



Certificate of Appropriateness For a Building Permit Administrative Review

On September 6, 2023, the Tennessee Technology Corridor Development Authority, hereinafter referred to as the Authority, did grant to Stewart H. Anderson / George Armour Ewart Architect, hereinafter referred to as the Applicant, on its application filed on July 31, 2023 with Application No. 9-B-23-TOA, this Certificate of Appropriateness for the following described property, 10542 Murdock Dr. / Parcel ID 118 17315. This Certificate of Appropriateness is granted to the Applicant for the purpose of a Building Permit. The Applicant agrees that it will comply with all base zoning requirements, all Technology Overlay Zone requirements, the Design Guidelines and the Comprehensive Development Plan in its use of this property, unless specifically varied or altered by the Authority.

This Certificate of Appropriateness will automatically expire three years from the date of the affirmative vote of this Certificate, unless an extension of the Certificate is granted by the Authority upon the request of the Applicant, if construction of the structure or structures on the property has not reached fifty percent (50%) of completion at the end of that three year period.

The Applicant does hereby agree that staff and/or members of the Knox County governmental entities, or the Authority, shall have access to the property at reasonable times to inspect the same for compliance with the requirements of state and local laws and this Certificate of Appropriateness.

The structure or structures to be erected on this property will be erected according to the approved and accepted plans and specifications attached to this Certificate as Attachment No. One, and any changes thereto approved and accepted by the Applicant and the Authority.

APPLICATION APPROVED September 6, 2023 pursuant to Article VIII, Section 7 of the Administrative Rules and Procedures of the Tennessee Technology Corridor Development Authority (Staff Review and Approval of Minor Changes to Previously Approved Applications), for a Certificate of Appropriateness subject to the following conditions:

1) Meeting all relevant requirements of the Knoxville Zoning Ordinance, as appropriate.

By its signature hereunto, the Applicant binds itself to all terms and conditions hereof, both for itself, its heirs, and its successors in interest.

TENNESSEE TECHNOLOGY CORRIDOR DEVELOPMENT AUTHORITY

BY:

Chair

N/A (Administrative Approval)

Attested to by

Naomi Hansen

Approval date: 9/6/2023

COA expiration date (3 years): 9/5/2026

Applicant: STEWART H. ANDERSON / GEORGE ARMOUR EWART ARCHITECT

Request: BUILDING PERMIT

Meeting Date: 9/11/2023

Address: 10542 Murdock Dr.

Map/Parcel Number: 118 17315

Location: South side of Murdock Drive and west side of Dutchtown Road, east of Simmons Road

Existing Zoning: PC (Planned Commercial)

Proposed Zoning: N/A

Existing Land Use: Agriculture/forestry/vacant land

Proposed Land Use: Auto Collision Center

Appx. Size of Tract: 10.92 acres

Accessibility: Access is proposed off of Murdock Drive, a minor arterial with a 34-ft pavement width inside a right-of-way that is approximately 85 ft wide but varies in width.

Surrounding Zoning and Land Uses: North: BP (Business and Technology Park) / TO (Technology Overlay) - Agriculture/Forestry/Vacant

South: PC (Planned Commercial) / TO (Technology Overlay) - Commercial

East: BP (Business and Technology Park), CB (Business and Manufacturing), and TO (Technology Overlay) - Office, Agriculture/Forestry/Vacant

West: BP (Business and Technology Park), PC (Planned Commercial), and TO (Technology Overlay) - Office

Comments: PURSUANT TO ARTICLE VIII, SECTION 7 OF THE TTCDA ADMINISTRATIVE RULES AND PROCEDURES, THE TTCDA STAFF MAY REVIEW AND APPROVE MINOR CHANGES TO PREVIOUSLY APPROVED APPLICATIONS FOR CERTIFICATES OF APPROPRIATENESS FOR BUILDING, GRADING, AND SIGNS PERMITS, CONSISTENT WITH THE FOLLOWING REQUIREMENTS:

A. THE PROPOSED CHANGE COMPLIES WITH ALL RELEVANT REQUIREMENTS OF THE DESIGN GUIDELINES, KNOXVILLE ZONING ORDINANCE, AND KNOX COUNTY ZONING ORDINANCE, AS APPROPRIATE. AS SUCH, WAIVERS TO THE DESIGN GUIDELINES AND ZONING VARIANCES WOULD NOT BE NEEDED.

1) The applicant is requesting approval of minor revisions to the previously approved site plans. This is for an auto collision repair shop that was approved by the TTCDA at the May 9, 2022 meeting (Case 5-C-22-TOB).

2) No changes were proposed to the building footprint, the ground area coverage (GAC) and floor area ratio (FAR).

3) Proposed modifications included:

a. Relocating interior vegetation to the exterior of the fence to provide increased screening.

b. Minor changes to the exterior of the building including adding additional man doors, roll-up doors, and exhaust/louver vents.

4) All plans remain in accordance with the TTCDA Design Guidelines.

B. THE PROPOSED CHANGE DOES NOT RESULT IN AN INCREASE OF MORE THAN 5% OF THE

SQUARE FOOTAGE, AND ANY OTHER CHANGES RESULTING FROM SUCH AN INCREASE WILL COMPLY WITH ALL APPLICABLE REQUIREMENTS.

1) The building square footage did not change.

C. THE PROPOSED CHANGE COMPLIES WITH THE REQUIREMENTS OF THE KNOX COUNTY ZONING ORDINANCE FOR APPROVAL OF MINOR CHANGES IN THE TO ZONE. ARTICLE 5.90.11 OF THE KNOX COUNTY ZONING ORDINANCE STATES THAT MINOR REVISIONS TO DEVELOPMENT PLANS MAY BE APPROVED BY THE TTCDA EXECUTIVE DIRECTOR, OR DESIGNEE, PROVIDED SUCH CHANGES:

A) DO NOT ALTER THE BASIC RELATIONSHIP OF THE PROPOSED DEVELOPMENT TO ADJACENT PROPERTY OR STREETS AND ROADS;

B) DO NOT ALTER THE USES PERMITTED;

C) DO NOT INCREASE THE AREA OF DEVELOPMENT BY MORE THAN 5% OF THE PREVIOUSLY APPROVED SQUARE FOOTAGE; AND DO NOT REQUIRE THE APPROVAL OF A WAIVER TO THE TENNESSEE TECHNOLOGY CORRIDOR DESIGN GUIDELINES, OR A VARIANCE TO THE ZONING ORDINANCE FOR KNOX COUNTY.

1) The proposed revision does not alter any of the above standards, does not require a waiver from the TTCDA or a variance from the Knox County Zoning Ordinance, and is therefore in compliance with the TO zone requirements for minor changes to previously approved plans.

**Design Guideline
Conformity:**

This request is in compliance with the TTCDA Design Guidelines.

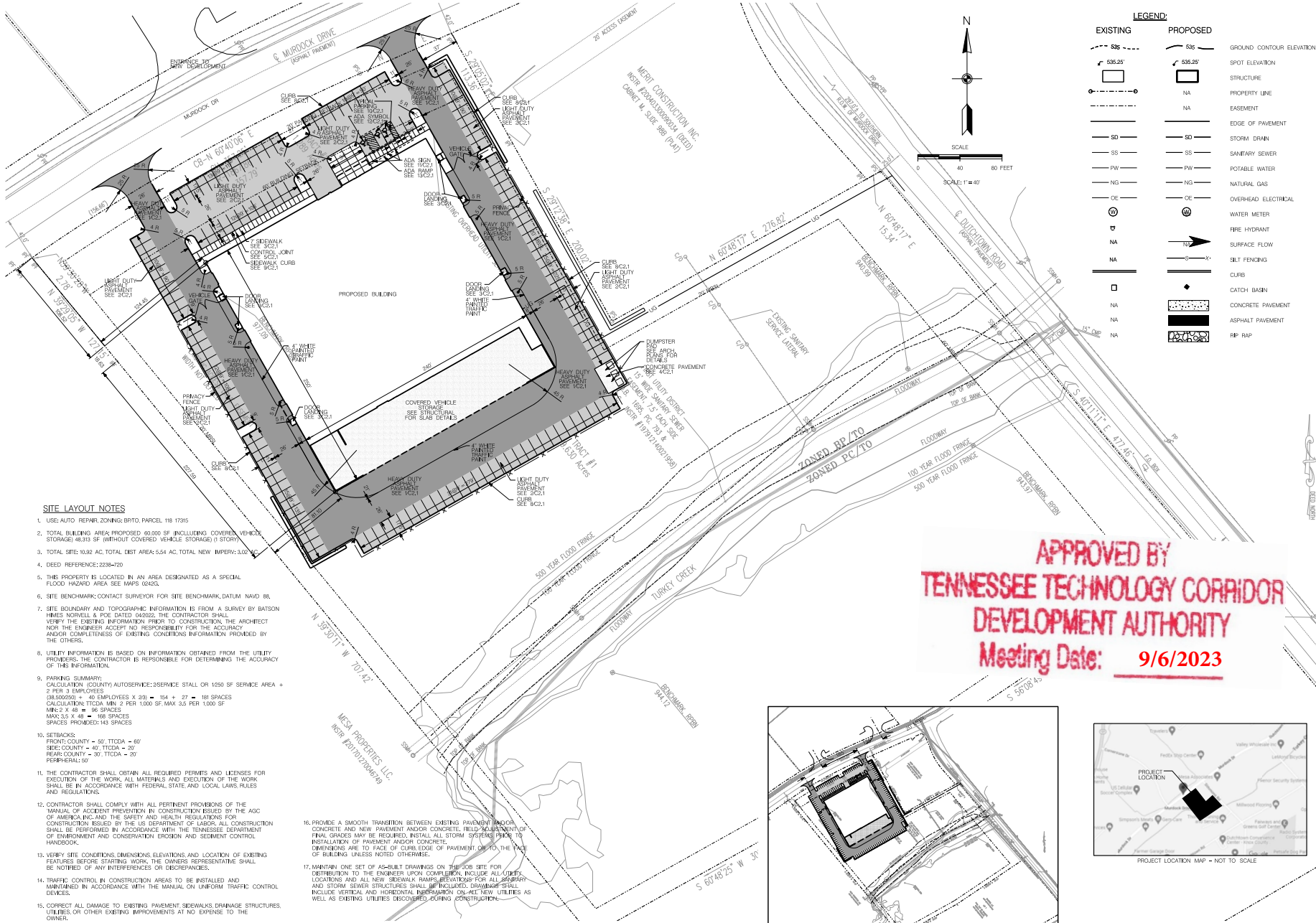
**Waivers and Variances
Requested:**

N/A

Staff Recommendation:

APPLICATION APPROVED September 6, 2023 pursuant to Article VIII, Section 7 of the Administrative Rules and Procedures of the Tennessee Technology Corridor Development Authority (Staff Review and Approval of Minor Changes to Previously Approved Applications), for a Certificate of Appropriateness subject to the following conditions:

1) Meeting all relevant requirements of the Knoxville Zoning Ordinance, as appropriate.



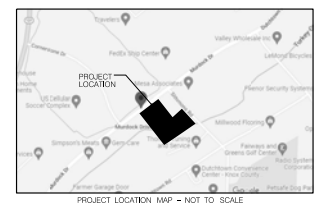
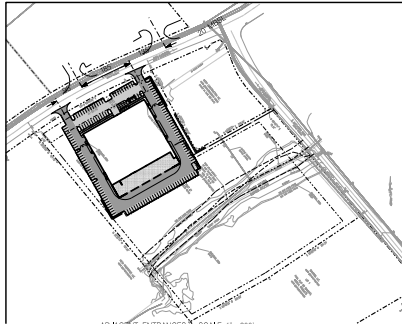
LEGEND:

EXISTING	PROPOSED	
536	536.25'	GROUND CONTOUR ELEVATION
[Symbol]	[Symbol]	SPOT ELEVATION
[Symbol]	[Symbol]	STRUCTURE
[Symbol]	NA	PROPERTY LINE
[Symbol]	NA	EASEMENT
[Symbol]	[Symbol]	EDGE OF PAVEMENT
[Symbol]	[Symbol]	STORM DRAIN
[Symbol]	[Symbol]	SANITARY SEWER
[Symbol]	[Symbol]	POTABLE WATER
[Symbol]	[Symbol]	NATURAL GAS
[Symbol]	[Symbol]	OVERHEAD ELECTRICAL
[Symbol]	[Symbol]	WATER METER
[Symbol]	[Symbol]	FIRE HYDRANT
[Symbol]	[Symbol]	SURFACE FLOW
[Symbol]	[Symbol]	SILT FENCING
[Symbol]	[Symbol]	CURBS
[Symbol]	[Symbol]	CATCH BASIN
[Symbol]	[Symbol]	CONCRETE PAVEMENT
[Symbol]	[Symbol]	ASPHALT PAVEMENT
[Symbol]	[Symbol]	RP: RAP

SITE LAYOUT NOTES

1. USE: AUTO REPAIR ZONING: BPTD, PARCEL 118 1735
2. TOTAL BUILDING AREA PROPOSED: 60,000 SF (INCLUDING COVERED VEHICLE STORAGE) 48,313 SF (WITHOUT COVERED VEHICLE STORAGE) (1 STORY)
3. TOTAL SITE: 10.82 AC, TOTAL DIST AREA: 5.54 AC, TOTAL NEW IMPRV: 3,000 SF
4. DEED REFERENCE: 2238-720
5. THIS PROPERTY IS LOCATED IN AN AREA DESIGNATED AS A SPECIAL FLOOD HAZARD AREA SEE MAPS 0242C.
6. SITE BENCHMARK: CONTACT SURVEYOR FOR SITE BENCHMARK, DATUM NAVD 88.
7. SITE BOUNDARY AND TOPOGRAPHIC INFORMATION IS FROM A SURVEY BY BATSON HINES NORRILL & POE DATED 04/20/22. THE CONTRACTOR SHALL VERIFY THE EXISTING INFORMATION PRIOR TO CONSTRUCTION. THE ARCHITECT NORRILL & POE ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY AND/OR COMPLETENESS OF EXISTING CONDITIONS INFORMATION PROVIDED BY THE OTHERS.
8. UTILITY INFORMATION IS BASED ON INFORMATION OBTAINED FROM THE UTILITY PROVIDERS. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACCURACY OF THIS INFORMATION.
9. PARKING SUMMARY:
 CALCULATION (COUNTY) AUTOSERVICE/2 SERVICE STALL OR 1050 SF SERVICE AREA + 2 PER 3 EMPLOYEES
 (08300000) = 40 EMPLOYEES X 200 = 154 + 27 = 181 SPACES
 CALCULATION TCDA: MIN 2 PER 1000 SF, MAX 5.6 PER 1000 SF
 MIN: 2 X 48 = 96 SPACES
 MAX: 5.6 X 48 = 188 SPACES
 SPACES PROVIDED: 143 SPACES
10. SETBACKS:
 FRONT: COUNTY - 50', TCDA - 60'
 SIDE: COUNTY - 40', TCDA - 20'
 REAR: COUNTY - 30', TCDA - 20'
 PERFFRAC: 50'
11. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND LICENSES FOR EXECUTION OF THE WORK. ALL MATERIALS AND EXECUTION OF THE WORK SHALL BE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS.
12. CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION ISSUED BY THE AGC OF AMERICA, INC. AND THE SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION ISSUED BY THE US DEPARTMENT OF LABOR. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION EROSION AND SEDIMENT CONTROL HANDBOOK.
13. VERIFY SITE CONDITIONS, DIMENSIONS, ELEVATIONS, AND LOCATION OF EXISTING FEATURES BEFORE STARTING WORK. THE OWNERS REPRESENTATIVE SHALL BE NOTIFIED OF ANY INTERFERENCES OR DISCREPANCIES.
14. TRAFFIC CONTROL IN CONSTRUCTION AREAS TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
15. CORRECT ALL DAMAGE TO EXISTING PAVEMENT, SIDEWALKS, DRAINAGE STRUCTURES, UTILITIES OR OTHER EXISTING IMPROVEMENTS AT NO EXPENSE TO THE OWNER.
16. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT (OR CONCRETE AND NEW PAVEMENT AND/OR CONCRETE. FIELD ADJUSTMENT OF FINAL GRADES MAY BE REQUIRED. INSTALL ALL STORM SYSTEMS PRIOR TO INSTALLATION OF PAVEMENT AND/OR CONCRETE. DIMENSIONS ARE TO FACE OF CURB EDGE OF PAVEMENT OR TO THE FACE OF BUILDING UNLESS NOTED OTHERWISE.
17. MAINTAIN ONE SET OF AS-BUILT DRAWINGS ON THE JOB SITE FOR DISTRIBUTION TO THE ENGINEER UPON COMPLETION. INCLUDE ALL UTILITY LOCATIONS AND ALL NEW SIDEWALK RAMPS/BENTUPS FOR ALL STORM AND STORM SEWER STRUCTURES SHALL BE INCLUDED. DRAWINGS SHALL INCLUDE VERTICAL AND HORIZONTAL INFORMATION ON ALL NEW UTILITIES AS WELL AS EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION.

APPROVED BY
TENNESSEE TECHNOLOGY CORRIDOR
DEVELOPMENT AUTHORITY
 Meeting Date: 9/6/2023



GEORGE ARMOUR EWART ARCHITECT
 404 Bearden Park Circle
 Knoxville, TN 37919
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 Fax 865.602.7742
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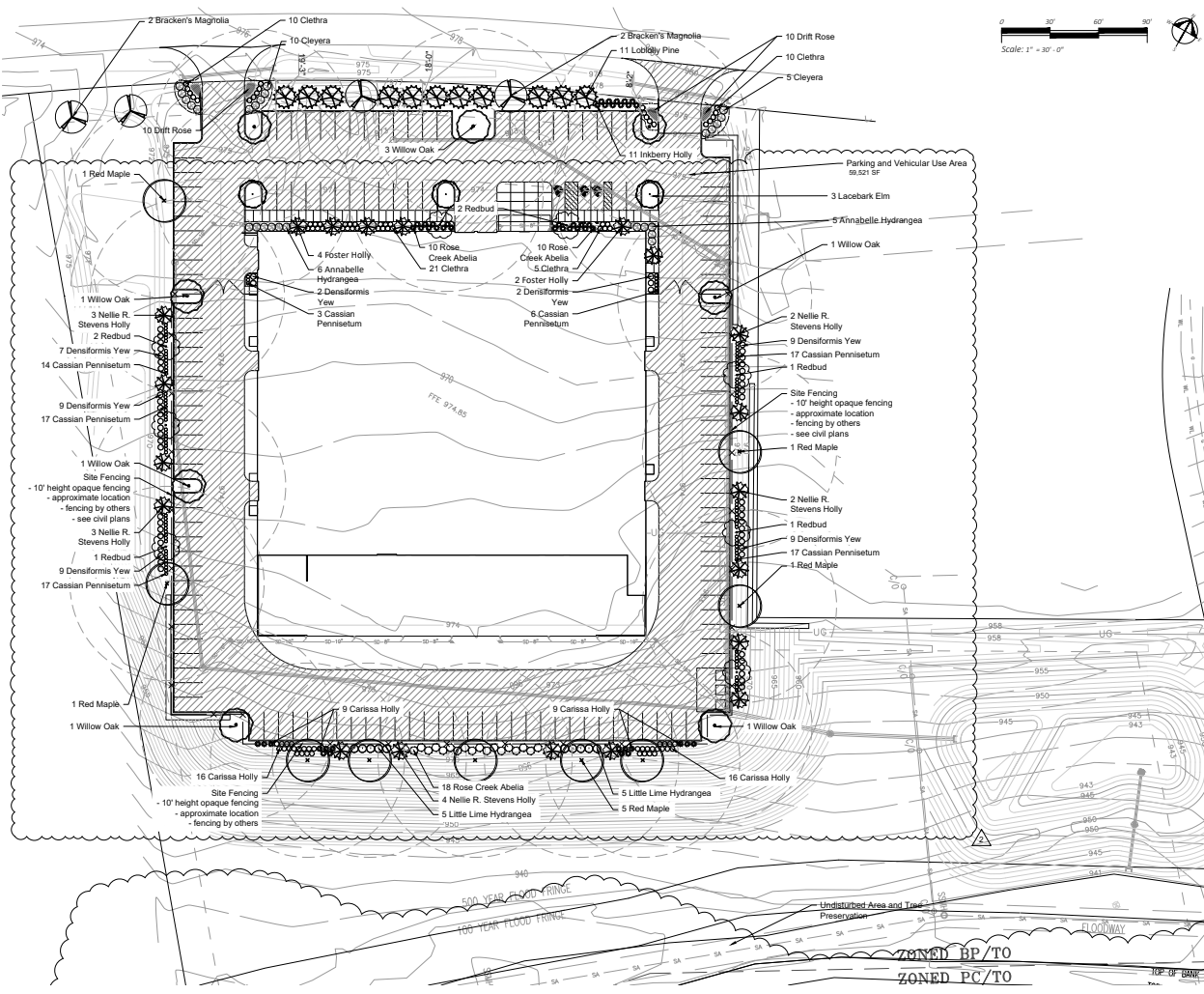
A NEW BUILDING FOR
HARPER COLLISION
 MURDOCK DRIVE
 KNOX COUNTY, TN
 TTCD FILES #9-B-23-TOA & #5-C-22-TOB
 PLANNING COMM. 5-E-22-UR



Site Layout Plan

DATE: 12 SEPT 2022
 PROJECT NO.: 22056
 PROJECT MGR.: STUART
 REV: 31 JUL 2023

C1.2



TTCCA - LANDSCAPE REQUIREMENT NOTES:

3.1.4 In order to provide year-round greenery, at least 25% of newly planted or conserved trees should be evergreen.
 - 63 trees proposed
 - 35 evergreen = 56%

3.1.5 When planting trees on a development site, a roughly equal combination of large, medium and small trees (see Appendix B) should be planted, with at least 10 large maturing trees per acre of yard space.
 - 3.1 acres * 10 = 31 trees (note: calculation does not include undisturbed portion of site)
 - 32 large trees proposed
 - 22 medium trees proposed
 - 8 small trees proposed

3.1.8 The required front yard for a 1, 2- or 3-story building with no parking in front shall be landscaped. A minimum 20-foot landscaped yard shall be placed between the right-of-way and a parking area in front of a building.
 - landscape yard provided

3.2.1 The arrival areas should be landscaped to make an introductory statement about each site.
 - landscape provided at driveway entrance and front of building

3.2.2 Landscaping should be used to accentuate entryways to the site and the building(s) and to provide areas of shade
 - all entry areas landscaped, shade provided where adequate room for tree growth is available

3.3.2 Entrances into buildings should be accented by plantings.
 - all entry areas landscaped

3.3.3 Areas around buildings equal to 50% of the area of each front and side elevation shall be planted with ornamental trees, shrubbery and bedding plants (see Appendix B).
 - Front Elevation = 5,000 Side Elevation = 5,625 Side Elevation = 5,625
 - Total Front and Side Elevations = 16,250
 - Required Square Footage of Landscaping = 8,125
 - Total Proposed Landscape Beds = 8,516 square feet

3.3.4 Minimize shading of south-facing facades in winter; maximize shading of south-facing facades in summer.
 - trees proposed near south facade

3.3.5 Landscaping should buffer the building from the microclimate of the parking area.
 - trees proposed around parking and drive aisles

3.3.6 Landscaping should be used to screen mechanical equipment or other unsightly exterior building elements.
 - landscape proposed

3.4.1 Parking areas should be screened from public rights-of-way by landscaped berms, low level shrubbery or a combination of the two.
 - landscape proposed

3.4.2 If surface parking is necessary, existing trees both upslope and downslope should be conserved for environmental and aesthetic purposes. In cases where existing vegetation cannot be saved, or does not exist, medium and large maturing canopy trees should be planted between parking areas.
 - trees proposed near all parking areas

3.4.3 Trees shall be required at the rate of one (1) medium or large maturing canopy tree for every ten parking spaces provided.
 - 145 parking space proposed, 15 trees required, 32 large trees proposed

3.4.4 In addition to the planting of required canopy trees, planting areas for ornamental trees, shrubbery and bedding plants shall be no less than five (5) percent of the surface area devoted to parking.
 - Total Parking Lot and Vehicular Use Area = 29,521 square feet
 - Total Landscape Bed Area = 8,516 square feet
 - 14%

3.4.5 Medium and large maturing canopy and ornamental trees may be chosen from the recommended species list in Appendix B.

3.3.6 Mature trees that are preserved within eight feet of the parking area may be used to satisfy up to 50% of the required number of canopies, as described in (a) above. In all other respects, however, the number of trees and other plantings required for parking areas shall be in addition to those required under Section 3.1.
 - N/A, no trees preserved

3.3.7 Required canopy trees shall be located within the parking areas as terminal islands, interior islands, interior wells, medians, traffic delineators, between rows of parking spaces, or in planting areas adjacent to buildings in a manner such that no parking space is located more than sixty (60) feet from the trunk of a large canopy tree.
 - trees proposed within 60' of all parking spaces

3.3.8 Interior islands at the rate of one for every 200 feet of parking shall be installed to break up long rows of parking stalls.

APPROVED BY
TENNESSEE TECHNOLOGY CORRIDOR
DEVELOPMENT AUTHORITY
 Meeting Date: 9/6/2023

PLANTING NOTES:

- 1.
- 2.
- 3. I
- 4.
- 5.
- 6.
- 7. T P
- 8. A A A N
- 9. P
- 10. N
- 11. P
- 12. T P
- 13. T
- 14. G A
- 15. I
- 16. S
- 17. P
- 18. T
- 19. A
- 20. A
- 21. A A
- 22.
- 23. I

PLANTING LEGEND:

Qty	Botanical Name	Common Name	Size	Notes	Size
Deciduous Trees					
9	Acer rubrum	Red Maple	2" cal.	central leader, full and dense	L
8	Cercis canadensis	Redbud	2" cal.	central leader, full and dense	S
8	Quercus phellos	Willow Oak	2" cal.	central leader, full and dense	L
3	Ulmus parvifolia	Lacebark Elm	2" cal.	central leader, full and dense	M
Evergreen Trees					
6	Ilex x attenuata	Foster Holly	6' hgt.	central leader, full and dense	M
14	Ilex x 'Nellie R. Stevens'	Nellie R. Stevens' Holly	6' hgt.	central leader, full and dense	M
4	Magnolia grandiflora	Brackens Brown Beauty/Brackens' Brown Magnolia	6' hgt.	central leader, full and well branched	L
11	Pinus taeda	Loblolly	6' hgt.	central leader, full and well branched	L
Deciduous Shrubs					
46	Clethra alnifolia	Sweet Pepperbush	3 gallon	full and dense	M
11	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	3 gallon	full and dense	M
10	Hydrangea paniculata 'Jame'	Little Lime Hydrangea	3 gallon	full and dense	M
Evergreen Shrubs					
38	Abelia	Rose Creek Abelia	3 gallon	full and dense	M
15	Cleyera japonica	Cleyera	3 gallon	full and dense	M
32	Ilex cornuta	Carissa Holly	3 gallon	full and dense	M
16	Ilex glabra	Inkberry Holly	3 gallon	full and dense	M
20	Rosa hybrida	Pink Drift Rose	3 gallon	full and dense	M
54	Taxus x media 'Densiformis'	Densiformis Yew	3 gallon	full and dense	M
102	Pennisetum alopecuroides	Cassian Pennisetum	3 gallon	full and dense	M

* Note: all parking lot islands and areas around parking lot to be turf

Notes:

- This landscape plan is designed to meet minimum TTCCA landscape requirements only.
- All HVAC units shall be screened with vegetation as per TTCCA landscaping ordinance. Location and screening material TBD.



AREA HEADQUARTERS PLANNING
 Knoxville, TN 37919
 865.441.4628
 865.441.4628
 Fax: 865.441.7743
 www.georgearmour.com



PRIME Construction
 306 Westfield Drive
 Knoxville, TN 37919
 (865) 679-2126

Besley Frial Logo Backdrop
 Patrick Besley
 865.441.4628
 patrick@besleyfrial.com

A NEW BUILDING FOR
HARPER COLLISION
 10545 MURDOCK DRIVE
 KNOX COUNTY, TN
 TTCCA FILES #9-B-23-TOA & #5-C-22-TOB
 PLANNING COMM. 5-E-22-UR



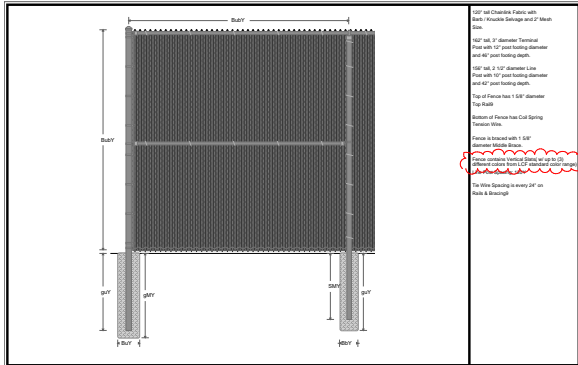
28 MAR 2022
 TTCCA (5-C-22-TOB)
 PC (5-E-22-UR)

REV #1: 11 JULY 2022
 Updated Site Plan, revised tree locations and shrub count
 REV #2: 20 JULY 2022
 Relocated plantings from east, south, and west facades to perimeter of parking lot

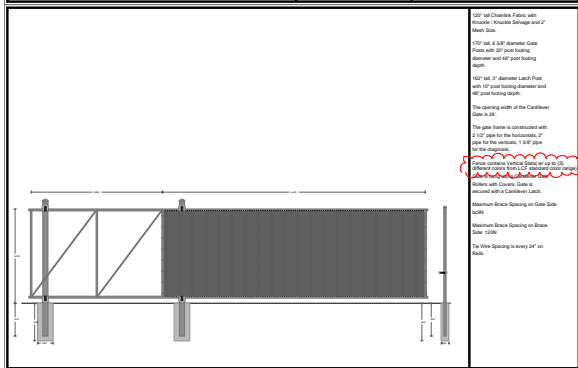
DATE: 26 MAR 2020
 PROJECT NO.: 2204
 PROJECT MGR.: STUART

L100

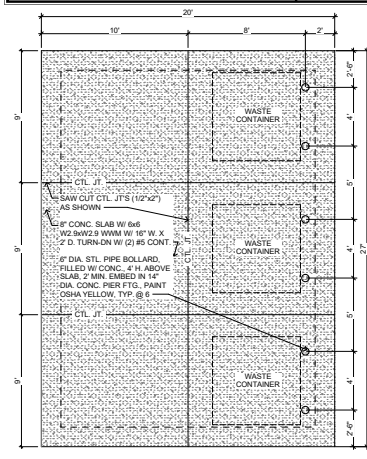
Landscape Plan



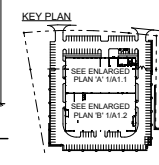
Loudon County Fence, LLC.
 LOUDON COUNTY FENCE, LLC
 5402 Hwy 321N
 LENOIR CITY, TN 37548
 286-22-58
 Drawn: LTL 11/2/2022
 File:



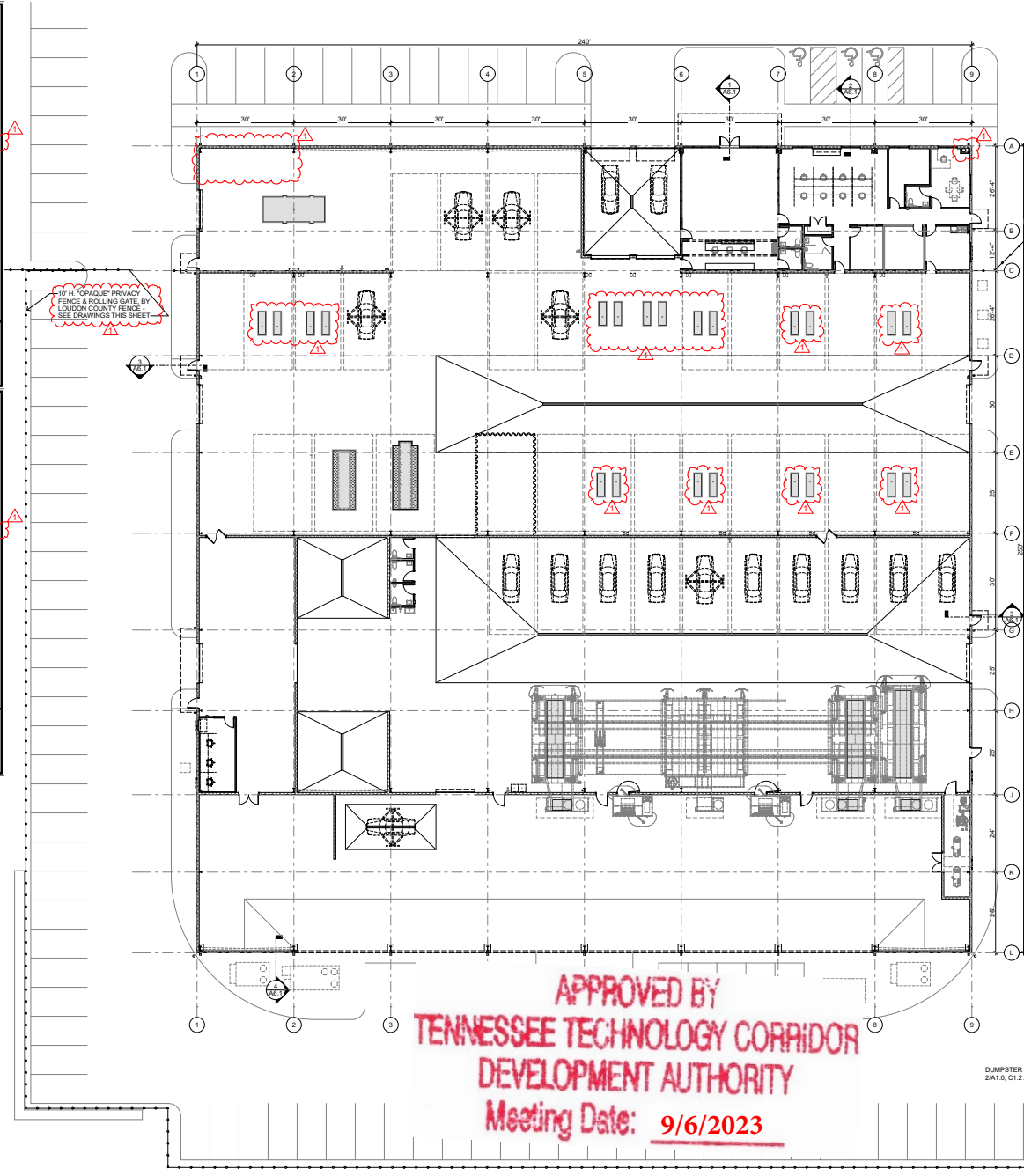
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 File:



2 DUMPSTER PAD PLAN
 SCALE: 1/4" = 1'-0"



1 OVERALL FLOOR PLAN
 SCALE: 1/8" = 1'-0"



APPROVED BY
TENNESSEE TECHNOLOGY CORRIDOR
DEVELOPMENT AUTHORITY
 Meeting Date: 9/6/2023

10' H. "OPALQUE" PRIVACY FENCE & SWINGING GATE BY LOUDON COUNTY FENCE - SEE DRAWINGS THIS SHEET
 REFER TO "EVERLOC" RETAINING WALL DRAWINGS AND CALC'S BY ETS, DATED 10-4-2022, TYP.

DUMPSTER PAD - SEE 2/A1.0, C1.2 AND C2.1

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 TTDCA FILES #49-23-TOA & #5-C-22-TOB
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OVERALL FLOOR PLAN & SITE DETAILS

DATE: 03 NOV 2022
 PROJECT NO.: 22056
 PROJECT MGR.: STUART
 REV.#5: 18 AUG 2023

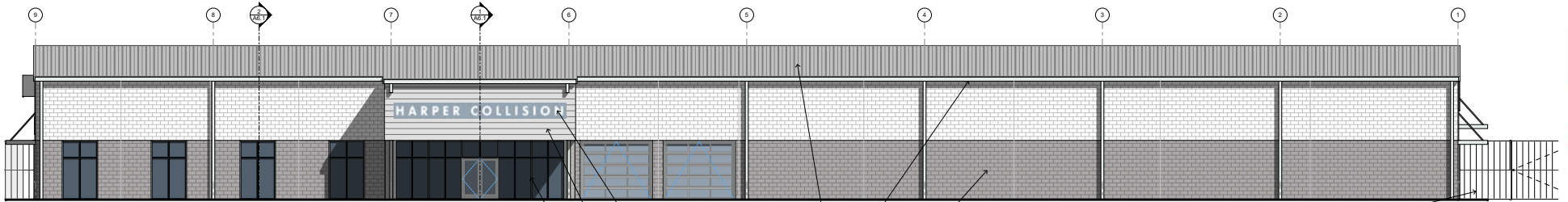
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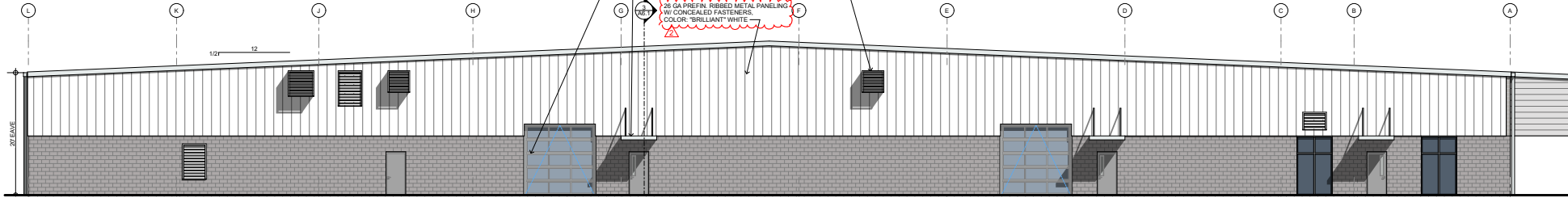
1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

SIGNAGE TO BE APPROVED BY SEPARATE REVIEW -
FOR ILLUSTRATION PURPOSES ONLY
24 GA STANDING SEAM "CALVALUME" METAL ROOF,
BY PEMB MFR. COLOR: SILVER
PREFIN. MTL. GUTTER AND DOWNSPOUT SYSTEM, BY
PEMB MFR. COLOR: WHITE
PAC-CLAD 12" FLUSH ALUM. PANELING,
COLOR: SILVER
ALUM. STOREFRONT SYSTEM, COLOR: CLR. ANOD.
FRAME W/ TINTED GLAZING

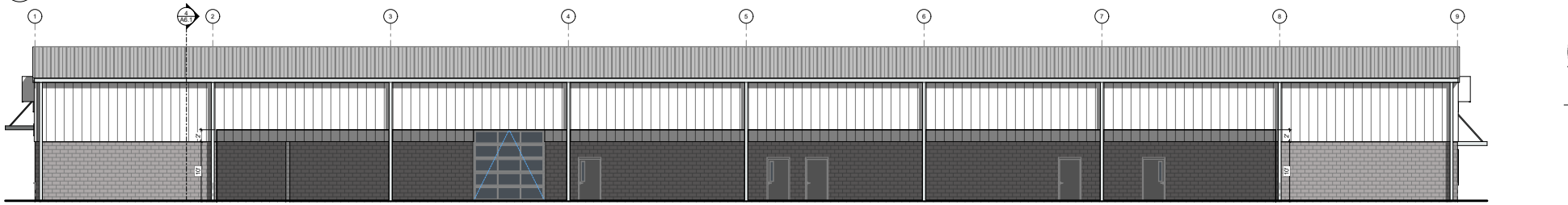
PTD. SPLIT-FACE CMU, COLORS: WHITE AND GRAY
12' H. "OPAQUE" PRIVACY/SECURITY FENCE & GATE

EXHAUST FLOWER VENTS, COLOR: BRILLIANT WHITE
STEEL OVERHEAD DOORS, COLOR: CLR. ANOD.

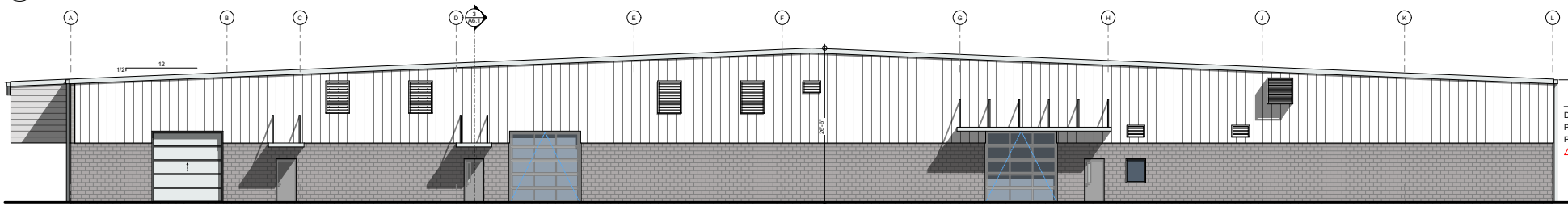
PRE-ENG. PREFAB. ALUM. CANOPY SYSTEM,
COLOR: CLR. ANOD.
26 GA PREFIN. RIBBED METAL PANELING
W/ CONCEALED FASTENERS,
COLOR: "BRILLIANT" WHITE



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



4 WEST ELEVATION
SCALE: 1/8" = 1'-0"

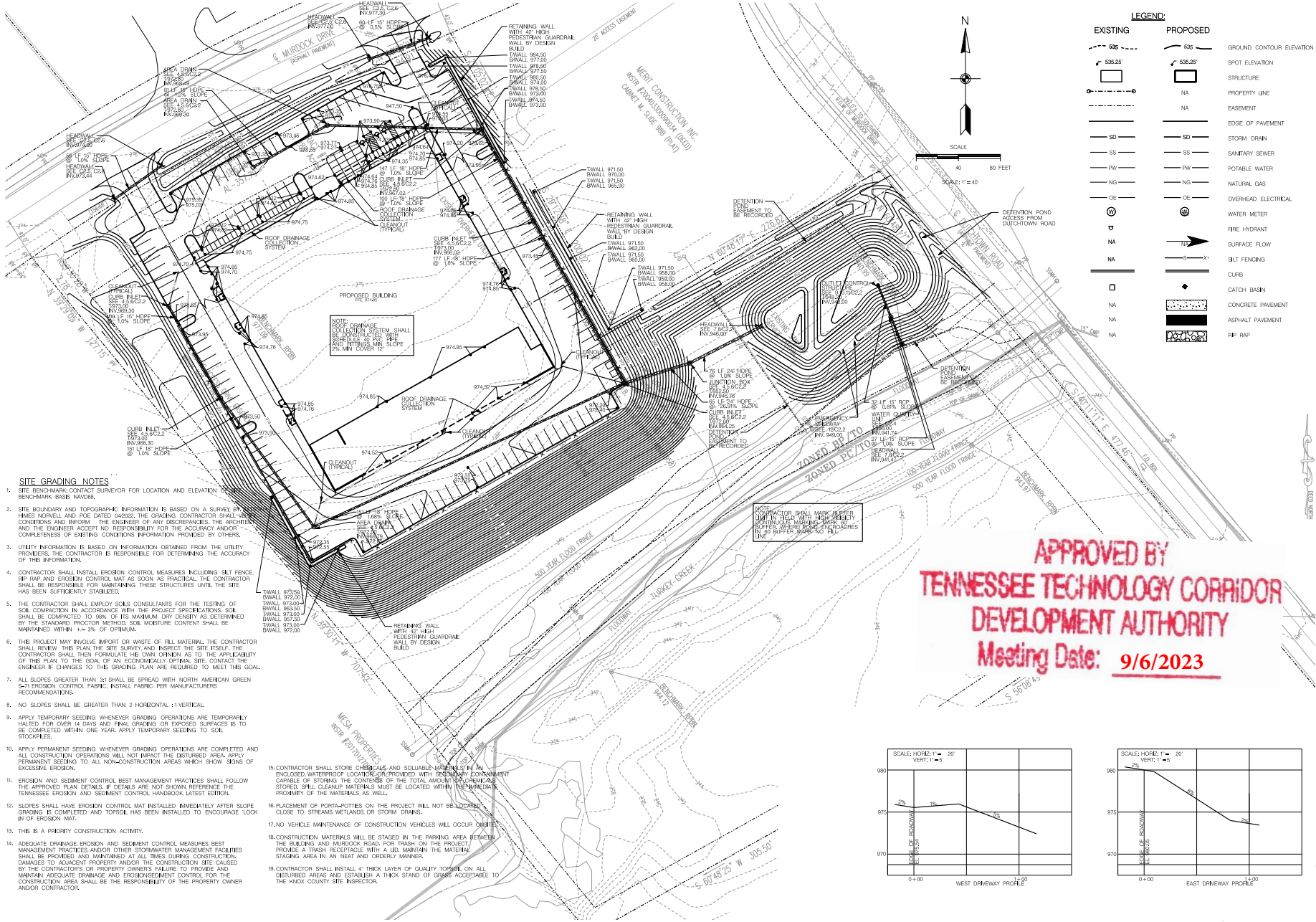
A NEW BUILDING FOR
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KNOXVILLE, TN 37919
TTODA FILES #44-23-TOA & #5-C-22-TOB
PLANNING COMM. 5-E-22-UR



EXTERIOR ELEVATIONS

DATE: 03 NOV 2022
PROJECT NO.: 22056
PROJECT MGR.: STUART
REV. #5: 18 AUG 2023

A4.1



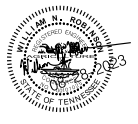
- SITE GRADING NOTES**
1. SITE BENCHMARK CONTACT SURVEYOR FOR LOCATION AND ELEVATION OF BENCHMARK BONE MARBLE.
 2. SITE BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED ON A SURVEY BY JAMES NORWELL AND POE DATED 04/02/20. THE GRADING CONTRACTOR SHALL VERIFY CONDITIONS AND INFORM THE ENGINEER OF ANY DISCREPANCIES. THE ARCHITECT AND THE ENGINEER ACCEPT NO RESPONSIBILITY FOR THE ACCURACY AND/OR COMPLETENESS OF EXISTING CONDITIONS INFORMATION PROVIDED BY OTHERS.
 3. UTILITY INFORMATION IS BASED ON INFORMATION OBTAINED FROM THE UTILITY PROVIDERS. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACCURACY OF THIS INFORMATION.
 4. CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES INCLUDING SILT FENCE, RP RAP AND EROSION CONTROL MAT AS SOON AS PRACTICAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THESE STRUCTURES UNTIL THE SITE HAS BEEN SUCCESFULLY STABILIZED.
 5. THE CONTRACTOR SHALL EMPLOY SOILS CONSULTANTS FOR THE TESTING OF SOIL COMPACTION IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. SOIL SHALL BE COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR METHOD. SOIL MOISTURE CONTENT SHALL BE MAINTAINED WITHIN +/- 3% OF OPTIMUM.
 6. THIS PROJECT MAY INVOLVE IMPORT OR WASTE OF FILL MATERIAL. THE CONTRACTOR SHALL REVIEW THIS PLAN, THE SITE SURVEY AND RESPECT THE SITE PROFILE. THE CONTRACTOR SHALL THEN FORMULATE HIS OWN OPINION AS TO THE APPLICABILITY OF THIS PLAN TO THE GOAL OF AN ECONOMICALLY OPTIMAL SITE. CONTACT THE ENGINEER IF CHANGES TO THIS GRADING PLAN ARE REQUIRED TO MEET THIS GOAL.
 7. ALL SLOPES GREATER THAN 3:1 SHALL BE SPREAD WITH NORTH AMERICAN GREEN S-W EROSION CONTROL FABRIC, INSTALL FABRIC PER MANUFACTURERS RECOMMENDATIONS.
 8. NO SLOPES SHALL BE GREATER THAN 2 HORIZONTAL : 1 VERTICAL.
 9. APPLY TEMPORARY SEEDING WHENEVER GRADING OPERATIONS ARE TEMPORARILY HALTED FOR OVER 14 DAYS AND FINAL GRADING OR EXPOSED SURFACES IS TO BE COMPLETED WITHIN ONE YEAR. APPLY TEMPORARY SEEDING TO SOIL STOCKPILES.
 10. APPLY PERMANENT SEEDING WHENEVER GRADING OPERATIONS ARE COMPLETED AND ALL CONSTRUCTION OPERATIONS WILL NOT IMPACT THE DISTURBED AREA. APPLY PERMANENT SEEDING TO ALL NON-CONSTRUCTION AREAS WHICH SHOW SIGNS OF EXCESSIVE EROSION.
 11. EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL FOLLOW THE APPROVED PLAN DETAILS. IF DETAILS ARE NOT SHOWN, REFERENCE THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
 12. SLOPES SHALL HAVE EROSION CONTROL MAT INSTALLED IMMEDIATELY AFTER SLOPE GRADING IS COMPLETED AND TOPSOIL HAS BEEN INSTALLED TO ENCOURAGE LOCK UP OF EROSION MAT.
 13. THERE IS A PRIORITY CONSTRUCTION ACTIVITY.
 14. ADEQUATE DRAINAGE EROSION AND SEDIMENT CONTROL MEASURES BEST MANAGEMENT PRACTICES AND/OR OTHER STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR OR PROPERTY OWNERS FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION CONTROL. FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.
 15. CONTRACTOR SHALL STORE CHEMICALS AND SOLUBLE MATERIALS IN AN ENCLOSED WATERPROOF LOCATION PROVIDED WITH SECONDARY CONTAINMENT CAPABLE OF STORING THE CONTENTS OF THE TOTAL AMOUNT OF CHEMICALS STORED. SOIL CLEANUP MATERIALS MUST BE LOCATED WITHIN THE IMMEDIATE PROXIMITY OF THE MATERIALS AS WELL.
 16. PLACEMENT OF PORTA-POTTIES ON THE PROJECT WILL NOT BE LOCATED CLOSE TO STREAMS, WETLANDS, OR STORM DRAINS.
 17. NO VEHICLE MAINTENANCE OF CONSTRUCTION VEHICLES WILL OCCUR ON-SITE.
 18. CONSTRUCTION MATERIALS WILL BE STAGED IN THE PARKING AREA BETWEEN THE BUILDING AND MURDOCK ROAD FOR TRASH ON THE PROJECT. PROVIDE A TRASH RECEPTACLE WITH A LID, MAINTAIN THE MATERIAL STAGING AREA IN AN NEAT AND ORDERLY MANNER.
 19. CONTRACTOR SHALL INSTALL A THICK LAYER OF QUALITY TOPSOIL ON ALL RESTORED AREAS AND ESTABLISH A THICK STAND OF GRASS ACCEPTABLE TO THE KNOX COUNTY SITE INSPECTOR.

LEGEND:

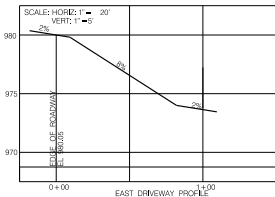
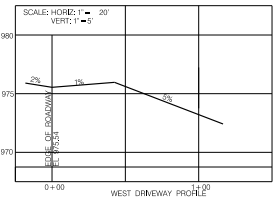
EXISTING	PROPOSED	
536	536	GROUND CONTOUR ELEVATION
536.25'	536.25'	SPOT ELEVATION
[Symbol]	[Symbol]	STRUCTURE
[Symbol]	NA	PROPERTY LINE
[Symbol]	NA	EASEMENT
[Symbol]	[Symbol]	EDGE OF PAVEMENT
SD	SD	STORM DRAIN
SS	SS	SANITARY SEWER
PW	PW	POTABLE WATER
NG	NG	NATURAL GAS
OE	OE	OVERHEAD ELECTRICAL
[Symbol]	[Symbol]	WATER METER
[Symbol]	[Symbol]	FIRE HYDRANT
NA	[Symbol]	SURFACE FLOW
NA	[Symbol]	SILT FENCING
[Symbol]	[Symbol]	CURB
NA	[Symbol]	CATCH BASIN
NA	[Symbol]	CONCRETE PAVEMENT
NA	[Symbol]	ASPHALT PAVEMENT
NA	[Symbol]	RP: RAP

GEORGE ARMOUR EWART ARCHITECT
 404 Bearden Park Circle
 Knoxville, TN 37919
 865.602.7771
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 www.georgeewart.com

A NEW BUILDING FOR
HARPER COLLISION
 MURDOCK DRIVE
 KNOX COUNTY, TN
 TTGDA FILES #9-B-23-TOA & #5-C-22-TOB
 PLANNING COMM. 5-E-22-UR



APPROVED BY
TENNESSEE TECHNOLOGY CORRIDOR DEVELOPMENT AUTHORITY
 Meeting Date: 9/6/2023



Site Grading Plan

DATE: 12 SEPT 2022
 PROJECT NO.: 22056
 PROJECT MGR.: STUART
 REV: 31 JUL 2023

C1.6

ELECTRICAL NOTES

- SCOPE: FURNISH PLANT, LABOR, MATERIAL, SERVICES, AND EQUIPMENT NECESSARY FOR AND REASONABLY INCIDENTAL TO THE INSTALLATION OF ELECTRICAL FACILITIES SHOWN ON THE DRAWINGS AND CALLED FOR HEREINAFTER.
- CODES AND PERMITS: SECURE NECESSARY PERMITS, PAY NECESSARY FEES, CONFORM TO THE NATIONAL ELECTRICAL CODE AND ALL STATE/LOCAL CODES.
- SERVICE: SERVICE SHALL BE TAKEN FROM UTILITY COMPANY'S PAD MOUNTED TRANSFORMER AT 277480 VOLTS, 3-PHASE, 4-WIRE AS NOTED ON DRAWINGS. COORDINATE WITH LCOB AND PAY ALL AID TO CONSTRUCTION COSTS REQUIRED FOR NEW ELECTRICAL SERVICE.
- CONDUITS AND WIRING: ALL AC VOLTAGE WIRING SHALL BE INSTALLED IN CONDUIT. ALL CONDUITS RUN ABOVE GRADE INSIDE THE BUILDING SHALL BE ELECTRIC-METALLIC TUBING (EMT). EXPOSED CONDUITS ON THE EXTERIOR OF THE BUILDING OR BRANCH CIRCUITS RUN BELOW BUILDING SLAB SHALL BE SCHEDULE 40 PVC. PRIMARY AND SECONDARY CONDUITS RUN UNDERGROUND SHALL BE SCHEDULE 80 PVC. ALL EXPOSED CONDUITS SHALL BE RUN ABOVE LAY-IN CEILINGS WHERE POSSIBLE. WHERE EXPOSED, CONDUITS MUST BE RAN, CONDUITS RUNS SHALL BE GROUPED TOGETHER WHERE POSSIBLE EXPOSED CONDUITS WIRING SHALL BE RAN PARALLEL OR PERPENDICULAR TO BUILDING STRUCTURE NO DIAGONAL EXPOSED RUNS WILL BE PERMITTED. PROVIDE COLOR CODING OF CONDUITS IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE. ALL NEW UNDERGROUND PRIMARY, SECONDARY, FEEDER AND BRANCH WIRING INSTALLED UNDERGROUND SHALL BE LOCATED MINIMUM OF 24" BELOW FINISHED GRADE.
 - MINIMUM SIZE CONDUIT SHALL BE 1/2".
 - UNLESS NOTED OTHERWISE, ALL CONDUCTORS SHALL BE STRANDED COPPER. MINIMUM CONDUCTOR SIZE SHALL BE NO. 12 FOR ALL AC VOLTAGE CIRCUITS.
 - INSULATION SHALL BE "THHN/THWN". EACH PHASE CONDUCTOR SHALL HAVE A DEDICATED NEUTRAL CONDUCTOR. NEUTRALS SHALL NOT BE SHARED BETWEEN PHASES. INSULATION OF NEUTRAL CONDUCTOR SHALL HAVE A STRIPE OF SAME COLOR AS CORRESPONDING PHASE CONDUCTOR.
 - SEAL ALL PENETRATIONS THROUGH RATED WALLS WITH A "UL" LISTED FIRESTOPPING SYSTEM.
 - ALL FEEDER CONDUITS SHALL BE PROVIDED WITH GROUNDING BUSHINGS AT ALL POINTS WHERE CONDUITS CONNECT TO PANELBOARD ENCLOSURES, PULL BOXES, OR JUNCTION BOXES.
 - METALLIC CONDUITS MUST BE UTILIZED FOR BRANCH CIRCUITS. EMT WITH COMPRESSION FITTINGS SHALL BE UTILIZED FOR ALL BRANCH CIRCUIT WIRING RAN IN WALLS OR OVERHEAD. SCHEDULE 40 PVC SHALL BE UTILIZED WHERE RAN IN OR BELOW FINISHED FLOOR. SCHEDULE 80 PVC SHALL BE USED FOR NEW ELECTRICAL SECONDARY.
- LIGHTING FIXTURES: UNLESS NOTED OTHERWISE LIGHTING FIXTURES SHALL BE LIMITED TO THOSE SPECIFIED WHERE EQUAL PRODUCTS TO THOSE LIGHTED ARE ALLOWED. ALTERNATE MANUFACTURERS MAY BE REQUIRED TO SUBMIT SAMPLES OF PROPOSED SUBSTITUTES FOR OWNER, ARCHITECT AND ENGINEER REVIEW. THE OWNER, ARCHITECT, AND ENGINEER SHALL PROVIDE JUDGMENT CONCERNING EQUIVALENCY OF PROPOSED SUBSTITUTES. CONTRACTOR SHALL NOT ORDER ANY LIGHT FIXTURES OR EXIT SIGNS UNTIL FINAL APPROVAL HAS BEEN GIVEN IN WRITING FROM OWNER, ARCHITECT, ENGINEER.
- WIRING DEVICES: ALL WIRING DEVICES SHALL BE SPECIFICATION GRADE, 20-AMPS, MINIMUM COVERPLATES SHALL BE STAINLESS STEEL. COLOR OF WIRING DEVICES SHALL BE SELECTED BY THE ARCHITECT.
- SAFETY SWITCHES: FURNISH AND INSTALL HEAVY-DUTY FUSIBLE TYPE SAFETY SWITCHES WHERE INDICATED ON DRAWINGS. SAFETY SWITCHES SHALL BE HEAVY-DUTY, HORSEPOWER RATED, QUICK-MAKE, QUICK-BREAK WITH ARC SHIELDS WITH ENCLOSED CONSTRUCTION. UNLESS NOTED OTHERWISE INSIDE THE BUILDING, SAFETY SWITCHES SHALL HAVE NEMA 3 ENCLOSURES. OUTSIDE THE BUILDING, SAFETY SWITCHES SHALL HAVE NEMA 3R ENCLOSURES. WHERE SAFETY SWITCHES ARE REQUIRED TO BE INSTALLED AWAY FROM WALLS, A SUITABLE SUPPORT WILL BE PROVIDED TO ALLOW THE SWITCH TO BE IN A POSITION OF APPROXIMATELY 4'-0" ABOVE FLOOR. WHERE NECESSARY, PROVIDE A STEEL FRAME ATTACHED TO FLOOR/GROUND. SWITCHES MAY BE MOUNTED ON EQUIPMENT WHERE SPECIFIC APPROVAL IS PROVIDED BY EQUIPMENT SUPPLIER. COORDINATE EXACT ROUGH-IN LOCATIONS OF SAFETY SWITCHES WITH HVAC/PLUMBING SUBCONTRACTOR PRIOR TO INSTALLATION. PROVIDE ENLARGED NAMEPLATES ON EACH SAFETY SWITCH INDICATING EQUIPMENT IDENTIFICATION AND SUPPLYING PANELBOARD INFORMATION.
- PANELBOARDS: FURNISH AND INSTALL NEW PANELBOARDS WHERE INDICATED ON DRAWINGS. NEW PANELBOARDS RATED GREATER THAN 225-AMPS SHALL BE EQUAL TO SQUARE D COMPANY "I-LINE" SERIES. PANELS 225-AMPS AND SMALLER SHALL BE EQUAL TO SQUARE D "MOD" SERIES. ALL PANELBOARDS SHALL HAVE ALUMINUM BUSSES. CIRCUIT BREAKERS SHALL BE "BOLT-ON" TYPE, SWITCHING UTILITY. EQUAL PRODUCTS MANUFACTURED BY GATOR (GATOR-HAMMER) WILL BE CONSIDERED.

INSTALLATION:

 - SECURE SURFACE MOUNTED PANELBOARDS TO WALL USING 1/4" TOGGLE BOLTS, BOLTED TO MASONRY WALL. WHERE HOLLOW BLOCK WALLS DO NOT OCCUR, SUITABLE EXPANSION SHIELDS AND ANCHOR BOLTS SHALL BE UTILIZED. UNLESS DIRECTED OTHERWISE, PANELBOARDS SHALL BE MOUNTED TO HAVE THE TOP 6 FEET CLEAR ABOVE FINISHED FLOOR.
 - THE DIRECTORIES WITHIN EACH PANELBOARD SHALL BE PROPERLY FILLED OUT, SO AS TO HAVE A COMPREHENSIVE UNDERSTANDING OF THE LOADS TO WHICH EACH CIRCUIT BREAKER IS CONNECTED. THEY SHALL BE FILLED OUT BY USE OF A TYPEWRITER. THIS SHALL INCLUDE ROOM NUMBER SERVED.
 - EXACT LOCATION OF PANELBOARD SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH BUILDING SYSTEMS / ELEMENTS AND MAINTAIN CODE REQUIRED CLEARANCES / WORKING SPACE.
 - JUNCTION AND WALL BOXES: UNLESS NOTED DIFFERENTLY ON DRAWINGS, FURNISH OUTLET BOXES FOR LIGHTING FIXTURES, WALL RECEPTACLES, SWITCHES AND OTHER DEVICES AS REQUIRED. WALL BOXES SHALL BE MINIMUM OF 4" HIGH BY 2-1/8" DEEP BY 2-1/8" WIDE. CEILING BOXES SHALL BE 4-INCH OCTAGON AND 2-1/8" DEEP. PROVIDE EXTENSION AND DEVICE RINGS AS REQUIRED.
- GROUNDING: PROVIDE SERVICE GROUNDING FOR NEW POWER SERVICE AS INDICATED ON DRAWINGS AND AS CALLED FOR HEREINAFTER. SERVICE GROUNDING SHALL CONSIST OF THREE DRIVEN "SIP" 4" 18" LONG COPPER-PLATED GROUND RODS. GROUND RODS SHALL BE DRIVEN IN A TRIANGULAR MANNER WITH EACH GROUND ROD LOCATED 15' APART FROM EACH OTHER. BOND GROUND RODS TOGETHER IN A "CLOSED LOOP" ARRANGEMENT WITH #4/AO AND ALUMINUM GROUNDING CONDUCTOR. BONDING CONNECTIONS TO GROUND RODS SHALL BE BY CABLED PROCESS. FROM THE GROUND RODS, EXTEND A #4/AO AND ALUMINUM TO COLD WATER LINES AND BUILDING STEEL AND BOND THEREIN.

PROVIDE GROUNDING OF EQUIPMENT AND LOADS SERVED IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE. PROVIDE A SEPARATE CODE-SIZED INSULATED GROUNDING CONDUCTOR IN NEW FEEDER AND BRANCH CIRCUIT CONDUIT RUNS. EXISTING GROUNDING CONDUCTOR IS GENERALLY NOT INDICATED ON DRAWINGS BUT SHALL BE REQUIRED.
- COMMUNICATION SYSTEM RACEWAY FACILITY: FURNISH AND INSTALL A SYSTEM OF EMPTY CONDUIT AND BOXES FOR TELECOMMUNICATIONS (DATA AND VOICE) SYSTEMS, DATA/VOICE EQUIPMENT AND CABLING SHALL BE FURNISHED AND INSTALLED BY OWNER'S VENDOR / SUB CONTRACTOR.

PRIOR TO COMMENCING ROUGH-IN WORK FOR TELE-COMMUNICATIONS SYSTEMS, ELECTRICAL CONTRACTOR SHALL CONDUCT MEETING WITH OWNER'S TELE-COMMUNICATIONS SYSTEM VENDORS. ENTIRE INSTALLATION SHALL BE THOROUGHLY REVIEWED. ANY DISCREPANCIES BETWEEN CONTRACT ELECTRICAL DRAWINGS AND SYSTEMS REQUESTED BY OWNER'S TELE-COMMUNICATIONS VENDORS SHALL BE CALLED TO THE ATTENTION OF ARCHITECT PRIOR TO PROCEEDING WITH WORK.
- WIRING FOR HVAC EQUIPMENT: FURNISH AND INSTALL ALL POWER WIRING FOR HVAC EQUIPMENT. AT EACH ITEM OF EQUIPMENT, FURNISH AND INSTALL A HEAVY-DUTY FUSIBLE DISCONNECT SWITCH. FINAL CONNECTION TO MECHANICAL EQUIPMENT SHALL BE MADE USING LIQUID-TIGHT FLEXIBLE CONDUIT.
- WIRING FOR SHOP/PAINT/SERVICE BAY EQUIPMENT: FURNISH AND INSTALL ALL WIRING TO SERVICE BAY EQUIPMENT AS REQUIRED. FINAL CONNECTION TO ALL EQUIPMENT SHALL BE COORDINATED WITH EQUIPMENT VENDORS ALL A LABOR AND MATERIAL ASSOCIATED WITH PROVIDING SERVICES TO SAID EQUIPMENT SHALL BE INCLUDED IN CONTRACTOR'S SCOPE AND INCLUDED IN CONTRACTOR'S BID PRICE.
- CABLE TELEVISION: CONTRACTOR SHALL EXTEND CONDUIT AND RGS CABLING FROM OUTLET BOX TO "CTS" AND FROM "CTS" TO MAIN CABLE TELEVISION SERVICE POINT. OWNER/TENANT SHALL CONTRACT DIRECTLY WITH CABLE TV COMPANY FOR CABLE TV SERVICE.
- FIRE ALARM:

GENERAL:

FIRE ALARM SYSTEM WITHIN THE BUILDING SHALL BE CENTRALLY MONITORED BY AND OFF-SITE SERVICE. ADEQUATE NOTIFICATION WILL BE ACCOMPLISHED VIA AUDIBLE DEVICES / SPEAKERS POWERED FROM THE BUILDING'S FIRE ALARM PANEL. VISUAL ALARM NOTIFICATION WILL BE PROVIDED VIA VISUAL STROBES IN ACCORDANCE WITH CODE REQUIREMENTS.

THE BUILDING IS PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM. THE SPRINKLER SYSTEMS WILL BE MONITORED BY THE FIRE ALARM SYSTEM.

AREA SMOKE DETECTORS WILL BE INSTALLED IN STORAGE ROOMS AND SIMILAR SPACES IN ACCORDANCE WITH CODE.

DUCT-TYPE SMOKE DETECTORS WILL BE INSTALLED IN SUPPLY AND RETURN DUCTWORK AT EACH AIR HANDLING UNIT NOTED. SHUTDOWN OF HVAC SYSTEM SHALL BE ACCOMPLISHED IN ACCORDANCE WITH REQUIREMENTS OF NFPA 72, NFPA 90A, AND PFC. MANUAL PULL STATIONS SHALL BE INSTALLED AT EXIT DOOR LOCATIONS.

NFPA 90A, AND PFC. MANUAL PULL STATIONS SHALL BE INSTALLED AT EXIT DOOR LOCATIONS, NURSE STATIONS AND ADDITIONAL LOCATIONS IN ACCORDANCE WITH CODE.

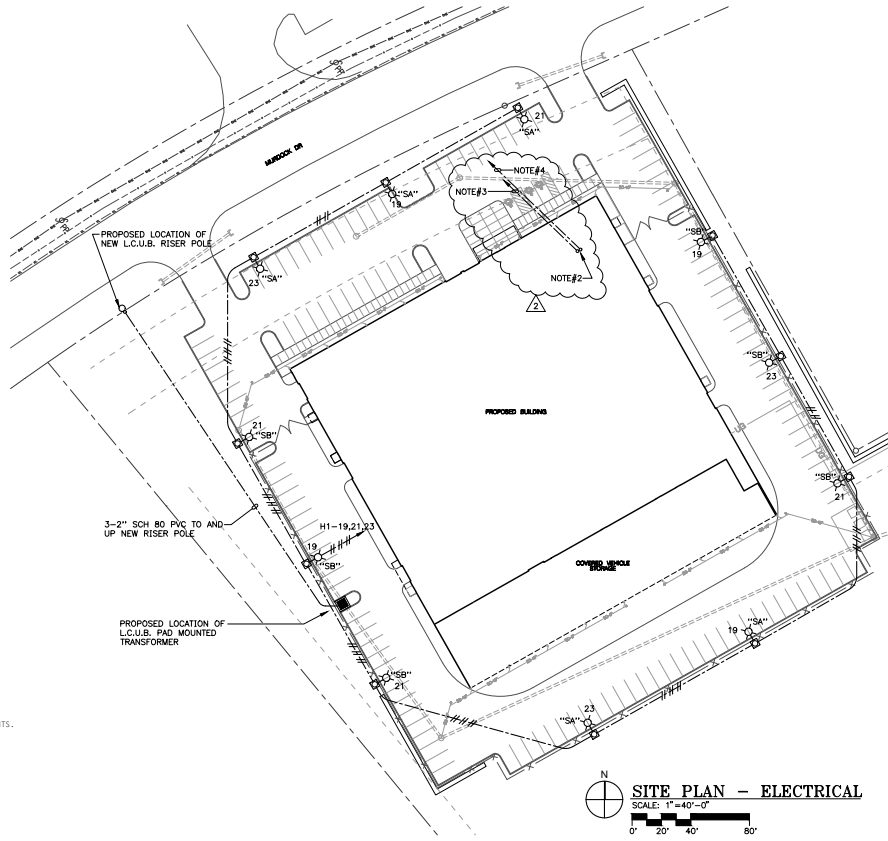
FIRE ALARM PANEL WILL PROVIDE PINPOINT LOCATION OF ALARM/TROUBLE CONDITION FOR EACH ADDRESSABLE ALARM INITIATION DEVICE IN THE SYSTEM. MULTIPLE NOTIFICATION EVACUATION SIGNAL ZONES SHALL BE PROVIDED IN EACH BUILDING. EACH FLOOR NOTIFICATION EVACUATION SIGNAL ZONES SHALL BE PROVIDED IN EACH BUILDING. EACH FLOOR IN EACH BUILDING SHALL BE ON A SEPARATE EVACUATION SIGNAL ZONE.

SCOPE:

CONTRACTOR SHALL FURNISH PLANT, LABOR, MATERIAL, SERVICES, AND EQUIPMENT NECESSARY FOR AND REASONABLY INCIDENTAL TO THE INSTALLATION OF NEW SMOKE DETECTION AND VISUAL / AUDIBLE NOTIFICATION SYSTEM AS INDICATED ON THE DRAWINGS AND CALLED FOR HEREINAFTER. THE INTENT OF THIS PROJECT IS TO INSTALL A COMPLETELY ADDRESSABLE SYSTEM THAT IS NETWORKED WIDE.

INSTALLATION AND EXECUTION:

 - THE CONTRACTOR SHALL PROVIDE AND INSTALL THE SYSTEM IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS, ALL APPLICABLE NATIONAL AND LOCAL CODES, IN WIRING CRITERIA, AND THE MANUFACTURER'S RECOMMENDATIONS. ALL WIRING SHALL BE COLOR CODED, TAGGED, AND CHECKED RECOMMENDATIONS. ALL WIRING SHALL BE COLOR CODED, TAGGED, AND CHECKED TO ASSURE THAT IT IS FREE FROM SHORTS AND GROUND.
 - RECESSED JUNCTION BOXES SHALL BE INSTALLED IN WALLS FOR INSTALLATION OF DEVICES.
 - ALL COMPONENTS SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER. CONDUIT RUNS SHALL BE PARALLEL OR PERPENDICULAR TO EXISTING BUILDING STRUCTURAL ELEMENTS. NO DIAGONAL RUNS WILL BE PERMITTED.
 - ALL JUNCTION BOXES AND CONDUIT RUN ABOVE LAY-IN CEILING SHALL BE SPRAY PAINTED RED AND LABELED "FIRE ALARM".
 - THE FIRE ALARM CONTRACTOR MUST BE CERTIFIED IN ACCORDANCE WITH THE TENNESSEE ALARM CONTRACTORS LICENSING ACT OF 1991, TCA TITLE 62, CHAPTER 32.
 - THE COMPLETED SYSTEM SHALL BE FULLY TESTED BY THE CONTRACTOR AND THE MANUFACTURER'S NICET CERTIFIED TECHNICAL REPRESENTATIVE IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE. UPON COMPLETION OF A SUCCESSFUL TEST, THE CONTRACTOR SHALL SO VERIFY IN WRITING TO THE OWNER, ARCHITECT, AND GENERAL CONTRACTOR.
 - NEW EQUIPMENT AND WIRING SHALL BE WARRANTED TO BE FREE FROM ELECTRICAL AND MECHANICAL DEFECTS FOR A PERIOD OF ONE YEAR COMMENCING WITH OCCUPANCY OF SPACE BY TENANT. WARRANTY SHALL INCLUDE ALL LABOR/ TRAVEL TIME AND MATERIAL/PARTS.
 - EACH INITIATION DEVICE SHALL BE AFFIXED WITH A MASTIC LABEL INDICATING IT'S ASSIGNED ADDRESS.
 - SHOP DRAWINGS AND SUBMITTALS: PROVIDE ELECTRONIC SUBMITTALS FOR REVIEW BY ARCHITECT AND ENGINEER. SUBMITTALS SHALL INCLUDE MANUFACTURER'S CUTSHEET WITH SPECIFIC MODEL NUMBERS IDENTIFIED AS THEY APPLY TO THIS PROJECT. SUBMITTALS SHALL INCLUDE LIGHTING FIXTURES, EXIT SIGN, LIGHTING CONTROLS, WIRING DEVICES, SWITCHGEAR, GENERATOR, TRANSFER SWITCH AND FIRE ALARM COMPONENTS. ALONG WITH CUTSHEETS, THE FIRE ALARM SUBMITTAL SHALL INCLUDE CAD DRAWINGS OF THE PROPOSED SYSTEM INCLUDING CONDUIT FOR NEW FIRE ALARM SYSTEM IN ACCORDANCE WITH REQUIREMENTS OF NFPA 72. ALSO INCLUDED SHALL BE BATTERY CALCULATIONS FOR NEW FIRE ALARM SYSTEM IN ACCORDANCE WITH REQUIREMENTS OF NFPA 72.
 - WARRANTY: GUARANTEE ALL WORK TO BE FREE FROM DEFECTS IN MATERIAL AND WORKMANSHIP FOR ONE YEAR AFTER DATE OF FINAL ACCEPTANCE.



- NOTES:
- UNLESS NOTED OTHERWISE, ALL CONDUCTORS SERVING SITE LIGHTING SHALL BE #10 AWG.
 - STUB CONDUITS UP THROUGH SLAB AT "CTS-1" IN UTILITY ROOM #108.
 - TELEPHONE SERVICE CONDUIT, EXTEND 4" SCHEDULE 40 PVC TO AND UP RISER POLE, VAULT, PEDESTAL LOCATION. COORDINATE EXACT TERMINATION LOCATION WITH TELEPHONE AND PAY ALL CHARGES TO TELEPHONE COMPANY AS REQUIRED. PROVIDE PULL STRING IN FULL LENGTH OF CONDUIT RUN.
 - CABLE TV / INTERNET SERVICE CONDUIT, EXTEND 4" SCHEDULE 40 PVC TO AND UP RISER POLE, VAULT, PEDESTAL LOCATION FOR CONNECTION OF CABLE TELEVISION BY OTHERS. PROVIDE PULL STRING IN FULL LENGTH OF CONDUIT. COORDINATE EXACT TERMINATION LOCATION WITH CABLE TV COMPANY AND WITH AND PAY ALL CHARGES TO CABLE TV COMPANY AS REQUIRED.

SE1.2 - Harper Collision Murdock - SH Electrical.dwg
CWL 08/23/23 3:30 PM 102121(10)

GEORGE ARMOUR EWART ARCHITECT
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vreal@vengr.com
VEI 026-00-2222

A NEW BUILDING FOR
HARPER COLLISION
10542 MURDOCK DRIVE
KNOX COUNTY, TN 37932
TTCDA FILES #8-E-23-TOA & #8-E-23-UR
PLANNING COMM. 5-E-22-UR



SITE PLAN - ELECTRICAL

APPROVED BY
**TENNESSEE TECHNOLOGY CORRIDOR
DEVELOPMENT AUTHORITY**
Meeting Date: **9/6/2023**

DATE: 03 NOV 2022
PROJECT NO.: 22056
PROJECT MGR.:
REVISION #2: 26 JUNE 2023

SE1.2



- | | | |
|--|--|---|
| <input type="checkbox"/> BUILDING PERMIT - NEW CONSTRUCTION | <input type="checkbox"/> REZONING | <input checked="" type="checkbox"/> ADMINISTRATIVE REVIEW |
| <input type="checkbox"/> BUILDING PERMIT - EXPANSION OR RENOVATION | <input type="checkbox"/> SIGNAGE | <input type="checkbox"/> BOARD REVIEW |
| <input type="checkbox"/> BUILDING PERMIT - GRADING PLAN | <input type="checkbox"/> ZONING VARIANCE | |

Stuart H Anderson, AIA

PUBLISHED APPLICANT NAME - no individuals on behalf of -

9-B-23-TOA

31 July 2023

11 Spet 2023

#5-C-22-TOB (previous)

DATE FILED

MEETING DATE (IF APPLICABLE)

FILE NUMBER

CORRESPONDENCE

Correspondence related to this application will be directed to the contact listed below.

- APPLICANT OWNER OPTION HOLDER SURVEYOR ENGINEER ARCHITECT/LANDSCAPE ARCHITECT ATTORNEY

Stuart H Anderson, AIA

George Armour Ewart Architect

NAME

COMPANY

404 Bearden Park Circle

Knoxville

TN

37919

ADDRESS

CITY

STATE

ZIP

865-602-7771

sanderson@georgeewart.com

PHONE

EMAIL

CURRENT PROPERTY INFO

- MULTIPLE OWNERS / OPTION HOLDERS PART OF PARCEL

HARPER COLLISION REALTY LLC

9735 KINGSTON PK 37922

see below

OWNER NAME - if different -

OWNER ADDRESS

OWNER PHONE/EMAIL

10542 MURDOCK DR

shannonharper@harperdealerships.com

PROPERTY ADDRESS

118 17315

N

10.92

PARCEL ID(S)

PART OF PARCEL? (Y/N)

TRACT SIZE

STAFF USE ONLY

- CITY COUNTY

South side of Murdock Drive and west side of Dutchtown Road, east of Simmons Road

3

GENERAL LOCATION

DISTRICT

BP, PC and TO

TP

ZONING

**SECTOR PLAN
LAND USE CLASSIFICATION**

Northwest County

AgForVac

PLANNING SECTOR

EXISTING LAND USE

REQUEST

BUILDING PERMIT

- NEW CONSTRUCTION
 EXPANSION OR RENOVATION
 GRADING PLAN

- REZONING
 SIGNAGE
 ZONING VARIANCE

PLAN MATERIALS:

- DEVELOPMENT PLAN
 BUILDING ELEVATIONS
 FLOOR PLAN
 LANDSCAPE PLAN
 SIGNAGE PLAN
 OFF-STREET PARKING

OTHER:
site lighting

WAIVERS OR VARIANCES REQUESTED? YES NO

ADMINISTRATIVE REVIEW: LIGHTING LANDSCAPING PLAN

RENOVATION OR EXPANSION

SUMMARY OF WORK TO BE PERFORMED:

ZONING VARIANCE

SUMMARY OF ZONING VARIANCE REQUEST:

REZONING

REZONE FROM: _____

TO: _____

SECTOR PLAN AMENDMENT FROM: _____

TO: _____

SIGNAGE

- YARD SIGN BUILDING SIGN OTHER SIGN
- AREA: _____ AREA: _____ AREA: _____
HEIGHT: _____ HEIGHT: _____ HEIGHT: _____
FINISH: _____ FINISH: _____ TYPE: _____

STAFF USE ONLY

<input type="checkbox"/> TTCDA Checklist <input checked="" type="checkbox"/> Property Owners/Option Holders	CODE FEE	CODE FEE	TOTAL code 1106 - \$250
--	-------------	-------------	----------------------------

AUTHORIZATION

By signing below

You certify that you are the property owner and/or authorized representative.

Stuart H Anderson

George Armour Ewart Architect

31 July 2023

APPLICATION AUTHORIZED BY

AFFILIATION

DATE

865-602-7771

sanderson@georgeewart.com

PHONE NUMBER

EMAIL

Whitney Warner

Whitney Warner

8/1/2023

STAFF SIGNATURE

PRINT NAME

DATE PAID