

Applicant: MARK CAMPBELL CARTER ENGINEERING

Request: BUILDING PERMIT

Meeting Date: 9/11/2023

Address: 2187 Greenland Way

Map/Parcel Number: 103 M A 004

Location: Southwest corner of Hardin Valley Rd and Greenland Way

Existing Zoning: PC (Planned Commercial) / TO (Technology Overlay)

Proposed Zoning:

Existing Land Use: AgForVac (Agricultural)

Proposed Land Use: Fast food restaurant

Appx. Size of Tract: 1.75 acres

Accessibility: Access is via Spring Bluff way, a private right-of-way with a 25-ft pavement width within a 40-ft right-of-way.

Surrounding Zoning and Land Uses: North: BP/TO (Business Park) / (Technology Overlay) - Public/quasi public land, single family residential

South: PC/TO (Planned Commercial) / (Technology Overlay) - Office

East: PC (Planned Commercial), OB (Office, Medical and Related Services) & TO (Technology Overlay) - Office, multifamily residential

West: PC/TO (Planned Commercial) / (Technology Overlay) - Agricultural/forestry/vacant

Comments: The proposal is for a new Chick-Fil-A restaurant with a drive through facility on a 1.75-acre site on Hardin Valley Road. Spring Bluff Way runs along the southern boundary of the property. There will be one driveway access on Spring Bluff Way.

PURSUANT TO ARTICLE V, SECTION 2 OF THE TTCDA ADMINISTRATIVE RULES AND PROCEDURES, THE DECISION OF THE TTCDA TO APPROVE REQUESTS FOR BUILDING PERMIT CERTIFICATES OF APPROPRIATENESS MUST BE BASED ON THE FOLLOWING CRITERIA:

A. CONFORMITY OF THE PROPOSAL WITH THE TENNESSEE TECHNOLOGY CORRIDOR DESIGN GUIDELINES.

1. The building is setback 50 ft from Hardin Valley Rd. The building setbacks adhere to either the PC zone or the TTCDA guidelines, whichever is more stringent. The building meets the required setbacks, including the 100-ft setback where it abuts the multifamily residential development on Greenland Way.
2. The parking lot has 72 parking spaces, including 5 compact spaces. This meets the minimum requirement, which is 40 spaces and is under the maximum, which is 82 spaces.
3. The parking lot also meets the 20-ft landscape buffer requirements along right of ways.
4. This property has no existing vegetation. The landscape plan is extensive and adheres to all landscape requirements of TTCDA.
5. The lighting plan meets all TTCDA guidelines for lighting intensity. Light poles have full cut off with dark bronze non-reflective finishes.
6. Chick-Fil-A has four building signs and one monument sign. Three building signs are identical

and read “Chick-fil-A” spelled in cursive. The letters are LED-illuminated channel letters. They are 37.71 sq ft each with red acrylic trimcap with aluminum returns painted to match the brick. The other building sign is the square shaped Chick-Fil-A logo. It is 36 sq ft. and of cardinal red vinyl. The building has 3 frontages along Hardin Valley Rd, Greenland Way and Spring Bluff Rd, each with a building sign maximum of 100 sq ft. The four signs total 244'-9" in area, which is less than the 300 sq ft allotted by the TTCDA Guidelines. The four building signs are under the maximum at 149 sq ft. The flex faces are decorated with translucent vinyl film on surface of acrylic and is internally illuminated with white LED lights. The monument sign is 50 sq ft on each side for a total of 100 sq ft, which is based on the building frontage up to a maximum of 100 sq ft. The base masonry will match the building. This rectangular sign reads “Chick-fil-A” spelled in cursive. The cabinet is internally illuminated with white LED lights. The finish for all signs is satin. Staff supports this finish as it is not glossy or reflective.

B. CONFORMITY OF THE PROPOSAL WITH THE KNOXVILLE-KNOX COUNTY MINIMUM SUBDIVISION REGULATIONS AND EITHER THE KNOXVILLE ZONING ORDINANCE, OR THE KNOX COUNTY ZONING ORDINANCE, AS APPROPRIATE.

1. This property is zoned PC (Planned Commercial) / TO (Technology Overlay). In general, uses permitted shall include office, commercial services and light distribution centers. The protective covenants allow commercial uses. This proposal is consistent with the intent of the PC zone.
2. This case is associated with Planning Commission case file # 9-C-23-DP. Knox County Zoning Ordinance 5.33.13. Administration.- A development plan shall be submitted to the Planning Commission for approval.
3. The applicant does not wish to replat the property, so the Subdivision Regulations are not applicable.

C. EFFECT OF THE PROPOSAL ON THE SUBJECT PROPERTY, SURROUNDING PROPERTY AND THE COMMUNITY AS A WHOLE.

1. Hardin Valley Road has developed with a range of commercial uses, including other fast food restaurants with drive through windows, so the use is consistent with development along this major corridor.
- 2: The applicant is working with Knox County Engineering and Public Works on any improvements that may be required along Hardin Valley Road.
3. As stated previously, staff supports the landscaping plan as proposed because it meets the TTCDA standards. This will provide plantings between the development and the street, as well as multiple trees within the site.

D. CONSISTENCY OF THE PROPOSAL WITH THE REQUIREMENTS OF KNOX COUNTY DEPARTMENTS, AS APPROPRIATE.

1. As stated in the traffic study, Hardin Valley Road is a minor arterial, which experiences high traffic volumes and congestion. A condition of the use on review associated with this request states that the applicant shall coordinate and partner with County Engineering and Public Works to ensure anticipated increases in traffic are mitigated.

Design Guideline Conformity: With the recommended conditions, the proposed development conforms to the Design Guidelines.

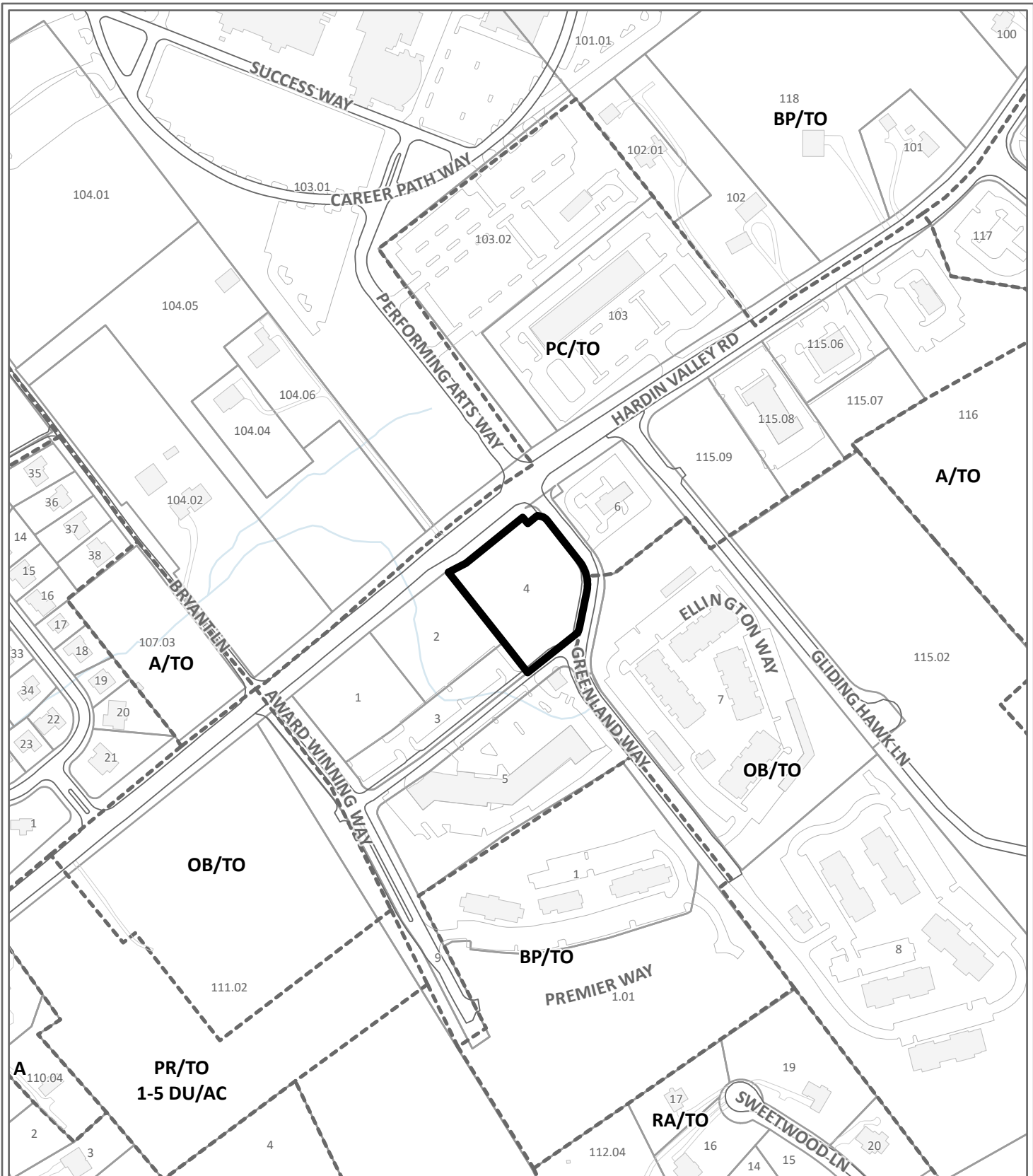
Waivers and Variances Requested: N/A

Staff Recommendation:

Staff recommends approval of this request for a Certificate of Appropriateness for a building permit, subject to five conditions:

- 1) Obtaining Planning Commission approval of the development plan case associated with this request prior to applying for permits. A request for development plan approval is on the September 14, 2023 Planning Commission agenda (Case 9-C-23-DP).

- 2) Coordination and partnership with County Engineering and Public Works to ensure anticipated increases in traffic are mitigated.
- 3) Installation of all landscaping as shown on development plan within six months of the issuance of an occupancy permit, or posting a bond with the Knox County Department of Engineering and Public Works to guarantee such installation.
- 4) Meeting all applicable requirements of the Knox County Department of Engineering and Public Works.
- 5) Meeting all applicable requirements of the Knox County Zoning Ordinance.



**9-B-23-TOB
CERTIFICATE OF APPROPRIATENESS**



Fast Food Restaurant in PC (Planned Commercial), TO (Technology Overlay)

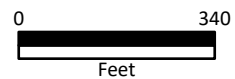
Original Print Date: 8/18/2023

Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902

Petitioner: Mark Campbell

Map No: 103

Jurisdiction: County



SITE DEVELOPMENT PLANS



FOR
CHICK-FIL-A, INC.
 62 INDOOR SEATS PROVIDED
 2187 GREENLAND WAY,
 KNOXVILLE, TN 37932

Revision 8-30-2023 9-B-23-TOB / 9-C-23-DP

AUGUST 28, 2023

INDEX TO DRAWINGS

SHEET NO.	DESCRIPTION
C-1.0	COVER
C-1.1	GENERAL NOTES
C-1.2	SURVEY
C-1.3	SURVEY
C-1.4	DEMOLITION PLAN
C-2.0	SITE PLAN
C-3.0	UTILITY PLAN
C-4.0	GRADING & DRAINAGE PLAN
C-4.1	PIPE PROFILES
C-4.2	STORMWATER DETAILS
C-4.3	CULTEC DETAILS
C-5.0	E&SC PLAN PHASE I
C-5.1	E&SC PLAN PHASE II
C-5.2	E&SC PLAN PHASE III
C-5.3	EROSION DETAILS
C-6.0	STANDARD DETAILS I
C-6.1	STANDARD DETAILS II
C-6.2	STANDARD DETAILS III
E-102	OUTDOOR LIGHTING PLAN
L-100	LANDSCAPE PLAN
L-101	LANDSCAPE DETAILS
L-102	LANDSCAPE MAINTENANCE SPECIFICATIONS

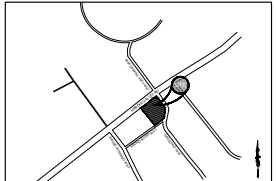
CAUTION
 THE UTILITIES SHOWN HEREON ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATION SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE SOLE RESPONSIBILITY OF THE CONTRACTOR.

COPYRIGHT NOTICE © 2022 CARTER ENGINEERING
 ALL RIGHTS RESERVED

THIS DRAWING AND ALL THE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF CARTER ENGINEERING CONSULTANTS, INC. AND IS TO BE RETAINED IN CONFIDENCE. WITHOUT WRITTEN PERMISSION OF AN OFFICER OF CARTER ENGINEERING CONSULTANTS, INC. THIS PLAN IS NOT TO BE DUPLICATED, SENT, SHOWN OR USED FOR ANY OTHER PURPOSE THAN TO DISCLOSE TO THE RECIPIENT A DESIGN CONCEPT SPECIFIC TO THE PROJECT SHOWN HEREIN. THIS PLAN SET, INCLUDING ALL HARD COPIES AND ELECTRONIC FILES, IS TO BE RETURNED TO CARTER ENGINEERING CONSULTANTS, INC. UPON DEMAND.

GENERAL PLAN SET NOTES

- THE ENGINEER IS NOT RESPONSIBLE FOR COST CHANGES DURING CONCEPTUAL, PRELIMINARY, OR DESIGN PHASE.
- BIDS & QUOTES SHALL BE BASED ON PLAN SETS LABELED "ISSUE FOR BID" ON THE REVISION BLOCK.
- BIDS & QUOTES SHALL BE REVISED BASED ON PLANS LABELED "ISSUE FOR CONSTRUCTION" ON THE REVISION BLOCK.
- IF DISCREPANCIES ARE ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE DEVIATION FROM THIS PLAN SET, THE ENGINEER SHOULD BE NOTIFIED FOR UPDATED PLANS AND/OR FIELD CHANGES.
- THE ENGINEER IS NOT RESPONSIBLE FOR DESIGN OR CONSTRUCTION COST ASSOCIATED WITH FIELD CHANGES OR DEVIATION FROM THIS PLAN SET DUE TO UNFORESEEN SITE CONDITIONS, CLIENT MODIFICATION REQUEST AND/OR CONTRACTOR CHANGES.
- THE ENGINEER IS NOT RESPONSIBLE FOR THE EFFICACY OF FIELD CHANGES OR DEVIATION FROM THIS PLAN SET IN ANYWAY, UNLESS CHANGES ARE DIRECTED BY THE ENGINEER.



LOCATION MAP
 SCALE: N.T.S.

DESIGN BY:

 CIVIL ENGINEER
 CARTER ENGINEERING CONSULTANTS, INC.
 3651 MARS HILL RD. STE. 3600
 WATKINSVILLE, GA 30677
 CONTACT: 770.725.1200
 MARK CAMPBELL, P.E.
 MARK@CARTERENGINEERING.COM

DEVELOPMENT DATA:
 -OWNER: CHICK-FIL-A, INC.
 -OWNER ADDRESS: 5200 BUFFINGTON RD., ATLANTA GA 30349
 -DEVELOPER: CHICK-FIL-A, INC.
 -DEVELOPER ADDRESS: 5200 BUFFINGTON RD, ATLANTA GA 30349
 -SITE ADDRESS: 2187 GREENLAND WAY, KNOXVILLE, TN 37932
 -ALL IMPROVEMENTS TO CONFORM WITH THE CITY OF CHARLOTTE, NC AND THE MECKLENBURG COUNTY CONSTRUCTION STANDARDS AND SPECIFICATIONS, LATEST EDITION.
 -ENGINEER: CARTER ENGINEERING CONSULTANTS, Inc.
 -ZONING: PC
 -SITE ACREAGE: 1.75 - DISTURBED AREA: 1.75

ACTIVITY SCHEDULE	MONTHS: (2019)			
	Start Date: June 1, 2019			
	JUNE	JULY	AUGUST	SEPTEMBER
TASK DESCRIPTION:				
CONSTRUCTION EXIT AND PERIMETER SILT FENCE	X			
TEMPORARY SEDIMENT STORAGE FACILITIES	X			
CLEARING & GRUBBING	X			
ROUGH GRADING	X			
TEMPORARY STABILIZATION (GRASSING)	X			
CURB AND GUTTER	X	X		
GRAVEL SUBBASE FOR ROADS AND PARKING AREAS	X			
BUILDING CONSTRUCTION	X	X	X	
FINAL GRADING	X		X	
PAVING	X		X	

- CONSTRUCTION NOTES:**
 ANTICIPATED START PROJECT DATE XXXX
 ANTICIPATED COMPLETE PROJECT DATE XXXX
 1. INSTALL EROSION CONTROL FENCE
 2. DEMOLITION
 3. CONSTRUCT STORM SYSTEM
 4. CONSTRUCT WATER AND SEWER SYSTEM
 5. FINE GRADE SITE
 6. INSTALL GRASSING AND MULCH (TEMPORARY VEGETATION)
 7. CONSTRUCT BUILDING
 8. INSTALL CURB AND GUTTER
 9. PAVE SITE
 10. FINAL STABILIZATION (PERMANENT VEGETATION), CLEAN STORM DRAIN SYSTEM
 11. MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES



 5200 Buffington Rd.
 Atlanta Georgia,
 30349-2998

REV. #	DATE	DESCRIPTION
A	06/07/2023	INITIAL REVIEW
B	06/06/2023	PERC
C	07/26/2023	TICDA SUBMITTAL
D	08/28/2023	REVISED PER TICDA COMMENTS



 CARTER ENGINEERING
 1010 COMMENCE DRIVE,
 BOGART, GA 30622
 P: 770.725.1200
 F: 770.725.1204
www.carterengineering.com

HARDIN VALLEY FSU
 STORE # 05442
 9-B-23-TOB / 9-C-23-DP

2187 GREENLAND WAY,
 KNOXVILLE, TN 37932

SHEET TITLE
 COVER
 REVISION 4-2023

Job No. : 23043CFA
 Store : 05442
 Date : 08/28/23

Sheet
C-1.0

ISSUE FOR PERMIT

CONSULTANT GEOTECHNICAL ENGINEERING CONSULTANTS, LLC, ALL RIGHTS RESERVED. THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT PERMISSION, RESERVATION, ASSURANCE, AND WITHOUT ENDORSEMENT OR LIABILITY BY CONSULTANTS, LLC.

CONSTRUCTION NOTES

- THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO COVER A COMPLETE PROJECT, READY TO USE, AND ALL ITEMS NECESSARY FOR A COMPLETE AND WORKABLE JOB SHALL BE FURNISHED AND INSTALLED. ANY DISCREPANCY SHALL BE IMMEDIATELY REPORTED TO THE OWNER OR HIS REPRESENTATIVE.
- NOTIFY THE INSPECTOR OF THE LOCAL GOVERNING AUTHORITY 24 HOURS BEFORE EVERY PHASE OF CONSTRUCTION.
- ALL WORK SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES, ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR, AT HIS EXPENSE, UNLESS ALREADY OBTAINED BY THE OWNER.
- THE CONTRACTOR SHALL COORDINATE LOCATION AND INSTALLATION OF ALL UNDERGROUND UTILITIES AND APPURTENANCES TO MINIMIZE DISTURBING CURBING, PAVING, AND ALL OTHER UTILITIES.
- THE EXISTING UTILITIES SHOWN ARE FOR THE CONTRACTOR'S CONCERN ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE DRAWINGS. THE UTILITIES SHOWN ARE INTENDED TO BE SAVED OR RECORDED. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF THE UTILITIES SHOWN UNLESS SPECIFICALLY NOTED TO VERIFY THE LOCATION OF UTILITIES WITHIN THE LIMITS OF WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- DEVIATIONS FROM THESE PLANS AND SPECIFICATIONS WITHOUT PRIOR CONSENT OF THE ENGINEER AND THE MUNICIPALITY MAY CAUSE FOR THE WORK TO BE UNACCEPTABLE.
- ALL MATERIALS SHALL BE NEW UNLESS USED OR SALVAGED MATERIALS ARE AUTHORIZED BY THE OWNER.
- THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES AROUND THE WORK AND SHALL PROVIDE PROTECTION AGAINST WATER DAMAGE AND SOIL EROSION.
- ALL WORK SHALL BE PERFORMED IN A FINISHED AND WORKMANLIKE MANNER TO THE ENTIRE SATISFACTION OF THE OWNER, AND IN ACCORDANCE WITH THE BEST RECOGNIZED TRADE PRACTICES.
- THE CONTRACTOR SHALL PROVIDE SHEETING AND SHORING FOR ALL TRENCH CONSTRUCTION IN ACCORDANCE WITH OSHA GUIDELINES.
- ALL PIPE LENGTHS SHOWN ARE TO THE CENTERLINE OF THE STRUCTURES UNLESS SPECIFICALLY NOTED.
- PIPES STORM AND SANITARY SEWERS SHALL BE Laid ON SMOOTH, CONTINUOUS GRADES WITH NO VEGING BENDS AT THE JOINTS.
- BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUM REQUIRED FOR RELATIVELY STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES TO PROVIDE SUCH ADDITIONAL BEDDING AS REQUIRED TO PROPERLY CONSTRUCT WORK.
- ALL STORM DRAINAGE INLET STRUCTURES SHALL HAVE METAL RINGS AND COVERS FOR ACCESS.
- ALL ANGLES SHOWN ARE 90 DEGREES UNLESS SHOWN OTHERWISE.
- ALL GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY DIMENSIONS, GRADES, AND EXISTING ELEVATIONS PRIOR TO CONSTRUCTION.
- CONCRETE CURBS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS SHOWN ON PLANS. MATERIALS, EQUIPMENT, METHODS OF CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO STATE D.O.T. STANDARDS SPECIFICATIONS.
- ALL CONCRETE SHALL HAVE 3000 PSI COMPRESSIVE STRENGTH AFTER 28 DAYS, WITH A MAXIMUM SLUMP OF FOUR (4) INCHES, UNLESS SPECIFIED OTHERWISE.
- ALL EXPOSED CONCRETE SHALL HAVE A FINISH BROOKEAD FINISH.
- PARKING AND DRIVEWAY BASE COURSE AND ASPHALTIC CONCRETE SURFACE AND PRIME MATERIALS, EQUIPMENT, METHODS FOR CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO STATE D.O.T. STANDARDS SPECIFICATIONS.
- CONTRACTOR TO FIELD VERIFY ALL STORM, SANITARY, WATER AND OTHER UTILITIES LOCATIONS AND INVERTS PRIOR TO INSTALLATION OF ANY UTILITIES. NOTIFY ENGINEER PRIOR TO PROCEEDING WITH ANY WORK IF DISCREPANCIES FOUND.
- THE USE OF CONCRETE THURST BLOCKS FOR THE INSTALLATION OF WATER MAINS IS STRICTLY PROHIBITED. PRESSURE TIGHT FITTINGS AND OTHER TIGHT RESTRAINT SHALL BE DESIGNED USING METHODS SPECIFIED AND APPROVED BY COUNTY CITY TECHNICAL STANDARDS, SPECIFICATIONS AND REGULATIONS. THE PREFERRED METHOD OF RESTRAINT IS THROUGH THE USE OF "MEGA LUGS" OR "MUR" DEVICES.
- ALL DIMENSIONS ARE MEASURED TO THE BACK OF CURB UNLESS OTHERWISE NOTED.

EARTHWORK SPECIFICATIONS

CLEARING AND GRUBBING

- CLEARING AND GRUBBING SHALL CONSIST OF CLEARING THE SURFACE OF THE GROUND OF THE DESIGNATED AREA OF ALL TREES, LOGS, SNAGS, BRUSH, UNDERGROWTH, HEAVY GROWTH OF GRASS, WEEDS, FENCE STRUCTURES, DEBRIS AND OBSTACLES OF ANY NATURE. NATURAL OBSTRUCTIONS SUCH AS OBSTACLE SOIL, MATERIAL UNSATISFACTORY FOR FOUNDATIONS, IT SHALL ALSO CONSIST OF CHIPPING OF STUMPS, ROOTS, OR CHIPPED AND DISPOSED OF ALL SURFACE AND SUBSURFACE REMAINS AFTER THE GRUBBING OPERATION IN EMBANKMENT AREAS AND IN EXCAVATION AREAS LESS THAN TWO FEET IN DEPTH SHALL HAVE SIDES BROKEN DOWN AND LEVEL SURFACES TO FLATTEN OUT SLOPES, REFILLED WITH ACCEPTABLE MATERIAL THAT IS PROPERLY COMPACTED IN LAYERS BY TAMERS, ROLLERS OR CONSTRUCTION EQUIPMENT.
- BURNING ON SITES IS NOT PERMITTED WITHOUT WRITTEN APPROVAL OF THE LOCAL GOVERNING AUTHORITIES HAVING JURISDICTION.

EXISTING TREES OUTSIDE OF GRADING LIMITS LINE:

- TREES AND VEGETATION TO BE SAVED SHALL BE PROTECTED FROM DAMAGE BY A FENCE BARRICADE PRIOR TO, OR DURING, CLEARING OPERATIONS. TREES TO BE REMOVED FROM THE AREA OUTSIDE THE LIMITS OF GRADING OR FROM SPECIFICALLY DESIGNATED AREAS WITHIN THE CONSTRUCTION AREA, IF, IN THE OPINION OF THE ENGINEER, A CONTRACTOR DAMAGES A TREE NOT TO BE REMOVED, THE CONTRACTOR WILL BE FINED A PREDETERMINED AMOUNT FOR EACH DAMAGED TREE. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ALL COSTS ASSOCIATED IN REMOVING THE DAMAGED TREE FROM THE SITE.

FILL:

- ALL VEGETATION SUCH AS ROOTS, BRUSH, HEAVY GROWTH OF GRASS, TOPSOIL, ALL DECAYED VEGETATION MATTER, RUBBER AND OTHER UNDESIRABLE MATERIAL WITHIN THE AREA WHERE FILL IS TO BE PLACED SHALL BE STRIPPED OR BE OTHERWISE REMOVED BEFORE THE FILL OPERATION IS STARTED. IN NO CASE SHALL UNDESIRABLE MATERIAL REMAIN OR UNDER THE FILL AREA. SLOPED GROUND SURFACE STEEPER THAN ON VERTICAL TO FOUR HORIZONTAL, ON WHICH FILL IS TO BE PLACED, SHALL BE PLACED, STRIPPED OR BURNED IN SUCH A MANNER THAT THE FILL TO BE PLACED SHALL BE 97 PERCENT OF THE MAXIMUM LABORATORY DRY DENSITY ACCORDING TO STANDARD PROCTOR (ASTM) TYPE A, 2000. MOISTURE CONTENT SHALL BE WITHIN 1 PERCENT OF THE OPTIMUM MOISTURE CONTENT. PROFIT BOLL THE AREAS TO BE FILLED OR ON WHICH STRUCTURES ARE TO BE PLACED. A LOADED 3000 LB TRUCK OR OTHER RUBBER TREAD EQUIPMENT SHALL BE USED FOR PROOF ROLLING. OVERLAPPING PASSES OF A VEHICLE SHOULD BE MADE ACROSS THE SITE IN ONE DIRECTION AND THEN PERPENDICULAR TO THE ORIGINAL DIRECTION OF ROLLING.
- ANY YIELDING, PUMPING OR SOFT AREAS SHOULD BE CUT OUT AND REPLACED WITH FILL COMPACTED AS DESCRIBED HEREIN.
- THE PROPOSED FILL SHOULD BE LIMITED TO SOILS CLASSIFIED AS ACCORDING WITH ASTM D-2922 AS GM, GC, SW, SM, SC, ML AND CL. SOIL CLASSIFIED AS PT, OH, CH, CL AND MH ARE NOT SATISFACTORY AS COMPACTED FILL.
- FILLS AND EMBANKMENTS SHALL BE CONSTRUCTED AT THE LACTATIONS AND TO THE LINES AND GRADES INDICATED ON CONSTRUCTION PLANS. THE SLOPE SHALL NOT EXCEED 1:1 HORIZONTAL TO 1 FOOT VERTICAL OR FIVE HORIZONTAL TO ONE VERTICAL. THE SLOPE SHALL NOT EXCEED 1:1 HORIZONTAL TO 1 FOOT VERTICAL. MATERIAL REMOVED FROM THE EXCAVATION SHALL BE USED FOR FILLING THE FILL. FILL MATERIAL SHALL BE REASONABLY FREE FROM ROOTS, OTHER ORGANIC MATERIAL, TRASH AND STONES HAVING MAXIMUM DIAMETERS GREATER THAN 1/2 INCHES IN ANY DIMENSION. UNDESIRABLE UTILITY, NO FROZEN MATERIAL WILL BE REMITTED IN THE FILL. STONES HAVING A MAXIMUM DIMENSION OF 12 INCHES WILL NOT BE REMITTED. THE UPPER SIX INCHES OF FILL OR EMBANKMENT OR UTILITY TRENCH, THE MATERIAL SHALL BE PLACED IN SUCCESSIVE HORIZONTAL LAYERS NOT MORE THAN 10 INCHES THICK. UNLESS OTHERWISE NOTED, WALDOE CLAYEY SILT OF OR EMBANKMENT OR UTILITY TRENCH, THE MATERIAL SHALL BE PLACED TO AT LEAST 97 PERCENT OF THE MAXIMUM LABORATORY DRY DENSITY ACCORDING TO STANDARD PROCTOR (ASTM) TYPE A, 2000. MOISTURE SHALL BE WITHIN 1 PERCENT OF THE OPTIMUM MOISTURE CONTENT. THE TOP 12 INCHES OF THE PAVING, PARKING AND DRIVEWAY AREAS SHALL BE COMPACTED BY 97 PERCENT OF THE MAXIMUM DRY DENSITY STANDARD PROCTOR. EACH LIFT SHALL BE COMPACTED WITH A VIBRATORY ROLLER, A SHEEPSFOOT ROLLER OR A LOADED RUBBER TREAD TRUCK OR OTHER EQUIPMENT. IF THE SOIL IS TO BE PLACED WATER TRUCK WITH SPREADER BAR OR SPRAY HOSE SHALL BE USED TO BRING THE SOIL TO THE PROPER MOISTURE RANGE. THE WATER SHALL BE THOROUGHLY AND PROPERLY MIXED WITH THE SOIL PRIOR TO COMPACTATION.
- STORM DRAIN PIPES SHALL BE PLACED ON FIRM BOTTOM AND HAND TAPPED TO SAFE UP THE PIPE. A CURB OF SOIL SHALL BE TAMPED ABOVE THE CROWN OF THE PIPE IN ACCORDANCE WITH THE PIPE MANUFACTURER'S RECOMMENDATIONS SO THAT THE HEAVIER CONSTRUCTION EQUIPMENT CAN THEN BE USED TO BRING THE SOIL TO A DENSITY AS DESCRIBED ABOVE FOR FILL AREAS.
- IF SOIL INVESTIGATION REPORT IS PROVIDED, THEN FOLLOW THE RECOMMENDATIONS OF THE REPORT IF THEY EXCEED THE RECOMMENDATIONS OF THESE SPECIFICATIONS.

TOPSOIL:

- UNLESS OTHERWISE SPECIFIED, AREAS DESIGNATED FOR GRADING OPERATIONS THAT CONTAIN A BLANKET OF TOPSOIL SHALL BE STRIPPED AND PLACED IN CONVENIENT STOCKPILES FOR LATER USE AS A TOPSOIL BLANKET ON THE NEW GRADES ARE SPECIFIED HEREIN, OR AS DESIGNATED TO. TOPSOIL SHALL BE STRIPPED FROM ALL AREAS DESIGNATED TO RECEIVE FILL. THE STRIPPING OF MATERIAL FOR TOPSOIL SHALL BE CAREFULLY SUPERVISED AND THE QUANTITY REQUIRED SHALL BE STOCKPILED. MATERIAL STOCKPILED SHALL BE STORED IN A SATISFACTORY MANNER TO AFFORD PROPER DRAINAGE. WHEN GRADING OPERATIONS BEGIN, INSTEAD OF STOCKPILING, THE TOPSOIL SHALL BE HAULED AND SPREAD DIRECTLY ON THE AREAS DESIGNATED TO RECEIVE TOPSOIL.

ROCK EXCAVATION:

- IF ROCK IS ENCOUNTERED, CLEAR AWAY EARTH TO EXPOSE MATERIAL. NOTIFY OWNER AND RECEIVE WRITTEN INSTRUCTIONS PRIOR TO EXCAVATION. REMOVE ROCK TO A DEPTH OF 4 INCHES BELOW AND 8 INCHES ON EACH SIDE OF PILES IN TRENCHES. A MEASUREMENT OF EXTENT OF ROCK TO BE REMOVED SHALL BE MADE. ROCK EXCAVATION SHALL BE PAID FOR IN ACCORDANCE WITH AGREEMENT WITH THE OWNER.

DEMOLITION NOTES

EXISTING STRUCTURES & FACILITIES:

- THE LOCATION OF ALL EXISTING FACILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY PRIOR TO THE START OF ANY DEMOLITION ACTIVITY. THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ON-SITE LOCATIONS OF EXISTING UTILITIES.
- THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, SUPERVISION AND EQUIPMENT REQUIRED FOR THE ORDERLY DEMOLITION AND REMOVAL OF EXISTING STRUCTURES, PAVEMENT, AND UTILITIES AS SHOWN ON THE DRAWINGS AND SPECIFICATIONS HEREIN.
- THE CONTRACTOR IS REQUIRED TO FAMILIARIZE HIMSELF WITH THE STRUCTURES TO BE DEMOLISHED. A BRIEF DESCRIPTION OF THE STRUCTURES TO BE INSTALLED AND DEMOLISHED ARE INCLUDED FOR THE CONTRACTOR'S CONVENIENCE ONLY.
- THE FOLLOWING LIST OF STRUCTURES REQUIRING DEMOLITION IS INCLUDED FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE DRAWINGS INDICATE THE SCOPE OF THE DEMOLITION WHERE DEMOLITION IS REQUIRED (SEE CORRESPONDING PLANS):
 - DEMOLITION AND REMOVAL OF EXISTING ON-SITE ASPHALT, CONCRETE, PAVING, AND CURBING TO LIMITS OF DISTURBANCE DEMOLITION AS SHOWN ON THE CORRESPONDING PLANS. CONTRACTOR TO VERIFY AND COORDINATE ANY DISCREPANCIES AND/OR CONCERNS WITH ENGINEER/LANDSCAPE ARCHITECT ACCORDINGLY.
 - ALL ON-SITE UNDERGROUND STRUCTURES AND PIPING MUST BE COMPLETELY REMOVED AND OVER-EXCAVATED BY A MINIMUM OF 12" BELOW THE STRUCTURES. CONTRACTOR SHALL USE APPROVED FLUING MATERIAL FOR FLUING THESE AREAS. FILL SHALL BE CLEAN WITH LESS THAN 2% PASSING THE #20 SIEVE, PLASTICITY INDEX LESS THAN 10, WITH MAXIMUM PARTICLE SIZE OF 1.25 INCHES, AND SHALL BE PLACED IN LAYERS NOT EXCEEDING 6 INCHES IN THICKNESS AND COMPACTED TO AT LEAST 98% OF THE MOISTURE PROCTOR MAXIMUM DRY DENSITY (ASTM D99).
 - ALL EXISTING STRUCTURES, PAVEMENTS, SLABS, FOUNDATIONS, STEPS AND OTHER EXISTING FEATURES INDICATED ON THE DRAWINGS TO BE REMOVED SHALL BE DEMOLISHED AND REMOVED BY THE CONTRACTOR. REMOVE NO STRUCTURE SUBSTANTIALLY AS A WHOLE. DEMOLISH COMPLETELY ON THE PREMISES.
 - ALL EXISTING SEWERS, PIPING, UTILITIES SHOWN ARE NOT TO BE INTERFERED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. CONTRACTOR SHALL GIVE NOTICE TO ALL UTILITIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK.
 - THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION FOR PERSON AND PROPERTY AT ALL TIMES, HE OR SHE SHALL EXECUTE THE WORK IN A MANNER THAT AVOIDS HAZARDS TO PERSON AND PROPERTY AND THAT PREVENTS INTERFERENCE WITH THE USE AND ACCESS TO ADJACENT PROPERTIES, BUILDINGS, AND ADJACENT STREETS. STREETS AND SIDEWALKS SHALL NOT BE BLOCKED BY DEBRIS AND EQUIPMENT.
 - CONTRACTOR MUST STOP OPERATION AND NOTIFY THE OWNER FOR PROPER DIRECTION IF ANY ENVIRONMENTAL OR HEALTH RELATED CONTAMINATE IS ENCOUNTERED DURING THE DEMOLITION AND/OR EXCAVATION PROCESS.

DISPOSAL:

- REMOVE AND LEGALLY DISPOSE OF ALL OTHER RUBBISH, RUBBLE AND DEBRIS. ALL REFUSE AND MISCELLANEOUS ITEMS TO BE REMOVED THAT ARE NOT TO BE STOCKPILED FOR LATER USE ON THE PROJECT OR DELIVERED TO THE OWNER, SHALL BE LEGALLY DISPOSED OF OFF-SITE BY THE CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, STANDARDS AND REGULATIONS SET FORTH BY LOCAL, STATE AND FEDERAL OFFICIALS THAT GOVERN THE DISPOSAL OF WASTE AND DEBRIS.

PAVEMENT REMOVAL:

- WHERE EXISTING PAVEMENT IS TO BE REMOVED, CONTRACTOR SHALL SAW CUT THE SURFACING LEAVING A UNIFORM AND STRAIGHT EDGE WITH THE MINIMAL DISTURBANCE POSSIBLE TO THE REMAINING ADJACENT SURFACES. IF NECESSARY, CONTRACTOR SHALL PREPARE THE SAW-CUT SURFACE, RE-CUT BACK FROM THE RAILED EDGE PRIOR TO RESTORATION.
- WHERE EXISTING PAVEMENT, CURB, GUTTER AND OUTLET, SIDEWALK, DRIVEWAY OR VALLEY CUTTER IS TO BE REMOVED FOR THE PURPOSE OF CONSTRUCTION OR REMOVING BOX GUTTERS, PIPE, INLETS, MANHOLES, APPURTENANCES, FACILITIES OF STRUCTURES, SUD PAVEMENT, ETC. THE SAW CUT PROPOSED STRUCTURE SHALL BE REPLACED AND RESTORED IN EQUAL OR BETTER CONDITION THAN THE ORIGINAL. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY LABOR, MATERIALS, EQUIPMENT, TOOLS, SUPPLIES, AND ANY OTHER NECESSARY EQUIPMENT AS REQUIRED BY CONTRACT AND SITE REGULATIONS.

ACCESS:

- CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING THE DEMOLITION PROCESS OF THE EXISTING FACILITIES AND SITE.

PERMITTING:

- IF IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY REQUIRED PERMITTING FOR DEMOLITION FROM THE RESPONSIBLE AUTHORITIES AND REGULATIONS AND FULLY ACKNOWLEDGE AND COMPLY WITH ALL REQUIREMENTS PRIOR TO COMMENCING DEMOLITION WORK.
- IF IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE EXTENT OF DEMOLITION REQUIRED IN ORDER TO PERFORM THE CONTRACT WORK FOR THIS PROJECT, THE CONTRACTOR SHALL CONDUCT SITE VISITS AND SHALL SUBMIT THE RESULTS OF THESE VISITS TO THE LEAD ENGINEER/ARCHITECT PRIOR TO SUBMITTING THE CONSTRUCTION TOLERANCES SHOWN IN THE CORRESPONDING DRAWINGS, NOTES, AND/OR PILES. IN GENERAL, REPRESENT INDUSTRY STANDARDS, HOWEVER, EXCEPTIONS CAN BE MADE IF IT DETERMINED THAT CERTAIN AREAS OF THE DESIGN REQUIREMENTS, THE ARCHITECT WILL EVALUATE CONSTRUCTION REQUIREMENTS THAT DIFFER FROM THE DESIGN. BASED ON THIS CASE, IF IT IS DETERMINED THAT THE CERTAIN DESIGN CONSTRUCTION ACTIVITIES DO ADVERSELY AFFECT THE DESIGN REQUIREMENTS, THE ARCHITECT, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLICATING OR REPAIRING ALL ITEMS TO THE PLANS AND SPECIFICATIONS AS DETERMINED AND REQUIRED BY DESIGN PROFESSIONAL, AT THE CONTRACTOR'S EXPENSE.

STAKING AND SURVEYING NOTES

STAKING:

- THE CONTRACTOR SHALL PERFORM ALL CONSTRUCTION STAKING AND CONSTRUCTION ACTIVITIES BASED ON THE LATEST APPROVED DESIGN PLANS (AND/OR DESIGN FILES) AS PROVIDED AND AS WARRANTED BY CLIENT AND PROJECT NEEDS.
- PRIOR TO COMMENCING CONSTRUCTION STAKING OR CONSTRUCTION ACTIVITIES, THE CONTRACTOR (AND/OR STAKING SURVEYOR) SHALL CONFORM WITH THE LEAD ENGINEER/ARCHITECT, WHO IS RESPONSIBLE FOR THIS PROJECT, THAT THE LATEST PLANS (AND/OR DESIGN FILES) ARE BEING UTILIZED.
- THE ENGINEER/LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR OWNERS', CONTRACTORS OR SURVEYORS STAKING OR PERFORMING CONSTRUCTION ACTIVITIES BASED ON OUT-OF-GATE DESIGN PLANS AND/OR DESIGN FILES.
- CONSTRUCTION STAKING SHALL ADHERE TO THE HORIZONTAL AND VERTICAL DATUM LISTED IN THIS DOCUMENT AND AS PROVIDED IN THE DESIGN FILES, NOTES, AND/OR SPECIFICATIONS.

TOLERANCES & DISCREPANCIES:

- IF, DURING CONSTRUCTION STAKING OR CONSTRUCTION ACTIVITIES, SURVEY DISCREPANCIES ARE ENCOUNTERED WITH REGARD TO THE DESIGN PLANS OR DESIGN FILES, WORK SHOULD BE HALTED AND THE LEAD ENGINEER/LANDSCAPE ARCHITECT SHOULD BE NOTIFIED IMMEDIATELY TO RESOLVE THE ISSUE OR ISSUE. THE ENGINEER / LANDSCAPE ARCHITECT CAN NOT BE HELD RESPONSIBLE OR LIABLE FOR ISSUES THAT THEY HAVE NOT RECEIVED NOTIFICATION.
- THE CONSTRUCTION TOLERANCES SHOWN IN THE CORRESPONDING DRAWINGS, NOTES, AND/OR PILES, IN GENERAL, REPRESENT INDUSTRY STANDARDS, HOWEVER, EXCEPTIONS CAN BE MADE IF IT DETERMINED THAT CERTAIN AREAS OF THE DESIGN REQUIREMENTS, THE ARCHITECT WILL EVALUATE CONSTRUCTION REQUIREMENTS THAT DIFFER FROM THE DESIGN. BASED ON THIS CASE, IF IT IS DETERMINED THAT THE CERTAIN DESIGN CONSTRUCTION ACTIVITIES DO ADVERSELY AFFECT THE DESIGN REQUIREMENTS, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLICATING OR REPAIRING ALL ITEMS TO THE PLANS AND SPECIFICATIONS AS DETERMINED AND REQUIRED BY DESIGN PROFESSIONAL, AT THE CONTRACTOR'S EXPENSE.

CIVIL ENGINEERING DESIGN TOLERANCES FOR PROJECT:

GENERAL GRADING	±0.10 FEET	RETAINING WALLS	±0.05 FEET
ALL PIPE CONDUITS	±0.05 FEET	SITE FEATURES (SPOT ELEV., ETC.)	±0.05 FEET
DRAINAGE STRUCTURES	±0.05 FEET	UTILITY ELEVATIONS	±0.10 FEET
SANITARY SEWER STRUCTURES	±0.05 FEET	EROSION CONTROL BMPs	±0.05 FEET
STORMWATER POND FEATURES	±0.10 FEET		

AS-BUILT & SPECIFICATIONS:

- THE ENGINEER/LANDSCAPE ARCHITECT SHOULD BE PROVIDED WITH AN AS-BUILT SURVEY OF THE PROJECT FOR REVIEW AND APPROVAL AFTER THE PROJECT IS COMPLETE. CONTRACTOR IS RESPONSIBLE FOR COORDINATING EFFORTS WITH DESIGN PROFESSIONAL.
- SEE THE PROJECT SPECIFICATIONS FOR ADDITIONAL SITE SPECIFIC REQUIREMENTS REGARDING CONSTRUCTION, MATERIALS, TESTING, AND CERTIFICATIONS.

PROJECT GEOGRAPHICAL INFORMATION

PROJECT PROJECTION & DATUM:

HORIZONTAL DATUM: NAD83 TENNESSEE STATE PLANE ZONE US FOOT
 VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83)

BOUNDARY SURVEY:

SURVEYOR FIRM: YOUNG, HOBBS AND ASSOCIATES
 SURVEYOR NAME: XXX
 SURVEYOR CONTACT: 9011-445-2024
 DATE OF SURVEY: 2/15/23
 TRACK OR PARCEL: 203A004
 HORIZONTAL DATUM: NAD83 TENNESSEE STATE PLANE ZONE US FOOT
 VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83)

TOPOGRAPHIC SURVEY:

SURVEYOR FIRM: YOUNG, HOBBS AND ASSOCIATES
 SURVEYOR NAME: XXX
 SURVEYOR CONTACT: 9011-445-2024
 DATE OF SURVEY: 2/15/23
 TRACK OR PARCEL: 203A004
 HORIZONTAL DATUM: NAD83 TENNESSEE STATE PLANE ZONE US FOOT
 VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83)

GEOGRAPHICAL INFORMATION SYSTEMS (GIS) DATA UTILIZED:

TOPOGRAPHIC DATA: N/A
 PARCEL DATA: N/A
 ADDITIONAL DATA: N/A

NOTE:

THE TOPOGRAPHIC AND ELEVATION DATA SHOWN HEREON WAS OBTAINED FROM YOUNG, HOBBS AND ASSOCIATES AND IS NOT CERTIFIED AS CORRECT BY THIS ENGINEER. USERS OF THIS DATA DO SO AT THEIR OWN RISK.



5200 Buffington Rd.
 Atlanta Georgia,
 30349-2996

REV #	DATE	REVISION BLOCK	REVISION
A	06/02/2023	FINAL REVIEW	
B	06/06/2023	PER COMMENT	
C	07/27/2023	ITC/A SUBMITTAL	
D	08/28/2023	REVISION PER TIA COMMENTS	



HARDIN VALLEY FSU
 STORE # 05442
 9-8-23-TB/ 9-C-23-PP

2187 GREENLAND WAY,
 KNOXVILLE, TN 37932

CARTER
ENGINEERING

CARTER ENGINEERING
 1010 COMMERCE DRIVE,
 BOGART, GA 30622

F: 770.725.1200
 P: 770.725.1004
www.CarterEngineering.com

SHEET TITLE
GENERAL NOTES

REVISION 4--2023

Job No.: 23043CFA

Store #: 05442

Date #: 08/28/23

ISSUE FOR PERMIT

Sheet

C-1.1

SITE UTILITIES

SEWER
Agency: West Knoxville District
Address: 2326 Level Road, Knoxville, TN 37932
Contact: Mr. Christian Hask, P.E.
Phone: 865-600-2521
Email: chask@wslut.com

FLOOD
Agency: Knox County Land Development Services
Address: 205 West Baker Avenue, Knoxville, TN 37917
Contact: Mr. Martin Pearson
Phone: 865-215-6899
Email: Martin.Pearson@knoxcounty.org

WATER
Agency: West Knoxville Utility District
Address: 2326 Level Road, Knoxville, TN 37932
Contact: Mr. Christian Hask, P.E.
Phone: 865-600-2521
Email: chask@wslut.com

ELECTRIC
Agency: LCLUB - LocalCity Utilities Board
Address: 7699 Chesapeake Park Blvd., Lenox City, TN 37772
Contact: Mr. Jay Kross
Phone: 865-968-0730
Email: jkross@lclub.com

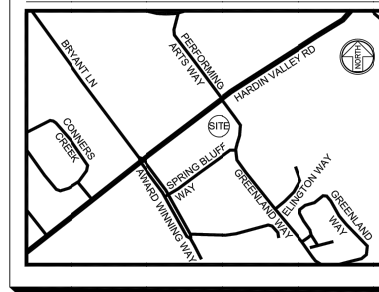
TELEPHONE
Agency: AT&T
Address: Customer Service
Phone: 877-620-9103
Email:

GIS
Agency: Knoxville Utilities Board (KUB)
Address: 4428 Western Ave, Knoxville, TN 37921
Contact: New Construction
Phone: 865-568-2556
Email:



Know what's below.
Call before you dig.

LOCATION MAP NTS



SITE ADDRESS

2187 GREENLAND WAY
KNOXVILLE, TN 37932

PARKING COUNT

REGULAR - 0
HANDICAP - 0

CLIENT INFORMATION

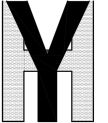
CHICK-FIL-A
5208 BUFFINGTON ROAD
ATLANTA, GA 30342-3298

OWNER INFORMATION

DKR, GP
INST. NO. 20180640071072;
PLAT OF LOT 4R, THE VILLAGE AT
HARDIN VALLEY,
HARDIN VALLEY,
PLAT BOOK 2008777033B807
PARCEL ID: 033M4004
CITY OF KNOXVILLE,
KNOX COUNTY, TN



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998



YOUNG • HOBBS
AND
ASSOCIATES

1202 CROSSLAND AVE.
CLARKSVILLE, TN 37040
PHONE 931-645-2524
FAX 931-645-2768

PRELIMINARY,
NOT FOR RECORDING
OR TRANSFER

CHICK-FIL-A
HARDIN VALLEY
KNOXVILLE, TENNESSEE

FSU# 5442

REVISION	SCHEDULE	NO.	DATE	DESCRIPTION
1	5/19/23			TOL COMMENTS
2				

YHA PROJECT # 58-23
DATE (FIELD) 2/19/23
DATE (OFFICE) 2/23/23
CHECKED BY cth

ALTA/NSPS LAND
TITLE SURVEY
SHEET 1 OF 2
SHEET NUMBER

C-1.2

NOT A PART OF THIS ALTA

NOT A PART OF THIS ALTA

LAND DESCRIPTION (PER TITLE COMMITMENT):

PARCEL 1:
A CERTAIN TRACT OR PARCEL OF LAND IN KNOX COUNTY, STATE OF TENNESSEE, DESCRIBED AS FOLLOWS, TO-WIT:
SITUATED IN DISTRICT NUMBER SIX (6) OF KNOX COUNTY, TENNESSEE, AND WITHOUT THE CORPORATE LIMITS OF THE CITY OF KNOXVILLE, TENNESSEE, AND BEING KNOWN AS ALL OF LOT NUMBER 19, IN THE REVISED FINAL PLAT OF LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MARCH 11, 2022.

LESS AND EXCEPT: OUT CLAIM DEED RECORDED FEBRUARY 10, 2017, IN INSTRUMENT NO. 2017201009668, IN THE REGISTER'S OFFICE OF KNOX COUNTY, TENNESSEE, BEING THE SAME PROPERTY CONVEYED TO DKR OP, A TENNESSEE GENERAL PARTNERSHIP, BY VIRTUE OF WARRANTY DEED FROM KNOXVILLE TPA EMPLOYEES CREDIT UNION, DATED MAY 23, 2016, RECORDED JUNE 6, 2016, IN INSTRUMENT NO. 2016080067586, IN THE REGISTER'S OFFICE OF KNOX COUNTY, TENNESSEE.

PARCELS 2, 3 AND 6:
A CERTAIN TRACT OR PARCEL OF LAND IN KNOX COUNTY, STATE OF TENNESSEE, DESCRIBED AS FOLLOWS, TO-WIT:
SITUATED IN THE SIXTH (6TH) CIVIL DISTRICT OF KNOX COUNTY, TENNESSEE, AND BEING LOTS 28, 36 AND 43 OF THE REVISED FINAL PLAT OF LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MARCH 11, 2022.

LESS AND EXCEPT: OUT CLAIM DEED RECORDED FEBRUARY 10, 2017, IN INSTRUMENT NO. 2017201009668, IN THE REGISTER'S OFFICE OF KNOX COUNTY, TENNESSEE, BEING THE SAME PROPERTY CONVEYED TO DKR OP, A TENNESSEE GENERAL PARTNERSHIP, BY VIRTUE OF WARRANTY DEED FROM KNOXVILLE TPA EMPLOYEES CREDIT UNION, DATED MAY 23, 2016, RECORDED JUNE 6, 2016, IN INSTRUMENT NO. 2016080067586, IN THE REGISTER'S OFFICE OF KNOX COUNTY, TENNESSEE.

PARCEL 4:
ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING LOCATED ON CLT MAP 103 AND BEING SITUATED WITHIN THE SIXTH CIVIL DISTRICT OF KNOX COUNTY, TENNESSEE, BEING LOT 4 OF THE VILLAGE AT HARDIN VALLEY SUBDIVISION AS SHOWN ON THAT CERTAIN FINAL PLAT OF THE VILLAGE AT HARDIN VALLEY, AS SHOWN ON MAP FILED FOR RECORD AS INSTRUMENT NO. 20170303037596 IN THE OFFICE OF THE REGISTER OF DEEDS FOR KNOX COUNTY, TENNESSEE, AS AMENDED BY THAT CERTAIN FINAL PLAT OF LOT 4, THE VILLAGE AT HARDIN VALLEY, OF RECORD AS INSTRUMENT NUMBER 2008717-03987 IN THE OFFICE OF THE REGISTER OF DEEDS FOR KNOX COUNTY, TENNESSEE.

LESS AND EXCEPT:
THE FOLLOWING PORTION OF THE ABOVE-DESCRIBED PROPERTY THAT WAS CONVEYED BY GRANTOR TO KNOX COUNTY, TENNESSEE, COMMENCING AT THE POINT OF BEGINNING, POINT BEING 68.22 FEET RIGHT OF THE CENTERLINE STA. 186+54.83, THENCE SOUTH 50 DEGREES, 41 MINUTES, 52 SECONDS WEST, A DISTANCE OF 20.86 FEET; THEN NORTH 39 DEGREES, 18 MINUTES, 46 SECONDS WEST, A DISTANCE OF 18.45 FEET TO THE ENDING POINT BEING 80.22 FEET RIGHT OF STA. 186+23.17, CONTAINING 378 SQUARE FEET, MORE OR LESS, IN THE ABOVE-DESCRIBED PARCEL.

BEING THE SAME PROPERTY CONVEYED TO DKR OP, A TENNESSEE GENERAL PARTNERSHIP, BY VIRTUE OF SPECIAL WARRANTY DEED FROM SUNTRUST BANK, A GEORGIA BANKING CORPORATION, DATED MAY 29, 2016, RECORDED JUNE 4, 2016, IN INSTRUMENT NO. 2016060497162, KNOX COUNTY, TENNESSEE.

PARCEL 5:
SITUATED WITHIN THE SIXTH (6TH) CIVIL DISTRICT OF KNOX COUNTY, TENNESSEE, WITHOUT THE CORPORATE LIMITS OF THE CITY OF KNOXVILLE, TENNESSEE, BEING LOT 6 OF THE FINAL PLAT OF THE VILLAGE AT HARDIN VALLEY, AS SHOWN ON MAP FILED FOR RECORD AS INSTRUMENT NO. 20170303037596 IN THE KNOX COUNTY REGISTER OF DEEDS OFFICE, TO WHICH MAP SPECIFIC REFERENCE IS HEREBY MADE FOR A MORE PARTICULAR DESCRIPTION OF SAID LOT; BEING THE SAME PROPERTY CONVEYED TO DKR OP, A TENNESSEE GENERAL PARTNERSHIP, BY VIRTUE OF WARRANTY DEED FROM ORNL FEDERAL CREDIT UNION, DATED MAY 23, 2016, RECORDED JUNE 6, 2016, IN INSTRUMENT NO. 2016080067573, KNOX COUNTY, TENNESSEE.

ZONING: PER SITE INVESTIGATION REPORT

THE FOLLOWING ZONING INFORMATION WAS TAKEN FROM THE SITE INVESTIGATION REPORT.

THE SUBJECT PARCEL IS ZONED (P), PLANNED COMMERCIAL ZONE, AND (T), TECHNOLOGY OVERLAY.

BUILDING SETBACK :	BUILDING	PARKING	LANDSCAPING
FRONT (HARDIN VALLEY RD)	50'	20'	20'
REAR (SPRING BLUFF WAY)	50'	0'	0'
LEFT SIDE (GREENLAND WAY)	50'	0'	0'
RIGHT SIDE (UNDEVELOPEDPARKING LOT)	20'	0'	0'

MAXIMUM BUILDING HEIGHT: EXCEPT IN HILLSIDE AND RIDGEPOT PROTECTION AREAS, THE MAXIMUM ALLOWABLE HEIGHT OF A STRUCTURE IS SET AT NINETY (90) FEET, MEASURED FROM THE FINISHED GRADE.

BUILDING FLOOR AREA RATIO: SHALL NOT EXCEED 30%, EXCEPT WHERE A PROPOSED BUILDING INCLUDES AN UNDER-BUILDING PARKING STRUCTURE, IN WHICH CASE THE FLOOR AREA RATION MAY NOT EXCEED 45%.

SURVEYOR'S CERTIFICATION:

TO: CHICK-FIL-A, INC A GEORGIA CORPORATION, DESIGNEE OF HILLIARD CREWS PARTNERSHIP, A TENNESSEE GENERAL PARTNERSHIP AND FIDELITY NATIONAL TITLE INSURANCE COMPANY.

THIS IS TO CERTIFY THAT THE MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 2.5, 4, 5, 6(a), 7(a), 7(b)(1), 7(b), 8, 9, 10(a), 11, 13, 14, 16, 17, 18, AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MARCH 11, 2022.

DATE OF PLAT OR MAP: FEBRUARY 15, 2023.
PRELIMINARY

KENNETH A. BAU, RLS 2019 DATE: henry@youngohbs.com

LAND DESCRIPTION (AS SURVEYED):

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING LOCATED ON CLT MAP 103 AND BEING SITUATED WITHIN THE SIXTH CIVIL DISTRICT OF KNOX COUNTY, TENNESSEE, BEING LOT 4R OF THE FINAL PLAT OF LOT 4, THE VILLAGE AT HARDIN VALLEY, OF RECORD AS INSTRUMENT NUMBER 2008717-03987 IN THE OFFICE OF THE REGISTER OF DEEDS FOR KNOX COUNTY TENNESSEE.

LESS AND EXCEPT:
THE FOLLOWING PORTION OF THE ABOVE-DESCRIBED PROPERTY THAT WAS CONVEYED BY GRANTOR TO KNOX COUNTY, TENNESSEE, COMMENCING AT THE POINT OF BEGINNING, POINT BEING 68.22 FEET RIGHT OF THE CENTERLINE STA. 186+54.83, THENCE SOUTH 50 DEGREES, 41 MINUTES, 52 SECONDS WEST, A DISTANCE OF 20.86 FEET; THEN NORTH 39 DEGREES, 18 MINUTES, 46 SECONDS WEST, A DISTANCE OF 18.45 FEET TO THE ENDING POINT BEING 80.22 FEET RIGHT OF STA. 186+23.17, CONTAINING 378 SQUARE FEET, MORE OR LESS, IN THE ABOVE-DESCRIBED PARCEL.

BEING THE SAME PROPERTY CONVEYED TO DKR OP, A TENNESSEE GENERAL PARTNERSHIP, BY VIRTUE OF SPECIAL WARRANTY DEED FROM SUNTRUST BANK, A GEORGIA BANKING CORPORATION, DATED MAY 29, 2016, RECORDED JUNE 4, 2016, IN INSTRUMENT NO. 2016060497162, KNOX COUNTY, TENNESSEE.

AS DESCRIBED AS FOLLOWS:

BEGINNING AT 5/8" IRON PIN FOUND IN THE NORTH CORNER OF THE SOUTHWEST RIGHT OF WAY LINE OF HARDIN VALLEY ROAD, SAID IRON PIN BEING THE NORTH CORNER OF LOT 2R, AS SHOWN IN INSTR. NO. 200861800982; THENCE WITH SAID RIGHT OF WAY LINE, AS FOLLOWS: N 67°27'14" E A DISTANCE OF 48.37 FEET TO A 5/8" IRON PIN FOUND; THENCE N 67°27'14" E A DISTANCE OF 178.02 FEET TO A 1/2" IRON PIN SET; THENCE S 31°14'41" E A DISTANCE OF 19.45 FEET TO A 1/2" IRON PIN SET; THENCE N 50°14'12" E A DISTANCE OF 25.84 FEET TO A 1/2" IRON PIN SET; THENCE WITH THE SOUTHWEST RIGHT OF WAY LINE OF GREENLAND WAY, AS FOLLOWS: S 61°19'22" E A DISTANCE OF 6.34 FEET TO A 5/8" IRON PIN SET; THENCE WITH A CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 19.03 FEET WITH A RADIUS OF 30.00 FEET WITH A CHORD BEARING OF S 81°29'22" E WITH A CHORD LENGTH OF 19.03 FEET TO A 5/8" IRON PIN FOUND; THENCE S 28°42'21" E A DISTANCE OF 129.14 FEET TO A 5/8" IRON PIN FOUND; THENCE WITH A CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 61.59 FEET WITH A RADIUS OF 93.00 FEET WITH A CHORD BEARING OF S 13°39'29" E WITH A CHORD LENGTH OF 79.02 FEET TO A 5/8" IRON PIN FOUND; THENCE S 1°12'09" W A DISTANCE OF 92.28 FEET TO A 5/8" IRON PIN FOUND; THENCE WITH A CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 17.38 FEET WITH A RADIUS OF 20.50 FEET WITH A CHORD BEARING OF S 3°10'34" W WITH A CHORD LENGTH OF 17.04 FEET TO A 5/8" IRON PIN FOUND; THENCE WITH THE NORTHEAST RIGHT OF WAY LINE OF SPRING BLUFF WAY, S 61°30'31" E A DISTANCE OF 190.37 FEET TO A 5/8" IRON PIN FOUND; THENCE LEAVING SAID RIGHT OF WAY LINE WITH LOTS 28 & 36, AS SHOWN IN INSTR. NO. 2016080067582, S 61°41'15" W A DISTANCE OF 314.03 FEET TO THE POINT OF BEGINNING, HAVING AN AREA OF 78,244 SQUARE FEET, 1.750 ACRES, MORE OR LESS.

NOTES CORRESPONDING TO SCHEDULE B SECTION II:

FIDELITY NATIONAL TITLE INSURANCE COMPANY
COMMENT DATE: NOVEMBER 1, 2022 @ 8:04 AM.
COMMENT NO.: 7982521010022528261.
ITEMS 1 & 6 ARE STANDARD EXCEPTIONS AND/OR NOT SURVEYING RELATED.

THE TITLE COMMITMENT PROVIDED TO THE SURVEYOR IS FOR MULTIPLE PARCELS. THE SURVEYOR REVIEWS THE TITLE COMMITMENT AS TO HOW THE ITEMS WOULD AFFECT LOT 4R OF INSTRUMENT NUMBER 2008717003987.

- 10. EASEMENT AGREEMENT AND TERMINATION OF EASEMENT RECORDED JUNE 12, 1961, IN BOOK 2011, PAGE 89, AFORSAD RECORDS, DOES NOT AFFECT, (DOES NOT AFFECT EASEMENT PARCELS).
- 11. UTILITY EASEMENT RECORDED JUNE 13, 2002, IN INSTRUMENT NO. 203020130102985, AFORSAD RECORDS, DOES NOT AFFECT. (DOES NOT AFFECT EASEMENT PARCELS).
- 12. EASEMENT CONTAINED IN WARRANTY DEED RECORDED JUNE 19, 2002, IN INSTRUMENT NO. 2002818010040, AFORSAD RECORDS, DOES NOT AFFECT.
- 13. TERMS AND CONDITIONS OF AGREED FINAL ORDER RECORDED AUGUST 21, 2007, IN INSTRUMENT NO. 2007180100401, AFORSAD RECORDS, AFFECTS PARCELS 1, 3, 5 & 6A AND DOES NOT AFFECT.
- 14. ACCESS ROAD CONSTRUCTION EASEMENT AGREEMENT RECORDED APRIL 19, 2011, IN INSTRUMENT NO. 2011041901861, AFORSAD RECORDS, PARCELS 1, 2, 3, 4 AND 6. DOES NOT AFFECT.
- 15. RESTRICTIONS CONTAINED IN SPECIAL WARRANTY DEED RECORDED JUNE 4, 2016, IN INSTRUMENT NO. 2016080497162, AFORSAD RECORDS, AFFECTS PARCELS 1, 2, 3, 4 AND 6, (OPRIE ON JUNE 1, 2023).
- 16. TERMS AND CONDITIONS OF DECLARATION OF GOVERNMENTS CONDITIONS AND RESTRICTIONS (THE VILLAGE AT HARDIN VALLEY) RECORDED OCTOBER 1, 2007, IN INSTRUMENT NO. 2007100102786, AS AFFECTED BY THAT PARTIAL RELEASE AS TO EASEMENT AREA RECORDED MARCH 4, 2013, IN INSTRUMENT NO. 2013030806974, AS AMENDED BY THAT AMENDED DECLARATION OF GOVERNMENTS CONDITIONS AND RESTRICTIONS RECORDED APRIL 19, 2011, IN INSTRUMENT NO. 2011041901861, AS AFFECTED BY THAT PARTIAL RELEASE AS TO EASEMENT AREA RECORDED MARCH 4, 2013, IN INSTRUMENT NO. 2013030806974, AFORSAD RECORDS, AFFECTS NON PLOTTABLE PARCELS.
- 17. EASEMENT CONTAINED IN WARRANTY DEED RECORDED NOVEMBER 9, 2001, IN INSTRUMENT NO. 2001110204081, AFORSAD RECORDS, DOES NOT AFFECT.
- 18. EASEMENT CONTAINED IN SPECIAL WARRANTY DEED RECORDED SEPTEMBER 11, 2016, IN INSTRUMENT NO. 2016091101861, AFORSAD RECORDS, PARCELS 1, 2, 4 & 6. DOES NOT AFFECT.
- 19. UTILITY EASEMENT IN FAVOR OF WEST KNOX UTILITY DISTRICT RECORDED FEBRUARY 13, 2002, IN INSTRUMENT NO. 2002021300684, AFORSAD RECORDS, DOES NOT AFFECT, (DOES NOT AFFECT EASEMENT PARCELS).
- 20. COVENANTS FOR PERMANENT MAINTENANCE OF STORMWATER FACILITIES RECORDED AUGUST 31, 2007, IN INSTRUMENT NO. 2007083101951, AFORSAD RECORDS, AFFECTS, NON PLOTTABLE EASEMENTS.
- 21. UTILITY EASEMENT AGREEMENT RECORDED JULY 18, 2008, IN INSTRUMENT NO. 2008071800448 AND INSTRUMENT NO. 2008071800449, INSTRUMENT NO. 2008071800448, AFORSAD RECORDS, AFFECTS, NO NEW EASEMENTS CREATED.
- 22. DECLARATION OF ACCESS EASEMENTS RECORDED AUGUST 16, 2010, IN INSTRUMENT NO. 2010081600683, AFORSAD RECORDS, DOES NOT AFFECT, (DOES NOT AFFECT EASEMENT PARCELS).
- 23. RECIPROCAL EASEMENT AGREEMENT AND AMENDMENT OF RESTRICTIONS RECORDED FEBRUARY 28, 2011, IN INSTRUMENT NO. 2011022801884, AS AFFECTED BY THAT PARTIAL RELEASE AS TO EASEMENT AREA RECORDED MARCH 4, 2013, IN INSTRUMENT NO. 2013030806974, AS AFFECTED BY THAT PARTIAL RELEASE AS TO EASEMENT AREA RECORDED MARCH 4, 2013, IN INSTRUMENT NO. 2013030806974, AFORSAD RECORDS, AFFECTS, NON PLOTTABLE EASEMENTS.
- 24. EASEMENTS, RIGHTS OF WAY, BOUNDARY LINES AND APPROVEMENTS AS SHOWN ON PLAT RECORDED IN INSTRUMENT NO. 2007100207786, INSTRUMENT NO. 2007100207787, INSTRUMENT NO. 201010100852, AFORSAD RECORDS, AFFECTS, AS SHOWN.
- 25. TERMS AND CONDITIONS OF CONSENT AGREEMENT BY ORNL FEDERAL CREDIT UNION RECORDED APRIL 1, 2011, IN INSTRUMENT NO. 2011040100886, AFORSAD RECORDS, PARCEL 4. DOES NOT AFFECT, (DOES NOT AFFECT EASEMENT PARCELS).
- 26. GRANT OF TRANSMISSION LINE EASEMENT RECORDED IN BOOK 1243, PAGE 68, AFORSAD RECORDS, DOES NOT AFFECT.

TABLE A NOTES:

- ITEM 2: SITE ADDRESS SHOWN IS PER KNOX COUNTY, TN TAX RECORD.
- ITEM 3: THE PROPERTY IS LOCATED WITHIN AN AREA HAVING ZONE DESIGNATIONS OF ZONE C, BY THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT, ON FLOOD INSURANCE RATE MAP NO. 430502358, WITH AN EFFECTIVE DATE OF AUGUST 1, 2003. IN KNOX COUNTY, UNINCORPORATED AREAS, STATE OF TENNESSEE, THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.
- ITEM 5: COUNTDOWNS WERE DERIVED FROM AERIAL (SRTM) AND CROSS SECTION ADS ARE SHOWN AT THE POINT INTERSECTIONS. ELEVATIONS SHOWN HEREIN ARE BASED ON GPS OBSERVATIONS TOGETHER WITH AN ADJUST SOLUTION DATED 03/09/2023 14:50:05. GEOID:28.
- ITEM 6A: NO ZONING LETTER SENT TO THE SURVEYOR.
- ITEM 16: THERE WAS NO EVIDENCE OF RECENT EARTH MOVING, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE SURVEY.
- ITEM 17: THERE WAS NO EVIDENCE OF RECENT CHANGES IN STREET RIGHT OF WAY LINES. THERE WAS NO EVIDENCE OF RESURFACING OR STREET GENERAL CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE SURVEY.

SURVEY NOTES:

INFORMATION REGARDING THE PRESENCE, SIZE AND LOCATION OF UNDERGROUND UTILITIES IS SHOWN HEREON. THIS INFORMATION HAS BEEN OBTAINED BY THE LOCATION OF ABOVE GROUND INFRASTRUCTURE, AVAILABLE DESIGN PLANS, AND PULSES AND PLANT PLACED BY THE UNDERGROUND PROTECTORS SERVICES, (NO CERTIFICATION EXCEPT AS TO THE ACCURACY OF THOROUGHNESS OF THE INFORMATION CONTAINING UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON, (TENNESSEE ONE CALL 811 - T8ENNY.COM) (TICKET NUMBER 22081045).

NO PRIVATE UTILITY LOCATIONS WERE INFORMED ON THE SITE AT THE TIME OF THE SURVEY.

CONTACT PROPERTY AUTHORITIES BEFORE BUILDING NEAR UTILITY LINES, FOR EASEMENT WEIHS AND RESTRICTIONS. UTILITY LINES ARE APPROXIMATE AND SHOULD BE VERIFIED PRIOR TO ANY CONSTRUCTION.

THE SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE PERSON ON ENTERED AND HEREON, NO EXPRESS OR IMPLIED WARRANTIES WITH RESPECT TO THE INFORMATION SHOWN HEREON IS TO BE EXTENDED TO ANY PERSON OR ENTITY OTHER THAN THOSE SHOWN HEREON.

LIST OF RECORDS/CHIBETS NONE NOTED

THERE ARE NO BUILDINGS ON SITE AT THE TIME OF THIS SURVEY.

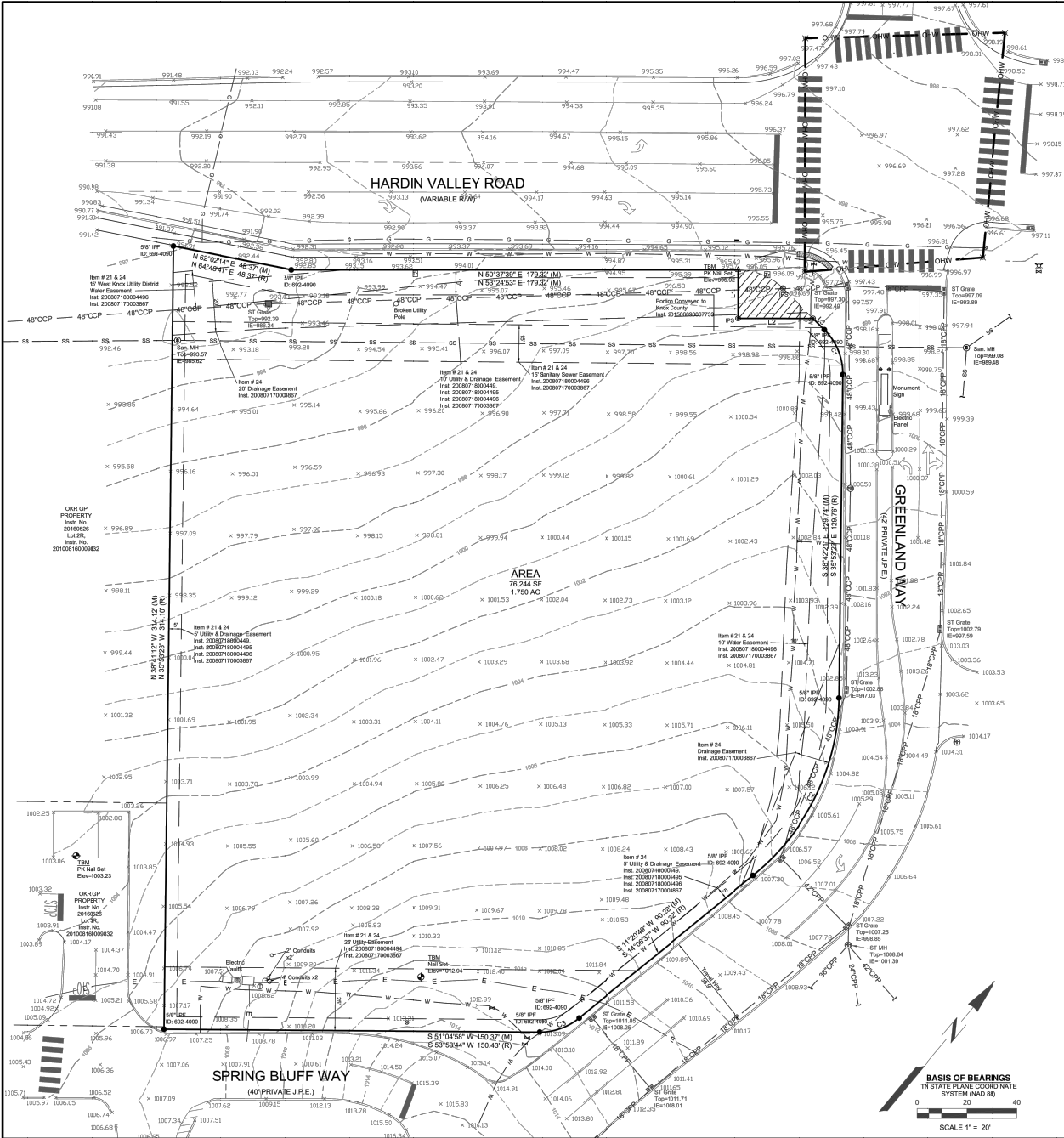
THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH CHAPTER 800A, STANDARDS OF PRACTICE ADOPTED BY THE TENNESSEE STATE BOARD OF EXAMINERS FOR LAND SURVEYORS.

GROUND MEASUREMENTS WERE USED AS THE BASIS FOR LOCATION OF ALL FEATURES OF THE SUBJECT PARCELS.

LANDS DEDICATED OTHERWISE, AN ENCUMBRANCE REFERRED TO HEREIN AS A "IRON PIN SET" IS A SET 1/2" DIAMETER IRON, 16" IN LENGTH WITH A YELLOW PLASTIC CAPSAID "YOUNG HOBBS" OR A PINAL SET WITH A 1/2" ALUMINUM DISK SAID "YOUNGHOBBS".

ALL MATTERS SHOWN ON RECORDED PLATS ARE SHOWN OQUATAS.

I HEREBY CERTIFY THAT THIS SURVEY HAS BEEN MADE USING THE RECORDS, INFORMATION SHOWN, AND THAT THE SURVEY IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I HEREBY CERTIFY THAT THIS IS A CATEGORY 1 SURVEY AND THAT THE RATE OF RECORDS OF THE UNADJUSTED TRANSFER IS BETTER THAN 1/10,000 AS SHOWN HEREON.



SITE ADDRESS
2187 GREENLAND WAY
KNOXVILLE, TN 37932

PARKING COUNT
REGULAR - 9
HANDICAP - 9

CLIENT INFORMATION
CHICK-FIL-A
5200 BUFFINGTON ROAD
ATLANTA, GEORGIA 30349-2998

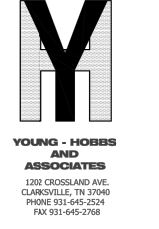
OWNER INFORMATION
OKR, GP
INST. NO. 201808040071672;
PLAT OF LOT 4R, THE VILLAGE AT
HARDIN VALLEY
PLAT BOOK 200807170003867
PARCEL ID 103MA004
CITY OF KNOXVILLE,
KNOX COUNTY, TN

Item # 24
PLAT NOTE: (INSTR. NO. 200807170003867)
1. JOINT PERMANENT EASEMENT (L.P.E.) ARE NOT A PUBLIC ROAD AND WILL NOT BE MAINTAINED BY KNOX COUNTY.
2. JOINT PERMANENT EASEMENT WILL ALSO FUNCTION AS A UTILITY EASEMENT.
3. THE GRADE OF THE J.P.E. IS 12% OR LESS.
4. THE DECLARATION OF MAINTENANCE AGREEMENT FOR THE J.P.E. IS OF RECORD IN INSTRUMENT #2007081011874 OF S.A.D. REGISTERS OFFICE.
5. THE HOMEOWNERS ASSOCIATION HAS BEEN ESTABLISHED TO BE RESPONSIBLE FOR THE MAINTENANCE OF THE DETENTION BASIN AND COMMON AREAS AND IS OF RECORD IN INSTRUMENT #2007081011874 OF S.A.D. REGISTERS OFFICE.
6. ALL LOTS WILL HAVE ACCESS TO INTERIOR STREET SYSTEM ONLY.

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1 R	25.00	19.93	19.47	S 84°02'02" E	49°00'00"
C1 R	25.00	19.94	19.47	S 84°41'10" E	N/A
C2 R	83.62	81.59	79.03	S 10°32'25" E	42°59'47"
C2 R	83.62	81.59	79.03	S 10°32'25" E	N/A
C3 R	25.00	17.36	17.01	S 31°07'51" W	38°29'40"
C3 R	25.00	17.36	17.01	S 34°34'10" W	N/A

LINE	BEARING	DISTANCE
L1 M	S 39°18'48" E	16.46'
L1 R	S 39°18'48" E	15.42'
L2 M	N 50°41'12" E	20.88'
L2 R	S 52°41'12" E	20.88'
L3 M	S 84°19'41" E	6.54'
L3 R	S 84°19'41" E	6.54'

- LEGEND**
- R.O.N. PIN SET (IPS)
 - R.O.N. PIN FOUND, AS NOTED
 - BOLLARD
 - SEWER MANHOLE
 - FIRE HYDRANT
 - WATER VALVE
 - UTILITY POLE
 - TRAFFIC WALL
 - TRAFFIC POLE
 - GAS VALVE
 - TELEPHONE BOX
 - CURB INLET
 - GRATE INLET
 - STORE MANHOLE
 - PROPERTY LINE
 - EASEMENT LINE
 - RETRACK LINES
 - CHWY OVERHEAD TRAFFIC WIRE
 - UNDERGROUND ELECTRIC
 - GAS LINE, AS NOTED
 - WATER LINE, AS NOTED
 - SANITARY SEWER, AS NOTED
 - ST. STORM SEWER PIPE, AS NOTED



PRELIMINARY, NOT FOR RECORDING OR TRANSFER

CHICK-FIL-A
HARDIN VALLEY
KNOXVILLE, TENNESSEE

FSU# 5442

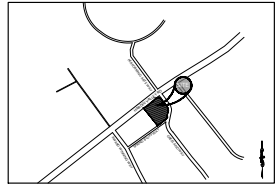
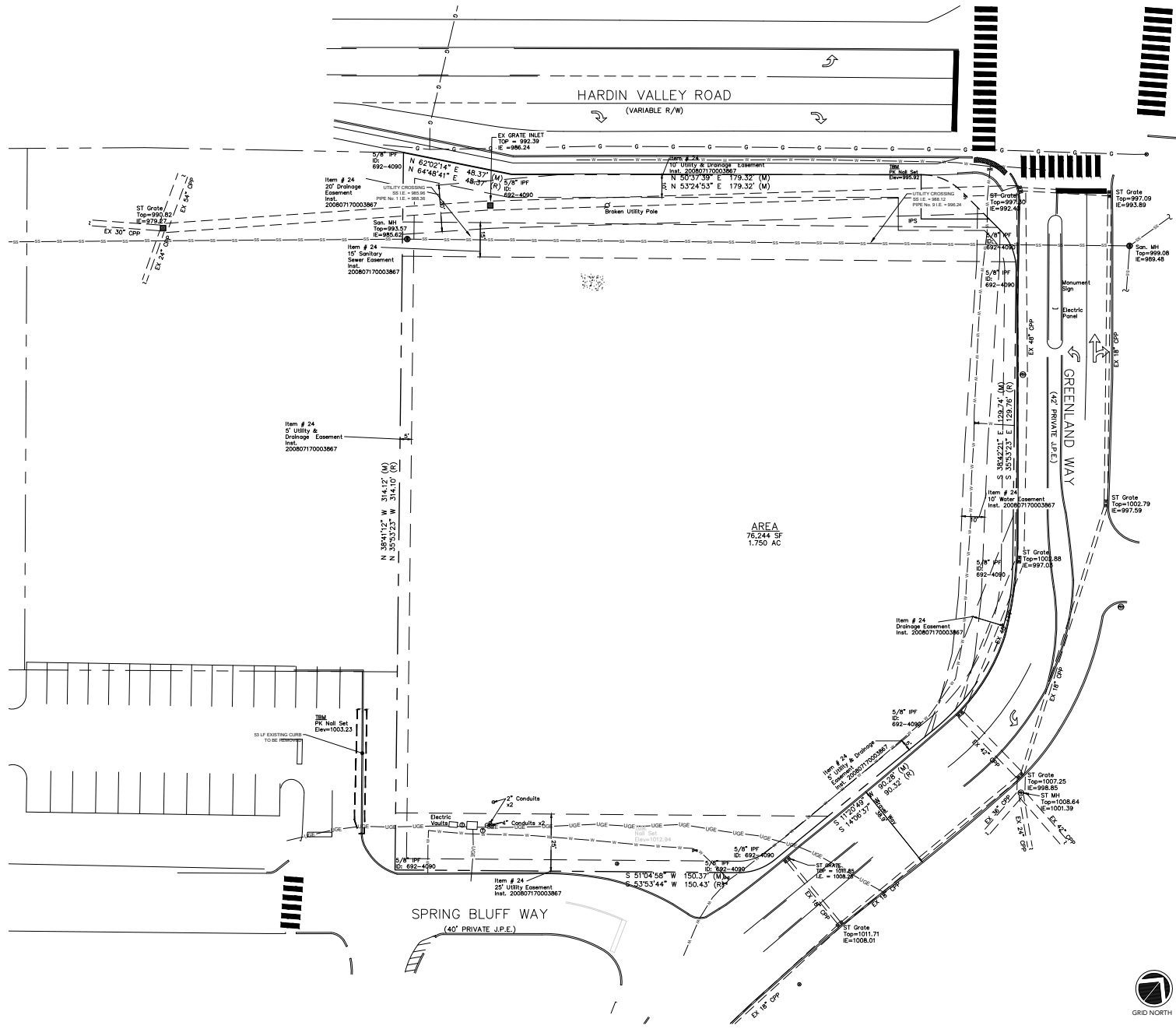
REVISION SCHEDULE

NO.	DATE	DESCRIPTION
1	6/16/20	TOL COMMENTS
2		

YHA PROJECT # 608-23
DATE (FIELD) 3/15/20
DATE (OFFICE) 2/2/20
CHECKED BY CTH

ALL T&NS/PS LAND TITLE SURVEY SHEET 2 OF 2
SHEET NUMBER

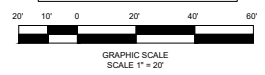
COPYRIGHT CARTER ENGINEERING CONSULTANTS, LLC. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN CONSENT OF CARTER ENGINEERING CONSULTANTS, LLC.



LOCATION MAP
SCALE: N.T.S.

AREA
76,244 SF
1.750 AC

811 Know what's below
Call before you dig
dial 811



5200 Buffington Rd.
Atlanta Georgia,
30349-2996

REV #	DATE	REVISION
A	06/02/2023	INITIAL REVIEW
B	06/06/2023	PCR
C	07/24/2023	TICDA SUBMITTAL
D	08/08/2023	REVISED PER TICDA COMMENTS



CARTER ENGINEERING
1010 COMMERCIAL DRIVE,
BOGART, GA 30622
P: 770.725.1200
F: 770.725.1204
www.carterengineering.com

HARDIN VALLEY FSU
STORE # 05442
9-B-23-TOB / 9-C-23-DP

2187 GREENLAND WAY,
KNOXVILLE, TN 37932

SHEET TITLE
DEMOLITION PLAN

REVISION 4-2023

Job No.: 23043CFA
Store #: 05442
Date #: 08/28/23

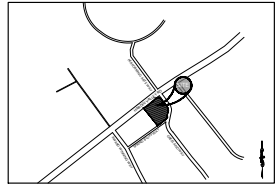
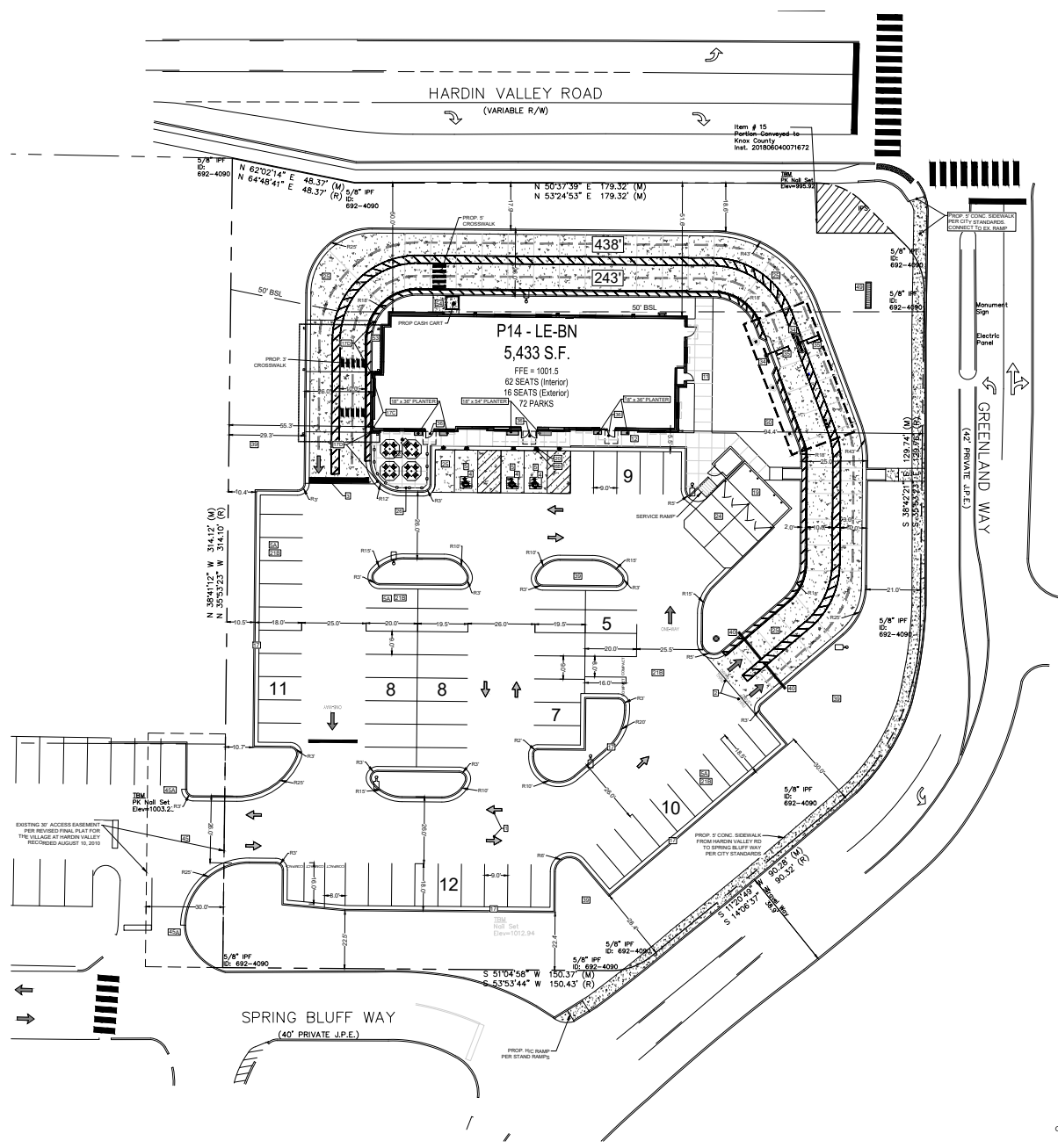
Sheet
C-1.4

ISSUE FOR PERMIT

THIS DOCUMENT IS NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN CONSENT OF CARTER ENGINEERING CONSULTANTS, LLC.

CONTRACTOR: CARTER ENGINEERING CONSULTANTS, P.C. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF CARTER ENGINEERING CONSULTANTS, P.C.

- SITE PLAN DESIGN NOTES & KEY PLAN**
- 1 PAINTED DIRECTIONAL ARROW
 - 2 PAINTED DRIVE-THRU GRAPHICS
 - 3 PAINTED STOP LINE GRAPHIC
 - 4 PAINTED HANGUP PARKING SYMBOL
 - 5 ACCESSIBLE PARKING STALL
 - 6 90° PARKING STALL @ 8' x 16.5' (OR 9X18)
 - 7 DIRECTIONAL SIGNAGE (SEE SIGNAGE PACKAGE)
 - 8 "STOP" SIGN (SEE SIGNAGE PACKAGE)
 - 9 "ACCESSIBLE PARKING" SIGN (SEE SIGNAGE PACKAGE)
 - 10 "12" WAY" SIGN (USE APPLICABLE DIRECTION) (SEE SIGNAGE PACKAGE)
 - 11 "PEDESTRIAN CROSSWALK" SIGN (SEE SIGNAGE PACKAGE)
 - 12 "DO NOT ENTER" SIGN (SEE SIGNAGE PACKAGE)
 - 13 SIDEWALK ACCESSIBLE RAMP
 - 14 TRUNCATED DOMES - CAST IN PLACE (ONLY IF REQUIRED)
 - 15 TYPICAL CONCRETE SIDEWALK (SEE DETAIL FOR REVISIONS)
 - 16 TYPICAL CONCRETE SIDEWALK SECTION WITH ADDED BLACK BENT MIX FOR AREAS WITH A CROSS SLOPE TO STEEP FOR PEDESTRIAN ACCESS
 - 17 SIDEWALK WITH CURB & GUTTER SECTION (SEE DETAIL FOR REVISIONS)
 - 18 2" CONCRETE CURB & GUTTER
 - 19 SPILLING 2" CONCRETE CURB & GUTTER
 - 20 GATHERING 2" CONCRETE CURB & GUTTER
 - 21 CURB HEIGHT TO MATCH CONC. PAVEMENT AT DRIVE-THRU DOOR
 - 22 TRANSITION CURB HEIGHT W/ RAMMED CONC. PAVEMENT TO MATCH LEVEL PAVEMENT AT DRIVE-THRU DOOR
 - 23 SCREENED REFUSE ENCLOSURE
 - 24 CONCRETE BOLLARD
 - 25 TYPICAL PAVEMENT SECTION - MEDIUM DUTY
 - 26 TYPICAL PAVEMENT SECTION - HEAVY DUTY
 - 27 TRANSVERSE & LONGITUDINAL CONSTRUCTION JOINT
 - 28 TRANSVERSE & LONGITUDINAL DOWNLOADED CONSTRUCTION JOINT
 - 29 CONCRETE APRON @ TRASH ENCLOSURE
 - 30 CONCRETE PAVING
 - 31 ALUMINUM HANDRAIL
 - 32 CONTRACTION JOINT
 - 33 REVER CONSTRUCTION JOINT
 - 34 LONGITUDINAL BUTT JOINT
 - 35 EXPANSION JOINT
 - 36 PAINTED CROSS WALK
 - 37 MINI BOMBS & CANOPY ORDERING STATION
 - 38 MINI BOARD LOOP DETECTION SYSTEM
 - 39 5'x5' LANDING AND ENTRY DOOR FROST SLAB
 - 40 LANDSCAPED AREA (SEE LANDSCAPE PLAN)
 - 41 CLEARANCE BAR (SEE SIGNAGE PACKAGE)
 - 42 PAVEMENT STRIPING AREA
 - 43 EX. ASPHALT / PROP. CONCRETE INTERFACE
 - 44 EX. PROP. ASPHALT INTERFACE
 - 45 EX. PROP. CURB INTERFACE
 - 46 SHORT TERM BIKE PARKING
 - 47 LONG TERM BIKE PARKING
 - 48 CHECK-IN PRIME SIGN (SEE SIGNAGE PACKAGE)
 - 49 FLAGPOLE, 50' (SEE SIGNAGE PACKAGE)
 - 50 TYPICAL LOCATION FOR THREE OUTDOOR TABLES. WHEN MORE SPACE IS AVAILABLE, OUTDOOR SEATING MAY BE SUPPLIED.
 - 51 4" THICK CONCRETE STRIP BETWEEN BUILDING AND BACK OF CURB
 - 52 8" THICK CONCRETE SIDEWALK BETWEEN DRIVE-THRU LANE AND BUILDING
 - 53 4" WIDE PAINT STRIPE
 - 54 CONCRETE STRIPING AREA. CONCRETE TO BE PER CONCRETE PAVING DETAIL ON SHEET C-1



SITE DATA:

TOTAL SITE AREA:	1.70
BUILDING AREA:	5,872 S.F.
PROP. IMPERVIOUS AREA:	1.14 ACRES
PROP. IMPERVIOUS COVERAGE:	60%
PROP. OPEN SPACE:	30%
DISTURBED AREA:	1.6 AC

5200 Buffington Rd.
Atlanta, Georgia,
30349-2998

REV. NO.	DATE	DESCRIPTION
A	06/02/2023	FINAL REVIEW
B	06/04/2023	PER
C	07/24/2023	TJDA SUBMITTAL
D	08/28/2023	REVISED PER TJDA COMMENTS



CARTER ENGINEERING

CARTER ENGINEERING
1010 COMMERCIAL DRIVE,
BOGART, GA 30622

P: 770.725.1200
F: 770.725.1204
www.carterengineering.com

HARDIN VALLEY FSU
STORE # 05442
9-B-23-TOB / 9-C-23-DP

2167 GREENLAND WAY,
KNOXVILLE, TN 37932

SHEET TITLE

SITE PLAN

REVISION 4-2023

Job No.: 23043CFA
Store #: 05442
Date: 08/28/23

Sheet

C-2.0



811 Know what's below
Call before you dig
dial 811

GRAPHIC SCALE
SCALE: 1" = 20'

ISSUE FOR PERMIT

PROVIDED FOR THE REVISIONS OF THIS DOCUMENT SHALL BE REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF CARTER ENGINEERING CONSULTANTS, P.C.

CONTRACTOR: CARTER ENGINEERING CONSULTANTS, LLC. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN CONSENT OF CARTER ENGINEERING CONSULTANTS, LLC.

- LAYOUT NOTES**
- INSTALL 1" FIREPROOF WATER SERVICE CONNECTION PER WATER COMPANY'S SPECIFICATIONS AND REQUIREMENTS. WATER COMPANY TO MAKE TAP.
 - INSTALL 1" GAS PROTECTION LINE CONNECTION TO EXISTING MAINSTAY FIRE LINE BACKFLOW VALVE TO BE A LOCAL BACKFLOW VALVE (BIBO) (NOT ALLOWED).
 - INSTALL 1" BACKFLOW PREVENTER FOR DOMESTIC WATER SERVICE.

- REDUCED PRESSURE ASSEMBLY**
- THE CONTRACTOR SHALL INSTALL A REDUCED PRESSURE ASSEMBLY OF APPROVED EQUAL OR SUPERIOR LINE APPROVED ON DRAWING. INSTALLATION SHALL INCLUDE BOX OR WELLS AS APPLICABLE. THE BOX OR WELLS SHALL BE CONSTRUCTED PER APPROVED SPECIFICATIONS. THE CONTRACTOR SHALL VERIFY THE REDUCED PRESSURE ASSEMBLY IS INSTALLED IN ACCORDANCE WITH THE APPROVED SPECIFICATIONS. THE CONTRACTOR SHALL VERIFY THE REDUCED PRESSURE ASSEMBLY IS INSTALLED IN ACCORDANCE WITH THE APPROVED SPECIFICATIONS. THE CONTRACTOR SHALL VERIFY THE REDUCED PRESSURE ASSEMBLY IS INSTALLED IN ACCORDANCE WITH THE APPROVED SPECIFICATIONS.

- REDUCED PRESSURE ASSEMBLY**
- INSTALL 1" GAS PROTECTION LINE CONNECTION TO EXISTING MAINSTAY FIRE LINE BACKFLOW VALVE TO BE A LOCAL BACKFLOW VALVE (BIBO) (NOT ALLOWED).
- INSTALL 1" TYPE 'X' COPPER DOMESTIC WATER SERVICE PER WATER COMPANY'S SPECIFICATIONS AND REQUIREMENTS. VERIFY CONNECTION TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.

- INSTALL 1" TYPE 'X' COPPER COLLECTOR WATER SERVICE TO SUBMETER POST MOUNT. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.
- INSTALL 1" TYPE 'X' COPPER COLLECTOR WATER SERVICE TO SUBMETER POST MOUNT. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.

- INSTALL 1" TYPE 'X' COPPER COLLECTOR WATER SERVICE TO SUBMETER POST MOUNT. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.
- INSTALL 1" TYPE 'X' COPPER COLLECTOR WATER SERVICE TO SUBMETER POST MOUNT. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.

- INSTALL 1" TYPE 'X' COPPER COLLECTOR WATER SERVICE TO SUBMETER POST MOUNT. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.
- INSTALL 1" TYPE 'X' COPPER COLLECTOR WATER SERVICE TO SUBMETER POST MOUNT. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.

- INSTALL 1" TYPE 'X' COPPER COLLECTOR WATER SERVICE TO SUBMETER POST MOUNT. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.
- INSTALL 1" TYPE 'X' COPPER COLLECTOR WATER SERVICE TO SUBMETER POST MOUNT. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.

- INSTALL 1" TYPE 'X' COPPER COLLECTOR WATER SERVICE TO SUBMETER POST MOUNT. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.
- INSTALL 1" TYPE 'X' COPPER COLLECTOR WATER SERVICE TO SUBMETER POST MOUNT. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.

- INSTALL 1" TYPE 'X' COPPER COLLECTOR WATER SERVICE TO SUBMETER POST MOUNT. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.
- INSTALL 1" TYPE 'X' COPPER COLLECTOR WATER SERVICE TO SUBMETER POST MOUNT. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.

- INSTALL 1" TYPE 'X' COPPER COLLECTOR WATER SERVICE TO SUBMETER POST MOUNT. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.
- INSTALL 1" TYPE 'X' COPPER COLLECTOR WATER SERVICE TO SUBMETER POST MOUNT. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.

- INSTALL 1" TYPE 'X' COPPER COLLECTOR WATER SERVICE TO SUBMETER POST MOUNT. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.
- INSTALL 1" TYPE 'X' COPPER COLLECTOR WATER SERVICE TO SUBMETER POST MOUNT. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.

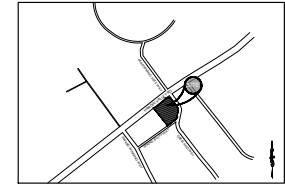
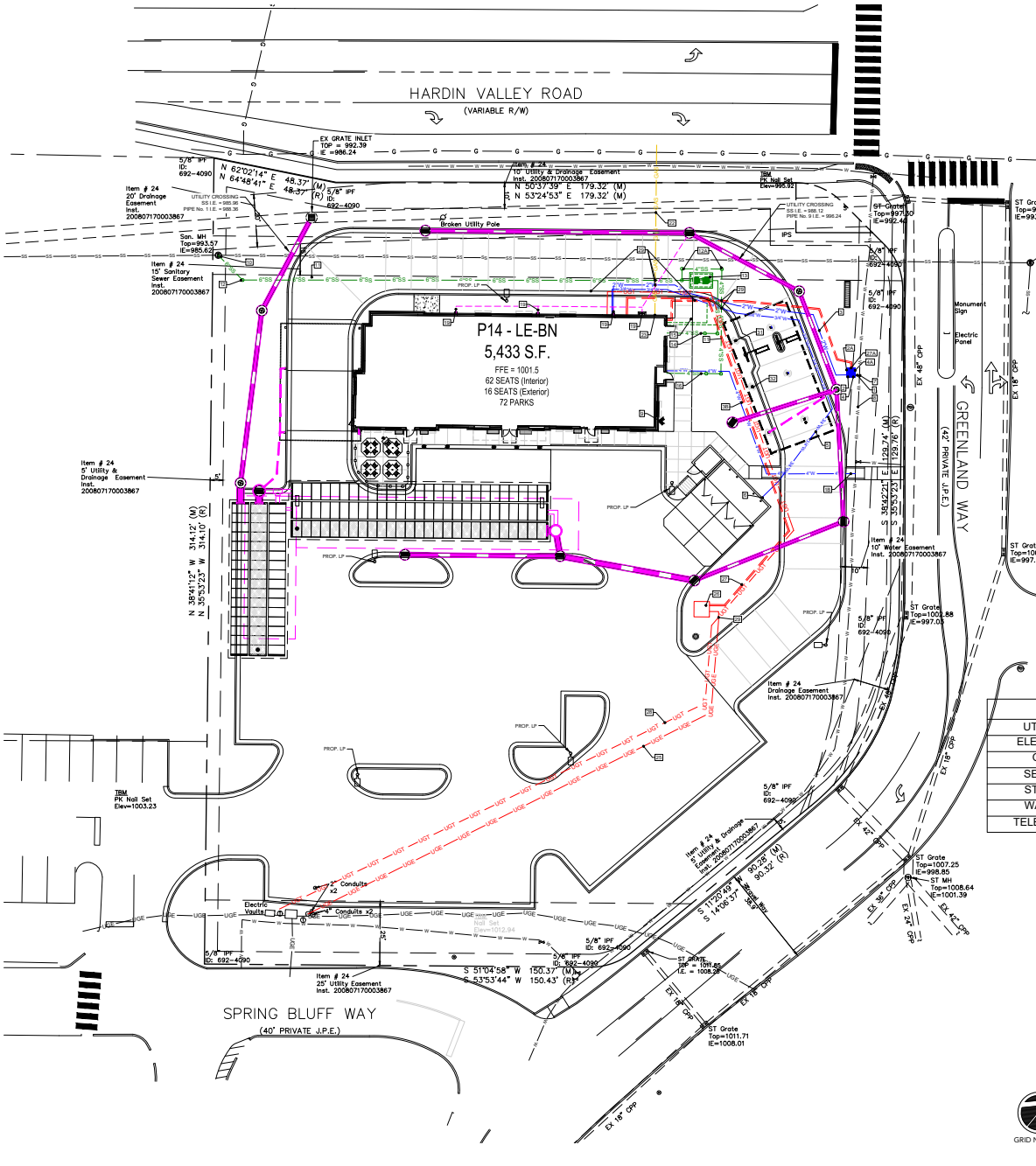
- INSTALL 1" TYPE 'X' COPPER COLLECTOR WATER SERVICE TO SUBMETER POST MOUNT. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.
- INSTALL 1" TYPE 'X' COPPER COLLECTOR WATER SERVICE TO SUBMETER POST MOUNT. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.

- INSTALL 1" TYPE 'X' COPPER COLLECTOR WATER SERVICE TO SUBMETER POST MOUNT. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.
- INSTALL 1" TYPE 'X' COPPER COLLECTOR WATER SERVICE TO SUBMETER POST MOUNT. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.

- INSTALL 1" TYPE 'X' COPPER COLLECTOR WATER SERVICE TO SUBMETER POST MOUNT. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.
- INSTALL 1" TYPE 'X' COPPER COLLECTOR WATER SERVICE TO SUBMETER POST MOUNT. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.

- INSTALL 1" TYPE 'X' COPPER COLLECTOR WATER SERVICE TO SUBMETER POST MOUNT. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.
- INSTALL 1" TYPE 'X' COPPER COLLECTOR WATER SERVICE TO SUBMETER POST MOUNT. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.

- INSTALL 1" TYPE 'X' COPPER COLLECTOR WATER SERVICE TO SUBMETER POST MOUNT. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.
- INSTALL 1" TYPE 'X' COPPER COLLECTOR WATER SERVICE TO SUBMETER POST MOUNT. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.



UTILITY LEGEND		KEY	
ELECTRIC	ELEC	ELEC	ELEC
GAS	GAS	GAS	GAS
SEWER	SS	SS	SS
STORM	ST	ST	ST
WATER	W	W	W
TELECOMM	TELE	TELE	TELE

811 Know what's below
Call before you dig
dial 811

GRAPHIC SCALE
SCALE: 1" = 20'

GRID NORTH

Carter Engineering
5200 Buffington Rd.
Atlanta, Georgia,
30349-2998

REV. #	DATE	DESCRIPTION
A	06/22/2023	INITIAL REVIEW
B	06/26/2023	PCR
C	07/23/2023	ITC/A SUBMITTAL
D	08/28/2023	REVISED PER ITC/A COMMENTS



Carter Engineering
11110 COMMERCIAL DRIVE,
BOGART, GA 30622
P: 770.725.1200
F: 770.725.1204
www.carterengineering.com

HARDIN VALLEY FSU
STORE # 05442
9-B-23-T0B / 9-C-23-PP

2187 GREENLAND WAY,
KNOXVILLE, TN 37932

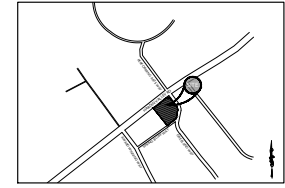
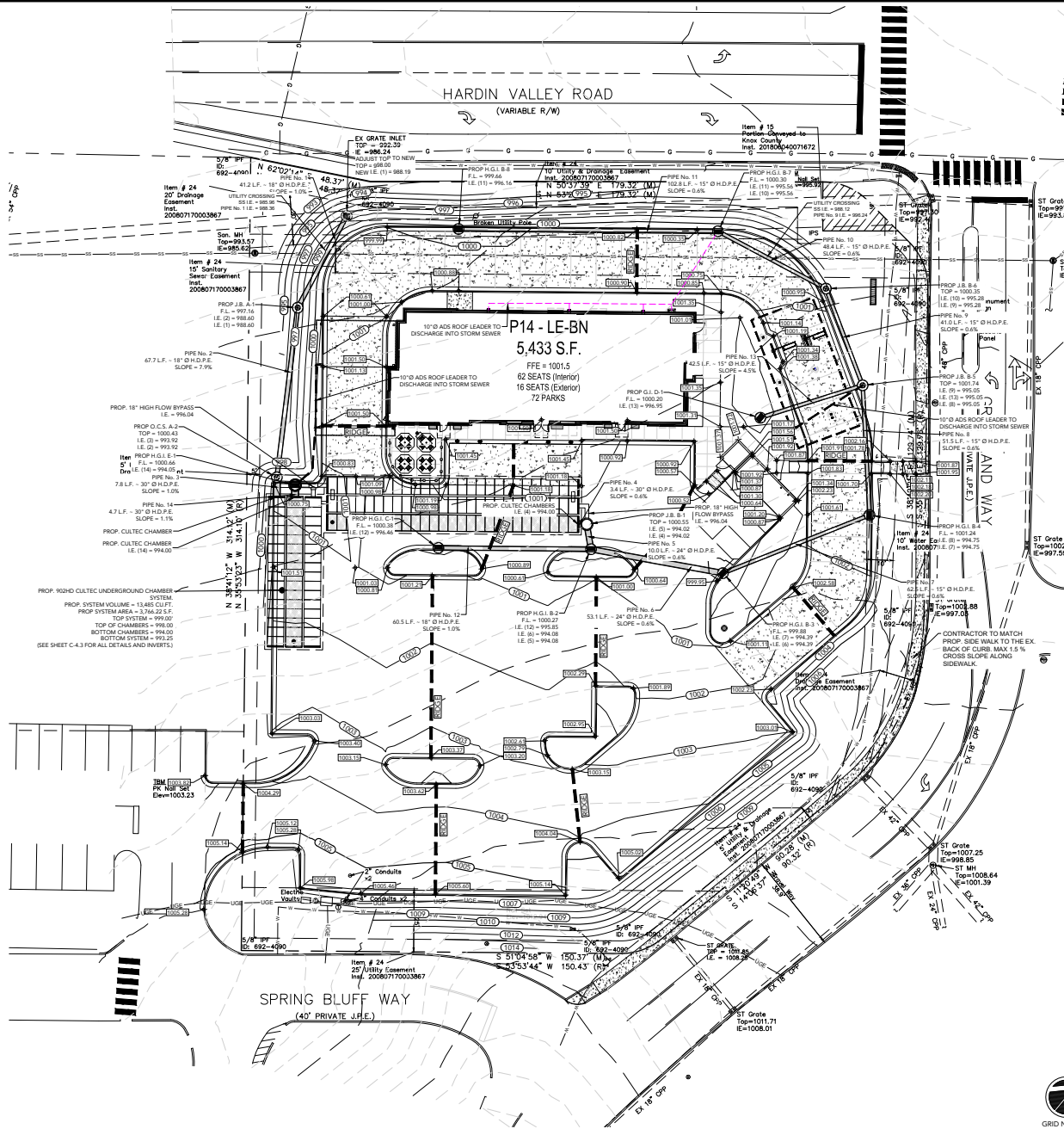
SHEET TITLE
UTILITY PLAN

REVISION 4-2023

Job No.: 23043CFA
Store #: 05442
Date: 08/28/23

Issue for Permit
C-3.0

UNREGISTERED/NOT REPRODUCED EXCEPT THROUGH CONTRACTOR'S PERMISSION. THIS IS A COPY OF THE ORIGINAL DRAWING. ANY REVISIONS TO THIS DRAWING SHALL BE INDICATED BY A RED CIRCLE WITH A NUMBER.



REV #	DATE	REVISION
A	06/02/2023	FINAL REVIEW
B	06/06/2023	PCR
C	07/03/2023	TICIA SUBMITTAL
D	08/28/2023	REVISED PER TICIA COMMENTS



CARTER ENGINEERING
1010 COMMERCIAL DRIVE,
ROGART, GA 30062
P: 770.725.1200
F: 770.725.1204
www.carterengineering.com

HARDIN VALLEY FSU
STORE # 05442
9-B-23-TOB / 9-C-23-DP

2187 GREENLAND WAY,
KNOXVILLE, TN 37932

SHEET TITLE

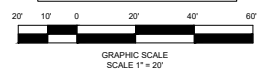
GRADING & DRAINAGE PLAN

REVISION 4-2023

Job No. : 23043CFA
Store : 05442
Date : 08/28/23

Sheet

C-4.0



ISSUE FOR PERMIT



REV #	DATE	DESCRIPTION
A	06/02/2023	INITIAL REVIEW
B	06/06/2023	PCR
C	07/24/2023	TICDA SUBMITTAL
D	08/28/2023	REVISED PER TICDA COMMENTS



CARTER ENGINEERING
1010 COMMERCIAL DRIVE,
BOGART, GA 30022
P: 770.725.1200
F: 770.725.1204
www.carterengineering.com

HARDIN VALLEY FSU
STORE # 05442
9-B-23-TB / 9-C-23-DP

2187 GREENLAND WAY,
KNOXVILLE, TN 37932

SHEET TITLE

PIPE PROFILES

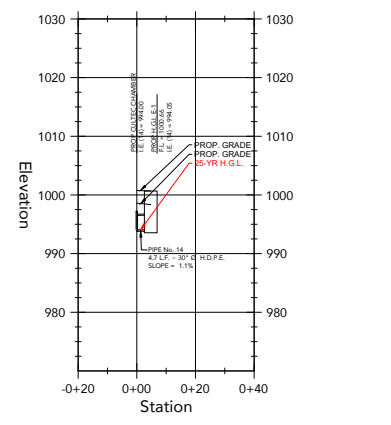
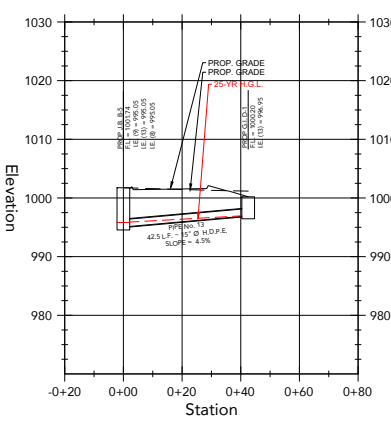
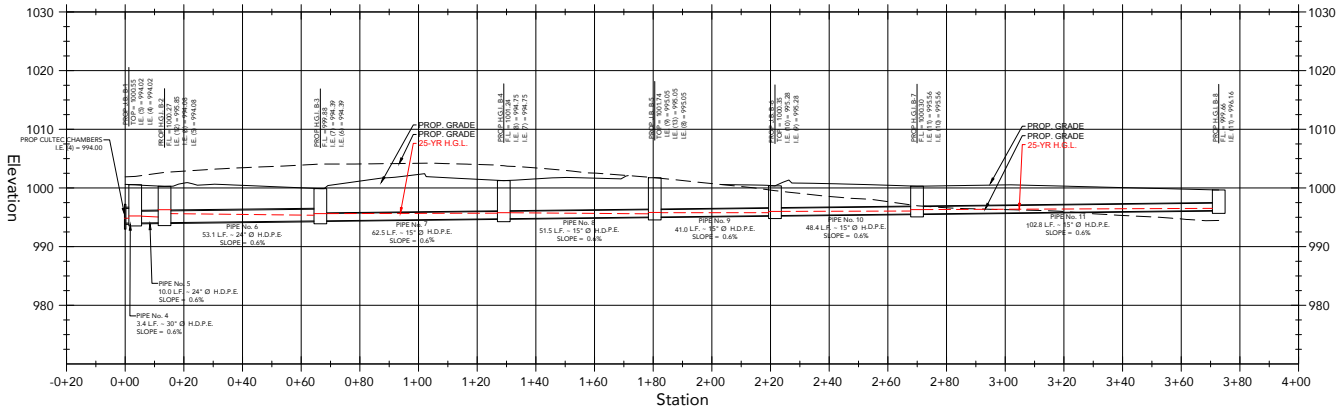
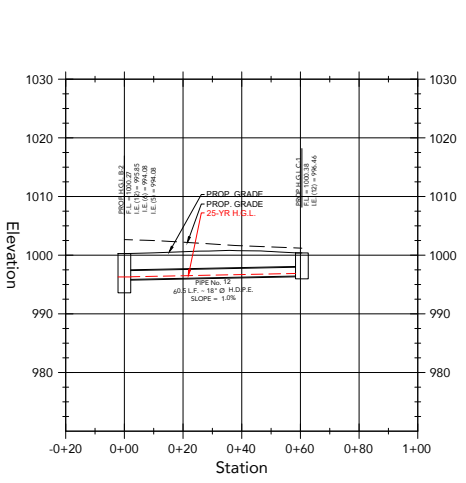
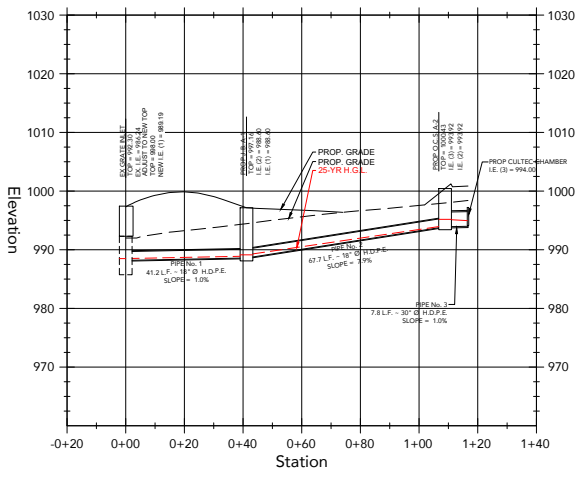
REVISION 4-2023

Job No.: 23043CFA
Store #: 05442
Date: 08/28/23

Sheet

ISSUE FOR PERMIT

C-4.1



Pipe No.	Flow (cfs)	Size (in)	Mat'l	Length (ft)	I.E. Down (ft)	I.E. Up (ft)	Slope (%)	HGL Down (ft)	HGL Up (ft)	Velocity (ft/s)
1	1.06	18	HDPE	41.2	988.19	988.60	1.0	988.57	988.98	2.97
2	1.06	18	HDPE	67.7	988.60	993.92	7.9	988.98	994.30	2.97
3	1.06	30	HDPE	7.8	993.92	994.00	1.0	994.30	994.33	2.47
4	5.18	30	HDPE	3.4	994.00	994.02	0.6	994.75	994.77	4.18
5	5.19	24	HDPE	10.0	994.02	994.08	0.6	994.77	994.88	4.61
6	2.37	24	HDPE	53.1	994.08	994.39	0.6	994.88	995.26	2.76
7	1.64	15	HDPE	62.5	994.39	994.75	0.6	994.92	995.26	3.39
8	1.21	15	HDPE	51.5	994.75	995.05	0.6	995.26	995.48	2.90
9	1.62	15	HDPE	41.0	995.05	995.28	0.6	995.53	995.78	3.63
10	1.65	15	HDPE	48.2	995.28	995.56	0.6	995.78	996.07	3.54
11	0.96	15	HDPE	102.8	995.56	996.16	0.6	996.07	996.54	2.52
12	2.12	18	HDPE	60.5	995.85	996.46	1.0	996.29	997.01	4.28
13	0.07	15	HDPE	42.5	995.05	996.95	4.5	995.48	997.05	0.82
14	0.21	30	HDPE	4.8	994.00	994.05	1.1	994.15	994.20	1.78

811 Know what's below
Call before you dig
dial 811

GRAPHIC SCALE
SCALE 1" = 20'

COPYRIGHT CARTER ENGINEERING CONSULTANTS, LLC. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN CONSENT OF CARTER ENGINEERING CONSULTANTS, INC.



REV #	DATE	DESCRIPTION
A	06/02/2023	INITIAL REVIEW
B	06/06/2023	PCR
C	07/13/2023	TICDA SUBMITTAL
D	08/28/2023	REVISED PER TICDA COMMENTS



CARTER ENGINEERING
1010 COMMERCIAL DRIVE,
BOGART, GA 30622
P: 770.725.1200
F: 770.725.1204
www.carterengineering.com

HARDIN VALLEY FSU
STORE # 05442
9-B-23-TOB / 9-C-23-PP

2167 GREENLAND WAY,
KNOXVILLE, TN 37932

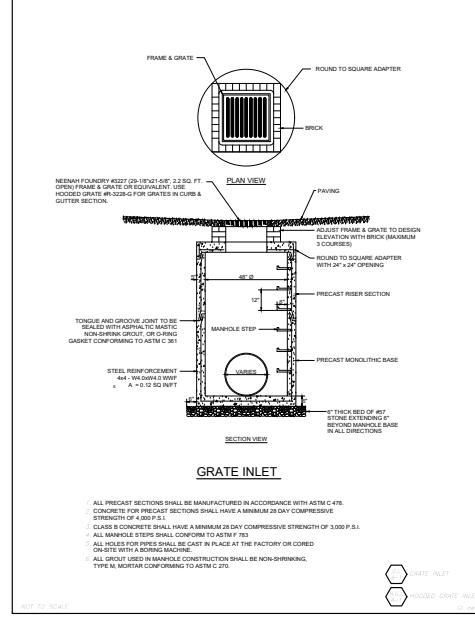
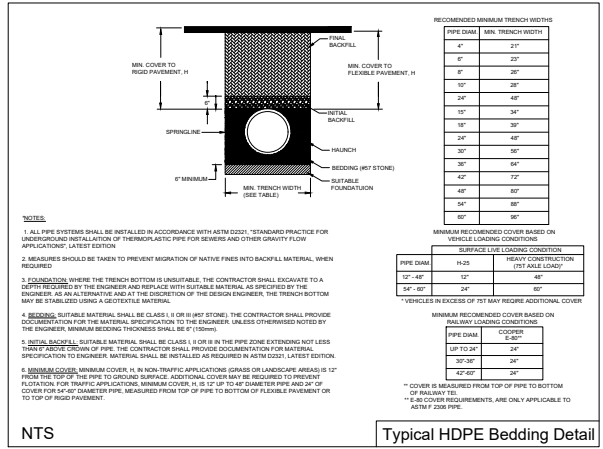
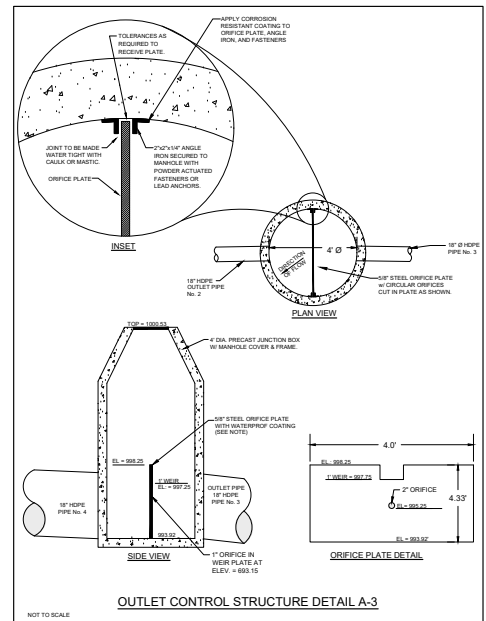
SHEET TITLE
**STORMWATER
DETAILS**

REVISION 4-2023

Job No. : 23043CFA
Store : 05442
Date : 08/28/23

Sheet

ISSUE FOR PERMIT
C-4.2



COPYRIGHT: CARTER ENGINEERING CONSULTANTS, LLC. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED, MANIPULATED OR TRANSMITTED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION FROM CARTER ENGINEERING CONSULTANTS, LLC.

THIS DOCUMENT IS UNCONTROLLED WHEN PRINTED FROM THE PROJECT WEBSITE. IT IS A GOOD PRACTICE TO CHECK THE DATE OF THE DOCUMENT AGAINST THE DATE OF THE PROJECT WEBSITE TO ENSURE YOU ARE USING THE MOST CURRENT VERSION.

HARDIN VALLEY FSU STORE #05422

2187 GREENLAND WAY
KNOXVILLE, TN

DRAWING INDEX

TITLE	SHEET NO.
COVER SHEET	1 OF 5
SYSTEM LAYOUT SHEET	2 OF 5
SYSTEM CALCULATION SHEET	3 OF 5
SYSTEM OVERLAY SHEET	4 OF 5
ROOF DETAIL SHEET	5 OF 5

PROJECT NO.		JOB NAME		PROJECT INFORMATION	
04-2023-001	2187 GREENLAND WAY	04-2023-001	2187 GREENLAND WAY	04-2023-001	2187 GREENLAND WAY
04-2023-001	2187 GREENLAND WAY	04-2023-001	2187 GREENLAND WAY	04-2023-001	2187 GREENLAND WAY
04-2023-001	2187 GREENLAND WAY	04-2023-001	2187 GREENLAND WAY	04-2023-001	2187 GREENLAND WAY

CULTEC, Inc.
Site Specific Stormwater Management System
P.O. Box 280
678 Federal Road
Bloomfield, CT 06042
Tel: (303) 775-1402
tsc@cultec.com
www.cultec.com

NOTE: THESE SHOP DRAWINGS MAY CONTAIN COMMENTS INCLUDING BUT NOT LIMITED TO: MANUFACTURER, CATALOG NUMBER, STOREY PIPES AND FITTINGS, MANUFACTURER, CATALOG AND OTHER NECESSARY APPROPRIATE THAT MAY NOT BE SUPPLIED BY CULTEC, INC. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND/OR SUPPLIER TO OBTAIN WITH CULTEC THE MATERIALS PROVIDED.

- BEFORE YOU BEGIN - REQUIRED MATERIALS AND EQUIPMENT
1. PROPER GEOTECHNICAL SOIL EVALUATION BY A QUALIFIED ENGINEER OR SOIL SCIENTIST TO DETERMINE SUITABILITY OF STRUCTURAL INSTALLATION
 2. SOIL COMPACTNESS
 3. CULTEC WARNING TAPE OR EQUIVALENT
 4. ACCESSORIES FROM LOCAL CULTEC STORES THAT NO UNDERGROUND GAS, ELECTRICAL OR OTHER POTENTIALLY DANGEROUS APPLIANCE ARE COVERED AND ADJUSTED BEFORE THE START
 5. ACCEPTABLE 1" (MIN. 20" IN 3" HRS) IMPROVED DRAINAGE STORES AS DETAIL IN CULTEC'S INSTALLATION INSTRUCTIONS. CULTEC'S STORES ARE AVAILABLE AT CULTEC STORES
 6. ACCEPTABLE FILL MATERIAL. AS SHOWN IN CULTEC'S INSTALLATION INSTRUCTIONS.
 7. ALL CULTEC CHAMBERS AND ACCESSORIES AS SPECIFIED IN THE DRAWINGS TO BE PLACED IN THE WORK AREA INCLUDING CULTEC NO. 410 NONWOVEN GEOTEXTILE, CULTEC STORMWATER AND CULTEC NO. 408 WOVEN GEOTEXTILE, WHERE APPLICABLE
 8. INSPECTION HOLE FOR INSPECTION
 9. STONE DUCT
 10. STONE CONVEYER AND/OR TRACKS EXHAUSTOR
 11. TRAVEL LAMER LEVEL, MEASUREMENT DEVICE
 12. CONSTRUCTION EQUIPMENT WITH MAXIMUM CROSSED VEHICLE HEIGHT OF 13.000 (SEE 0.44) KICK VIBRATORY ROLLERS MAY ONLY BE USED ON THE STONE AND BEFORE STONE INSTALLATION
 13. CHECK CULTEC CHAMBERS FOR DAMAGE PRIOR TO INSTALLATION. DO NOT USE DAMAGED CULTEC CHAMBERS. CONTACT YOUR SUPPLIER IMMEDIATELY TO REPORT DAMAGE OR PACKING LIST DISCREPANCIES.

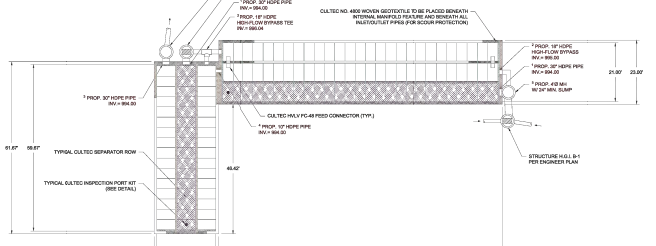
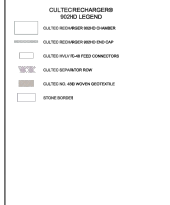
- REQUIREMENTS FOR CULTEC CHAMBER SYSTEM INSTALLATIONS
1. INSTALLING CONTRACTORS ARE EXPECTED TO COMPREHEND AND USE THE MOST CURRENT INSTALLATION INSTRUCTIONS PRIOR TO BEGINNING A SYSTEM INSTALLATION. IF THERE IS ANY QUESTION AS TO WHETHER YOU POSSESS THE MOST CURRENT INSTRUCTIONS, CONTACT CULTEC AT (303) 775-1444 OR VISIT WWW.CULTEC.COM
 2. CONTRACT CULTEC AT LEAST TWENTY DAYS PRIOR TO SYSTEM INSTALLATION TO ALLOW FOR A PRE-CONSTRUCTION MEETING.
 3. ALL CULTEC SYSTEM DESIGNS MUST BE CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER.
 4. ALL CULTEC INSTALLATION DETAILS ARE AS SHOWN AND ARE FOR INFORMATION ONLY. ACTUAL DESIGN MAY VARY REFER TO APPROVED CONSTRUCTION DRAWINGS FOR JOB-SPECIFIC DETAILS BE SURE TO FOLLOW THE REQUIREMENTS DRAWING AS YOUR PRIMARY TOOL.
 5. THE FOUNDATION STONE SHALL BE LEVEL AND COMPACTED PRIOR TO CHAMBER INSTALLATION.
 6. OVERLAPPING THE CONNECTING OF CHAMBERS SHALL BE FULLY COVERED PRIOR TO STONE PLACEMENT.
 7. CENTER-TO-CENTERS BRACING SHALL BE CHECKED AND MAINTAINED THROUGHOUT INSTALLATION PROCESS.
 8. ANTI-CORROSION WITH SYSTEM BRACING SHALL BE FULLY COVERED PRIOR TO STONE PLACEMENT.
 9. NONWOVEN GEOTEXTILE MUST BE USED AS SPECIFIED IN THE ENGINEER'S DRAWINGS.
 10. CULTEC REQUIRES THE CONTRACTOR TO REFER TO CULTEC'S INSTALLATION INSTRUCTIONS CONCERNING VEHICULAR TRAFFIC, RESPONSIBILITY TO PREVENT DAMAGE TO THE SYSTEM THAT EXCEEDS CULTEC'S REQUIREMENTS FOR TRAVELING ACROSS OR THROUGH THE CHAMBER SYSTEM IS THE CONTRACTOR'S RESPONSIBILITY. THE ENTIRE ROAD OR DRIVEWAY UNDER THE CHAMBER SYSTEM SHALL BE FULLY COVERED WITH CULTEC'S STONE REMEDIATEL STONE MUST BE PLACED OVER THE SYSTEM OF THE CHAMBERS TO AND/OR THE CHAMBERS IN PLACE.
 11. TRAFFIC OF INSTALLATION EQUIPMENT OTHER THAN VEHICULAR TRAFFIC SHALL NOT BE ALLOWED TO ENTER THE CHAMBERS. ANY CHAMBERS DAMAGED USING AN UNACCEPTABLE METHOD OF INSTALLATION ARE NOT COVERED UNDER THE CULTEC LIMITED WARRANTY.
 12. BROKEN AND DAMAGED CONTROL HEADERS MUST BE FULLY COVERED AND THE DESIGN ENGINEER'S SPECIFICATIONS THROUGHOUT THE SYSTEM'S CONSTRUCTION PROCESS.
 13. CULTEC SYSTEM MUST BE DESIGNED AND INSTALLED IN ACCORDANCE WITH CULTEC'S MINIMUM REQUIREMENTS. FAILURE TO DO SO WILL VOID THE LIMITED WARRANTY.
 14. CONTACT CULTEC, INC. AT 303-775-1444 WITH ANY QUESTIONS OR FURTHER CLARIFICATION OF REQUIREMENTS.
 15. PLACEMENT OF EMBEDEDMENT STONE MUST BE IN ACCORDANCE WITH CULTEC'S INSTALLATION INSTRUCTIONS.
 16. EMBEDEDMENT STONE MUST BE FULLY COVERED WITH AN ACCEPTABLE METHOD OF INSTALLATION OR MAY CAUSE DAMAGE TO THE CHAMBERS. ANY CHAMBERS DAMAGED USING AN UNACCEPTABLE METHOD OF INSTALLATION ARE NOT COVERED UNDER THE CULTEC LIMITED WARRANTY.

PROPOSED STORMWATER MANAGEMENT SYSTEM (S.M.S.) PLAN

ITEM	DESCRIPTION	QUANTITY	UNIT PRICE	TOTAL
1	MINIMUM ALLOWABLE GRADE (TOP OF FINISHED GRADE)	1	350.00	350.00
2	MINIMUM ALLOWABLE GRADE (TOP OF FINISHED GRADE)	1	350.00	350.00
3	MINIMUM ALLOWABLE GRADE (TOP OF FINISHED GRADE)	1	350.00	350.00
4	TOP OF FINISHED GRADE	1	350.00	350.00
5	TOP OF FINISHED GRADE	1	350.00	350.00
6	TOP OF FINISHED GRADE	1	350.00	350.00
7	TOP OF FINISHED GRADE	1	350.00	350.00
8	TOP OF FINISHED GRADE	1	350.00	350.00
9	TOP OF FINISHED GRADE	1	350.00	350.00
10	TOP OF FINISHED GRADE	1	350.00	350.00
11	TOP OF FINISHED GRADE	1	350.00	350.00
12	TOP OF FINISHED GRADE	1	350.00	350.00
13	TOP OF FINISHED GRADE	1	350.00	350.00
14	TOP OF FINISHED GRADE	1	350.00	350.00
15	TOP OF FINISHED GRADE	1	350.00	350.00
16	TOP OF FINISHED GRADE	1	350.00	350.00
17	TOP OF FINISHED GRADE	1	350.00	350.00
18	TOP OF FINISHED GRADE	1	350.00	350.00
19	TOP OF FINISHED GRADE	1	350.00	350.00
20	TOP OF FINISHED GRADE	1	350.00	350.00

CULTEC STORMWATER MANAGEMENT SYSTEM (S.M.S.) PLAN

ITEM	DESCRIPTION	QUANTITY	UNIT PRICE	TOTAL
1	TOTAL STORMWATER (GPD)	1	100.00	100.00
2	TOTAL STORMWATER (GPD)	1	100.00	100.00
3	TOTAL STORMWATER (GPD)	1	100.00	100.00
4	TOTAL STORMWATER (GPD)	1	100.00	100.00
5	TOTAL STORMWATER (GPD)	1	100.00	100.00
6	TOTAL STORMWATER (GPD)	1	100.00	100.00
7	TOTAL STORMWATER (GPD)	1	100.00	100.00
8	TOTAL STORMWATER (GPD)	1	100.00	100.00
9	TOTAL STORMWATER (GPD)	1	100.00	100.00
10	TOTAL STORMWATER (GPD)	1	100.00	100.00
11	TOTAL STORMWATER (GPD)	1	100.00	100.00
12	TOTAL STORMWATER (GPD)	1	100.00	100.00
13	TOTAL STORMWATER (GPD)	1	100.00	100.00
14	TOTAL STORMWATER (GPD)	1	100.00	100.00
15	TOTAL STORMWATER (GPD)	1	100.00	100.00
16	TOTAL STORMWATER (GPD)	1	100.00	100.00
17	TOTAL STORMWATER (GPD)	1	100.00	100.00
18	TOTAL STORMWATER (GPD)	1	100.00	100.00
19	TOTAL STORMWATER (GPD)	1	100.00	100.00
20	TOTAL STORMWATER (GPD)	1	100.00	100.00



NOTE: ALL MATERIALS ARE TO BE SUPPLIED BY THE CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE DESIGN ENGINEER. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN ENGINEER'S SPECIFICATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

MATERIALS LIST SUPPLIED BY CULTEC

ITEM NO.	DESCRIPTION	QUANTITY	UNIT PRICE	TOTAL
1	CULTEC RECHARGER 6020	1	100.00	100.00
2	CULTEC RECHARGER 6020	1	100.00	100.00
3	CULTEC RECHARGER 6020	1	100.00	100.00
4	CULTEC RECHARGER 6020	1	100.00	100.00
5	CULTEC RECHARGER 6020	1	100.00	100.00
6	CULTEC RECHARGER 6020	1	100.00	100.00
7	CULTEC RECHARGER 6020	1	100.00	100.00
8	CULTEC RECHARGER 6020	1	100.00	100.00
9	CULTEC RECHARGER 6020	1	100.00	100.00
10	CULTEC RECHARGER 6020	1	100.00	100.00
11	CULTEC RECHARGER 6020	1	100.00	100.00
12	CULTEC RECHARGER 6020	1	100.00	100.00
13	CULTEC RECHARGER 6020	1	100.00	100.00
14	CULTEC RECHARGER 6020	1	100.00	100.00
15	CULTEC RECHARGER 6020	1	100.00	100.00
16	CULTEC RECHARGER 6020	1	100.00	100.00
17	CULTEC RECHARGER 6020	1	100.00	100.00
18	CULTEC RECHARGER 6020	1	100.00	100.00
19	CULTEC RECHARGER 6020	1	100.00	100.00
20	CULTEC RECHARGER 6020	1	100.00	100.00

NOTE: ALL MATERIALS ARE TO BE SUPPLIED BY THE CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE DESIGN ENGINEER. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN ENGINEER'S SPECIFICATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

NOTE: ALL MATERIALS ARE TO BE SUPPLIED BY THE CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE DESIGN ENGINEER. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN ENGINEER'S SPECIFICATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

NOTE: ALL MATERIALS ARE TO BE SUPPLIED BY THE CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE DESIGN ENGINEER. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN ENGINEER'S SPECIFICATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

NOTE: ALL MATERIALS ARE TO BE SUPPLIED BY THE CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE DESIGN ENGINEER. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN ENGINEER'S SPECIFICATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

NOTE: ALL MATERIALS ARE TO BE SUPPLIED BY THE CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE DESIGN ENGINEER. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN ENGINEER'S SPECIFICATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

NOTE: ALL MATERIALS ARE TO BE SUPPLIED BY THE CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE DESIGN ENGINEER. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN ENGINEER'S SPECIFICATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

NOTE: ALL MATERIALS ARE TO BE SUPPLIED BY THE CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE DESIGN ENGINEER. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN ENGINEER'S SPECIFICATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

NOTE: ALL MATERIALS ARE TO BE SUPPLIED BY THE CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE DESIGN ENGINEER. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN ENGINEER'S SPECIFICATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

NOTE: ALL MATERIALS ARE TO BE SUPPLIED BY THE CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE DESIGN ENGINEER. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN ENGINEER'S SPECIFICATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

NOTE: ALL MATERIALS ARE TO BE SUPPLIED BY THE CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE DESIGN ENGINEER. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN ENGINEER'S SPECIFICATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

NOTE: ALL MATERIALS ARE TO BE SUPPLIED BY THE CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE DESIGN ENGINEER. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN ENGINEER'S SPECIFICATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

NOTE: ALL MATERIALS ARE TO BE SUPPLIED BY THE CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE DESIGN ENGINEER. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN ENGINEER'S SPECIFICATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

NOTE: ALL MATERIALS ARE TO BE SUPPLIED BY THE CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE DESIGN ENGINEER. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN ENGINEER'S SPECIFICATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

NOTE: ALL MATERIALS ARE TO BE SUPPLIED BY THE CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE DESIGN ENGINEER. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN ENGINEER'S SPECIFICATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

NOTE: ALL MATERIALS ARE TO BE SUPPLIED BY THE CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE DESIGN ENGINEER. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN ENGINEER'S SPECIFICATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

NOTE: ALL MATERIALS ARE TO BE SUPPLIED BY THE CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE DESIGN ENGINEER. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN ENGINEER'S SPECIFICATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

NOTE: ALL MATERIALS ARE TO BE SUPPLIED BY THE CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE DESIGN ENGINEER. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN ENGINEER'S SPECIFICATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

NOTE: ALL MATERIALS ARE TO BE SUPPLIED BY THE CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE DESIGN ENGINEER. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN ENGINEER'S SPECIFICATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

NOTE: ALL MATERIALS ARE TO BE SUPPLIED BY THE CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE DESIGN ENGINEER. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN ENGINEER'S SPECIFICATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

NOTE: ALL MATERIALS ARE TO BE SUPPLIED BY THE CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE DESIGN ENGINEER. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN ENGINEER'S SPECIFICATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

NOTE: ALL MATERIALS ARE TO BE SUPPLIED BY THE CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE DESIGN ENGINEER. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN ENGINEER'S SPECIFICATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

NOTE: ALL MATERIALS ARE TO BE SUPPLIED BY THE CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE DESIGN ENGINEER. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN ENGINEER'S SPECIFICATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

NOTE: ALL MATERIALS ARE TO BE SUPPLIED BY THE CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE DESIGN ENGINEER. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN ENGINEER'S SPECIFICATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

NOTE: ALL MATERIALS ARE TO BE SUPPLIED BY THE CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE DESIGN ENGINEER. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN ENGINEER'S SPECIFICATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

NOTE: ALL MATERIALS ARE TO BE SUPPLIED BY THE CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE DESIGN ENGINEER. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN ENGINEER'S SPECIFICATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

NOTE: ALL MATERIALS ARE TO BE SUPPLIED BY THE CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE DESIGN ENGINEER. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN ENGINEER'S SPECIFICATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

NOTE: ALL MATERIALS ARE TO BE SUPPLIED BY THE CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE DESIGN ENGINEER. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN ENGINEER'S SPECIFICATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

NOTE: ALL MATERIALS ARE TO BE SUPPLIED BY THE CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE DESIGN ENGINEER. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN ENGINEER'S SPECIFICATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

NOTE: ALL MATERIALS ARE TO BE SUPPLIED BY THE CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE DESIGN ENGINEER. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN ENGINEER'S SPECIFICATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

NOTE: ALL MATERIALS ARE TO BE SUPPLIED BY THE CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE DESIGN ENGINEER. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN ENGINEER'S SPECIFICATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

NOTE: ALL MATERIALS ARE TO BE SUPPLIED BY THE CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE DESIGN ENGINEER. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN ENGINEER'S SPECIFICATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

NOTE: ALL MATERIALS ARE TO BE SUPPLIED BY THE CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE DESIGN ENGINEER. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN ENGINEER'S SPECIFICATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

NOTE: ALL MATERIALS ARE TO BE SUPPLIED BY THE CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE DESIGN ENGINEER. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN ENGINEER'S SPECIFICATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

NOTE: ALL MATERIALS ARE TO BE SUPPLIED BY THE CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE DESIGN ENGINEER. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN ENGINEER'S SPECIFICATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

NOTE: ALL MATERIALS ARE TO BE SUPPLIED BY THE CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE DESIGN ENGINEER. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN ENGINEER'S SPECIFICATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

NOTE: ALL MATERIALS ARE TO BE SUPPLIED BY THE CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE DESIGN ENGINEER. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN ENGINEER'S SPECIFICATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

NOTE: ALL MATERIALS ARE TO BE SUPPLIED BY THE CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE DESIGN ENGINEER. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN ENGINEER'S SPECIFICATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

MATERIALS LIST NOT SUPPLIED BY CULTEC

ITEM NO.	DESCRIPTION	QUANTITY	UNIT PRICE	TOTAL
1	CULTEC RECHARGER 6020	1	100.00	100.00
2	CULTEC RECHARGER 6020	1	100.00	100.00
3	CULTEC RECHARGER 6020	1	100.00	100.00
4	CULTEC RECHARGER 6020	1	100.00	100.00
5	CULTEC RECHARGER 6020	1	100.00	100.00
6	CULTEC RECHARGER 6020	1	100.00	100.00
7	CULTEC RECHARGER 6020	1	100.00	100.00
8	CULTEC RECHARGER 6020	1	100.00	100.00
9	CULTEC RECHARGER 6020	1	100.00	100.00
10	CULTEC RECHARGER 6020	1	100.00	100.00
11	CULTEC RECHARGER 6020	1	100.00	100.00
12	CULTEC RECHARGER 6020	1	100.00	100.00
13	CULTEC RECHARGER 6020	1	100.00	100.00
14	CULTEC RECHARGER 6020	1	100.00	100.00
15	CULTEC RECHARGER 6020	1	100.00	100.00
16	CULTEC RECHARGER 6020	1	100.00	100.00
17	CULTEC RECHARGER 6020	1	100.00	100.00
18	CULTEC RECHARGER 6020	1	100.00	100.00
19	CULTEC RECHARGER 6020	1	100.00	100.00
20	CULTEC RECHARGER 6020	1	100.00	100.00

NOTE: ALL MATERIALS ARE TO BE SUPPLIED BY THE CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE DESIGN ENGINEER. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN ENGINEER'S SPECIFICATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

NOTE: ALL MATERIALS ARE TO BE SUPPLIED BY THE CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE DESIGN ENGINEER. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN ENGINEER'S SPECIFICATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

NOTE: ALL MATERIALS ARE TO BE SUPPLIED BY THE CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE DESIGN ENGINEER. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN ENGINEER'S SPECIFICATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

NOTE: ALL MATERIALS ARE TO BE SUPPLIED BY THE CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE DESIGN ENGINEER. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN ENGINEER'S SPECIFICATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

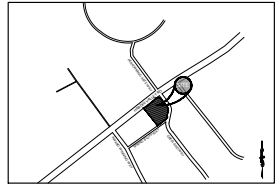
NOTE: ALL MATERIALS ARE TO BE SUPPLIED BY THE CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE DESIGN ENGINEER. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN ENGINEER'S SPECIFICATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

NOTE: ALL MATERIALS ARE TO BE SUPPLIED BY THE CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE DESIGN ENGINEER. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN ENGINEER'S SPECIFICATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

NOTE: ALL MATERIALS ARE TO BE SUPPLIED BY THE CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE DESIGN ENGINEER. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN ENGINEER'S SPECIFICATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

NOTE: ALL MATERIALS ARE TO BE SUPPLIED BY THE CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE DESIGN ENGINEER. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN ENGINEER'S SPECIFICATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

NOTE: ALL MATERIALS ARE TO BE SUPPLIED




**5200 Buffington Rd.
Atlanta, Georgia,
30349-2998**

REV#	DATE	DESCRIPTION
A	06/02/2023	INITIAL REVIEW
B	06/06/2023	PCR
C	07/24/2023	TICDA SUBMITTAL
D	08/28/2023	REVISED PER TICDA COMMENTS



CARTER ENGINEERING
1010 COMMERCIAL DRIVE,
BOGARTY, GA 30622
P: 770.725.1200
F: 770.725.1204
www.carterengineering.com

HARDIN VALLEY FSU
STORE # 05442
9-B-23-TOB / 9-C-23-DP

2187 GREENLAND WAY,
KNOXVILLE, TN 37932

SHEET TITLE
**E&S PLAN
PHASE I**

REVISION 4-2023

Job No.: 23043CFA
Store #: 05442
Date: 08/28/23

Issue For Permit
C-5.0

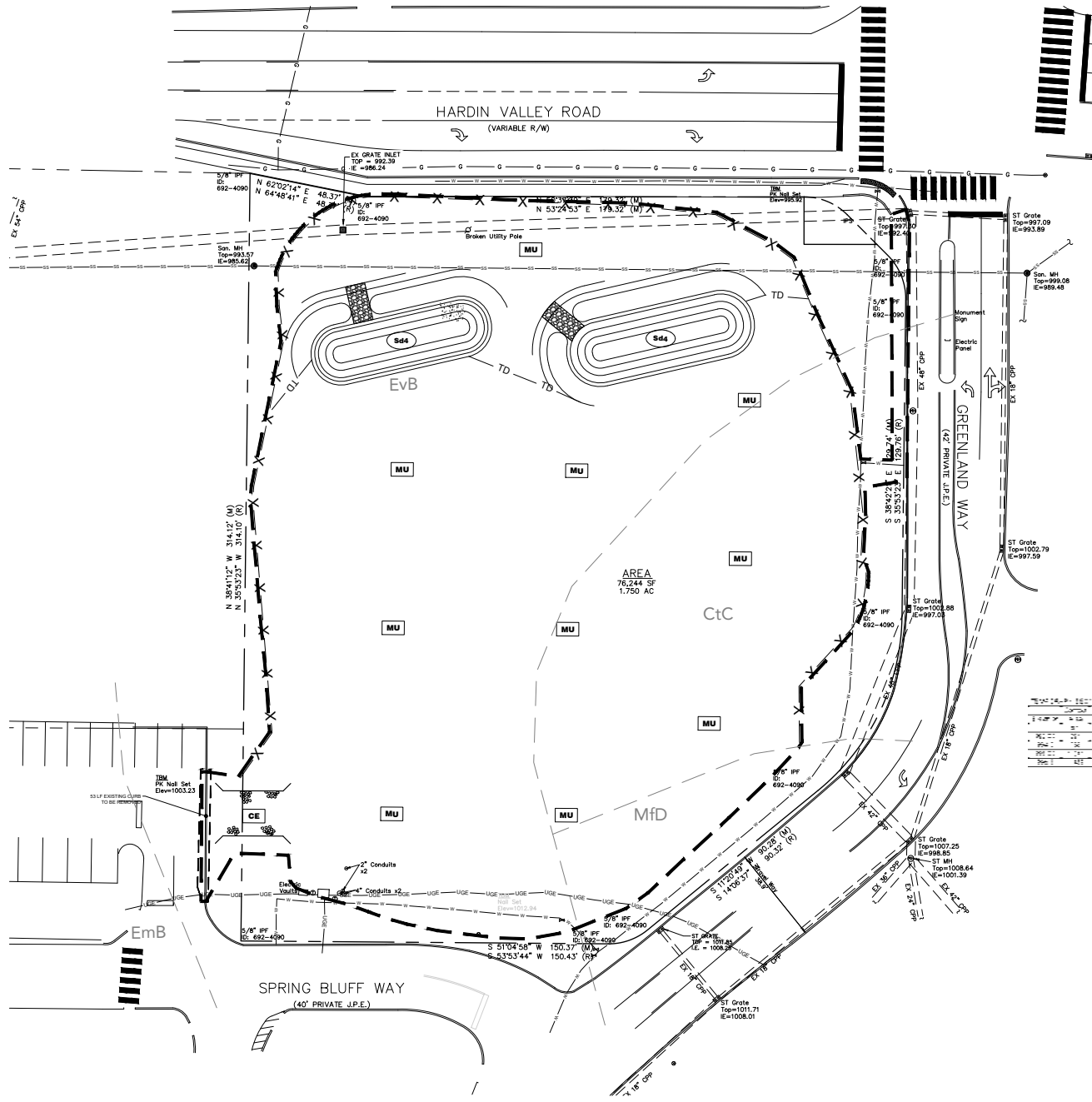
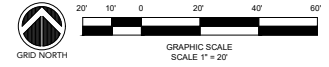
- EROSION CONTROL NOTES:**
1. DEVELOPER/OWNER: CHICK-FLA, INC. 5200 BUFFINGTON RD., ATLANTA GA 30349 (878) 758-4513
 2. NAME AND PHONE NUMBER OF THE 24-HOUR CONTACT PERSON FOR EROSION, SEDIMENTATION AND POLLUTION CONTROLS IS: TODD WILLIAMS (878) 758-4513
 3. TOTAL PROJECT AREA: 1.75 AC
 4. TOTAL DISTURBED AREA: 1.15 AC
 5. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
 6. EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION AND SEDIMENT CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
 7. SEDIMENT STORAGE MAINTENANCE INDICATORS MUST BE INSTALLED IN SEDIMENT STORAGE STRUCTURES, INDICATING THE VOLUME.
 8. MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL AT ALL TIMES BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
 9. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
 10. ALL FILL SLOPES SHALL HAVE SILT FENCE PLACED AT THE SLOPE'S TOE.
 11. CONCENTRATED FLOW AREAS AND ALL SLOPES STEEPER THAN 2:1 WITH A HEIGHT OF TEN FEET OR GREATER SHALL BE STABILIZED WITH APPROPRIATE EROSION CONTROL MATTING OR BLANKET.
 12. THE PROFESSIONAL WHO SEALS THIS PLAN CERTIFIES UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY THE PROFESSIONAL OR THE PROFESSIONAL'S AUTHORIZED AGENT, UNDER THE PROFESSIONAL'S DIRECT SUPERVISION.
 13. UPON NOTIFICATION AND AUTHORIZATION OF THE OWNER, THE DESIGN PROFESSIONAL WHO PREPARED THE E&S PLAN IS RESPONSIBLE FOR INSPECTING THE INSTALLATION OF THE BMP'S WITHIN 7 DAYS AFTER INITIAL CONSTRUCTION ACTIVITIES BEGINS.
 14. THE RECEIVING WATER(S) IS UNNAMED TRIBUTARY TO TOBY CREEK.
 15. AMENDMENTS/REVISIONS TO THE E&S PLAN WHICH HAVE SIGNIFICANT EFFECT ON BMP'S WITH HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.
 16. MAINTENANCE OF ALL EROSION CONTROL MEASURES, WEATHER TEMPORARY OR PERMANENT, SHALL AT ALL TIME BE THE RESPONSIBILITY OF THE OWNER.

Symbol	Description	Symbol	Description
(Symbol)	8" IPF	(Symbol)	ST Grate
(Symbol)	5" IPF	(Symbol)	Electric Panel
(Symbol)	3" IPF	(Symbol)	Monument Sign
(Symbol)	2" IPF	(Symbol)	Broken Utility Pole
(Symbol)	1" IPF	(Symbol)	Electric Panel

LEGEND

MU	TEMPORARY MULCHING
SOD	SOD - PERMANENT GROUND COVER
MB	MATting BLANKET
IP	INLET PROTECTION
IP-B	SILT SACK
PS	PERMANENT SEEDING
CE	CONSTRUCTION ENTRANCE
SF	SILT FENCE
SST	TEMPORARY SEDIMENT TRAP
(Symbol)	TEMPORARY DIVERSION
(Symbol)	LIMITS OF DISTURBANCE

811 Know what's below
Call before you dig
dial 811



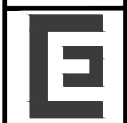
COPYRIGHT CARTER ENGINEERING CONSULTANTS, LLC. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY MANNER WITHOUT THE WRITTEN CONSENT, AGREEMENT AND WRITTEN PERMISSION FROM CARTER ENGINEERING CONSULTANTS, LLC.

UNREGISTERED/NOT RESPONSIBLE FOR EROSION CONTROL MEASURES/TEMPORARY PHASE I, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z, AA, AB, AC, AD, AE, AF, AG, AH, AI, AJ, AK, AL, AM, AN, AO, AP, AQ, AR, AS, AT, AU, AV, AW, AX, AY, AZ, BA, BB, BC, BD, BE, BF, BG, BH, BI, BJ, BK, BL, BM, BN, BO, BP, BQ, BR, BS, BT, BU, BV, BW, BX, BY, BZ, CA, CB, CC, CD, CE, CF, CG, CH, CI, CJ, CK, CL, CM, CN, CO, CP, CQ, CR, CS, CT, CU, CV, CW, CX, CY, CZ, DA, DB, DC, DD, DE, DF, DG, DH, DI, DJ, DK, DL, DM, DN, DO, DP, DQ, DR, DS, DT, DU, DV, DW, DX, DY, DZ, EA, EB, EC, ED, EE, EF, EG, EH, EI, EJ, EK, EL, EM, EN, EO, EP, EQ, ER, ES, ET, EU, EV, EW, EX, EY, EZ, FA, FB, FC, FD, FE, FF, FG, FH, FI, FJ, FK, FL, FM, FN, FO, FP, FQ, FR, FS, FT, FU, FV, FW, FX, FY, FZ, GA, GB, GC, GD, GE, GF, GG, GH, GI, GJ, GK, GL, GM, GN, GO, GP, GQ, GR, GS, GT, GU, GV, GW, GX, GY, GZ, HA, HB, HC, HD, HE, HF, HG, HH, HI, HJ, HK, HL, HM, HN, HO, HP, HQ, HR, HS, HT, HU, HV, HW, HX, HY, HZ, IA, IB, IC, ID, IE, IF, IG, IH, II, IJ, IK, IL, IM, IN, IO, IP, IQ, IR, IS, IT, IU, IV, IW, IX, IY, IZ, JA, JB, JC, JD, JE, JF, JG, JH, JI, JJ, JK, JL, JM, JN, JO, JP, JQ, JR, JS, JT, JU, JV, JW, JX, JY, JZ, KA, KB, KC, KD, KE, KF, KG, KH, KI, KJ, KK, KL, KM, KN, KO, KP, KQ, KR, KS, KT, KU, KV, KW, KX, KY, KZ, LA, LB, LC, LD, LE, LF, LG, LH, LI, LJ, LK, LL, LM, LN, LO, LP, LQ, LR, LS, LT, LU, LV, LW, LX, LY, LZ, MA, MB, MC, MD, ME, MF, MG, MH, MI, MJ, MK, ML, MM, MN, MO, MP, MQ, MR, MS, MT, MU, MV, MW, MX, MY, MZ, NA, NB, NC, ND, NE, NF, NG, NH, NI, NJ, NK, NL, NM, NN, NO, NP, NQ, NR, NS, NT, NU, NV, NW, NX, NY, NZ, OA, OB, OC, OD, OE, OF, OG, OH, OI, OJ, OK, OL, OM, ON, OO, OP, OQ, OR, OS, OT, OU, OV, OW, OX, OY, OZ, PA, PB, PC, PD, PE, PF, PG, PH, PI, PJ, PK, PL, PM, PN, PO, PP, PQ, PR, PS, PT, PU, PV, PW, PX, PY, PZ, QA, QB, QC, QD, QE, QF, QG, QH, QI, QJ, QK, QL, QM, QN, QO, QP, QQ, QR, QS, QT, QU, QV, QW, QX, QY, QZ, RA, RB, RC, RD, RE, RF, RG, RH, RI, RJ, RK, RL, RM, RN, RO, RP, RQ, RR, RS, RT, RU, RV, RW, RX, RY, RZ, SA, SB, SC, SD, SE, SF, SG, SH, SI, SJ, SK, SL, SM, SN, SO, SP, SQ, SR, SS, ST, SU, SV, SW, SX, SY, SZ, TA, TB, TC, TD, TE, TF, TG, TH, TI, TJ, TK, TL, TM, TN, TO, TP, TQ, TR, TS, TT, TU, TV, TW, TX, TY, TZ, UA, UB, UC, UD, UE, UF, UG, UH, UI, UJ, UK, UL, UM, UN, UO, UP, UQ, UR, US, UT, UY, UZ, VA, VB, VC, VD, VE, VF, VG, VH, VI, VJ, VK, VL, VM, VN, VO, VP, VQ, VR, VS, VT, VU, VV, VW, VX, VY, VZ, WA, WB, WC, WD, WE, WF, WG, WH, WI, WJ, WK, WL, WM, WN, WO, WP, WQ, WR, WS, WT, WU, WV, WW, WX, WY, WZ, XA, XB, XC, XD, XE, XF, XG, XH, XI, XJ, XK, XL, XM, XN, XO, XP, XQ, XR, XS, XT, XU, XV, XW, XX, XY, XZ, YA, YB, YC, YD, YE, YF, YG, YH, YI, YJ, YK, YL, YM, YN, YO, YP, YQ, YR, YS, YT, YU, YV, YW, YX, YY, YZ, ZA, ZB, ZC, ZD, ZE, ZF, ZG, ZH, ZI, ZJ, ZK, ZL, ZM, ZN, ZO, ZP, ZQ, ZR, ZS, ZT, ZU, ZV, ZW, ZX, ZY, ZZ



5200 Buffington Rd.
Atlanta, Georgia,
30349-2998

REV#	DATE	DESCRIPTION
A	06/22/2023	INITIAL REVIEW
B	06/26/2023	PCR
C	07/24/2023	TICDA SUBMITTAL
D	08/28/2023	REVISED PER TICDA COMMENTS



CARTER ENGINEERING

CARTER ENGINEERING
1010 COMMERCIAL DRIVE,
BOGART, GA 30622
P: 770.725.1200
F: 770.725.1204
www.carterengineering.com

HARDIN VALLEY FSU
STORE # 05442
9-B-23-TOB / 9-C-23-DP

2187 GREENLAND WAY,
KNOXVILLE, TN 37932

SHEET TITLE

**E&S PLAN
PHASE II**

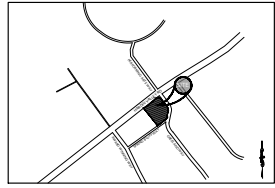
REVISION 4-2023

Job No.: 23043CFA
Store #: 05442
Date: 08/28/23

Sheet

C-5.1

ISSUE FOR PERMIT



LOCATION MAP
SCALE: N.T.S.

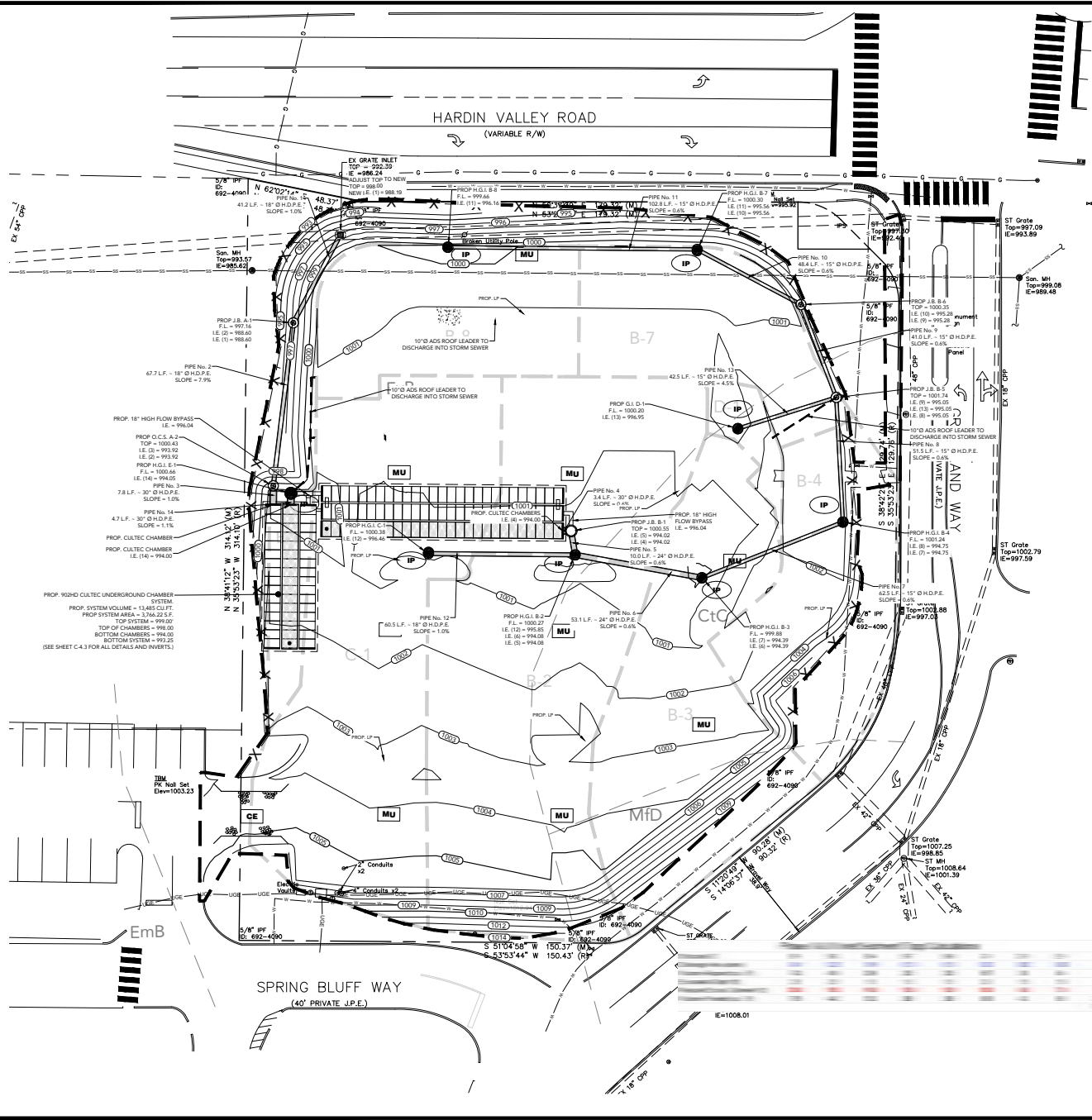
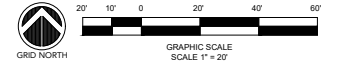
- EROSION CONTROL NOTES:**
- DEVELOPER/OWNER: CHCK/FLA, INC. 5200 BUFFINGTON RD., ATLANTA GA 30348 (878) 798-4513
 - NAME AND PHONE NUMBER OF THE 24-HOUR CONTACT PERSON FOR EROSION, SEDIMENTATION AND POLLUTION CONTROL IS: TODD WILLIAMS (878) 798-4513
 - TOTAL PROJECT AREA = 1.75 AC
 - TOTAL DISTURBED AREA = 1.1 AC
 - THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
 - EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION AND SEDIMENT CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
 - SEDIMENT STORAGE MAINTENANCE INDICATORS MUST BE INSTALLED IN SEDIMENT STORAGE STRUCTURES, INDICATING THE FULL VOLUME.
 - MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL AT ALL TIMES BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
 - ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
 - ALL FILL SLOPES SHALL HAVE SILT FENCE PLACED AT THE SLOPE'S TOE.
 - CONCENTRATED FLOW AREAS AND ALL SLOPES STEEPER THAN 2:1 WITH A HEIGHT OF TEN FEET OR GREATER SHALL BE STABILIZED WITH APPROPRIATE EROSION CONTROL MATTING OR BLANKET.
 - THE PROFESSIONAL WHO DEALS THIS PLAN CERTIFIES UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY THE PROFESSIONAL OR THE PROFESSIONAL'S AUTHORIZED AGENT UNDER THE PROFESSIONAL'S DIRECT SUPERVISION.
 - UPON NOTIFICATION AND AUTHORIZATION OF THE OWNER, THE DESIGN PROFESSIONAL WHO PREPARED THE E&S PLAN IS RESPONSIBLE FOR INSPECTING THE INSTALLATION OF THE BMP'S WITHIN 7 DAYS AFTER INITIAL CONSTRUCTION ACTIVITIES BEGINS.
 - THE RECEIVING WATERSHED IS UNNAMED TRIBUTARY TO TOBY CREEK.
 - AMENDMENT(S) DIVISIONS TO THE E&S PLAN WHICH HAVE SIGNIFICANT EFFECT ON BMP'S WITH HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.
 - MAINTENANCE OF ALL EROSION CONTROL MEASURES, WHETHER TEMPORARY OR PERMANENT, SHALL AT ALL TIMES BE THE RESPONSIBILITY OF THE OWNER.

LEGEND

MU	TEMPORARY MULCHING
SOD	SOIL - PERMANENT GROUND COVER
MB	MATTING BLANKET
IP	INLET PROTECTION
SB	SILT SACK
IP-B	SILT FENCE
PS	PERMANENT SEEDING
CE	CONSTRUCTION ENTRANCE
SF	SILT FENCE
SST	TEMPORARY SEDIMENT TRAP
TEMPORARY DIVERSION ——— TD ———	
LIMITS OF DISTURBANCE ——— LD ———	

NOTE: INLET PROTECTION (IP) SHALL BE USED IN ALL PAVED AREAS UNTIL PAVING IS COMPLETE. WHILE SB-SF SHALL BE USED IN AREAS THAT IS PAVED.

811 Know what's below
Call before you dig
dial 811



COPYRIGHT CARTER ENGINEERING CONSULTANTS, LLC. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY MANNER WITHOUT THE WRITTEN CONSENT, AGREEMENT AND WRITTEN PERMISSION FROM CARTER ENGINEERING CONSULTANTS, LLC.



Carter
ENGINEERING

5200 Buffington Rd.
Atlanta, Georgia,
30349-2998

REV#	DATE	INITIAL REVIEW	REVISION
A	06/02/2023	JCR	PERMITS
B	06/06/2023	JCR	TICDA SUBMITTAL
C	07/12/2023	JCR	REVISED PER TICDA COMMENTS
D	08/28/2023	JCR	REVISED PER TICDA COMMENTS



CARTER
ENGINEERING

CARTER ENGINEERING
10110 COMMERCE DRIVE,
BOGART, GA 30622

P: 770.725.1200
F: 770.725.1204
www.carterengineering.com

HARDIN VALLEY FSU
STORE # 05442
9-B-23-TOB / 9-C-23-DP

2187 GREENLAND WAY,
KNOXVILLE, TN 37932

SHEET TITLE

E&S PLAN
PHASE III

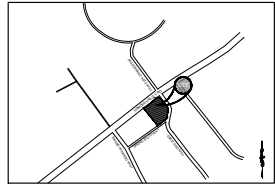
REVISION 4-2023

Job No.: 23043CFA
Store #: 05442
Date: 08/28/23

Sheet

C-5.2

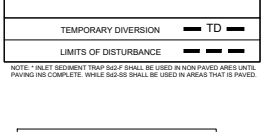
ISSUE FOR PERMIT



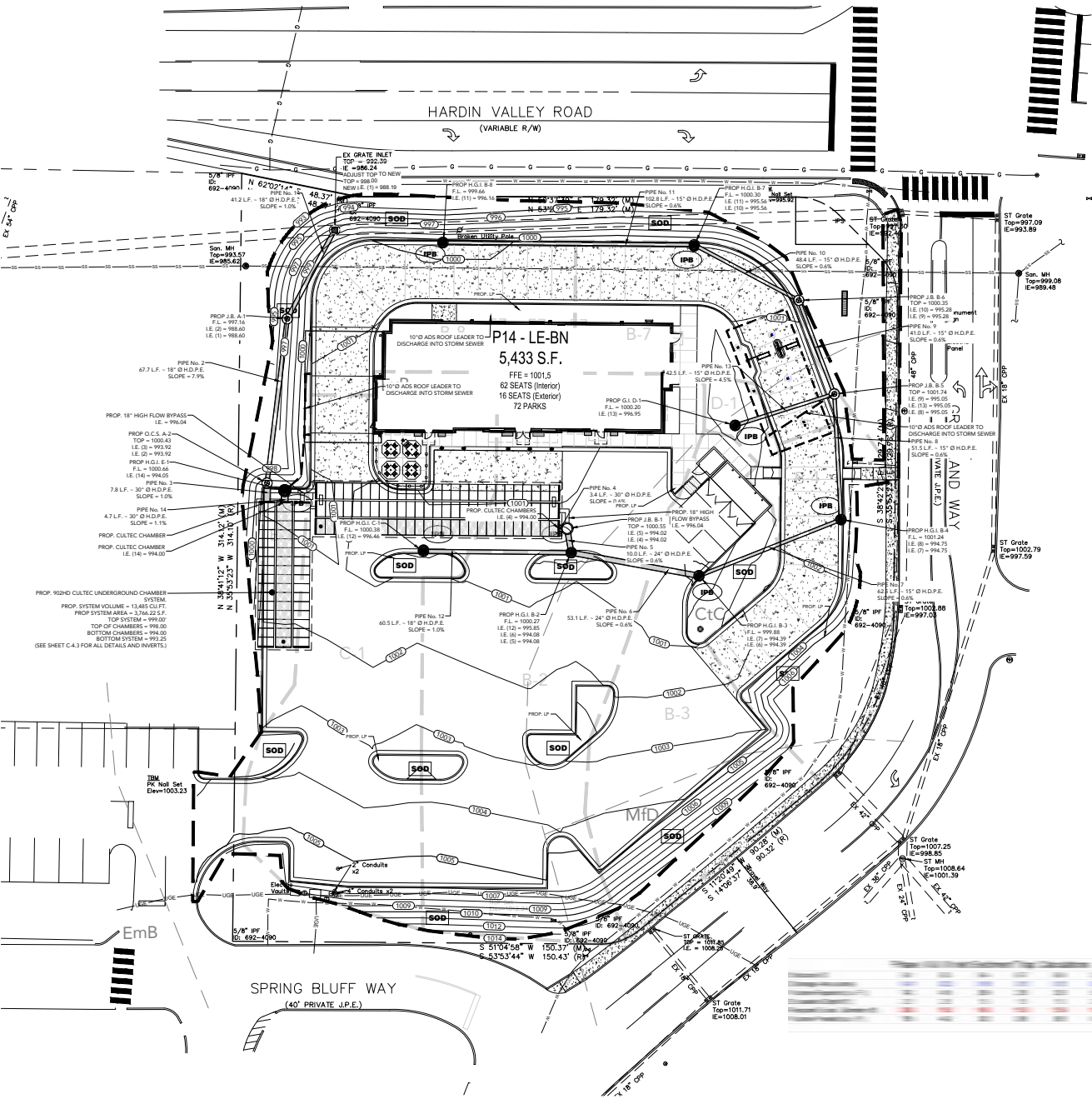
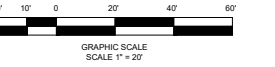
- EROSION CONTROL NOTES:**
1. DEVELOPER/OWNER: CHOK-FIL-A, INC. 5200 BUFFINGTON RD, ATLANTA GA 30349 (878) 758-4513
 2. NAME AND PHONE NUMBER OF THE 24-HOUR CONTACT PERSON FOR EROSION, SEDIMENTATION AND POLLUTION CONTROL IS: TODD WILLIAMS (878) 758-4513
 3. TOTAL PROJECT AREA = 1.75
 4. TOTAL DISTURBED AREA = 1.5 AC
 5. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
 6. EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION AND SEDIMENT CONTROL, ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
 7. SEDIMENT STORAGE MAINTENANCE INDICATORS MUST BE INSTALLED IN SEDIMENT STORAGE STRUCTURES, INDICATING THE FULL VOLUME.
 8. MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL AT ALL TIMES BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
 9. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
 10. ALL FILL SLOPES SHALL HAVE SILT FENCE PLACED AT THE SLOPE'S TOE.
 11. CONCENTRATED FLOW AREAS AND ALL SLOPES STEEPER THAN 2:1 WITH A HEIGHT OF TEN FEET OR GREATER SHALL BE STABILIZED WITH APPROPRIATE EROSION CONTROL MATTING OR BLANKET.
 12. THE PROFESSIONAL WHO SEALS THIS PLAN CERTIFIES UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY THE PROFESSIONAL, OR THE PROFESSIONAL'S AUTHORIZED AGENT, UNDER THE PROFESSIONAL'S DIRECT SUPERVISION.
 13. UPON NOTIFICATION AND AUTHORIZATION OF THE OWNER, THE DESIGN PROFESSIONAL, WHO PREPARED THE ES&PC PLAN IS RESPONSIBLE FOR INSPECTING THE INSTALLATION OF THE BMP'S WITHIN 7 DAYS AFTER INITIAL CONSTRUCTION ACTIVITIES BEGINS.
 14. THE RECEIVING WATERS IS UNNAMED TRIBUTARY TO TOBY CREEK.
 15. AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE SIGNIFICANT EFFECT ON BMP'S WITH HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.
 16. MAINTENANCE OF ALL EROSION CONTROL MEASURES, WEATHER TEMPORARY OR PERMANENT, SHALL AT ALL TIME BE THE RESPONSIBILITY OF THE OWNER.

LEGEND

MU	TEMPORARY MULCHING
SOD	SOIL STABILIZATION
MB	MATTING BLANKET
IP	INLET PROTECTION
IP-B	SILT SACK
PS	PERMANENT SEEDING
CE	CONSTRUCTION ENTRANCE
SF	SILT FENCE
SST	TEMPORARY SEDIMENT TRAP
TD	TEMPORARY DIVERSION
LD	LIMITS OF DISTURBANCE



811 Know what's below
Call before you dig
dial 811



COPYRIGHT CARTER ENGINEERING CONSULTANTS, LLC. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY MANNER WITHOUT THE WRITTEN CONSENT, AGREEMENT AND WRITTEN PERMISSION FROM CARTER ENGINEERING CONSULTANTS, LLC.

COPYRIGHT CARTER ENGINEERING CONSULTANTS, LLC. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED IN ANY FORM OR BY ANY MEANS WITHOUT PRIOR CONSENT. AGREEMENT AND WRITTEN PERMISSION FROM CARTER ENGINEERING CONSULTANTS, LLC.

PS Permanent Cover Seeding Mixtures

Seeding Dates	Grass Seed	Percentages
February 1 to July 1	Kentucky 31 Fescue	80%
	Korean Lespedeza	15%
	English Rye	5%
June 1 to August 15	Kentucky 31 Fescue	55%
	English Rye	20%
	Korean Lespedeza	15%
April 15 to August 15	Bermudagrass (Pulled)	70%
	Annual Lespedeza	30%
	Kentucky 31 Fescue	70%
August 1 to December 1	English Rye	20%
	White Clover	10%
	Kentucky 31 Fescue	70%
February 1 to December 1	Crown Vetch	25%
	English Rye	5%

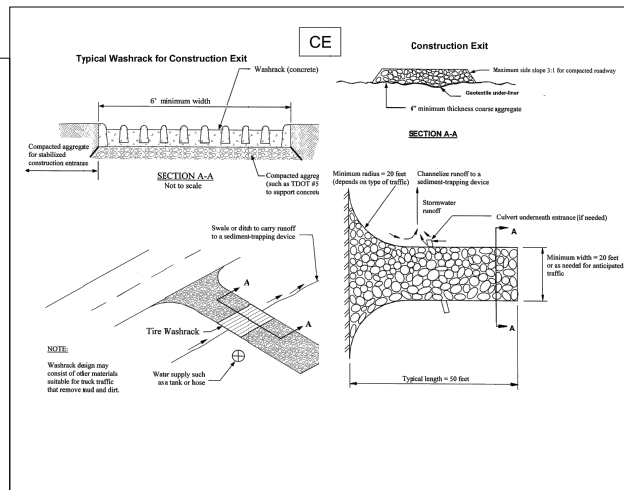
Source: TDOT Standard Specifications Table 1

TS

Topsoil: Topsoil should be friable and loamy, free of debris, objectionable weeds and stones, and contain no toxic substances that may be harmful to plant growth. When replacing topsoil on disturbed areas, maintain needed erosion and sediment control practices such as diversions, berms, sediment basins, etc. Grades containing these structures should be maintained after the topsoil is applied.

Topsoil should be handled only when it is dry enough to work without damaging soil structure. A uniform application of 5 inches (unsettled) is recommended, but may be adjusted at the discretion of the engineer or landscape architect. See Table 2 for additional information about the volume of topsoil to achieve various depths.

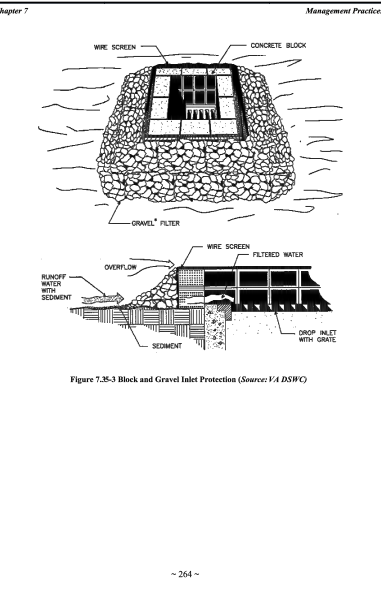
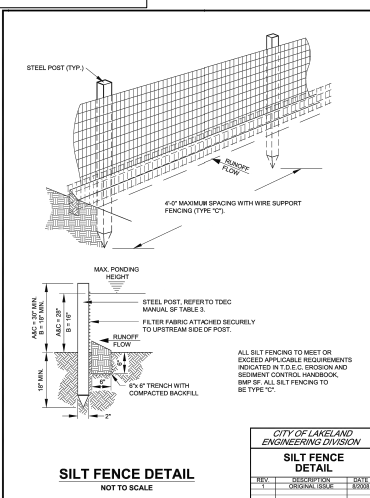
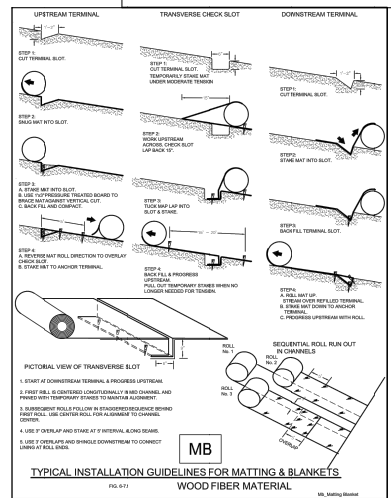
Seedbed Preparation: When conventional seeding is to be used, topsoil should be applied to any area where the disturbance results in subsoil being the final grade surface.



MUTUAL INDUSTRIES INC.

#14925 SILT SACK

Sample No.	Test Method	Test Results
1	INITIAL REVIEW	
2	PER TDC	
3	PER TDC	
4	PER TDC	
5	PER TDC	
6	PER TDC	
7	PER TDC	
8	PER TDC	
9	PER TDC	
10	PER TDC	
11	PER TDC	
12	PER TDC	
13	PER TDC	
14	PER TDC	
15	PER TDC	
16	PER TDC	
17	PER TDC	
18	PER TDC	
19	PER TDC	
20	PER TDC	



5200 Buffington Rd.
Atlanta, Georgia,
30349-2996

REV #	DATE	DESCRIPTION
A	06/02/2023	INITIAL REVIEW
B	06/06/2023	PER TDC
C	07/14/2023	TDC SUBMITTAL
D	08/28/2023	REVISED PER TDC COMMENTS



CARTER ENGINEERING
1010 COMMERCIAL DRIVE,
BOGART, GA 30622

P: 770.725.1200
F: 770.725.1204
www.carterengineering.com

HARDIN VALLEY FSU
STORE # 05442
9-8-23-TOB / 9-C-23-PP

2187 GREENLAND WAY,
KNOXVILLE, TN 37932

SHEET TITLE

EROSION DETAILS

REVISION 4-2023

Job No. : 23043CFA
Store : 05442
Date : 08/28/23

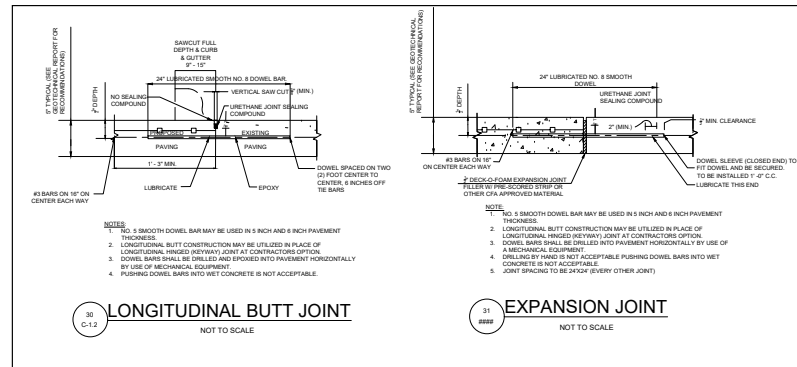
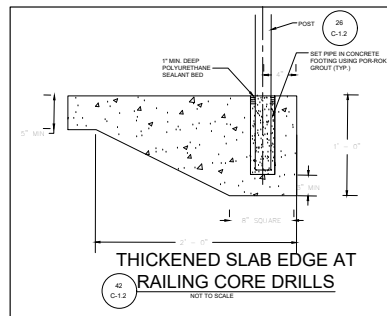
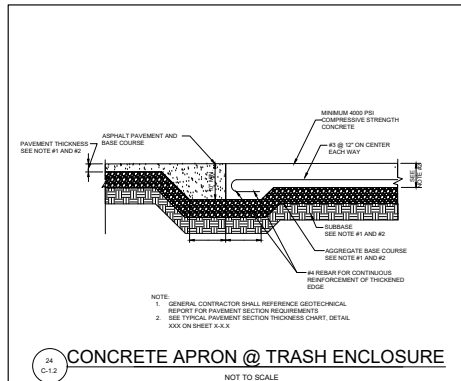
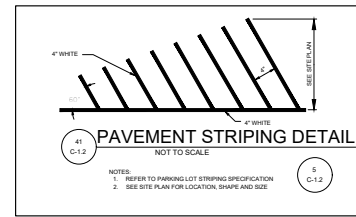
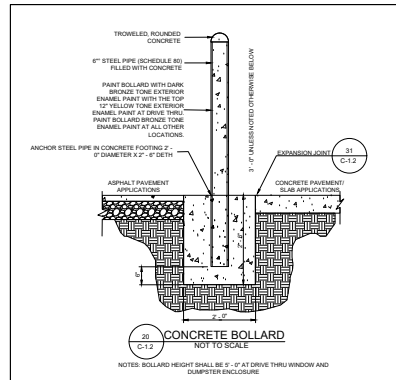
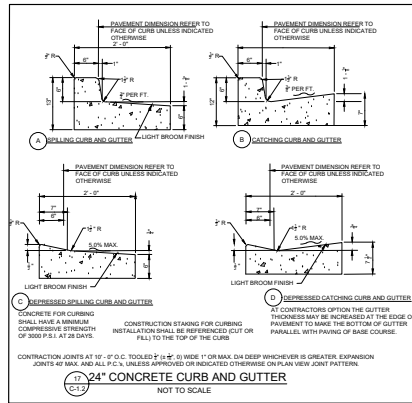
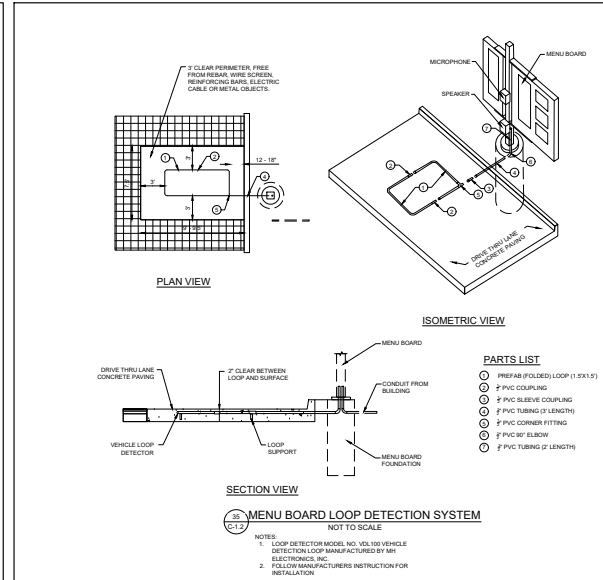
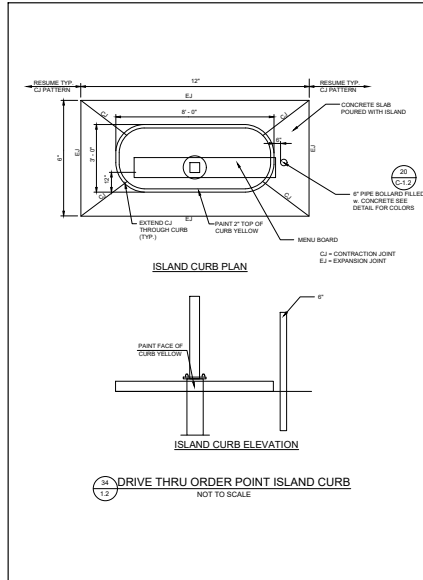
Sheet

C-5.3

ISSUE FOR PERMIT

THIS DOCUMENT IS THE PROPERTY OF CARTER ENGINEERING CONSULTANTS, LLC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF CARTER ENGINEERING CONSULTANTS, LLC.

CONTRACTOR: CARTER ENGINEERING CONSULTANTS, LLC. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN CONSENT, AGREEMENT, AND WRITTEN PERMISSION FROM CARTER ENGINEERING CONSULTANTS, LLC.



REV. #	DATE	DESCRIPTION
A	06/02/2023	INITIAL REVIEW
B	06/06/2023	PCR
C	07/12/2023	TICDA SUBMITTAL
D	08/28/2023	REVISED PER TICDA COMMENTS



CARTER ENGINEERING
1010 COMMERCIAL DRIVE,
BOGART, GA 30622
P: 770.725.1200
F: 770.725.1204
www.carterengineering.com

HARDIN VALLEY FSU
STORE # 05442
9-8-23-TOB / 9-C-23-DP

2187 GREENLAND WAY,
KNOXVILLE, TN 37932

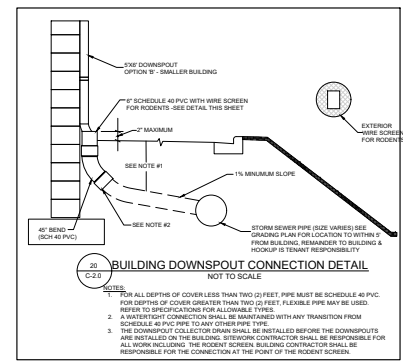
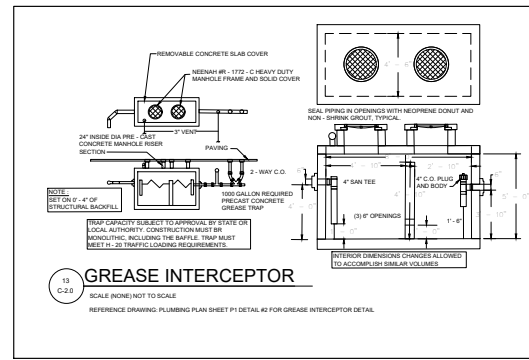
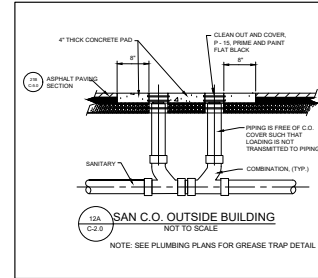
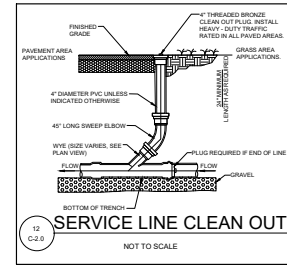
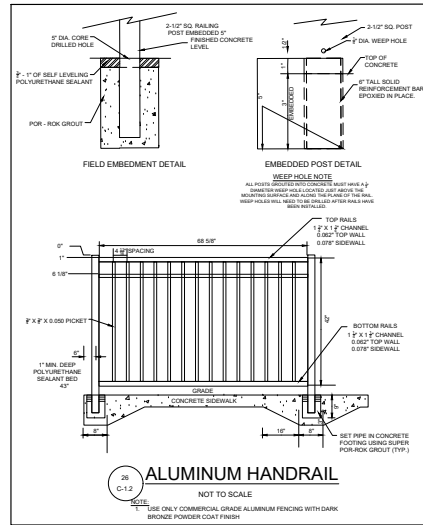
SHEET TITLE
STANDARD DETAILS II
REVISION 4-2023

Job No.: 23043CFA
Store #: 05442
Date: 08/28/23

ISSUE FOR PERMIT
Sheet
C-6.1

THIS DOCUMENT IS NOT REPRODUCIBLE EXCEPT AS SHOWN ON THE DRAWING. PLEASE DO NOT SCALE DIMENSIONS. DIMENSIONS SHALL BE AS SHOWN ON THE DRAWING. DIMENSIONS SHALL BE AS SHOWN ON THE DRAWING. DIMENSIONS SHALL BE AS SHOWN ON THE DRAWING.

UTILITY STANDARD DETAILS



REV #	DATE	REVISION
A	06/02/2023	INITIAL REVIEW
B	06/06/2023	PCR
C	07/24/2023	TICDA SUBMITTAL
D	08/08/2023	REVISED PER TICDA COMMENTS



CARTER ENGINEERING

CARTER ENGINEERING
 1010 COMMERCIAL DRIVE,
 BOGART, GA 30622

P: 770.725.1200
 F: 770.725.1204
 www.carterengineering.com

HARDIN VALLEY FSU
 STORE # 05442
 9-B-23-TOB / 9-C-23-DP

2187 GREENLAND WAY,
 KNOXVILLE, TN 37932

SHEET TITLE

STANDARD DETAILS III

REVISION 4-2023

Job No. : 23043CFA
 Store : 05442
 Date : 08/28/23

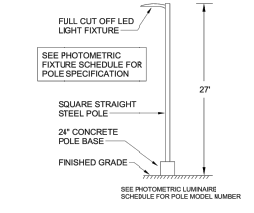
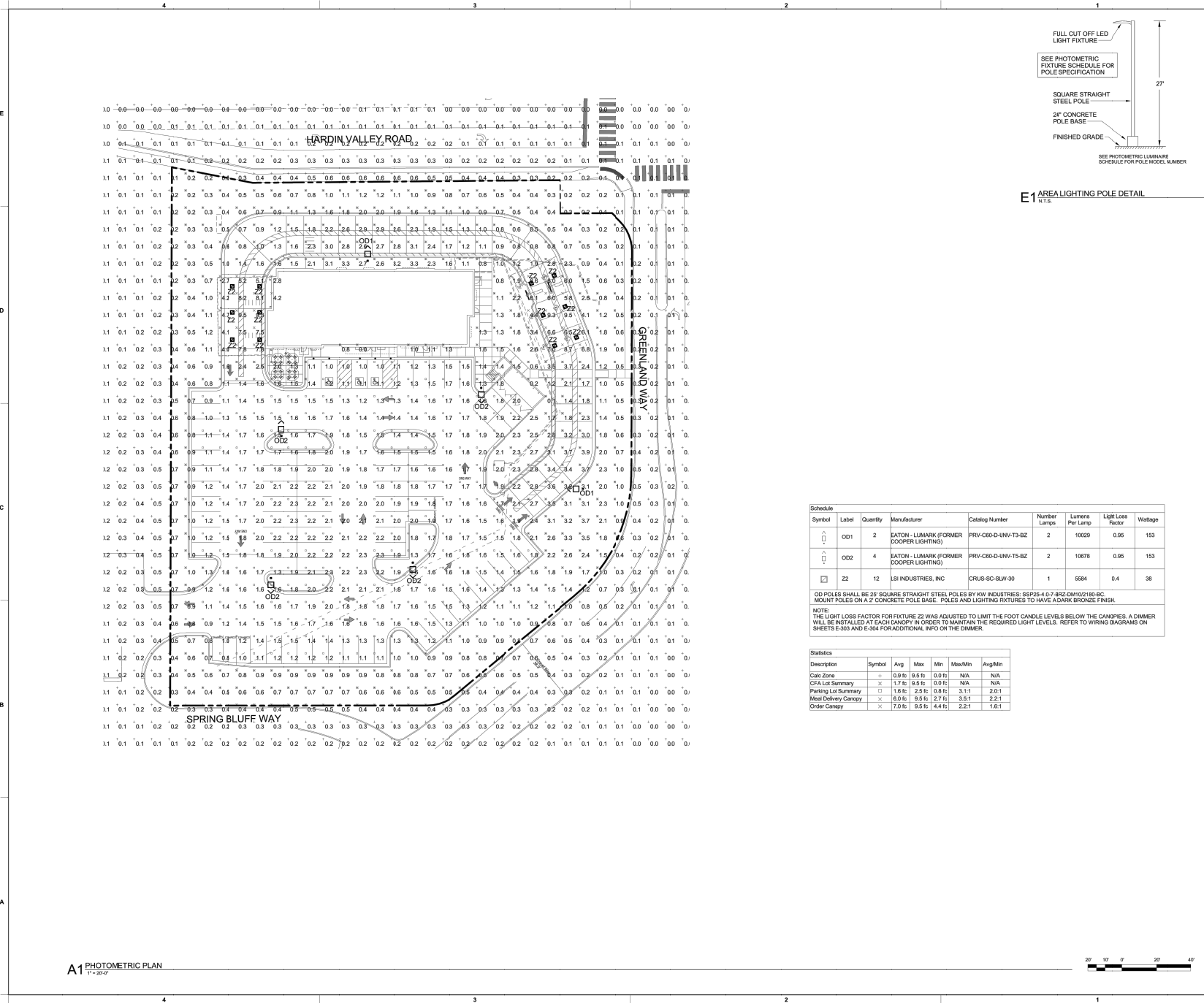
Sheet

C-6.2

ISSUE FOR PERMIT

COPYRIGHT CARTER ENGINEERING CONSULTANTS, LLC. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION FROM CARTER ENGINEERING CONSULTANTS, LLC.

THIS DOCUMENT IS NOT RESPONSIBLE FOR ANY DAMAGE TO PROPERTY OR PERSONS. IT IS A GOOD PRACTICE TO OBTAIN A PROFESSIONAL ENGINEER'S SEAL AND LICENSE TO VERIFY THE ACCURACY OF THIS DOCUMENT.



E1 AREALIGHTING POLE DETAIL
N.T.S.

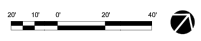
Symbol	Label	Quantity	Manufacturer	Catalog Number	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
⌈	O01	2	EATON - LUMARK (FORMER COOPER LIGHTING)	PRV-C60-D-INV-T3-BZ	2	10029	0.95	153
⌈	O02	4	EATON - LUMARK (FORMER COOPER LIGHTING)	PRV-C60-D-INV-T5-BZ	2	10678	0.95	153
⊠	Z2	12	LSI INDUSTRIES, INC	CRUS-SC-SLW-30	1	5584	0.4	38

OD POLES SHALL BE 2\"/>

NOTE:
THE LIGHT LOSS FACTOR FOR FIXTURE Z2 WAS ADJUSTED TO LIMIT THE FOOT CANDLE LEVELS BELOW THE CANOPIES. A DIMMER WILL BE INSTALLED AT EACH CANOPY IN ORDER TO MAINTAIN THE REQUIRED LIGHT LEVELS. REFER TO WIRING DIAGRAMS ON SHEETS E-303 AND E-304 FOR ADDITIONAL INFO ON THE DIMMER.

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone	+	0.9 f.c.	9.5 f.c.	0.0 f.c.	N/A	N/A
CFA Lot Summary	x	1.7 f.c.	9.5 f.c.	0.0 f.c.	N/A	N/A
Parking Lot Summary	□	1.6 f.c.	2.5 f.c.	0.8 f.c.	3.11	2.01
Meal Delivery Canopy	x	6.0 f.c.	9.5 f.c.	2.7 f.c.	3.51	2.21
Order Canopy	x	7.0 f.c.	9.5 f.c.	4.4 f.c.	2.21	1.61

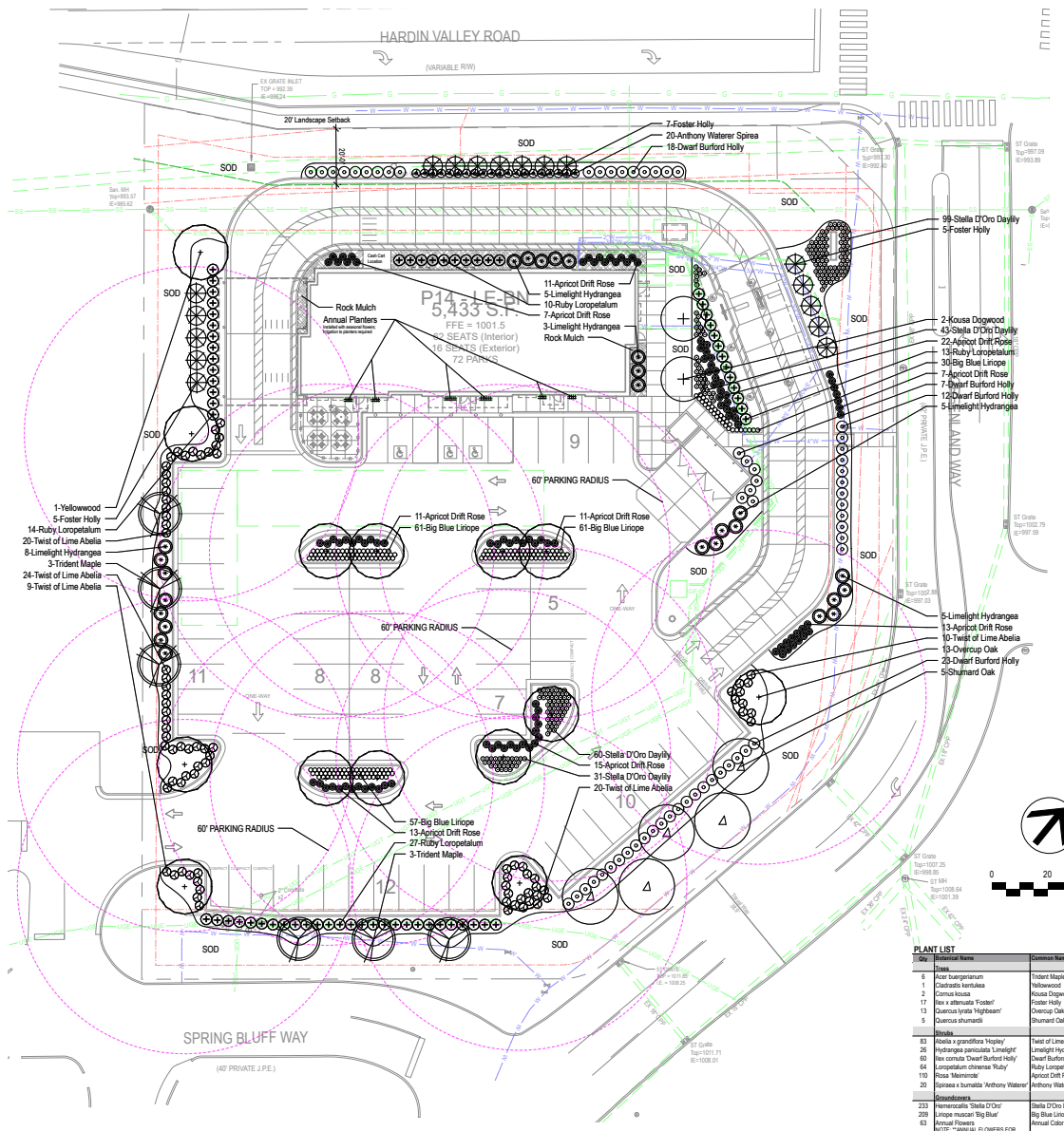
A1 PHOTOMETRIC PLAN
1" = 20'-0"



CHICK-FIL-A
HARDIN VALLEY FSU
 2187 Greenland Way
 Knoxville, TN 37932

FSR#05442
 REVISION SCHEDULE
 NO. DATE DESCRIPTION

CONSULTANT PROJECT # 21324.E.N.S.
 DATE 08/23/2023
 DRAWN BY
 CHECKED BY
 APPROVED BY
 SITE PHOTOMETRIC PLAN
 SHEET NUMBER



LANDSCAPE REQUIREMENTS

A. GENERAL DIVERSITY

- REQUIRED**
- Evergreen trees min. 8' hgt. Shade trees min. 2" cal. Single stem ornamental min. 2 1/2" cal. multistem ornamental min. 6' hgt. All shrubs min. 18" hgt.
 - Species diversity required per Table 12-1 Plant Diversity Requirements
 - Min. 25% new trees must be evergreen.
 - Provide a roughly equal combination of large, medium, and small trees (utilize Appendix B).
Min. 10 large trees per acre of yard space. 10 x 1.75 acres = 18 large trees required
 - Min. 20' required landscape front yard for building w/ no parking in front. (Hardin Valley Rd.)
 - Max. GAD (ground area coverage) % Building Footprint Area/Gross Lot Area < Less than 25% required
- PROVIDED**
- We meet requirement - See Plant List table.
 - 42 Total Trees: Max. 40% 1 species - (no more than 17) = 17 Foster Holly provided
5 tree species provided
 - 331 Total Shrubs: Max 25% 1 species - (no more than 83) = 83 Abelia provided
6 shrub species provided
 - 17 evergreen trees/42 total trees = 40% provided
 - 13 Overcup Oak, 5 Shurward Oak = 18 large trees provided
 - 20' landscape setback noted on plan along Hardin Valley Rd.
 - 5,433 SF/76,244 SF = 7% provided

B. PARKING LOT PERIMETER LANDSCAPE

- REQUIRED**
- Min. 3 shade and/or evergreen trees and 10 shrubs per 100 LF perimeter yard. Min. 50% shrubs must be evergreen.
Hardin Valley Rd = No Parking frontage
Greenland Way = 120 LF/100'3 = 4 trees required
Greenland Way = 120 LF/100'10 = 12 shrubs required
Spring Bluff Way = 114 LF/100'3 = 3 trees required
Spring Bluff Way = 114 LF/100'10 = 11 shrubs required
Perimeter A = 96 LF/100'3 = 3 trees required
Perimeter A = 96 LF/100'10 = 10 shrubs required
 - Min. 60% of landscape area outside of shrub & tree masses must be groundcover, perennials, grass.
 - Parking areas required to be screened from public ROW by landscaped berms and/or low level shrubbery.
- PROVIDED**
- Hardin Valley Rd = No Parking frontage
Greenland Way = Shurward Oak = 5 trees
Greenland Way = Burford Holly (evergreen) = 23 shrubs
Spring Bluff Way = Trident Maple = 3 trees
Spring Bluff Way = Loropetalum (evergreen) = 27 shrubs
Perimeter A = Trident Maple = 3 trees
Perimeter A = Abelia (evergreen) = 18 shrubs
 - We exceed the requirement. More than 60% other area is living landscape.
 - All parking areas screened with appropriate evergreen plant material.

C. INTERIOR PARKING LOT LANDSCAPE

- REQUIRED**
- Min. 1 medium or large shade tree per parking island (2 shade trees for double row parking lot islands).
Per parking row/islands provided = 13 trees required
Min. 1 medium or large canopy tree per 10 parking spaces provided
72 Parking spaces/10 = 7 trees required
 - Min. 60% of islands planted w/ shrubs, groundcover, perennials, or grass.
 - No parking spaces to be located < 40' from the trunk of a large canopy tree.
 - In addition to required canopy trees, planting areas for ornamental trees, shrubbery and bedding plants shall be min. 5% of the surface area devoted to parking.
26,750 SF parking lot area & 2,780 landscape interior islands = Min. 5% required
- PROVIDED**
- Overcup Oaks (meeting greater of requirements) = 13 trees provided
 - We exceed the requirement. All islands planted with shrubs and/or groundcovers.
 - We meet the requirement. - See RP parking radius circles shown on plan.
 - 10% (of surface parking area) devoted to landscape planting areas.

D. BUILDING LANDSCAPE

- REQUIRED**
- Areas around buildings equal to 50% of the area of each front and side elevation shall be planted with ornamental trees, shrubbery and bedding plants.
Building height: 20.5 FT
Front: 119 LF x 20.5 FT = 2,439.5 SF
R Side: 44 LF x 20.5 FT = 902 SF
L Side: 44 LF x 20.5 FT = 902 SF
TOTAL SF = 4,244 SF
4,244 x 50% = 2,122 SF bldg LS required
 - Landscape required around base of the freestanding sign.
- PROVIDED**
- Planting beds adjacent to building = 2,311 SF bldg LS provided
 - Landscape provided (Daylilies and shrubs adjacent) around sign.

ATLANTIC LANDSCAPE NOTES

- Landscape Contractor to read and understand the Landscape Specifications prior to finalizing bids. The Landscape Specifications shall be adhered to throughout the construction process.
- Contractor is responsible for locating and protecting all underground utilities prior to digging.
- Contractor is responsible for protecting existing trees from damage during construction.
- All tree protection devices to be installed prior to the start of tree disturbance, and maintained until final landscaping.
- All tree protection areas to be protected from sedimentation.
- All tree protection fencing to be inspected daily, and repaired or replaced as needed.
- No parking, storage or other construction activities are to occur within tree protection areas.
- All planting areas shall be cleaned of construction debris (ie. concrete, rock, rubble, building materials, etc) prior to adding and spreading of the topsoil.
- General Contractor is responsible for adding a min of 4" clean fibrous topsoil in all planting beds and all grassed areas. Graded areas to be held down the appropriate elevation to account for topsoil depth. See Landscape Specifications for required topsoil characteristics.
- In all parking lot islands, the General Contractor is responsible to remove all debris, factors/excess subgrade to a min. 24" depth. Add topsoil to a 6" stem height above island curbing; refer to landscape specifications and landscape island detail.
- Prior to beginning work, the Landscape Contractor shall inspect the subgrade, general site conditions, verify elevations, utility locations, irrigation approval provided by the General Contractor and observe the site conditions under which the work is to be done. Notify the General Contractor of any unsatisfactory conditions, work shall not proceed until such conditions have been corrected and are acceptable to the Landscape Contractor.
- Any deviations from the approved set of plans are to be approved by the Landscape Architect.
- Landscaping shall be installed in accordance with ANSI Z60.1 - The American Standard for Nursery Stock and the accepted standards of the American Association of Nurserymen.
- Existing grass in proposed planting areas shall be killed and removed. Hand rake to remove all rocks and debris larger than 1 inch in diameter, prior to adding topsoil and planting shrubs.
- Soil to be tested to determine fertilizer and lime requirements prior to laying sod.
- Annual and perennial beds: min. 4 inch layer of organic material and fill to a min. depth of 12 inches. Mulch annual and perennial beds with 3-inch depth of mini nuggets.
- All shrubs beds (existing and new) to be mulched with a min. 3-inch layer of mulch (mini type to be double shredded hardwood mulch).
- Planting holes to be dug a minimum of twice the width of the root ball, for both shrub and tree. Set plant material 2-3" above finish grade. Backfill planting hole with topsoil and native occurenced soil.
- Sod to be delivered fresh (Cut less than 24 hours prior to arriving on site), laid immediately, rolled, and watered thoroughly immediately after planting. Edge of sod at planting beds are to be "T" finished; see Landscape Details.
- Any existing grass disturbed during construction to be fully removed, regraded and replaced. All tree marks and indentions to be repaired.
- Water thoroughly twice in first 24 hours and apply mulch immediately.
- The Landscape Contractor shall guarantee all plants installed for one full year from date of acceptance by the owner. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period. The Landscape Contractor shall not be responsible for acts of God or vandalism. See Landscape Specifications for Warranty requirements/expectations.
- Any plant that is determined dead, an unhealthy, unsightly condition, lost its shape due to pest, drought, or other symptoms of poor, poor vigorous growth, shall be replaced by the Landscape Contractor. See Landscape Specifications for warranty requirements/specifications.
- Site to be 100% irrigated in all planting beds and grass area by an automatic underground irrigation system. Irrigation as built shall be provided to the Landscape Architect within 24 hours of irrigation install completion.
- Stake all evergreen and deciduous trees as shown in the planting detail and set per the Landscape Specifications.
- Remove stakes and gyping from all trees after one year from planting.

PLANT LIST	Common Name	Quantity	Remarks
1	Ben Juggernaut	Trident Maple	2" Cal.
2	Casadiola kentukea	Yellowwood	2" Cal.
3	Cornus kousa	Kousa Dogwood	2" Cal.
4	Hebe x abelaeana 'Foster'	Foster Holly	1" Hgt.
5	Cornus vrata 'Highgate'	Overcup Oak	2" Cal.
6	Quercus shumardii	Shurward Oak	2" Cal.
7	Stella D'Oro Daylily	Stella D'Oro Daylily	1" Hgt.
8	Apricot Drift Rose	Apricot Drift Rose	1" Hgt.
9	LimeLight Hydrangea	LimeLight Hydrangea	1" Hgt.
10	Ruby Loropetalum	Dwarf Burford Holly	1" Hgt.
11	Ruby Loropetalum	Ruby Loropetalum	1" Hgt.
12	Big Blue Liriope	Apricot Drift Rose	1" Hgt.
13	Trident Maple	Anthurus Water Sprea	1" Hgt.
14	Stella D'Oro Daylily	Stella D'Oro Daylily	1" Hgt.
15	Big Blue Liriope	Big Blue Liriope	1" Hgt.
16	Annual Color Perennials	Annual Color Perennials	1" Hgt.
17	Rock Mulch	Rock Mulch	1" Hgt.

Chick-fil-A
Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

manley
LAND DESIGN
Landscape Architecture
Manley Land Design, Inc.
51 Oak Canton Street
Alpharetta, Georgia 30009
770.442.8171 ext

CHICK-FIL-A
HARDIN VALLEY
2187 GREENLAND WAY
KNOXVILLE, TN 37932

FSU# 05442

REVISION SCHEDULE	NO. DATE	DESCRIPTION
1	05/01/2024	ISSUED FOR PERMIT

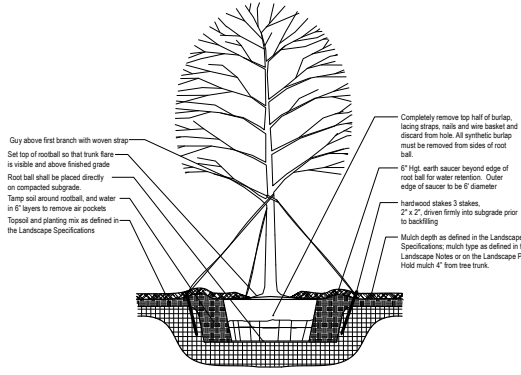
MLD PROJECT # 2023173
PRINTED FOR PERMIT
DATE 7/6/23
DRAWN BY DO

Information contained on this drawing and all other drawings provided by others related to this work shall remain the intellectual property of the owner. No part of this drawing shall be reproduced without the written consent of the owner.

PERMIT Landscape Plan
TT/CDA & Development Plan File #: 8-8-23-TOS / P-C-23-DP

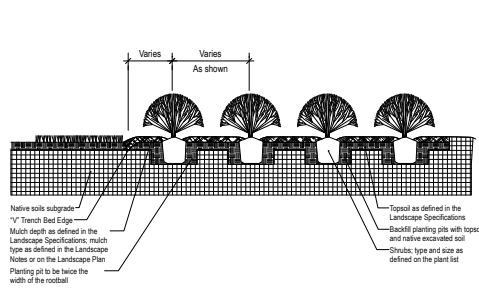
811
Know what's below.
Call before you dig.

SHEET NUMBER **L-100**

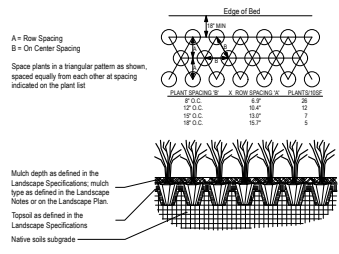


- NOTE**
- Hole to be twice the width of the rootball.
 - Do not heavily prune tree at planting. Prune only cross-over limbs, broken or dead branches. Do not remove the terminal buds of branches that extend to the edge of the crown.
 - Each tree must be planted such that the trunk flare is visible at the top of the rootball. Trees where the trunk flare is not visible shall be rejected. Do not cover the top of the rootball with soil. Mulch to be held back 4" away from trunk.
 - Remove Guy Wires and Staking when warranty period has expired (after one year).

1 TREE PLANTING & STAKING
SCALE: NTS

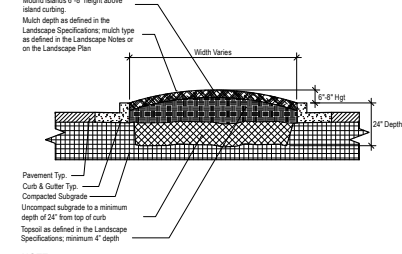


2 SHRUB BED PLANTING DETAIL
SCALE: NTS



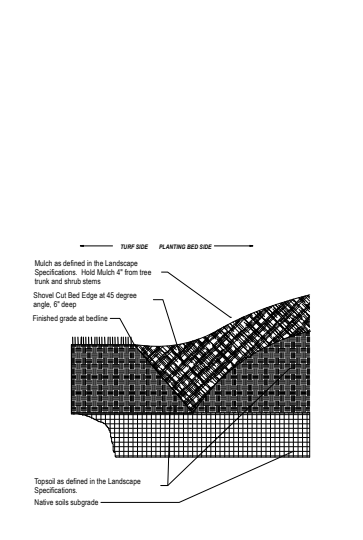
- NOTE**
- Space groundcover plants in accordance with indicated spacing listed on the plant list, or as shown on the landscape plan.
 - Adjust spacing as necessary to evenly fill planting bed with indicated quantity of plants.
 - Plant to within 24" of the trunks of trees and shrubs within planting bed and to within 18" of edge of bed.

3 GROUNDCOVER PLANTING DETAIL
SCALE: NTS

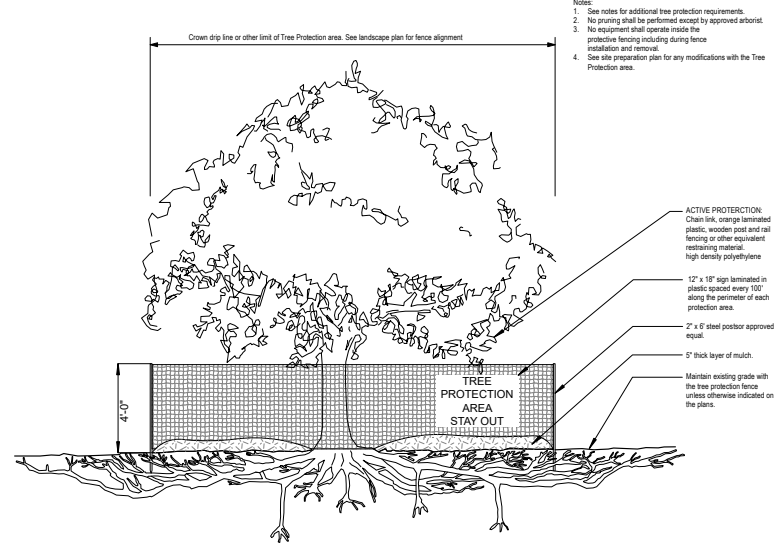


- NOTE**
- Clean construction debris from within landscape island areas (i.e. concrete, rocks, rubble, building materials, etc), prior to installing topsoil and plant material.
 - Fracture/loosen existing subgrade to a minimum 24" depth. Remove and replace any subgrade unusable for planting. Once subgrade is clean of debris and loosened, add topsoil to a minimum height of 6" above island cutting.
 - Island plant material as per the Landscape Plan.
 - Install plant material as per tree, shrub and ground cover planting details, and as defined in the Landscape Specifications.
 - Install mulch or sod as specified on the Landscape Plan, and as defined in the Landscape Specifications.

4 PARKING ISLAND DETAIL
SCALE: NTS



5 "V" TRENCH BED EDGING
SCALE: NTS



- Notes:**
- See notes for additional tree protection requirements.
 - No pruning shall be performed except by approved arborist.
 - No equipment shall operate inside the protective fencing including during fence installation and removal.
 - See site preparation plan for any modifications with the Tree Protection area.

6 TREE PROTECTION FENCING DETAIL
SCALE: NTS



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998



Manley Land Design, Inc.
31 Oak Canton Street
Alpharetta, Georgia 30009
770.442.8171 ext



CHICK-FIL-A
HARDIN VALLEY
2187 GREENLAND WAY
KNOXVILLE, TN 37932

FSU# 05442

REVISION SCHEDULE

NO.	DATE	BY	DESCRIPTION
1	02/22	DC	City Comments

MLO PROJECT # 2023173
PRINTED FOR PERMIT
DATE 7/6/23
DRAWN BY DC

Information contained on this drawing and in all digital files downloaded from cloud storage shall not be relied upon without the approval of the original author of the information.

PERMIT Landscape Details
TTCDA & Development Plan File #: 19-25-106 / 19-C-24-07

SHEET NUMBER
L-101

LANDSCAPE SPECIFICATIONS

PART 1 - GENERAL

DESCRIPTION

Plants: Shrubs, ground covers, sod, and annuals/perennials as shown and specified on the landscape plan. The work includes:

1. Soil preparation.
2. Trees, shrubs, ground covers, and annuals/perennials.
3. Planting mixes.
4. Soil, Mulch and Planting accessories.
5. Maintenance.
6. Decorative stone.

Related Work

Irrigation System.

QUALITY ASSURANCE

Plant names indicated, comply with "Standardized Plant Names" as adopted by the latest edition of the American Joint Committee of Horticultural Nomenclature. Names of varieties not listed conform generally with names accepted by the nursery trade. Provide stock true to botanical name and legally tagged.

Comply with sizing and grading standards of the latest edition of "American Standard for Nursery Stock". A plant shall be dimensioned as it stands in its natural position.

All plants shall be nursery grown under climatic conditions similar to those in the locality of the project for a minimum of 2 years.

Nursery Stock furnished shall be at least the minimum size indicated. Larger stock is acceptable, at no additional cost, and providing that the larger plants will not cut back to size indicated. Provide plants indicated by two measurements so that only a maximum of 25% area of the minimum size indicated and 75% area of the maximum size indicated.

Before submitting a bid, the Contractor shall have investigated the sources of supply and be satisfied that they can supply the listed plants in the size, variety and quality as specified. Failure to take this precaution will not relieve the Contractor of their responsibility for furnishing and installing all plant materials in strict accordance with the Contract Documents submitted to the Owner. The Landscape Architect shall approve any substitutes of plant material, or changes in plant material size, prior to the Landscape Contractor submitting a bid.

DELIVER, STORAGE AND HANDLING

Use of plastic mulches or other plastic practice in preparing plants for moving. Workmanship that fails to meet the highest standards will be rejected. Spray decoupled plants in foliage with an approved "Anti-Desiccant" immediately after digging to prevent dehydration. Dig, pack, transport, and handle plants with care to ensure protection. Provide shipping certificates required by law shall accompany each shipment invoice or order to stock. Protect all plants from drying out. Plants cannot be planted immediately upon delivery, properly protect them with soil, wet sand moss, or in a manner acceptable to the Landscape Architect. Water freezes in plantings daily. No plant shall be bound with rope or wire in a manner that could damage or break the branches. Cover plants transported on open vehicles with a protective covering to prevent wind burn.

PROJECT CONDITIONS

Protect existing utilities, paving, and other facilities from damage caused by landscape operations.

A complete list of plants, including a schedule of sizes, quantities, and other requirements are shown on the drawings. In the event that quantity discrepancies or material omissions occur in the plant materials list, the planting plans shall govern.

The irrigation system will be installed prior to planting. Locate, protect and maintain the irrigation system during planting operations. Repair irrigation system components damaged during planting operations, at the Contractor's expense. Refer to the irrigation specifications, irrigation plan and irrigation details.

Do not begin landscape accessory work before completion of final grading or surfacing.

WARRANTY

Planted material to remain alive, be healthy and in a vigorous condition for a period of 1 year after completion and final acceptance of entire project.

Replace, in accordance with the drawings and specifications, all plants that are dead or are in an unhealthy, or unsightly condition, and have lost their natural shape due to dead branches, or other causes at the Contractor's negligence. The cost of such replacement(s) is at the Contractor's expense. Warrant all replacement plants for 1 year after installation.

Warranty shall not include damage, loss of trees, plants, or ground covers caused by fires, floods, freezing rains, lightning storms, winds over 75 miles per hour, winter kill caused by extreme cold, severe winter storms, or typical of planting area, and/or acts of vandalism or negligence on a part of the Owner.

Remove and immediately replace all plants, found to be unsatisfactory during the initial planting installation.

Maintain and protect plant material, lawns, and irrigation until final acceptance is made.

ACCEPTANCE

Inspection of planted areas will be made by the Owner's representative.

1. Planted areas will be accepted provided all requirements, including maintenance, have been complied with and plant materials are alive and in a healthy, vigorous condition.

Upon acceptance, the Contractor shall commence the specified plant maintenance.

CODES, PERMITS AND FEES

Obtain any necessary permits for this Section of Work and pay any fees required for permits.

The entire installation shall fully comply with all local and state laws and ordinances, and with all established codes applicable thereon, as also depicted on the landscape and irrigation construction set.

PART 2 - PRODUCTS

MATERIALS

Plants: Provide typical of species or variety, with normal, densely developed branches and vigorous, fibrous root system. Provide only sound, healthy, vigorous plants free from defects, disfiguring knots, sun scald injuries, foot crotches, abrasions of the bark, plant diseases, insect eggs, borers, and all forms of infestation. All plants shall have a fully developed form without voids and open spaces. Plants held on storage will be rejected if they show signs of aging during the storage period.

1. Ball and burlap: Plants to be shipped in a natural ball of earth of sufficient diameter and depth to encompass the fibrous and feeding root system necessary for full recovery of the plant. Provide ball sizes complying with the latest edition of the "American Standard for Nursery Stock". Caskets or mesh-covered balls, or signs of cracking roots are not acceptable.

2. Container-grown stock: Growers in a container for sufficient length of time for the root system to have developed to hold soil and water.

a. No plants shall be loose in the container.

b. Plants planted in rows shall be matched in form.

4. Plants larger than those specified in the plant list may be used when acceptable to the Landscape Architect.

5. If the use of larger plants is acceptable, increase the spread of roots or root ball in proportion to the size of the plant.

5. The height of the trees, measured from the crown of the roots to the top of the top branch, shall not be less than the minimum size designated in the plant list.

6. No pruning wounds shall be present with a diameter of more than 1" and such wounds must show vigorous bark on all edges.

7. Ground cover trees shall be branched to the ground or as specified in plant list.

8. Shrubs and small plants shall meet the requirements for spread and height indicated in the plant list.

a. The measurements for height shall be taken from the ground level to the height of the top of the plant and not the highest branch.

b. Single stemmed or plants will not be accepted.

c. Side branches shall be vigorous, well-twigged, and the plant as a whole well-brushed to the ground.

d. Plants shall be in a moist, vigorous, healthy, free from dead wood, leafless, or other root or branch injuries.

ACCESSORIES

Topsoil: Shall be fertile, friable, natural topsoil of loamy character, without admixture of subsoil material, obtained from a well-drained arable site, reasonably free from clay, lumps, coarse sands, stones, rocks, sticks, and other foreign materials, with acidity range at pH 6.0 and 6.8.

Note: All planting areas shall be cleared of construction debris (ie. Concrete, rubble, stones, building material, etc.) prior to adding and spreading of the top soil.

1. Sod Areas: Spread a minimum of 4" layer of top soil and rake smooth.

2. Planting bed areas: Spread a minimum of 4" layer of top soil and rake smooth.

3. Landscape Islands/Medians: Fracture/loosen existing subgrade to a minimum 24" depth. Remove and replace any subgrade unsuitable for planting. Once subgrade is clean of debris and loosened, add topsoil to a minimum berm 6"-8" height above island curbing.

4. Annuals/Perennial beds: Add a minimum of 4" organic matter and till to a minimum 12" depth.

Mulch: Type selected dependent on region and availability; see landscape plans for type of mulch to be used. Hold mulch 4" from tree trunks and shrub stems.

1. Hardwood (color) dark brown, 6 month old well rotted double shredded native hardwood bark mulch not larger than 4" in length and 1/2" in width, free of wood chips and sawdust, with a minimum depth of 4".

2. Pine Straw: Pine straw to be fresh harvest, free of debris, bright in color. Bales to be wired and lightly bound. Needs to be dry.

3. River Rock: (color) light gray to buff to dark brown, washed river rock, 1" - 3" in size. Install in shrub beds to an even depth of 3". Well sorted material to be installed under all rock mulch areas.

4. Mini Nuggats: Install to a minimum depth of 2"-3" at all locations of annual and perennial beds. Lift the stems and mulch carefully and replace the mulch to avoid injuring the plants. Gently brush the mulch off the plants.

Guying/Staking:

1. Arborvitae Green (or white) staking and guying material to be flat, woven, polypropylene material, 1/2" wide 900 lb. break strength. Arborvitae shall be fastened to stakes in a manner which permits tree movement and supports the tree.

2. Remove Guying/Staking after one year from planting.

Thee Whip: Tree wraps should be used on young, newly planted thin-barked trees (Cherry, Crabapple, Honey Locust, Linden, Maple, Mountain Ash, Plum) that are most susceptible to sun scald/Sunburn. Standard waterproofed tree wrapping paper, 2-1/2" wide, made of 2 layers of crepe kraft paper weighing not less than 30 lbs. per ream, oriented together with asphalt. Wrap the tree in the fall and leave the wrap in place throughout the winter and early spring. Tree wraps are temporary and no longer needed once the tree is fully barked.

PART 3 - EXECUTION

INSPECTION

Prior to beginning work, the Landscape Contractor shall inspect the subgrade, general site conditions, verify elevations, utility locations, irrigation, approve soil provided by the General Contractor and observe the site conditions under which the work is to be done. Notify the General Contractor of any unsatisfactory conditions, and work shall not proceed until such conditions have been corrected and are acceptable to the Landscape Contractor.

Planting shall be performed only by experienced workmen familiar with planting procedures under the supervision of a qualified superintendent.

Local plants as indicated on the plans or as approved in the field after staking by the Landscape Contractor. If obstructions are encountered that are not shown on the drawings, do not proceed with planting operations until alternate plant locations have been selected and approved by the Landscape Architect; spacing of plant material shall be as shown on the drawings.

Excavate circular plant pits with vertical sides, except for plants specifically indicated to be planted in beds. Provide plant pits at least 1/2" greater than the diameter of the root system and 24" greater for trees. Depth of pit shall accommodate the root system. Provide undisturbed sub grade to hold root ball at nursery grade as shown on the drawings.

Install all material in the planting pit to proper grade and alignment. Set plants upright, plumb, and faced to give the best appearance or relationship to each other or adjacent structure. Set plant stakes 2" - 3" above the finish grade. No filling will be permitted around bunks or stems. Backfill the pit with topsoil mix and excavated material. Do not use frozen or muddy mixtures for backfill. Form a ring of soil around the edge of each planting pit to retain water.

After balled and wrapped in burlap plants are set, mulch planting soil mixture around bases of balls and fill all voids.

1. Remove all burraps, ropes, and wires from the top 1/3 of the root ball.

Space ground cover plants in accordance with indicated dimensions. Adjust spacing of areas necessary to evenly fill planting bed with indicated quantity of plants. Plant to within 24" of the trunks of trees and shrubs within planting bed and to within 1/2" of edge of bed.

Mulching:

1. Mulch tree and shrub planting pits and shrub beds with required mulching material (see landscape plans for mulch type, depth of mulch as noted above. **Mulch mulch back 4" away from tree trunks and shrub stems.** Thoroughly water mulched areas. After watering, rake mulch to provide a uniform finished surface.

Decorative Stone: (where indicated on landscape plan)

1. Install weed control barrier over topsoil prior to installing stone. Lap 6" on all sides.

2. Place stone without damaging weed barrier.

3. Arrange stones for best appearance and to cover all weed barrier fabric.

Wrapping, guying, staking:

1. Inspect trees for injury to trunks, evidence of insect infestation, and improper pruning before wrapping.

2. Wrapping:

a. Wrap trunks of all young newly planted trees known to have thin bark. Wrap spirally from bottom to top with specified tree wrap and secure in place.

b. Overlap 1/2" the width of the tree wrap strip and cover the trunk from the ground to the height of the second branch.

c. Secure tree wrap in place with bairne wound spirally downward in the opposite direction, laced around the tree in at least 3 places in addition to the top and bottom.

4. Wrap the trees in the fall and leave it in place throughout the winter and early spring.

5. Tree wraps are temporary and no longer needed once the trees develop corky bark.

3. Staking/Guying:

a. Stake/guy all trees immediately after lawn sodding operations and prior to acceptance.

b. Stake decoupled trees 2" caliper and less. Stake evergreen trees under 7'-0" tall.

1. Stakes are placed in line with prevailing wind direction and driven into undisturbed soil.

2. Ties are attached to the tree, usually at the lowest branch.

3. Guy decoupled trees over 2" caliper. Guy evergreen trees 7'-0" tall and over.

1. Guy wires to be attached to three stakes driven into undisturbed soil, with one stake placed in the direction of the prevailing wind.

2. Guy wires to be attached to the tree at the height as high as practicable.

3. The axis of the stake should be at 90 degree angle to the axis on the pull of the guy wire.

4. Remove all guying and staking after one year from planting.

Pruning:

1. Prune deciduous trees and evergreens only to remove broken or damaged branches.

WORKMANSHIP

During landscape installation operations, all areas shall be kept neat and clean. Precautions shall be taken to avoid damage to existing structures. All work shall be performed in a safe manner to the operators, the occupants and any pedestrians.

Upon completion of installation operations, all excess materials, equipment, debris and waste material shall be cleaned up and removed from the site, unless provisions have been granted by the owner to use on-site trash receptacles. Reserve parking and walks clean of dirt and debris. Remove all plant tags and labels from lawns and planting areas.

Any damage to the landscape, the structure, or the irrigation system caused by the landscape contractor shall be repaired by the landscape contractor without charge to the owner.

MAINTENANCE

Contractor shall provide maintenance until work has been accepted by the Owner's Representative.

Maintenance shall include mowing, fertilizing, mulching, pruning, cultivation, weeding, watering, and application of appropriate insecticides and fungicides to maintain plants and adjacent lawns free of insects and disease.

1. Mow lawns with a rotary blade mower to proper grade and position. Restore planting surface and adjacent material and remove dead material.

2. Mow guy wires to be attached to the tree at the height as high as practicable. Remove all stakes and guy wires after 1 year.

3. Corred defective work as soon as approved after deficiencies become apparent and watering and season permit.

4. Water trees, plants and ground cover beds within the first 24 hours of initial watering, and not less than twice per week until final acceptance.

LANDSCAPE MAINTENANCE SPECIFICATIONS

The Contractor shall provide as a separate bid, maintenance for a period of 1 year after final acceptance of the project landscape. The Contractor must be able to provide continued maintenance if requested by the Owner or provide the name of a reputable landscape contractor who can provide maintenance.

STANDARDS

All landscape maintenance services shall be performed by trained personnel using current, acceptable horticultural practices.

All work shall be performed in a manner that maintains the original intent of the landscape design.

All chemical applications shall be performed in accordance with current county, state and federal laws, using EPA registered materials and methods of application. These applications shall be performed under the supervision of a Licensed Certified applicator.

APPROVALS

Any work performed in addition to that which is outlined in the contract shall only be done upon written approval by the Owner's Representative (General Manager of the restaurant).

All seasonal color selections shall be approved by the General Manager prior to ordering and installation.

SOIL TESTING

The maintenance contractor shall perform soil tests as needed to identify imbalances or deficiencies causing plant material decline. The owner shall be notified of the recommendation for approval, and the necessary corrections made at an additional cost to the owner.

Acceptable Soil Test Results

Landscape Trees and Shrubs	Turf
pH Range	6.0-7.0
Organic Matter	1-1%
Nitrogen (N)	10-20 lbs/acre
Phosphorus (P205)	10-10 lbs/acre
Potassium (K2O)	10-10 lbs/acre
Water Soluble Nitrogen	10-10 lbs/acre
Electrical Conductivity	1-1.6
Soil Temperature	50-60 F
Soil Moisture	15-20%

For universal soil orders, the following optional tests are recommended with levels not to exceed:

Boron	3 pounds per acre
Calcium	10 pounds per acre
Magnesium	400 pounds per acre
Potassium (K2O)	10 pounds per acre

WORKMANSHIP

During landscape maintenance operations, all areas shall be kept neat and clean. Precautions shall be taken to avoid damage to existing structures. All work shall be performed in a safe manner to the operators, the occupants and any pedestrians.

Upon completion of maintenance operations, all debris and waste material shall be cleaned up and removed from the site, unless provisions have been granted by the owner to use on-site trash receptacles.

Any damage to the landscape, the structure, or the irrigation system caused by the maintenance contractor, shall be repaired by the maintenance contractor without charge to the owner.

TURF

GENERAL CLEAN UP

Prior to mowing, all trash, sticks, and other unwanted debris shall be removed from lawns, plant beds, and paved areas.

MOWING

Newly installed lawn grasses (i.e. Bermuda grass) shall be maintained at a height of 1" to 2" during the growing season.

Cool season grasses, including blue grass, tall fescue, perennial ryegrass, etc., shall be maintained at a height of 2" to 3" in spring and fall. From June through September, mowing shall be maintained at no less than 1/2".

The mowing operation includes trimming around all obstacles, raking excessive grass clippings and removing debris from walks, curbs, and parking areas. Caution: Weed eaters should NOT be used around trees because of potential damage to the bark.

EDGING

Edging of all sidewalks, curbs and other paved areas shall be performed once every other mowing. Debris from the edging operations shall be removed and the areas swept clean. Curbs shall be maintained at least 1/2" from mowing blades.

LIMING & FERTILIZING

A soil test shall be taken to determine whether an application of limestone in late fall is necessary. If limestone is required, the landscape contractor shall specify the rate, obtain approval from the owner and apply it at an additional cost. A unit price for liming of turf shall accompany the bid based on a rate of 50 pounds per 1000 square feet.

Fertilizer shall be applied in areas based on the existing turf species.

LAWN WEED CONTROL: HERBICIDES

Selection and proper use of herbicides shall be the landscape contractor's responsibility. All chemical applications shall be performed under the supervision of a Licensed Certified Applicator. **Read the label prior to applying any chemical.**

INSECT & DISEASE CONTROL FOR TURF

The contractor shall be responsible for monitoring the site conditions on each visit to determine if any insect pest or disease problems exist. The contractor shall identify the insect pest or disease, as well as the host plant, and then consult the most current edition of the Cooperative Extension Service's "Commercial Insecticide Recommendation for Turf" for control. The licensed applicator shall be familiar with the label provided for the selected product prior to application.

Inspection and treatment to control insect pests shall be included in the contract price.

TREES, SHRUBS, & GROUND COVER

All ornamental trees, shrubs and ground cover shall be pruned when appropriate to remove dead or damaged branches, develop the natural shape. **Do not shear trees or shrubs.** If previous maintenance practices have been done and ball, then a natural shape will be restored gradually.

Pruning Guidelines:

1. Prune trees and shrubs before the end of June immediately after flowering. Flower buds develop during the previous growing season. Fall, winter or spring pruning would reduce the spring flowering display.

2. Prune trees and shrubs in summer or autumn in winter or spring before new growth begins, since these plants develop flowers on new growth.

3. Delay pruning plants grown for ornamental fruits, such as colorado spruce, pyracantha, and viburnum.

4. Dead branches that have been pruned during winter in order to save tree branches for seasonal decoration. However, severe pruning of evergreens should be done in early spring only.

5. Pruned evergreen shrubs shall be hand-pruned to maintain their natural appearance after the new growth hardens off.

6. Hedges or shrubs that require shearing to maintain a formal appearance shall be pruned as required. Dead wood shall be removed from sheared plants before the first regrowth of the season.

7. Confers shall be pruned, if required, according to their genus.

A. Yews, junipers, hemlocks, arbutives, and false-yew spruce may be pruned after the new growth has hardened off in late summer or fall, if severe pruning is necessary, it must be done in early spring.

1. Round-top trees shall be lightly pruned in late summer, fall, or winter after completing growth. Leave side buds. Never cut under leader.

C. Pines may be lightly pruned in early June by reducing canopies.

8. Groundcover shall be edged and pruned to maintain its within its borders.

9. Trimming: Remove branches and water sprouts by cutting them back to their point of origin on parent stems. This method results in a more open plant, without stimulating excessive growth. Trimming is used on crepe myrtle, lilacs, viburnums, smoke bush, etc. 10. Renewal pruning: Remove oldest branches of shrub at ground, leaving the younger, more vigorous stems. Also remove weak stems of evergreen plants. This method may be best done over a three-year period. Renewal pruning may be used on yucca, forsythia, desho, sornea, etc.

Plants overhanging passageways and parking areas and damaged plants shall be pruned as needed.

Shade trees that cannot be adequately pruned from the ground shall not be included in the Shade Maintenance Contract. A certified arborist under a separate contract shall perform this type of work.

SPRING CLEANUP

Plant beds shall receive a general cleanup before fertilizing and mulching. Cleanup includes removing debris and trash from beds and cutting back herbaceous perennials left standing through winter, e.g. ornamental grasses, Sedum Autumn Joy.

FERTILIZING

For trees, the rate of fertilization depends on the tree species, tree vigor, area available for fertilization, and growth of the plant. Mature specimens benefit from fertilization every 3 to 4 years; younger trees shall be fertilized more often during rapid growth stages.

The current recommendation is based on the rate of 1000 square feet of area under the tree to be fertilized. For deciduous trees, 2 to 6 pounds of Nitrogen per 1000 square feet, for narrow-leaf evergreens, 1 to 4 pounds of Nitrogen per 1000 square feet, for broadleaf evergreens, 1 to 3 pounds of Nitrogen per 1000 square feet.

Shrubs and groundcover shall be top-dressed with compost 1" deep, or fertilized once in March with 10-6-4 analysis fertilizer at the rate of 3 pounds per 1000 square feet of bed area.

Excess material shall be fertilized with an excessive fertilizer at the manufacturer's recommendation rate. If plants are growing poorly, a soil sample should be taken.

MULCHING

Annually, all tree and shrub beds will be prepared and mulched, to a minimum depth of 4" with quality mulch to match existing. Bed preparation shall include removing all weeds, clearing up silt, edging and cultivating decayed mulch into the soil. Debris from edging is to be removed and recycled as applicable. If deemed necessary, a pre-emergent herbicide may be applied to the soil to inhibit the growth of future weeds.

Organically maintained gardens shall not receive any pre-emergent herbicides. Mulch in excess of 4" will be removed from the bed areas. SPECIAL CARE shall be taken in the mulching operation to not over-mulch or cover the base of trees and shrubs. This can be detrimental to the health of the plants.

WEEDING

All beds shall be we

<input checked="" type="checkbox"/> BUILDING PERMIT - NEW CONSTRUCTION	<input type="checkbox"/> REZONING	<input checked="" type="checkbox"/> ADMINISTRATIVE REVIEW
<input type="checkbox"/> BUILDING PERMIT - EXPANSION OR RENOVATION	<input type="checkbox"/> SIGNAGE	<input type="checkbox"/> BOARD REVIEW
<input checked="" type="checkbox"/> BUILDING PERMIT - GRADING PLAN	<input type="checkbox"/> ZONING VARIANCE	

Mark Campbell

PUBLISHED APPLICANT NAME - *no individuals on behalf of-*

7/28/23	9/11/23	9-B-23-TOB
DATE FILED	MEETING DATE (IF APPLICABLE)	FILE NUMBER

CORRESPONDENCE *Correspondence related to this application will be directed to the contact listed below.*

APPLICANT OWNER OPTION HOLDER SURVEYOR ENGINEER ARCHITECT/LANDSCAPE ARCHITECT ATTORNEY

Mark Campbell	Carter Engineering		
NAME	COMPANY		
1010 Commerce Drive	Bogart	GA	30622
ADDRESS	CITY	STATE	ZIP
770-725-1200	mark@carterengineering.com		
PHONE	EMAIL		

CURRENT PROPERTY INFO MULTIPLE OWNERS / OPTION HOLDERS PART OF PARCEL

OKR Group	11421 Sam Lee Road 37932	865-964-9254
OWNER NAME - <i>if different -</i>	OWNER ADDRESS	OWNER PHONE/EMAIL
2187 Greeland Way		
PROPERTY ADDRESS		
103MA004	N	1.75
PARCEL ID(S)	PART OF PARCEL? (Y/N)	TRACT SIZE

STAFF USE ONLY

	<input type="checkbox"/> CITY <input checked="" type="checkbox"/> COUNTY
Southwest corner of Hardin Valley Rd and Greenland Way	6th
GENERAL LOCATION	DISTRICT
PC / TO	GC / HP
ZONING	SECTOR PLAN LAND USE CLASSIFICATION
Northwest County	Vacant land
PLANNING SECTOR	EXISTING LAND USE

REQUEST

BUILDING PERMIT

- NEW CONSTRUCTION
 EXPANSION OR RENOVATION
 GRADING PLAN

- REZONING
 SIGNAGE
 ZONING VARIANCE

PLAN MATERIALS:

- DEVELOPMENT PLAN
 BUILDING ELEVATIONS
 FLOOR PLAN
 LANDSCAPE PLAN
 SIGNAGE PLAN
 OFF-STREET PARKING

OTHER:
 Proposed CFA

WAIVERS OR VARIANCES REQUESTED? YES NO

ADMINISTRATIVE REVIEW: LIGHTING LANDSCAPING PLAN

RENOVATION OR EXPANSION

SUMMARY OF WORK TO BE PERFORMED:

ZONING VARIANCE

SUMMARY OF ZONING VARIANCE REQUEST:

REZONING

REZONE FROM: _____

TO: _____

SECTOR PLAN AMENDMENT FROM: _____

TO: _____

SIGNAGE

- YARD SIGN BUILDING SIGN OTHER SIGN
 AREA: _____ AREA: _____ AREA: _____
 HEIGHT: _____ HEIGHT: _____ HEIGHT: _____
 FINISH: _____ FINISH: _____ TYPE: _____

STAFF USE ONLY

- TTCDA Checklist
 Property Owners/Option Holders

CODE	CODE	TOTAL
FEE	FEE	
1102 / \$450		\$450

AUTHORIZATION

By signing below

You certify that you are the property owner and/or authorized representative.

Mark Carter

APPLICATION AUTHORIZED BY

Engineer

AFFILIATION

7/28/23

DATE

770-725-1200

PHONE NUMBER

mark@carterengineering.com

EMAIL

Michelle Portier

STAFF SIGNATURE

Michelle Portier

PRINT NAME

7/28/2023

DATE PAID O.I.