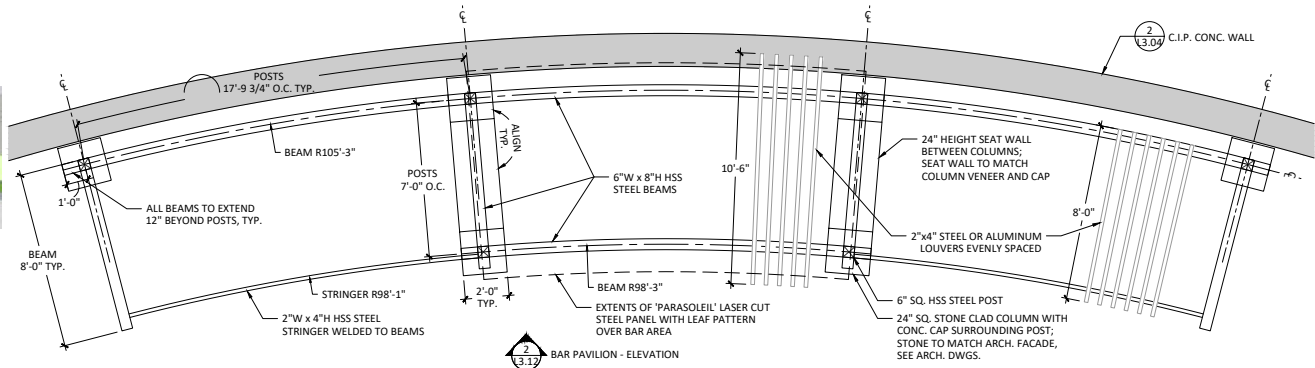
Rev.	Description	Date
1	TTCDA Submittal	2024.04.19

TRELLIS DETAILS

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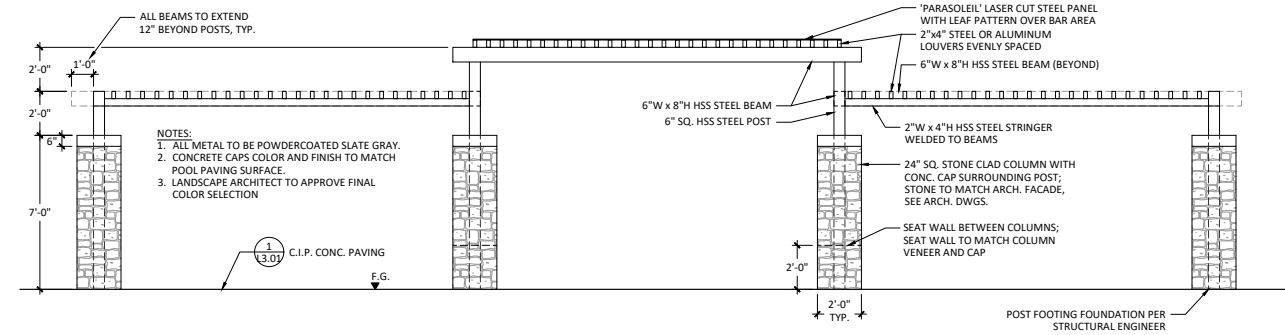


BAR PAVILION REFERENCE IMAGE

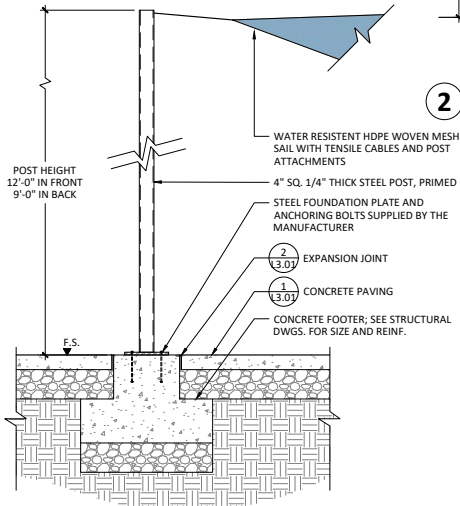


1 BAR PAVILION - FRAMING PLAN
3/8" = 1'-0"

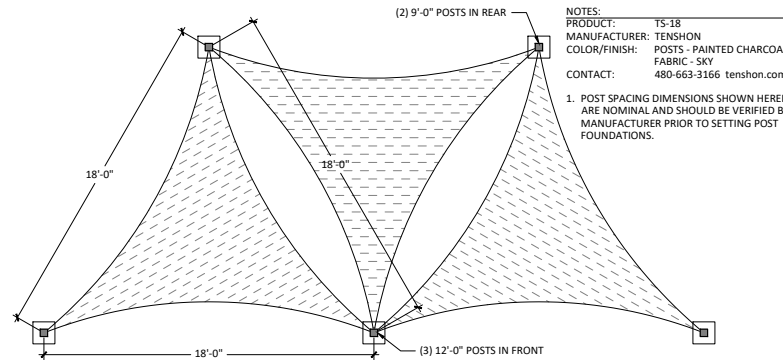
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DEVELOPMENT AUTHORITY
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2 BAR PAVILION - ELEVATION
3/8" = 1'-0"



4 SHADE SAILS AT DOG PARK - SECTION
3/4" = 1'-0"



3 SHADE SAILS AT DOG PARK - LAYOUT PLAN
3/8" = 1'-0"

SHADE SAIL:

1. INSTALLER SHALL SCHEDULE A PROJECT SITE MEETING WITH THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO BEGINNING WORK RELATED TO INSTALLATION OF THE SHADE SAIL. SHOP DRAWINGS SHALL BE SUBMITTED WITH MATERIALS AND DIMENSIONS FOR ALL POSTS, SAIL CLOTH, WIRES, TENSIONERS, AND RINGS.
2. EACH SHADE SAIL AREA SHALL INCLUDE (6) 4" SQUARE 9" WALL STEEL POSTS. TWO POSTS SHALL BE 9' TALL AND THREE POSTS SHALL BE 12' FEET TALL. ALL POSTS SHALL BE PRIMED AND PAINTED. COLORS TO BE DETERMINED BY THE OWNER AND LANDSCAPE ARCHITECT. EACH SHADE SAIL AREA SHALL INCLUDE THREE TRIANGULAR SHADE SAILS. EACH SAIL SHALL MEASURE APPROXIMATELY 18' ON EACH SIDE. EACH SHALL BE MANUFACTURED USING UV STABILIZED HPDE FABRIC WITH UV STABILIZED THREAD WITH REINFORCED CORNERS AND STEEL D RINGS. SAILS SHALL INCLUDE POCKETS FOR TENSIONING CABLES. CABLES SHALL BE STAINLESS STEEL WITH STAINLESS STEEL TURNBUCKLES AND HARDWARE. POSTS SHALL BE SET IN REINFORCED CONCRETE FOUNDATIONS.
3. COMPONENTS SHALL BE MANUFACTURED BY TENSHON @ 8743 EAST PECOS ROAD SUITE 122 MESA, ARIZONA OR APPROVED EQUAL.



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1	TTCDA Submittal	2024.04.19

PLANT SCHEDULE

SYMB.	QTY.	ABBREV.	SCIENTIFIC NAME	COMMON NAME	MIN. SIZE	SPACING	NOTES
LARGE DECIDUOUS SHADE TREES							
8 EA	ACE RUB		<i>Acer rubrum</i> 'October Glory'	October Glory Red Maple	2" CAL.		
15 EA	LIR TUL		<i>Liriodendron tulipifera</i>	Tulip Poplar	2" CAL.		
28 EA	LIQ STY		<i>Liquidambar styraciflua</i> 'Rotundiloba'	Rotundiloba Sweetgum	2" CAL.		B&B; CENTRAL LEADER; FULL; WELL BRANCHED
62 EA	QUE PHE		<i>Quercus phellos</i> 'Hightower'	Hightower Willow Oak	2" CAL.		
8 EA	ULM AME		<i>Ulmus americana</i> 'Princeton'	Princeton American Elm	2" CAL.		
121 TOTAL							

MEDIUM DECIDUOUS TREES							
38 EA	ULM PAR		<i>Ulmus parvifolia</i> 'Allee'	Allee Lacebark Elm	2" CAL.		B&B; CENTRAL LEADER; FULL; WELL BRANCHED
38 TOTAL							

MEDIUM EVERGREEN TREES							
41 EA	CUP SEM		<i>Cupressus sempervirens</i>	Italian Cypress	8' HT.		
15 EA	ILE NEL		<i>Ilex</i> x 'Nellie R. Stevens'	Nellie R. Stevens Holly	8' HT.		
49 EA	JUN VIR		<i>Juniperus virginiana</i>	Eastern Red Cedar	8' HT.		SEE PLANTING PLANS
21 EA	MAG BRA		<i>Magnolia grandiflora</i> 'Bracken's Brown'	Bracken's Brown Beauty Magnolia	8' HT.		B&B; FULL TO GROUND
17 EA	MAG GRA		<i>Magnolia grandiflora</i>	Southern Magnolia	8' HT.		
143 TOTAL							

SMALL EVERGREEN TREES							
14 EA	PIC ABI		<i>Picea abies</i> 'Cupressina'	Columnar Norway Spruce	8' HT.		SEE PLANTING PLANS; B&B; FULL TO GROUND
14 TOTAL							

SMALL ORNAMENTAL TREES							
33 EA	COR BRA		<i>Cornus florida</i> 'Cherokee Brave'	Cherokee Brave Dogwood	10' MIN. HT.		
59 EA	COR FLO		<i>Cornus florida</i> 'Cherokee Princess'	Cherokee Princess Dogwood	10' MIN. HT.		SEE PLANTING PLANS; B&B; MULTI-STEM
38 EA	CER CAN		<i>Cercis canadensis</i> 'Forest Pansy'	Forest Pansy Redbud	10' MIN. HT.		
130 TOTAL							

EVERGREEN SHRUBS							
242 EA	BUX MIC		<i>Buxus microphylla</i> var. <i>japonica</i> 'Winter Gem'	Winter Gem Boxwood	#5 CONT.	3' O.C.	24" HT x 24" SPD. MIN.
311 EA	CEP HAR		<i>Cephalotaxus harringtonia</i> 'Duke Gardens'	Duke Gardens Yew	#5 CONT.	4' O.C.	18" HT x 24" SPD. MIN.
272 EA	ILE COR		<i>Ilex cornuta</i> 'Carissa'	Carissa Holly	#5 CONT.	3' O.C.	18" HT x 18" SPD. MIN.
280 EA	ILE VER		<i>Ilex verticillata</i> 'Nana'	Nana Winterberry Holly	#5 CONT.	4' O.C.	18" HT x 18" SPD. MIN.
154 EA	ILE VOM		<i>Ilex vomitoria</i> 'Stoke's Dwarf'	Stoke's Dwarf Yaupon Holly	#5 CONT.	3' O.C.	18" HT x 18" SPD. MIN.
388 EA	PRU LAU		<i>Prunus laurocerasus</i> 'Otto Luyken'	Otto Luyken Laurel	#5 CONT.	4' O.C.	18" HT x 24" SPD. MIN.
563 EA	TAX BAC		<i>Taxus baccata</i> 'Repandens'	Repandens English Yew	#5 CONT.	4' O.C.	18" HT x 24" SPD. MIN.
2,210 TOTAL							

DECIDUOUS SHRUBS							
94 EA	FOT GAR		<i>rothergilla gardenii</i> 'Mt. Airy'	Mt. Airy Fothergilla	#5 CONT.	3' O.C.	18" HT x 12" SPD. MIN.
56 EA	ITE VIR		<i>Itea virginica</i> 'Henry's Garnette'	Henry's Garnette Sweetspire	#5 CONT.	3' O.C.	24" HT x 18" SPD. MIN.
56 EA	ROS RAD		<i>Rosa radrazz</i> 'Knockout'	Knockout Rose	#5 CONT.	3' O.C.	18" HT x 18" SPD. MIN.
206 TOTAL							

GROUND COVER / PERENNIALS / BULBS							
1298 EA	HYP CAL		<i>Hypericum calycinum</i> 'NCHC1'	Golden Rule Saint John's Wart	1 GAL.	12" O.C.	6" HT. MIN.
4561 EA	ISO FLU		<i>Isotoma fluviatilis</i>	Blue Star Creeper	1 GAL.	12" O.C.	6-12" SPD.
1304 EA	JUN HOR		<i>Juniperus horizontalis</i> 'Blue Chip'	Blue Chip Juniper	3 GAL.	24" O.C.	18" SPD.
17962 EA	LIR MUS		<i>Liriope muscari</i> 'Big Blue'	Big Blue Liriope	1 GAL.	12" O.C.	6" HT. MIN.
3194 EA	OPH JAP		<i>Ophiopogon japonicus</i> 'Nanus'	Dwarf Mondo Grass	1 GAL.	12" O.C.	6" HT. MIN.
2224 EA	PAC TER		<i>Pachysandra terminalis</i> 'Green Sheen'	Green Sheen Pachysandra	1 GAL.	18" O.C.	6" HT. MIN.
34 EA	SCH SCO		<i>Schizachyrium scoparium</i> 'Standing Ovation'	Standing Ovation Little Bluestem	1 GAL.	24" O.C.	12" HT. MIN.
30,577 TOTAL							

MEADOW / LAWN SEED							
169,350 SF	TRF MIX		TURF TYPE FESCUE SEED				SEEDING RATE = 350 PLS LBS/ACRE

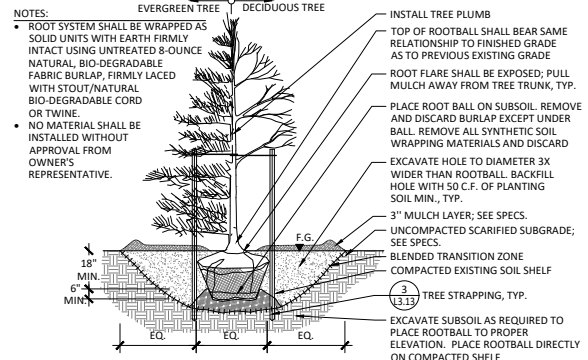
MISC ACCESSORIES							
76625 SF			MULCH; SEE SPECIFICATIONS				
7307 LF			BLACK METAL BED EDGING; SEE PLANS, DETAILS, AND SPECIFICATIONS				
1471 SF			FLAGSTONE				

PLANTING NOTES:

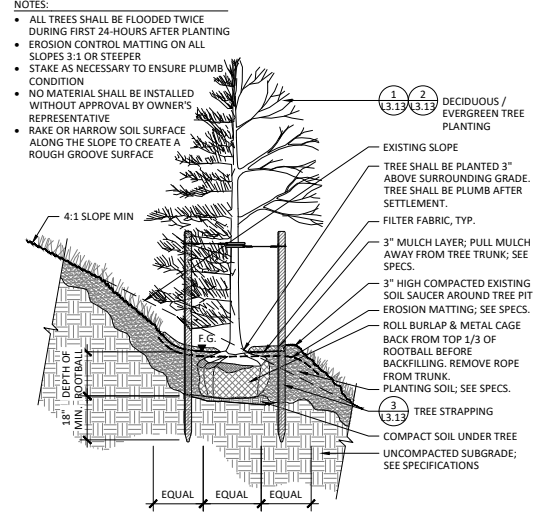
- PLANTING SOILS SHALL BE LOCALLY SOURCED TOPSOIL OR PLANTING SOILS CREATED BY BLENDING TOPSOIL, RIVER SAND, AND WELL AGED COMPOST. ALL PLANTING SOILS SHALL BE TESTED FOR FERTILITY, ORGANIC CONTENT, AND PH. TEST RESULTS SHALL INCLUDE SOIL PH, BUFFER PH, CALCIUM, MAGNESIUM, POTASSIUM, AND PHOSPHOROUS CONTENT. SOIL TEST RESULTS SHALL INCLUDE PERCENTAGE ORGANIC MATTER, CALCULATED CEC, BASE SAT.%, BORON, COPPER, IRON, MANGANESE, SODIUM, SULFUR, AND ZINC.
- NO PLANTING SOIL OR PLANTS SHALL BE INSTALLED UNTIL THE LANDSCAPE ARCHITECT REVIEWS AND APPROVES OF THE TEST RESULTS FOR THE PROPOSED PLANTING SOILS TO BE USED.
- PLANTING SOILS SHALL BE INSTALLED IN CONTINUOUS LIFTS ACROSS THE ENTIRE AREA OF EACH PLANT BED. DEPTHS OF PLANTING SOILS VARY BASED UPON THE PLANT MATERIALS PLANNED FOR EACH PLANT BED.
- SOD/LAWN- 4" LIFT OF APPROVED PLANTING SOIL CONTINUOUS WITHIN ENTIRE PLANTED AREA.
- GROUND COVER- 6" LIFT OF APPROVED PLANTING SOIL CONTINUOUS WITHIN ENTIRE PLANTED AREA.
- SHRUBS- 9" LIFT OF APPROVED PLANTING SOIL CONTINUOUS WITHIN ENTIRE PLANTED AREA.
- TREES SHALL BE PLANTED IN OVEREXCAVATED HOLES WITH 2 CY OF APPROVED PLANTING SOIL FOR EACH TREE.
- FOR ALL PLANTING AREAS SUBSOILS SHALL BE SCARIFIED AND PLANTING TILLED WITH EXISTING SUBSOIL AS SHOWN IN THE PROJECT DETAILS.

APPROVED BY
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DEVELOPMENT AUTHORITY
Meeting Date: 6-6-2024

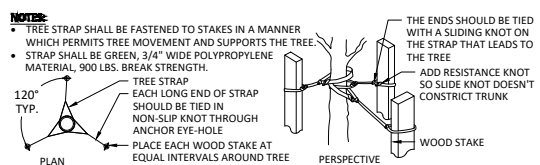
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1 TREE PLANTING
N.T.S.



2 TREE PLANTING ON SLOPE
N.T.S.



3 TREE STRAPPING
N.T.S.



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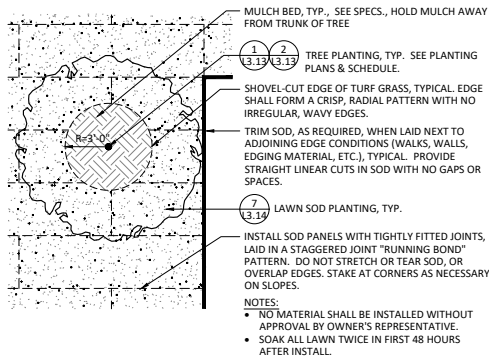
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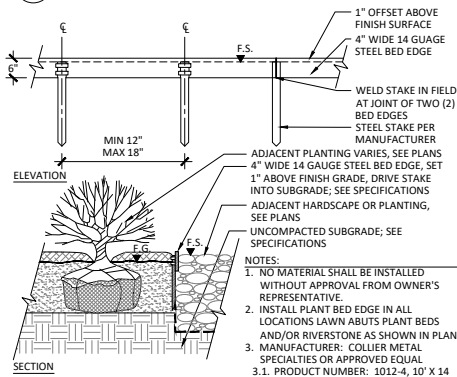
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PLANTING
SCHEDULE &
DETAILS

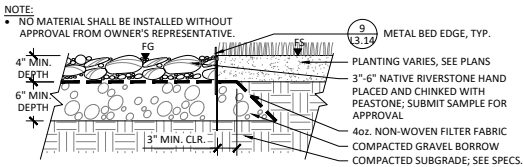
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8 LAWN SOD LAYOUT
N.T.S.



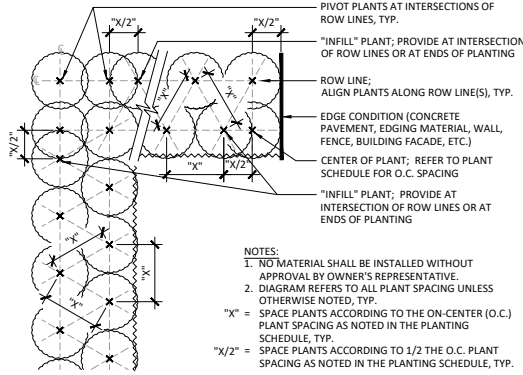
9 BED EDGE - METAL
N.T.S.



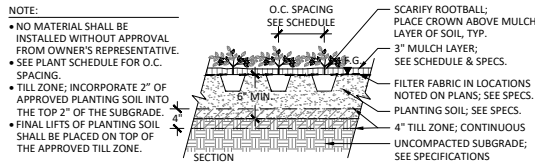
10 BED EDGE AT RIVERSTONE
N.T.S.

APPROVED BY
TENNESSEE TECHNOLOGY CORRIDOR
DEVELOPMENT AUTHORITY
Meeting Date: 6-6-2024

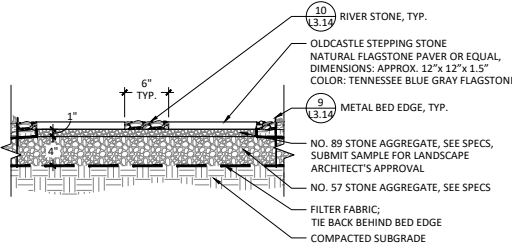
6-A-24-TOA



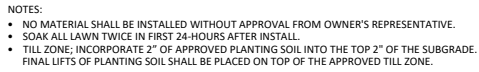
4 SPACING DIAGRAM - DOUBLE ROW
N.T.S.



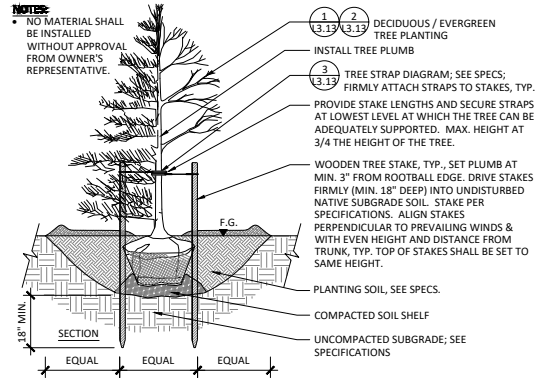
5 GROUNDCOVER / PERENNIAL PLANTING
N.T.S.



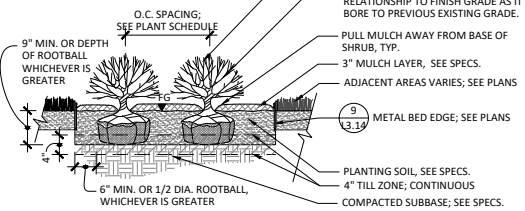
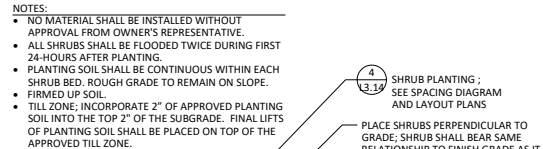
6 FLAGSTONE
N.T.S.



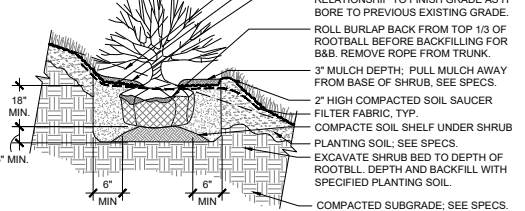
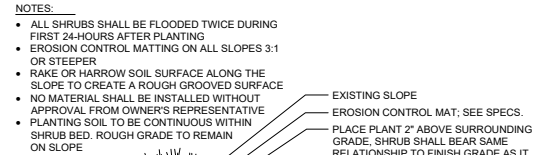
7 LAWN SOD / MEADOW SEED PLANTING
N.T.S.



1 TREE STAKING
N.T.S.



2 SHRUB PLANTING
N.T.S.



3 SHRUB PLANTING ON SLOPE
N.T.S.

Rev.	Description	Date
	TTCDA Submittal	2024.04.19



- | | | |
|--|--|--|
| <input checked="" type="checkbox"/> BUILDING PERMIT - NEW CONSTRUCTION | <input type="checkbox"/> REZONING | <input type="checkbox"/> ADMINISTRATIVE REVIEW |
| <input type="checkbox"/> BUILDING PERMIT - EXPANSION OR RENOVATION | <input type="checkbox"/> SIGNAGE | <input type="checkbox"/> BOARD REVIEW |
| <input checked="" type="checkbox"/> BUILDING PERMIT - GRADING PLAN | <input type="checkbox"/> ZONING VARIANCE | |

Brookstone Partners

PUBLISHED APPLICANT NAME - no individuals on behalf of -

04/23/24	N/A	6-A-24-TOA
DATE FILED	MEETING DATE (IF APPLICABLE)	FILE NUMBER

CORRESPONDENCE

Correspondence related to this application will be directed to the contact listed below.

- APPLICANT OWNER OPTION HOLDER SURVEYOR ENGINEER ARCHITECT/LANDSCAPE ARCHITECT ATTORNEY

Mike Brinegar	Brookstone Partners		
NAME	COMPANY		
2601 South Bayshore Dr. STE 725	Coconut Grove	FL	33133
ADDRESS	CITY	STATE	ZIP
407.701.0517	mike.brinegar@cornerstonegrp.com		
PHONE	EMAIL		

CURRENT PROPERTY INFO

- MULTIPLE OWNERS / OPTION HOLDERS PART OF PARCEL

OWNER NAME - if different -	OWNER ADDRESS	OWNER PHONE/EMAIL
2150 Gliding Hawk Lane Knoxville, TN 37932		
PROPERTY ADDRESS		
103 11502	NO	39.24 AC
PARCEL ID(S)	PART OF PARCEL? (Y/N)	TRACT SIZE

STAFF USE ONLY

Northwest quadrant of intersection of Valley Vista Rd and Carmichael Rd, east side of Gliding Hawk Ln	<input type="checkbox"/> CITY <input checked="" type="checkbox"/> COUNTY
GENERAL LOCATION	6th
OB/TO	MU-SD, NWCO-5 (Carmichael Rd/ Hardin Valley Mixed Use-Special District)
ZONING	SECTOR PLAN LAND USE CLASSIFICATION
Northwest County	Agriculture/forestry/vacant land
PLANNING SECTOR	EXISTING LAND USE

REQUEST

BUILDING PERMIT

- NEW CONSTRUCTION
 EXPANSION OR RENOVATION
 GRADING PLAN

- REZONING
 SIGNAGE
 ZONING VARIANCE

PLAN MATERIALS:

- DEVELOPMENT PLAN
 BUILDING ELEVATIONS
 FLOOR PLAN
 LANDSCAPE PLAN
 SIGNAGE PLAN
 OFF-STREET PARKING

OTHER:

WAIVERS OR VARIANCES REQUESTED? YES NO

ADMINISTRATIVE REVIEW: LIGHTING LANDSCAPING PLAN

RENOVATION OR EXPANSION

SUMMARY OF WORK TO BE PERFORMED:

Revised plans from original approval (3-A-23-TOB)

ZONING VARIANCE

SUMMARY OF ZONING VARIANCE REQUEST:

REZONING

REZONE FROM: _____

TO: _____

SECTOR PLAN AMENDMENT FROM: _____

TO: _____

SIGNAGE

- YARD SIGN BUILDING SIGN OTHER SIGN
- AREA: _____ AREA: _____ AREA: _____
- HEIGHT: _____ HEIGHT: _____ HEIGHT: _____
- FINISH: _____ FINISH: _____ TYPE: _____

STAFF USE ONLY

<input type="checkbox"/> TTCDA Checklist <input type="checkbox"/> Property Owners/Option Holders	CODE FEE \$250/1106	CODE FEE	TOTAL
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AUTHORIZATION

By signing below

You certify that you are the property owner and/or authorized representative.

Michael Brinegar



Development Partner

04/24/2024

APPLICATION AUTHORIZED BY

AFFILIATION

DATE

407.701.0517

mike.brinegar@cornerstonegrp.com

PHONE NUMBER

EMAIL



Michelle Portier

04/25/2024, SG

STAFF SIGNATURE

PRINT NAME

DATE PAID