

**Applicant:** HARDIN VALLEY INTERNAL MEDICAL CLINIC

**Request:** BUILDING PERMIT

**Meeting Date:** 9/11/2023

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**Address:** 10689 Hardin Valley Rd.

**Map/Parcel Number:** 103 E A 002

**Location:** Northwest quadrant of the intersection of Charlevoix Rd and Hardin Valley Rd

**Existing Zoning:** CA (General Business) / TO (Technology Overlay)

**Proposed Zoning:** N/A

**Existing Land Use:** Commercial

**Proposed Land Use:** Expansion of existing building

**Appx. Size of Tract:** 5.2 acres

**Accessibility:** Access is via Hardin Valley Rd, a four lane, median-divided street within 200' of right of way; and via Charlevoix Rd., a local street with 36' of pavement width within 50' of right of way.

**Surrounding Zoning and Land Uses:** North: BP/TO (Business and Technology Park) / Technology Overlay) - Office

South: PC/TO (Planned Commercial) / Technology Overlay) - Commercial

East: CA/TO (Commercial / Technology Overlay) - Commercial

West: Pellissippi Parkway Right-of-Way

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**Comments:** This is a request for a 642 sq ft expansion for the existing medical clinic previously approved by this board in 2017 (Case # 5-A-17-TOB). The current building is approximately 3,000 sq ft and is a stand-alone building in the parking lot of a retail strip center. The building is in the far southwest corner of the site with frontage on Hardin Valley Road and Pellissippi Parkway. Together with the parking for the facility, the site occupies 1 acre of the 5.2 acre parcel.

PURSUANT TO ARTICLE V, SECTION 2 OF THE TTCDA ADMINISTRATIVE RULES AND PROCEDURES, THE DECISION OF THE TTCDA TO APPROVE REQUESTS FOR BUILDING PERMIT CERTIFICATES OF APPROPRIATENESS MUST BE BASED ON THE FOLLOWING CRITERIA:

A. CONFORMITY OF THE PROPOSAL WITH THE TENNESSEE TECHNOLOGY CORRIDOR DESIGN GUIDELINES.

1. The building setbacks adhere to either the CA zone or the TTCDA guidelines, whichever is more stringent. In this case, the building has frontage on Pellissippi Parkway and Hardin Valley Road along with parking along the frontage. TTCDA guidelines require a 60 ft front setback line when parking is between the building and the street. The site plans propose a front setback of 44.66 ft on the Pellissippi Parkway frontage, so the applicant has requested a waiver, citing topography, existing parking, and building geometry as the basis for the waiver request. The proposed plans are removing almost all parking on Pellissippi except for 2 spaces. Without those 2 remaining spaces, the minimum setback would be 20 ft. These two spaces are to the rear of the building and not directly between the building and the street. Additionally, the new landscaping, drive aisle, and sidewalk connections will enhance the circulation and aesthetic of the parking lot.

2. The site will include a new 2-way drive aisle for vehicular circulation and connectivity around the existing parking area and new sidewalk connections to maintain service from the parking areas to the building entrances. The TTCDA Guidelines would typically allow between 9 and 14 spaces for this facility. However, the applicant received a waiver to increase the parking to 39 spaces with their approval in 2017. The proposed plans reduce the parking for this facility from 39 spaces to 33 spaces, which is still within the waiver granted by the TTCDA. Therefore, a new waiver for the overage is not needed since the parking is not being increased further.
3. The original project also obtained a waiver to increase the Impervious Area Ratio (IAR) from 70% to 74.7%. This proposed new extension will increase the existing, previously approved IAR from 74.7% to 76.3%, an overall increase of 1.6%. The design team and client wish to pursue this waiver based on existing site constraints. Staff supports this minor increase in impervious coverage that is in part a result of meeting the parking demand on site.
4. The proposed landscape plan shows new plantings along the west side of the addition and adheres to all landscape requirements of TTCDA.
5. The lighting plan will not change. The intention is to relocate the existing wall pack that will be affected by the addition as well as the addition of an exit discharge fixture at the new door.

**B. CONFORMITY OF THE PROPOSAL WITH THE KNOXVILLE-KNOX COUNTY MINIMUM SUBDIVISION REGULATIONS AND EITHER THE KNOXVILLE ZONING ORDINANCE, OR THE KNOX COUNTY ZONING ORDINANCE, AS APPROPRIATE.**

1. This property is zoned CA (General Commercial) / TO (Technology Overlay). The CA zone is for general retail business and services but not for manufacturing or for processing materials other than farm products, except that portable sawmills are allowed. This proposal is consistent with the intent of the CA zone.
2. The applicant does not wish to replat the property, so the Subdivision Regulations are not applicable.

**C. EFFECT OF THE PROPOSAL ON THE SUBJECT PROPERTY, SURROUNDING PROPERTY AND THE COMMUNITY AS A WHOLE.**

1. The use of the building remains the same, and the building expansion is minor. Planning does not anticipate any adverse impacts from this proposal.
2. As stated previously, staff has reviewed the landscaping plans and supports the landscaping plan as proposed because it meets the TTCDA standards.

**D. CONSISTENCY OF THE PROPOSAL WITH THE REQUIREMENTS OF KNOX COUNTY DEPARTMENTS, AS APPROPRIATE.**

1. Knox County Engineering and Public Works has reviewed the site plans but had no comments since access is not changing and the increase to the amount of impervious surface is minimal.

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**Design Guideline Conformity:** With the recommended conditions and approval of the waivers, the proposed development conforms to the TTCDA Design Guidelines.

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**Waivers and Variances Requested:**

- 1) Reduce the front setback on Pellissippi Parkway from 60-ft to 44.66 ft.
- 2) Increase the maximum IAR from the previously approved waiver of 74.7% to 76%.

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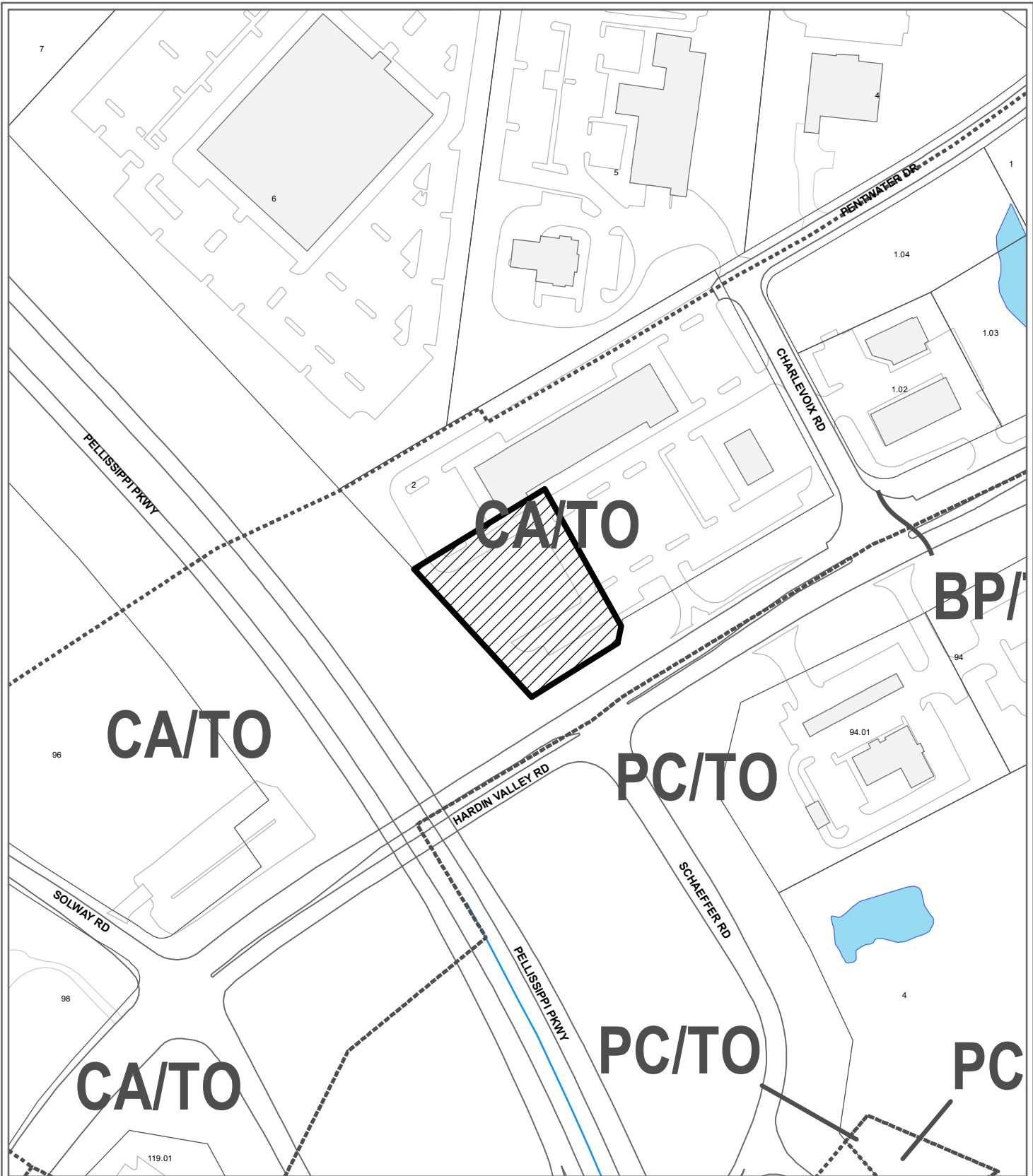
**Staff Recommendation:**

Staff recommends approval of the requested waivers to:

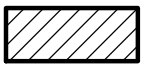
- 1) Reduce the front setback on Pellissippi Parkway from 60-ft to 44.66-ft because of the topography, existing parking, and building geometry.
- 2) Increase the maximum IAR from the previously approved waiver of 74.7% to 76% as a result of meeting the parking demand on site.

Staff recommends approval of this request for a Certificate of Appropriateness for a building permit, subject to three conditions:

- 1) Installation of all landscaping as shown on development plan within six months of the issuance of an occupancy permit, or posting a bond with the Knox County Department of Engineering and Public Works to guarantee such installation.
- 2) Meeting all applicable requirements of the Knox County Department of Engineering and Public Works.
- 3) Meeting all applicable requirements of the Knox County Zoning Ordinance.



**9-A-23-TOB  
CERTIFICATE OF APPROPRIATENESS**



Purpose of Request: Building Permit - New Construction

Petitioner: McCarty Holsaple McCarty

Map No: 103

Jurisdiction: County





# TTCDA SUPPORT DOCUMENTS

## SUMMIT MEDICAL HARDIN VALLEY ADDITION

9 – A – 23 – TOB

10689 Hardin Valley Rd, Knoxville, TN 37932

08.28.2023



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# McCarty Holsaple McCarty Architects

## PROJECT OVERVIEW

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The 100% design development package consist of a 4 unit exam room expansion to an existing medical office located at 10689 Hardin Valley Rd, Knoxville, TN 37932. Our team consists of the following:

**Architecture:**

Nathan Honeycutt, Kathryn Greer, Grace Hooper - McCarty Holsaple McCarty, Inc.

**Civil Engineering:**

Aarron Gray, Hayden Jordan - Ardurra

**Structural:**

Todd Whelan - Haines Structural Group

**Mechanical, Plumbing, Electrical & Fire Protection**

Preston Hall - Facility Systems Consultants, LLC

# McCarty Holsaple McCarty Architects

## STAFF COMMENT RESPONSES 08.28.23

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### KNOXVILLE PLANNING MEMORANDUM RESPONSES

#### STAFF COMMENTS FOR 9-A-23-TOB – HARDIN VALLEY MEDICINE

##### 10689 HARDIN VALLEY RD (PARCEL ID : 103EA002)

- 01. Include the Tennessee Technology Corridor Development Authority's (TTCDA) file number on the development plan sheets.**
  - a. Included on top right of title block applied to set.
  
- 02. [Section 1.3.3] IAR maximum is 70%. The plans show the proposed IAR is 76.3%. This will require a waiver.**
  - a. The original project had approved waiver to go from 70% to 74.7%. Refer to waiver letter provided. Additional revision to the existing waiver will be formally issued to Michelle Portier.
  
- 03. Will the building extension have any exterior light? If so, please confirm they would be the same as used on the rest of the building.**
  - a. Reference A-021 Architectural Site and Landscape Plan for note to match existing lighting at new entry. The intention is to relocate the existing wall pack that will be affected by the addition as well as the addition of an exit discharge fixture at the new door that will match the existing.
  
- 04. A 20-ft landscape buffer along Hardin Valley RD will be required. Section 1.7.9 requires parking areas to be screened from public right-of-way by landscape berms, low level shrubbery or a combination of the two.**
  - a. Comment has been waived by plan reviewer Whitney Warner. Existing conditions to remain.
  
- 05. 60' setback on the 2 front yards where parking is provided in the front yard. The front along Pellissippi Parkway will require a waiver for a 44.66' setback [Section 1.4.1].**
  - a. Refer to waiver letter provided. Additional revision to the existing waiver will be formally issued to Michelle Portier.



# McCarty Holsaple McCarty Architects

## TTCDA WAIVER – RESPONSE LETTER

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**PLANNING COMMENT: [Section 1.3.3] IAR maximum is 70%. The plans show the proposed IAR is 76.3%.**

The original project obtained an approved waiver to go from 70% to 74.7% IAR. This proposed new extension will be an increase to the existing | previously approved IAR from 74.7% to 76.3% , which is an overall increase of 1.6%. The design team and client wish to pursue this waiver, based on the existing site constraints. To extend the impervious IAR would require further reductions in the parking counts proposed.

Response:

Kathryn Greer, AIA

# McCarty Holsaple McCarty Architects

## TCDA WAIVER - RESPONSE LETTER

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**PLANNING COMMENT: 60' setback on the 2 front yards where parking is provided in the front yard. The front along Pellissippi Parkway will require a waiver for a 44.66' setback [Section 1.4.1].**

This project will involve the site preparation and construction of a new 642 GSF building expansion for the existing Hardin Valley Summit Medical Clinic and will include demolition, building construction, sidewalks, parking, paving, grading, and drainage. After thorough review of the site topography as well as the existing parking lot layout and building geometry, it was determined that the proposed building shall expand towards the western property line.

The site will include a new 2-way drive aisle for vehicular circulation and connectivity around the existing parking area, approximately 11 proposed parking spaces, and new sidewalk connections to maintain service from the parking areas to the building entrances. The site shall be graded to a finished floor elevation of approximately 986.12. Storm drainage on the site will consist of roof drains, curb inlets, area drains, and piping that will discharge at the existing stormwater outfall, south of the proposed building expansion.

Civil Engineering:

Aarron Gray, Hayden Jordan - Ardurra

# PROPOSED SITE LAYOUT



**REFER TO CIVIL**

SOUTH EAST ELEVATION

# BUILDING ELEVATIONS

Summit Medical Hardin Valley Addition | TCDA Review

NEW CONSTRUCTION | EXISTING



NORTH WEST ELEVATION

# BUILDING ELEVATIONS

Summit Medical Hardin Valley Addition | TCDA Review

EXISTING

NEW CONSTRUCTION



## SUMMIT MEDICAL HARDIN VALLEY ADDITION

10689 HARDIN VALLEY ROAD  
KNOXVILLE, TN 37932  
PROJECT NO.: **23015**

ISSUED: TBD





Table with columns: #, ISSUED BY, DATE. Includes rows for Issue Date, PM, PA, Drawn By, Checked By, and Sheet Information.

# SUMMIT MEDICAL HARDIN VALLEY ROAD ADDITION

10689 HARDIN VALLEY ROAD  
KNOXVILLE, TN 37932  
PROJECT NO.: 23015

ISSUED: TBD

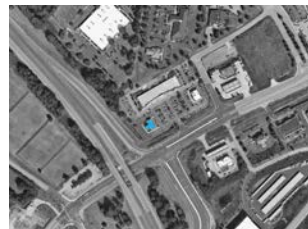
## SHEET INDEX

Table with columns: SHEET NO., SHEET DESCRIPTION, SHEET DATE. Lists sheets for GENERAL, CIVIL, MECHANICAL/PLUMBING, ELECTRICAL, and MECHANICAL.

## SYMBOLS LEGEND

SYMBOLS LEGEND: A-121 SHEET NUMBER, SHEET DESIGNATOR, GRID MARKS, LEVEL INDICATOR, ROOM NAME, KEYNOTE NUMBER, REVISION NUMBER, HORIZONTAL SPOT ELEVATION, DATUM POINT, VIEW NAME, PROJECT NORTH INDICATOR, INTERIOR ELEVATION, EXTERIOR ELEVATION, SECTION VIEW, ENLARGED VIEW.

## PROJECT VICINITY MAPS



## SITE VICINITY MAPS

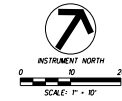


## PROJECT GENERAL NOTES

- OWNER COORDINATION
1. VERIFY THE BUILDING'S RULES FOR CONSTRUCTION WITH THE OWNER.
2. KEEP DRIVEWAYS, DOORS AND ENTRANCES SERVING THE PREMISES CLEAR AND AVAILABLE TO THE LANDLORD AND THE OWNER'S TOWNSHIP AND ENFORCE ALL TRAFFIC AND PARKING REQUIREMENTS FOR STORAGE OF MATERIAL AND EQUIPMENT ON SITE.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO THE INTERIOR ENTRANCES TO THE 2ND FLOOR OF THE BUILDING. ENTRANCES, ELEVATORS, WORKING HOLES, ROOF STOPS, ACCESS TO ADJACENT SPACES, SECURITY, OWNERSHIP OF SCHEDULED ITEMS AND OTHER ITEMS DESIGNED TO BE REMOVED SHALL BE PROTECTED BY THE CONTRACTOR.
4. AVOID INTERRUPTION OF SERVICES (ELECTRICAL, SIGNAL, MECHANICAL, FIRE PROTECTION, LIFE SAFETY, PLUMBING, ETC.) TO ADJACENT AREAS OF THE BUILDING.
5. ALL WORK SHALL CONFORM TO ALL INDUSTRY AND MANUFACTURER'S PUBLISHED STANDARDS AND THE OWNER'S REQUIREMENTS.
6. PENETRATIONS IN THE EXTERIOR BUILDING SHALL BE NOT ALLOWED, INCLUDING THOSE FOR OUTLETS AND BLOCKING UNLESS EXPRESSLY ALLOWED BY THE OWNER.
7. ALL PENETRATIONS IN FLOOR SLABS MUST BE APPROVED BY THE OWNER.
PERMITS AND SAFETY
1. THE CONTRACTOR FOR THE PROJECT SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING PERMITS.
2. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE PUBLIC AND THE WORKERS ON THE JOB AND TO PREVENT ACCIDENTS OR INJURY TO ANY PERSON ON, ABOUT OR ADJACENT TO THE PREMISES WHERE THE WORK IS BEING PERFORMED.
3. PROVIDE ALL NECESSARY TEMPORARY POWER, LIGHTING, FIRE PROTECTION, ETC. AS REQUIRED DURING CONSTRUCTION.
4. THE CONTRACTOR SHALL PROVIDE TEMPORARY WALLS AS REQUIRED FOR SAFETY AND FOR LOCKING AND REMAINING DUST AND NOISE FROM ANY OPERATIONS AND TO EFFECTIVELY SEPARATE WORK AREAS FROM OTHER OCCUPIED AREAS OF THE BUILDING.
5. DO NOT OBSTRUCT ACCESS TO EXISTING EXITS OR REDUCE THE WIDTH OF EXIT ACCESS CORRIDORS AND HALLWAYS.
CONSTRUCTION COORDINATION
1. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF ALL PARTS OF THE WORK STATED OR IMPLIED SO THAT NO WORK IS LEFT IN AN UNFINISHED OR INCOMPLETE CONDITION.
2. WHERE SPECIAL COORDINATION IS NECESSARY, PREPARE MEMORANDA FOR DISTRIBUTION TO EACH PARTY INVOLVED.
3. COORDINATE CONSTRUCTION ACTIVITIES INDICATED ON CONTRACT DOCUMENTS TO AVOID CONFLICTS, OVERLAP, COMPLETE AND OPERATIONAL INSTALLATIONS OF EACH PART OF THE WORK.
4. COORDINATE CONSTRUCTION OPERATIONS THAT ARE DEPENDENT UPON EACH OTHER FOR PROPER INSTALLATION, COORDINATION AND OPERATION.
5. COORDINATE TRACES TO PATCH FINISHES THAT ARE DAMAGED AS A RESULT OF CUTTING IN OF WORK.
6. COORDINATE INSTALLATION OF OUTLETS, SPEAKERS, SPRINKLER HEADS, AND ACCESS PANELS WITH LIGHTING LAYOUT. REPORT ANY CONFLICTS TO THE ARCHITECT PRIOR TO INSTALLATION.
CONTRACT DOCUMENTS
1. REFER TO COMPLETE SET OF BIDDING CONTRACT DOCUMENTS FOR APPLICABLE NOTES, ABBREVIATIONS, AND SYMBOLS. GENERAL NOTES APPEAR ON VARIOUS DRAWINGS OR DIFFERENT SYSTEMS AND MATERIALS. REVIEW ALL SHEETS AND APPLY NOTES TO RELATED BUILDING COMPONENTS.
2. DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY AND ARE INTENDED TO INCLUDE OR IMPLY ALL ITEMS REQUIRED FOR THE PROJECT'S EXECUTION AND COMPLETION OF THE WORK.
3. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY OMISSIONS, DISCREPANCIES AND/OR CONFLICTS IN THE DRAWINGS AND SPECIFICATIONS BEFORE SUBMITTING HIS BID PRICE. THE ARCHITECT WILL CLARIFY THE DOCUMENTS IN AN ADDITIONAL SET OF ADDENDUMS AND RESOLVE BEFORE THE BIDDING IS SUBMITTED. THE CONTRACTOR'S BUYOFF SHALL BE THE BASIS FOR THE BIDDING.
4. DO NOT SCALE DRAWINGS DIMENSIONS COVERED.
5. LARGEST SCALE DRAWINGS GOVERN OVER SMALLER SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
6. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, BENCHMARKS, WORKPOINTS, SPOT ELEVATIONS AND CONDITIONS SHOWN ON THE DRAWINGS AT THE JOB SITE AND SHALL NOTIFY THE ARCHITECT OF ANY OMISSIONS, DISCREPANCIES, AND/OR CONFLICTS BEFORE PROCEEDING WITH THE PROJECT.
7. FINISH FLOOR ELEVATIONS ARE TO TOP OF CONCRETE SLAB UNLESS OTHERWISE NOTED.
8. FIELD MEASURE AND CONFIRM DIMENSIONS FOR O.C. EQUIPMENT.
9. OUTLET HOLES AND HANGERS ON EXTERIOR LOCATED ON HANGERS SHALL BE POSITIONED AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION AND SHALL BE CENTERED IN CORRIDORS AND LOCATED AT DISTANCE OF 1" FROM THE WALL TO THE CENTER OF THE HANGERS UNLESS OTHERWISE NOTED.
10. EQUIPMENT AND FURNITURE SHOW ARE NOT INCLUDED IN CONTRACT, UNLESS OTHERWISE NOTED.
EQUIPMENT
1. NEW AND EXISTING OPENINGS IN RATED WALL, FLOOR, CEILING, AND ROOF ASSEMBLY SHALL BE SEALED WITH PENETRATION RESISTANT SYSTEMS MEETING OR EXCEEDING THE REQUIRED FIRE RESISTANCE RATING, OR PROTECTED WITH A FIRE RATED CURB.
2. MAINTAIN THE FIRE RATING OF CONSTRUCTION AROUND CABINETS, PANELS, AND BOXES RECESSED IN RATED WALL, FLOOR, AND CEILING ASSEMBLIES.
3. APPROVE FLOOR OUTFIT LOCATIONS WITH ARCHITECT AND OWNER PRIOR TO CORE DRILLING.
4. PROVIDE NON-FUNCTIONABLE DIFFUSERS, BEARING BACKING PLATES AND BLOCKING REQUIRED PRIOR TO REQUIRE INSTALLATION OF DOORS AND DOOR FRAME INCLUDING WALL ANCHORS, DOOR STOPS, MULLIONS, HANDRAILS, WALL MOUNTED SINKS, SINKS, SINKS, PARTITIONS, MIDDLE LANE BUS EQUIPMENT, AND SUBSTITUTES MECHANICAL AND ELECTRICAL EQUIPMENT.
5. LEVEL FLOOR THAT EXCEED 1/4" VARIANCE IN A 10'-0" RADIUS.
6. ISOLATE DISSIMILAR METALS TO PREVENT GALVANIC CORROSION.
7. ALL EXTERIOR STEEL, HANGING COMPONENTS, AND COLLARS SHALL BE GALV. AND PAINTED UNLESS OTHERWISE NOTED.
8. PERFORATED METAL GRATE AND NOSES THE BUILDING SHALL BE COATED IN FINISHED SPACES WITH THE EXCEPTOR OF PERFORATED METAL GRATE AND NOSES. COORDINATE WITH OTHER TRADES TO PROVIDE FURNISHING FOR PERFORATED METAL IN FINISHED AREAS.
9. PROVIDE CONTINUOUS PERIMETER FIRE SAFING BETWEEN FLOORS AND COORDINATE THE INSTALLATION WITH THE EXTERIOR WALL FIRE RATING OF RATED WALL MATCH FIRE RATING OF FLOOR CONSTRUCTION.
REGIONS AND COMPLETED WORK
1. CLEAN AND PROTECT CONSTRUCTION IN PROGRESS AND ADJACENT MATERIALS IN PLACE. APPLY PROTECTIVE COVERING WHERE REQUIRED TO ENSURE PROTECTION FROM DAMAGE OR DETERIORATION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ALL EXISTING CONDITIONS AND COMPLETED WORK WHILE FULFILLING THE OBLIGATIONS OF THE CONTRACT.
2. CLEAN AND MAINTAIN COMPLETED CONSTRUCTION AS FREQUENTLY AS NECESSARY THROUGH THE DURATION OF THE CONSTRUCTION PERIOD.







NOTES:

1. THE BOUNDARY DATA WAS TAKEN FROM BATSON, JAMES, NORVELL & P.C. DATED APRIL 17, 2023.
2. UNLESS NOTED OTHERWISE, DIMENSIONS ARE TAKEN FROM THE FENCE LINE, PROPERTY LINE, FACE OF CURB, EDGE OF PAVEMENT OR OUTSIDE FACE OF BUILDING.
3. THE MINIMAL AGGREGATE BASE AND ASPHALTIC SURFACE COURSES SHALL MEET THE MATERIALS, EQUIPMENT, CONSTRUCTION AND TESTING REQUIREMENTS OF THESE ENGINEERING AND PUBLIC WORKS STANDARD SPECIFICATIONS.
4. CONCRETE CURB AND PAVEMENT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS. CONCRETE CURB AND PAVEMENT SHALL MEET THE MATERIALS, EQUIPMENT AND CONSTRUCTION REQUIREMENTS OF THE HINDS COUNTY DEPARTMENT OF ENGINEERING & PUBLIC WORKS STANDARD SPECIFICATIONS.
5. TRAFFIC CONTROL DEVICES AND PAVEMENT MARKING SHALL CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATIONS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
6. PROPERTY CONCERNED REFLECTS PARCEL 10564002 AS SHOWN IN HINDS COUNTY CLT MAP 10564002 AS A PORTION OF THE PROPERTY OF JONES COUNTY GENERAL BUSINESS DISTRICT IN THE TECHNOLOGY OVERLAY.  
TOTAL AREA = 2.206 AC.  
TOTAL DISTURBED AREA = 0.224 AC.
7. OWNER: AD HARBON STATION LLC  
2300 MERCHANT DR. STE 12  
KNOXVILLE, TN 37912
8. FRONT BUILDING SETBACKS ARE 60'-FT ALONG PELLISSOPPI PARKWAY, 65'-FT ALONG CHADWICK DRIVE, AND 80'-FT ALONG HARBON VALLEY ROAD. BUILDING SETBACKS ARE 5'-FT ON SIDE AND 10'-FT IN REAR.
9. REMOVE OVER-PAVEMENT OF ASPHALT AND STONE FROM UNDERNEATH LANDSCAPE AREAS UP TO THE LIMITS THAT HAVE BEEN SPECIFIED (REFER TO THE CURB DETAIL) IN ORDER TO PROVIDE A SOLID BASE FOR THE CONCRETE CURB.
10. REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS.

DEVELOPMENT INTENSITY

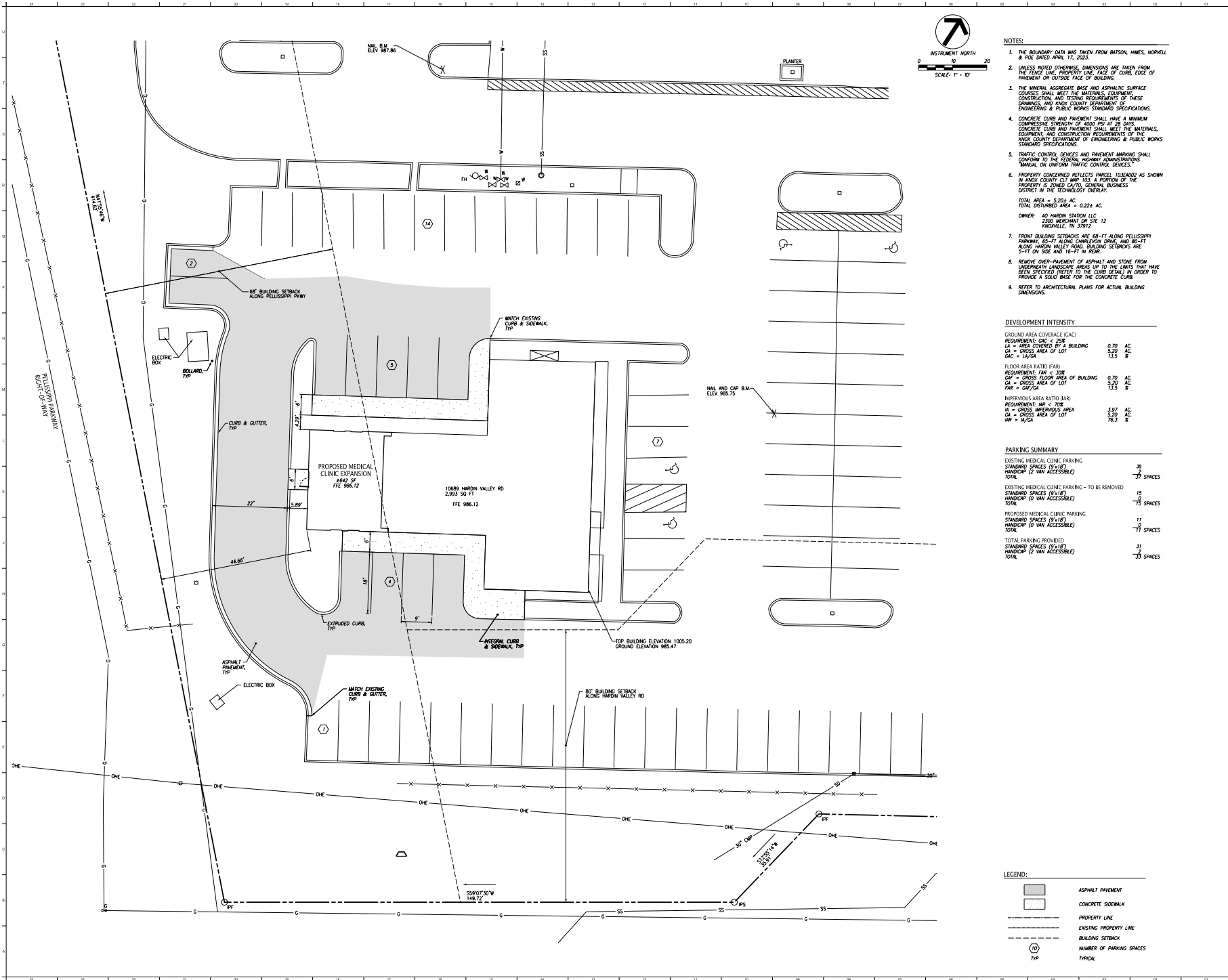
GROUND AREA COVERAGE (GAC)	
REQUIREMENT: GAC = 25%	
LA = AREA COVERED BY A BUILDING	0.70 AC.
GA = GROSS AREA OF LOT	2.80 AC.
GAC = LA/GA	1.15 %
FLOOR AREA RATIO (FAR)	
REQUIREMENT: FAR = 30%	
CAF = GROSS FLOOR AREA OF BUILDING	0.70 AC.
GA = GROSS AREA OF LOT	2.80 AC.
FAR = CAF/GA	1.15 %
IMPERVIOUS AREA RATIO (IAR)	
REQUIREMENT: IAR = 70%	
IA = GROSS IMPERVIOUS AREA	1.97 AC.
GA = GROSS AREA OF LOT	2.80 AC.
IAR = IA/GA	70.3 %

PARKING SUMMARY

EXISTING MEDICAL CLINIC PARKING STANDARD SPACES (15187)	35
HANDICAP (2 VAN ACCESSIBLE)	2 SPACES
TOTAL	37 SPACES
EXISTING MEDICAL CLINIC PARKING - TO BE REMOVED STANDARD SPACES (15187)	15
HANDICAP (2 VAN ACCESSIBLE)	2 SPACES
TOTAL	17 SPACES
PROPOSED MEDICAL CLINIC PARKING STANDARD SPACES (15187)	11
HANDICAP (2 VAN ACCESSIBLE)	2 SPACES
TOTAL	13 SPACES
TOTAL PARKING PROVIDED STANDARD SPACES (15187)	31
HANDICAP (2 VAN ACCESSIBLE)	2 SPACES
TOTAL	33 SPACES

LEGEND:

- ASPHALT PAVEMENT
- CONCRETE SIDEWALK
- PROPERTY LINE
- EXISTING PROPERTY LINE
- BUILDING SETBACK
- NUMBER OF PARKING SPACES
- TYPICAL



Project Information:

23015

SUMMIT HILL MEDICAL CENTER ADDITION

10689 HARBON VALLEY ROAD  
KNOXVILLE, TN 37932

Sheet

PRELIMINARY PACKAGE:  
NOT FOR  
CONSTRUCTION

Consultant

ARDURRA  
COLLABORATIVE. INNOVATIVE. DURABLE.  
2300 MERCHANT DRIVE, SUITE 100  
KNOXVILLE, TN 37912  
PHONE: (865) 880-8410  
WWW.ARDURRA.COM

ISSUED BY: DATE

A. SD SUBMITTAL 07/07/2023

Issue Date: JULY 07, 2023

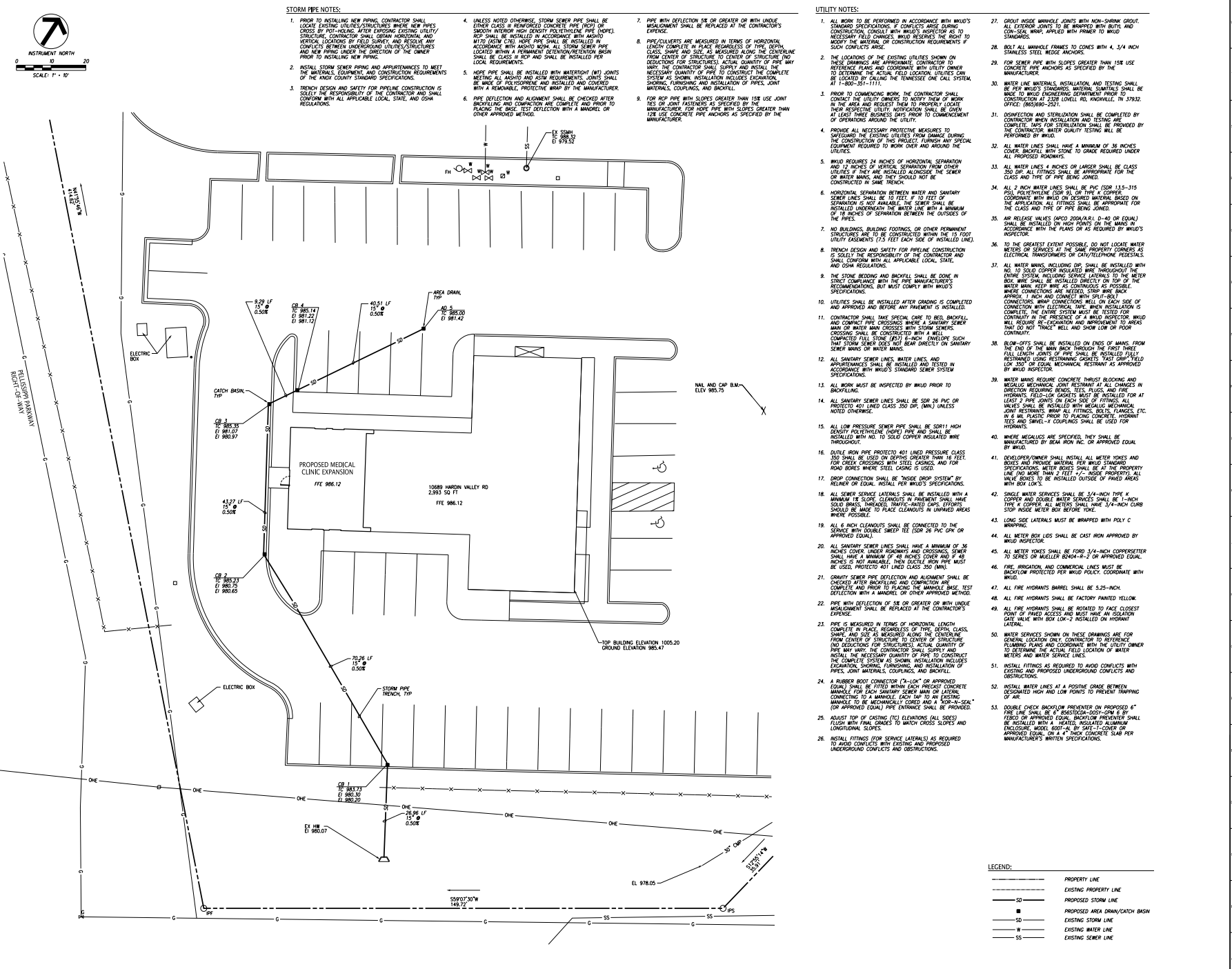
PC  
PM  
PA  
Drawn By: H. JORDAN  
Checked By: A. GIBBY

Sheet Information:

C2

LAYOUT AND PAVING  
PLAN





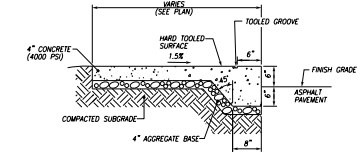
**STORM PIPE NOTES:**

- PRIOR TO INSTALLING NEW PIPING, CONTRACTOR SHALL LOCATE EXISTING UTILITIES/STRUCTURES WHERE NEW PIPES CROSS BY POT-HOLING AFTER EXPOSING EXISTING UTILITY STRUCTURES. CONTRACTOR SHALL OBTAIN HORIZONTAL AND VERTICAL LOCATIONS BY FIELD SURVEY AND RESOLVE ANY CONFLICTS BETWEEN UNDERGROUND UTILITIES/STRUCTURES AND NEW PIPING UNDER THE DIRECTION OF THE OWNER PRIOR TO INSTALLING NEW PIPING.
- INSTALL STORM SEWER PIPING AND APPURTENANCES TO MEET THE MATERIALS, EQUIPMENT AND CONSTRUCTION REQUIREMENTS OF THE KNOX COUNTY STANDARD SPECIFICATIONS.
- TRENCH DESIGN AND SAFETY FOR PIPELIFE CONSTRUCTION IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL CONFORM WITH ALL APPLICABLE LOCAL, STATE, AND OSHA REGULATIONS.
- UNLESS NOTED OTHERWISE, STORM SEWER PIPE SHALL BE EITHER CLASS II (REINFORCED CONCRETE PIPE) OR SMOOTH INTERIOR HIGH DENSITY POLYETHYLENE PIPE (HDPE). PIPE SHALL BE INSTALLED IN ACCORDANCE WITH NOTES WITH (ASTM C75). HOPE PIPE SHALL BE INSTALLED IN ACCORDANCE WITH NOTES WITH (ASTM F2148). ALL STORM SEWER PIPE LOCATED WITHIN A PERMANENT DETENTION/PREVENTION BASIN SHALL BE CLASS II PIPE AND SHALL BE INSTALLED PER LOCAL REQUIREMENTS.
- JOINT PIPE SHALL BE INSTALLED WITH WAGO-TIGHT (WT) JOINTS MEETING ALL ASHRAE AND ASTM REQUIREMENTS. JOINTS SHALL BE MADE OF POLYURETHANE AND ISOLATED AND COVERED WITH A REMOVAL PROTECTIVE WRAP BY THE MANUFACTURER.
- PIPE DEFLECTION AND ALIGNMENT SHALL BE CHECKED AFTER BACKFILLING AND COMPACTION ARE COMPLETE AND PRIOR TO PLACING THE BASE. TEST DEFLECTION WITH A MANDREL OR OTHER APPROVED METHOD.

**UTILITY NOTES:**

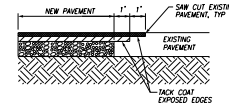
- ALL WORK TO BE PERFORMED IN ACCORDANCE WITH MWLD'S STANDARD SPECIFICATIONS. IF CONFLICTS ARISE DURING CONSTRUCTION, CONSULT WITH MWLD'S INSPECTOR AS TO WHETHER THE MATERIAL OR CONSTRUCTION METHODS IF SUCH ARISE SHOULD BE MODIFIED TO CONFORM WITH MWLD'S STANDARD SPECIFICATIONS.
- THE LOCATIONS OF THE EXISTING UTILITIES SHOWN ON THESE DRAWINGS ARE APPROXIMATE. CONTRACTOR TO REFERENCE PLANS AND COORDINATE WITH UTILITY OWNER TO DETERMINE THE ACTUAL FIELD LOCATION. UTILITIES CAN BE LOCATED BY CALLING THE UTILITIES ONE CALL SYSTEM AT 1-800-357-3111.
- PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL CONTACT THE UTILITY OWNERS AT LEAST 150 FEET UPSTREAM FROM THE PROJECT SITE AND REQUEST THAT THEY ADVISE THEIR RESPECTIVE UTILITY NOTIFICATION SHALL BE GIVEN 48 HOURS BEFORE ANY COMMENCEMENT OF OPERATIONS AROUND THE UTILITY.
- PROVIDE ALL NECESSARY PROTECTIVE MEASURES TO SAFEGUARD THE EXISTING UTILITIES FROM DAMAGE DURING THE CONSTRUCTION OF THIS PROJECT. FURNISH ANY SPECIAL EQUIPMENT REQUIRED TO WORK OVER AND AROUND THE UTILITIES.
- MWLD REQUIRES 24 INCHES OF HORIZONTAL SEPARATION AND 12 INCHES OF VERTICAL SEPARATION FROM OTHER UTILITIES. IF THEY ARE NOT AVAILABLE, THE SEWER OR WATER MAINS AND THEY SHOULD NOT BE CONSTRUCTED IN SAME TRENCH.
- HORIZONTAL SEPARATION BETWEEN WATER AND SANITARY SEWER LINES SHALL BE 10 FEET. IF 10 FEET OF SEPARATION IS NOT AVAILABLE, THE PIPE MANUFACTURER SHALL BE INSTALLED UNDERNEATH THE WATER LINE WITH A MINIMUM OF 18 INCHES OF SEPARATION BETWEEN THE OUTSIDES OF THE PIPES.
- NO BUILDINGS, BUILDING FOOTINGS, OR OTHER PERMANENT STRUCTURES ARE TO BE CONSTRUCTED WITHIN THE 15 FOOT UTILITY EASEMENTS (7.5 FEET EACH SIDE OF INSTALLED LINES).
- TRENCH DESIGN AND SAFETY FOR PIPELIFE CONSTRUCTION IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL CONFORM WITH ALL APPLICABLE LOCAL, STATE, AND OSHA REGULATIONS.
- THE STONE BEDDING AND BACKFILL SHALL BE DONE IN ACCORDANCE WITH THE PIPE MANUFACTURER'S RECOMMENDATIONS, BUT MUST COMPLY WITH MWLD'S STANDARD SPECIFICATIONS.
- UTILITIES SHALL BE INSTALLED AFTER GRADING IS COMPLETED AND APPROVED AND BEFORE ANY PAVEMENT IS INSTALLED.
- CONTRACTOR SHALL TAKE SPECIAL CARE TO BEEL, BACKFILL, AND COMPACT PIPE CROSSINGS UNDER A SANITARY SEWER MAIN OR WATER MAIN CROSSINGS WITH STORM SERVICES. CROSSING SHALL BE CONSTRUCTED WITH A WELL COMPACTED FILL STONE (1/2\"/>
- ALL SANITARY SEWER LINES, WATER LINES, AND APPURTENANCES SHALL BE INSTALLED AND TESTED IN ACCORDANCE WITH MWLD'S STANDARD SPECIFICATIONS.
- ALL WORK MUST BE INSPECTED BY MWLD PRIOR TO BACKFILLING.
- ALL SANITARY SEWER LINES SHALL BE 300-1/2 PVC OR PROTECTED 40\"/>
- ALL LOW PRESSURE SEWER PIPE SHALL BE 300-1/2 HIGH DENSITY POLYETHYLENE (HDPE) PIPE AND SHALL BE INSTALLED WITH NO. 10 SOLID COPPER INSULATED WIRE THROUGHOUT.
- DUCTILE IRON PIPE PROTECTED 40\"/>
- DROP CONNECTION SHALL BE \"INSOLE DEEP SYSTEM\" BY RELIEFER OR EQUAL. INSTALL PER MWLD'S SPECIFICATIONS.
- ALL SEWER SERVICE LATERALS SHALL BE INSTALLED WITH A MINIMUM 1% SLOPE. CLEANOUTS IN PAVEMENT SHALL HAVE SOLID BRASS, THREADED, TRAFFIC-WAIVED CAPS. EFFORTS SHOULD BE MADE TO PLACE CLEANOUTS IN UNPAVED AREAS WHERE POSSIBLE.
- ALL 6\"/>
- ALL SANITARY SEWER LINES SHALL HAVE A MINIMUM OF 36 INCHES COVER UNDER ROADWAYS AND CROSSINGS. SEWER SHALL HAVE A MINIMUM OF 48 INCHES COVER AND IF 48 INCHES IS NOT AVAILABLE, THEN DUCTILE IRON PIPE MUST BE USED. PROTECTED 40\"/>
- GRAVITY SEWER PIPE DEFLECTION AND ALIGNMENT SHALL BE CHECKED AFTER BACKFILLING AND COMPACTION ARE COMPLETE AND PRIOR TO PLACING THE MANHOLE BASE. TEST DEFLECTION WITH A MANDREL OR OTHER APPROVED METHOD.
- PIPE WITH DEFLECTION OF 5/8\"/>
- PIPE TO BE MEASURED IN TERMS OF HORIZONTAL LENGTH COMPLETE IN PLACE, REGARDLESS OF PIPE SLOPE, CLASS, SIZE AND SIZE AS MEASURED ALONG THE CENTERLINE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. THIS METHOD FOR STRUCTURE TO CENTER OF STRUCTURE PIPE MAY VARY. THE CONTRACTOR SHALL SUPPLY AND INSTALL THE NECESSARY QUANTITY OF PIPE TO CONSTRUCT THE COMPLETE SYSTEM AS SHOWN. INSTALLATION INCLUDES EXCAVATION, SHOULDER, FURNISHING AND INSTALLATION OF PIPES, JOINT MATERIALS, COUPLINGS, AND BACKFILL.
- A RUBBER BOOT CONNECTOR (\"A-LOCK\" OR APPROVED EQUAL) SHALL BE FITTED WITH EACH PRECAST CONCRETE MANHOLE FOR EACH SANITARY SEWER MAIN OR LATERAL CONNECTING TO A MANHOLE. EACH TOP TO AN EXISTING MANHOLE TO BE MECHANICALLY GOUNED AND A \"TOP-IN-SEAL\" OR APPROVED EQUAL PIPE EXTENSIVE SHALL BE PROVIDED.
- ADJUST TOP OF CASTING (C) ELEVATIONS (ALL SEES) ALONG WITH FINAL JOINTS TO MATCH CROSS SLOPES AND LONGITUDINAL SLOPES.
- INSTALL FITTINGS (FOR SERVICE LATERALS) AS REQUIRED TO AVOID CONFLICTS WITH EXISTING AND PROPOSED UNDERGROUND CONFLICTS AND OBSTRUCTIONS.

- LEGEND:**
- PROPERTY LINE
  - EXISTING PROPERTY LINE
  - SO ----- PROPOSED STORM LINE
  - SB ----- PROPOSED AREA DRAIN/CATCH BASIN
  - SW ----- EXISTING STORM LINE
  - W ----- EXISTING WATER LINE
  - S ----- EXISTING SEWER LINE



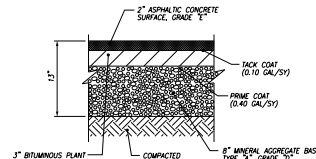
NOTES:  
 1. PREFORMED 1/2" EXPANSION JOINTS SHALL BE EQUALLY SPACED AT 50' MAXIMUM CENTERS. EQUALLY SPACE 1/4" CONTRACTION JOINTS AT 10' MAXIMUM CENTERS BETWEEN EXPANSION JOINTS.  
 2. EXACT CURB DIMENSIONS MAY BE ALTERED SLIGHTLY TO FIT STANDARD EXTRUDED CURB MACHINES, BUT SUCH VARIANCES MUST BE APPROVED BY THE ENGINEER.  
 3. MAXIMUM SLOPE FOR RAMP SHALL BE 1:21 IN ACCORDANCE WITH ADA REQUIREMENTS.

4 INTEGRAL CURB & SIDEWALK  
 C7 NTS



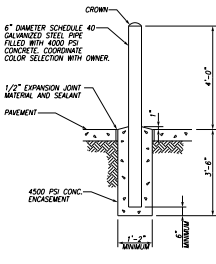
NOTES:  
 1. REFERENCE ASPHALT PAVEMENT SECTION DETAIL FOR THICKNESS OF PAVEMENT TO BE REPLACED.

3 TYPICAL ASPHALT SAW CUT  
 NTS

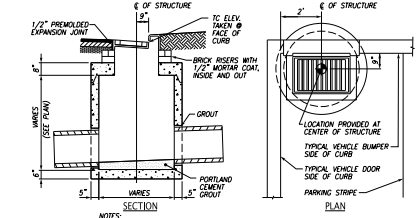


NOTES:  
 1. PAVEMENT HAS NOT BEEN DESIGNED FOR CONSTRUCTION TRAFFIC/ACTIVITIES. USE OF THESE SURFACES FOR CONSTRUCTION ACTIVITIES SHALL BE DONE AT THE CONTRACTOR'S CONVENIENCE AND RISK. DAMAGE TO PAVEMENT RESULTING FROM THESE ACTIVITIES SHALL BE REPAIRED IN CONFORMANCE WITH THE INITIAL PAVEMENT SPECIFICATIONS.

2 ASPHALT PAVEMENT SECTION  
 NTS

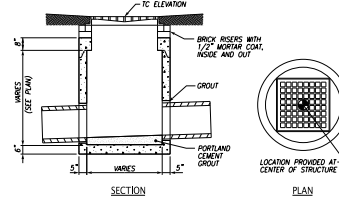


1 BOLLARD  
 NTS



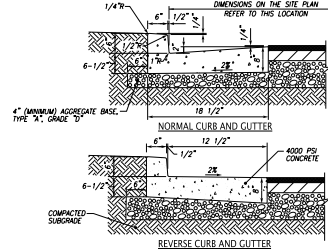
NOTES:  
 1. CATCH BASINS SHALL BE CIRCULAR OR SQUARE PRECAST CONCRETE STRUCTURE IN ACCORDANCE WITH ASTM C478 OR C713 (LATEST REVISION). DIMENSIONS MAY VARY DEPENDING ON PIPE SIZE AND ANGLE OF PIPES IN AND OUT OF STRUCTURE. THE GRADING IN THE STRUCTURE TOP SHALL NOT BE LESS THAN THE GRATE DIMENSIONS.  
 2. LADDER BARS SHALL BE PROVIDED PER OSHA REGULATIONS.  
 3. CATCH BASIN FRAME AND GRATE SHALL BE EJ USA INC. NO. 7510, TYPE A&J TO BACK OR EQUAL. THE GRATE AND CURB BASINS SHALL BE STAMPED WITH "DUMP NO WASTE...GRANDS TO WATERWAYS" WITH FISH BONE OR EQUAL.  
 4. SLOPE THE FRAME TO MATCH THE CROSS SLOPE AND GUTTER LINE SLOPES OF THE PAVEMENT.

8 SINGLE CATCH BASIN  
 NTS



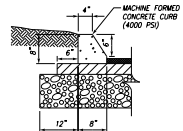
NOTES:  
 1. AREA DRAINS SHALL BE CIRCULAR OR SQUARE PRECAST CONCRETE STRUCTURE IN ACCORDANCE WITH ASTM C478 OR C713 (LATEST REVISION). DIMENSIONS MAY VARY DEPENDING ON PIPE SIZE AND ANGLE OF PIPES IN AND OUT OF STRUCTURE. THE OPENING IN THE STRUCTURE TOP SHALL NOT BE LESS THAN THE GRATE DIMENSIONS.  
 2. LADDER BARS SHALL BE PROVIDED PER OSHA REGULATIONS.  
 3. LOCATION AND TO ELEVATIONS GIVEN AT CENTER OF THE STRUCTURE.  
 4. FRAME AND GRATE SHALL BE EJ USA INCORPORATED MODEL NO. V-5853 OR EQUAL. GRATE BY PROCESTRAN TRAFFIC MARKS SHALL BE EJ USA INCORPORATED MODEL NO. V-5853-80 ADA STAIR OR EQUAL. THE GRATE SHALL BE STAMPED WITH "DUMP NO WASTE...GRANDS TO WATERWAYS" WITH FISH BONE OR EQUAL.  
 5. SLOPE THE FRAME TO MATCH THE CROSS SLOPE AND GUTTER LINE SLOPES OF THE PAVEMENT.

7 AREA DRAIN  
 NTS



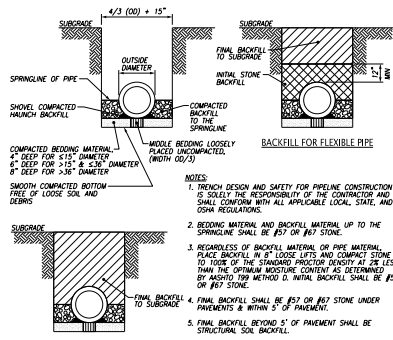
NOTES:  
 1. PREFORMED 3/4" EXPANSION JOINTS SHALL BE EQUALLY SPACED AT 100' MAXIMUM CENTERS. EXPANSION JOINTS SHALL ALSO BE PLACED AT TANGENT POINTS AND BETWEEN CURBS & ROAD OBJECTS.  
 2. EQUALLY SPACE 1/4" CONTRACTION JOINTS AT 10' MAXIMUM CENTERS BETWEEN EXPANSION JOINTS.  
 3. USE REVERSE CURB AND GUTTER WHEN THE PAVEMENT SLOPES AWAY FROM THE CURB.  
 4. LOWER CURB WHERE CURB & GUTTER IS ADJACENT TO SIDEWALKS.  
 5. PRIOR TO BACKFILLING, PREVENT WATER FROM PONDING BEHIND CURBS.

6 CURB & GUTTER  
 NTS



NOTES:  
 1. PREFORMED 1/2" EXPANSION JOINTS SHALL BE EQUALLY SPACED AT 50' MAXIMUM CENTERS. EQUALLY SPACE 1/4" CONTRACTION JOINTS AT 10' MAXIMUM CENTERS BETWEEN EXPANSION JOINTS.  
 2. EXPANSION JOINT MATERIAL REQUIRED FOR GRASS MEDIANS.  
 3. EXACT CURB DIMENSIONS MAY BE ALTERED SLIGHTLY TO FIT STANDARD EXTRUDED CURB MACHINES, BUT SUCH VARIANCES MUST BE APPROVED BY THE ENGINEER.  
 4. IMMEDIATELY AFTER THE CONCRETE HAS SUFFICIENTLY SET, BACKFILL BEHIND CURBS TO PREVENT PONDING OF SURFACE WATER.

5 EXTRUDED CURB  
 NTS



NOTES:  
 1. TRENCH DESIGN AND SAFETY FOR PIPELINE CONSTRUCTION IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL CONFORM WITH ALL APPLICABLE LOCAL, STATE, AND OSHA REGULATIONS.  
 2. BEDDING MATERIAL AND BACKFILL MATERIAL, UP TO THE SPRINGLINE SHALL BE #57 OR #67 STONE.  
 3. REGARDLESS OF BACKFILL MATERIAL OR PIPE MATERIAL, PLACE BACKFILL IN 8" LOOSE LIFTS AND COMPACT STONE TO 100% OF THE STANDARD PROCTOR DENSITY AT 2% LESS THAN THE OPTIMUM MOISTURE CONTENT AS DETERMINED BY RASHTO TAP METHOD OR INITIAL BACKFILL SHALL BE #57 OR #67 STONE.  
 4. FINAL BACKFILL SHALL BE #57 OR #67 STONE UNDER PAVEMENTS & WITHIN 5' OF PAVEMENT.  
 5. FINAL BACKFILL BEYOND 5' OF PAVEMENT SHALL BE STRUCTURAL SOIL BACKFILL.

9 PIPE BEDDING AND BACKFILL  
 NTS

Project Information:

23015

**SUMMIT HILL MEDICAL CENTER ADDITION**  
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Suit

PRELIMINARY PACKAGE:  
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A. SD SUBMITTAL	07/07/2022

Issue Date: JULY 07, 2022  
 P/C:  
 P/A:  
 Drawn By: H. JORDAN  
 Checked By: A. GRYW  
 Sheet Information:

C7

DETAILS

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DESIGN PROFESSIONAL LICENSE #
DESIGN PROFESSIONAL EXPIRES
DESIGN PROFESSIONAL PHONE
DESIGN PROFESSIONAL EMAIL
DESIGN PROFESSIONAL LICENSE #
DESIGN PROFESSIONAL LICENSE #
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9-A-23-TOB

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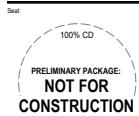
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Consultant:

Table with columns: #, ISSUED BY, DATE. Includes rows for Issue Date, PC, PM, PA, Drawn By, Checked By, and Sheet Information.

G-100
PROJECT CODE AND REGULATORY REQUIREMENT INFORMATION




### CODE COMPLIANCE NOTES

- ALL WORK IS TO BE IN ACCORDANCE WITH ALL CODES HAVING JURISDICTION OVER THIS PROJECT.
- EXIT DOORS SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL WHEN SERVING 50 OR MORE OCCUPANTS.
- ALL DOORS USED IN CONJUNCTION WITH EXITS SHALL BE SO ARRANGED AS TO REPLY OPEN FROM THE SIDE FROM WHICH EGRESS IS TO BE MADE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE.
- FINAL LOCATIONS OF ALL LIFE SAFETY DEVICES AND FEATURES ARE SUBJECT TO APPROVAL BY THE BUREAU OF THE FIRE PREVENTION.
- PROVIDE A PORTABLE FIRE EXTINGUISHER IN A 200B-POUNDED OR RECESSED FIRE EXTINGUISHER CABINET IN EACH ROOM AS SHOWN ON THESE PLANS. FIRE EXTINGUISHERS SHALL BE MOUNTED TO THE TOP OF THE FIRE EXTINGUISHER CABINET TO EXTEND THROUGHOUT THE ROOM. MAKE NECESSARY PROVISIONS WITH WALL CONNECTION TO PROVIDE ADEQUATE CLEARANCE FOR THE SPECIFIED EXTINGUISHER CABINET. REFER TO TYP PARTITION DETAILS FOR FIRE EXTINGUISHER CABINET SETTING.
- EXISTING WALLS SHOWN WITH NEW LIFE SAFETY FEATURES ARE TO BE UPGRADED TO THE NEW FINISH, INCLUDING PROTECTIVE CORNERING. REFER TO ELECTRICAL FOR LOCATION AND QUANTITY OF SMOKE DETECTORS, STROBES AND EXIT LIGHTS.

☐ No doors defined

### CODE PLAN SUMMARY

TOTAL OCCUPANT LOAD: 36

#### PLUMBING FEATURE COUNT:

OCCUPANT: BUSINESS  
 OCCUPANTS IN SCORE OF WORK: 23

#### RESTROOMS:

TOILETS/MENALS:  
 MEN 1 (24-100) = 1  
 WOMEN 1 (24-100) = 1

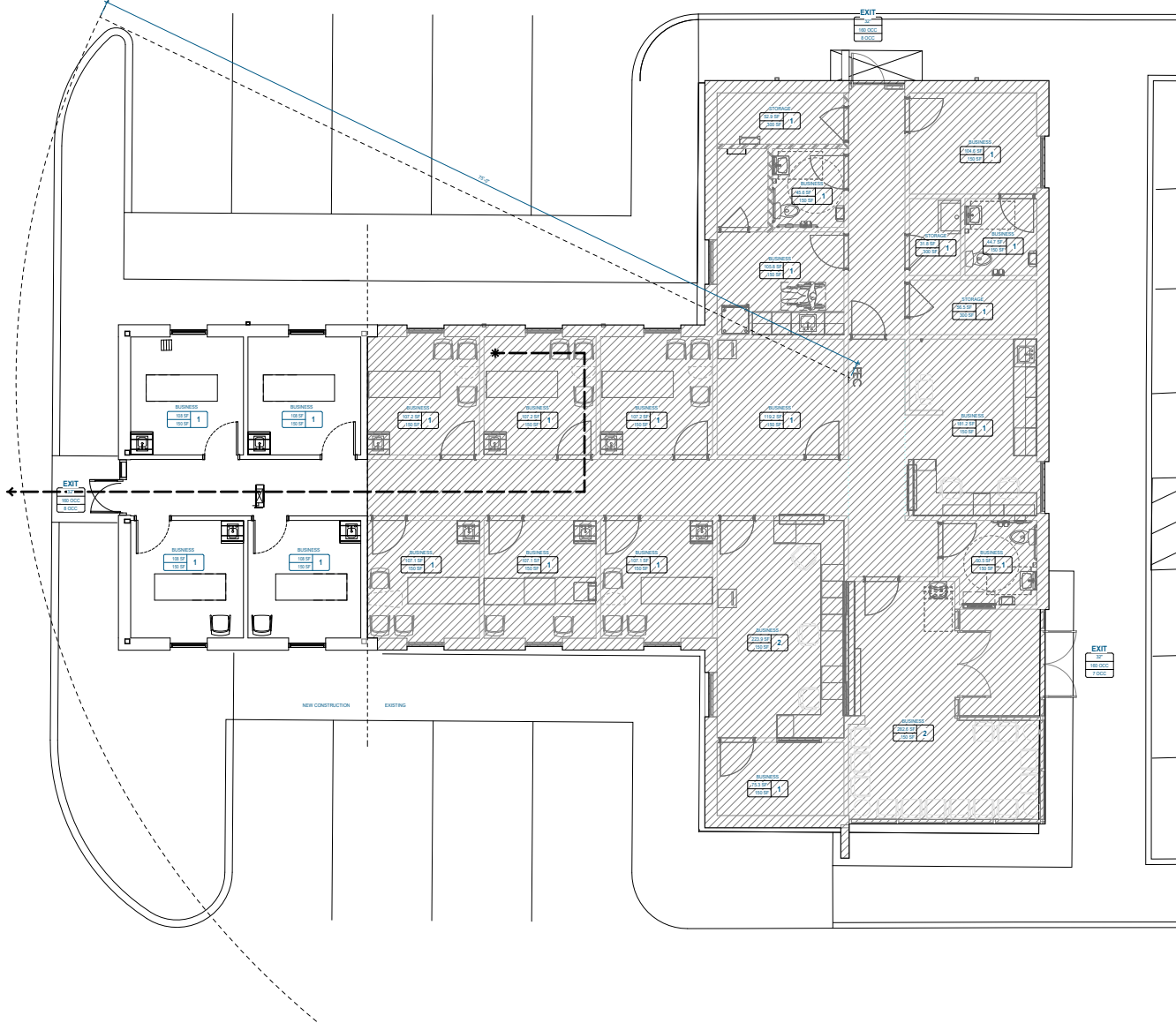
#### LAVATORIES:

MEN 1 (40-80) = 1  
 WOMEN 1 (40-80) = 1

#### DRINKING FOUNTAIN:

1 SERVICE SINK

\*ALL EXISTING EGRESSES TO REMAIN



### CODE PLAN LEGEND

#### RATED PARTITION TYPES



#### AREA OCCUPANCY TAG



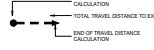
#### AREA EXIT CAPACITY TAG



#### BUILDING EXIT CAPACITY



#### LONGEST ROUTE TO AN EXIT



#### NUMBER OF OCCUPANTS AT A GIVEN POINT ALONG TRAVEL PATH



#### FIRE EXTINGUISHER & CABINET (SCREENED IF EXISTING)



#### FIRE EXIT SIGNAGE

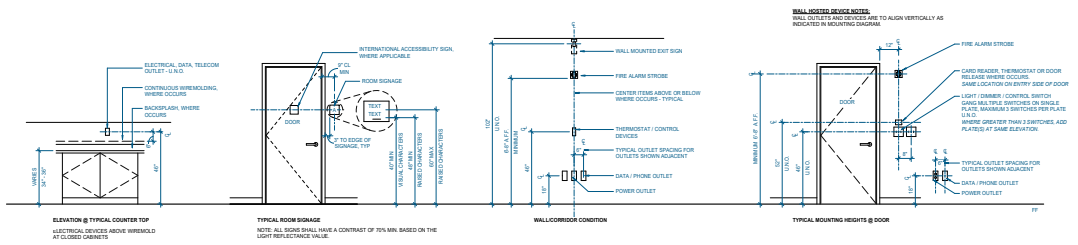


#### OUT OF SCOPE OF WORK





## GENERAL MOUNTING HEIGHTS

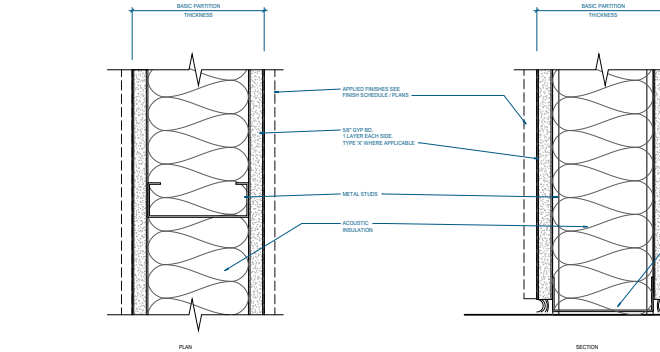


## MOUNTING HEIGHTS NOTES

- COORDINATE WITH APPLICABLE DIMENSIONS AND DETAILS ON OTHER SHEETS.
- ALL DIMENSIONS ARE IN INCHES - UNLESS OTHERWISE NOTED.
- NOTES AND DETAILS ARE TYPICALLY APPLICABLE TO SIMILAR ITEMS ELSEWHERE ON THE SHEET.
- WALL OUTLETS AND DEVICES ARE TO ALIGN VERTICALLY AS INDICATED IN MOUNTING DIAGRAM.
- DATA AND TELECOM DEVICES TO BE MOUNTED TO THE WALL WITH A SINGLE COVER PLATE WHENEVER POSSIBLE. MULTIPLE DEVICES WHICH CANNOT BE GROUPED TOGETHER IN THE SAME BOX SHALL BE LOCATED SEPARATELY TOGETHER AS POSSIBLE AND MOUNTED AT THE SAME HEIGHT.
- ACCESSORIES SUCH AS GRAB BARS, TOWEL BARS, PAPER DISPENSERS AND SOAK SINKS ARE TO BE INSTALLED BEYOND OF A WALL, WATER CLOSET SINK OR LAVATORY SHALL BE MOUNTED AT THE SAME ELEVATION.
- CONTRACTOR TO COORDINATE THE LOCATION OF ALL DEVICES WITH ARCHITECT/DESIGNER.
- ALL ITEMS SHOWN ON THIS SHEET ARE TYPICAL. COORDINATE WITH ACTUAL FINISHES OR FINISHES LISTED.
- ALL GRAPHS AND TEXT ON THIS PAGE DO NOT SUPERSEDE CURRENT ACCESSIBILITY CODES AND REGULATIONS. GRAPHS MAY VARY FROM THE PRODUCT SELECTION EXACTLY GRAPHICS SHOWN FOR INTENT ONLY.
- REFERENCE ANSI A117.1-2018 FOR TACTILE SIGN LOCATION REQUIREMENTS.
- ALL FINISHES AND ACCESSORY CHARACTERISTICS & DIMENSIONAL CLEARANCES MUST BE COMPLY WITH ICC AND A117.1-2018.

## PARTITION TYPE GENERAL NOTES

- NOTE: PARTITION DESIGNATIONS OMITTED OR SKIPPED IS INTENTIONAL.
- REFER TO FLOOR PLAN SERIES FOR LOCATION OF PARTITION TYPES. ALL PARTITIONS ARE TYPE AND UNLESS NOTED OTHERWISE. NOT ALL PARTITION TYPES SHOWN ARE LISTED.
  - REFER TO PARTITION PLAN SCHEDULE FOR NAME AND FINISH. FINISH NOT SHOWN ON PARTITION TYPE DETAILS.
  - PARTITION TYPES SHOWN ON THIS SHEET ARE TO BE BASED ON WALL AND CEILING HEIGHTS. REFER TO THE FOLLOWING SHEETS FOR SPECIFIC HEAD AND JAMB CONDITIONS FOR PARTITION PARTITIONS. REFER TO THE PARTITION TYPE DETAILS FOR MORE INFORMATION.
  - PROVIDE DOUBLE STUD FRAMING AROUND ALL JAMBS AND HEADS OF DOOR FRAMES. CASED DOOR FRAMES SHALL BE MOUNTED TO THE STUDS.
  - ALL NON-BEARING PARTITIONS SHALL BE CONSTRUCTED TO LIMIT DEFLECTION TO 1/100 OF THE FOLLOWING SHEETS FOR SPECIFIC HEAD AND JAMB CONDITIONS FOR PARTITION PARTITIONS. REFER TO THE PARTITION TYPE DETAILS FOR MORE INFORMATION. UNLESS NOTED OTHERWISE, ALL PARTITIONS SHALL BE CONSTRUCTED TO MEET PERFORMANCE CRITERIA, UNLESS NOTED OTHERWISE. PROVIDE DOUBLE STUD FRAMING AROUND ALL JAMBS AND HEADS OF DOOR FRAMES. CASED DOOR FRAMES SHALL BE MOUNTED TO THE STUDS.
  - PROVIDE NON-COMBUSTIBLE STIFFENERS, BRACING, BACKING PLATES AND ISOLATING REQUIRED FOR SOUND. INSTALLATION OF TYPICAL PARTITIONS. PROVIDE DOUBLE STUD FRAMING AROUND ALL JAMBS AND HEADS OF DOOR FRAMES. CASED DOOR FRAMES SHALL BE MOUNTED TO THE STUDS. PROVIDE DOUBLE STUD FRAMING AROUND ALL JAMBS AND HEADS OF DOOR FRAMES. CASED DOOR FRAMES SHALL BE MOUNTED TO THE STUDS.
  - PARTITION TYPES AND ACCESSORIES SHALL BE CONSTRUCTED TO MEET THE TRANSFER OF LOAD TO PARTITION FRAMING. STOP STUDS 1/4" BELOW CEILING FINISH TOP TRACK TO ALLOW FOR SERVICE. EXEMPTED STOP TRACK FROM DEFLECTION CRITERIA. DO NOT ATTACH STUDS TO TOP TRACK. DO NOT ATTACH GYPSUM BOARD TO THE DEFLECTION TRACK.
  - WATER RESISTANT GYPSUM BOARD SHALL BE USED FOR ALL INTERIOR PARTITIONS. PARTITIONS SHALL BE USED ON PARTITION ACCESSIBLE AS SET OR TIEED LOCATIONS SCHEDULED IN THE ROOM FRESH SCHEDULE.
  - DO NOT RETAIL OUTLET OR J-BOXES BACK-TO-BACK ON OPPOSITE SIDES OF THE WALL. SIDES MUST BE SEPARATED BY A STUD (2" MIN).
  - TYPE AND J-BOX CONFORM TO ALL INTERIOR CORNERS AND JOINTS OF GYPSUM BOARD. UNLESS NOTED OTHERWISE FOR MOVEMENT CONTROL.
  - JOINTS SHALL BE FINISHED WITH FINISH TYPICAL TO THE FINISH OF THE CONTROL. CONTROL JOINTS ARE TO BE FINISHED WITH FINISH TYPICAL TO THE FINISH OF THE CONTROL. CONTROL JOINTS ARE TO BE FINISHED WITH FINISH TYPICAL TO THE FINISH OF THE CONTROL.
  - INSTALL METAL CASING TRIM AND APPLY JOINT COMPOUND TO ALL EXPOSED EDGES OF GYPSUM BOARD UNLESS NOTED OTHERWISE.
  - INSTALL METAL RECESSED SWITCH PLATES PER MANUFACTURER'S INSTRUCTIONS.
  - REFER TO STRUCTURAL DRAWINGS & SPECIFICATION FOR ALL MTL FRAMING LOAD & THICKNESS REQUIREMENTS.
  - WHERE PARTITION TYPE IS INTERRUPTED BY ANY OPENING DOOR OR WINDOW CONSTRUCTION ABOVE OR BELOW SHALL BE THE SAME AS THE DESIGNATED PARTITION TYPE ADJACENT TO OPENING OCCURRENCE.
  - ALL NON-LOAD-BEARING STUD FRAMING SHALL BE 2X GAUGE UNLESS NOTED OTHERWISE.

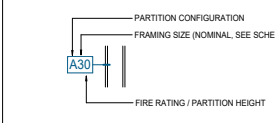


SINGLE LAYER BALANCED ACOUSTIC GYP BOARD PARTITION

PARTITION TYPE TAG	A2 <sub>1</sub>	A3 <sub>1</sub>	A4 <sub>1</sub>	A6 <sub>1</sub>	HEAD DETAIL
	<b>A</b> - NON-RATED WITH GYP BO TO 6" ABOVE CEILING	A21	A31	A41	
<b>B</b> - NON-RATED WITH STUDS & GYP BO TO FINISHED CEILING	A2B	A3B	A4B	A6B	MSD - OPL
<b>S</b> - NON-RATED WITH GYP BO TO STRUCTURE ABOVE	A2S	A3S	A4S	A6S	- / -
<b>S</b> - NON-RATED WITH GYP BO TO STRUCTURE ABOVE					- / -
STUD SIZE	2 1/2"	3 1/2"	4"	6"	
BASIC PARTITION THICKNESS	3 3/4"	4 1/2"	5 1/4"	7 1/4"	
ACOUSTICAL RATING (STC)	44	47	49	49	
ACOUSTICAL TEST NUMBER	SA 8707 / NOTE 1	SA 8707 / NOTE 1	SA 8707 / NOTE 1	NGC 201716 / NOTE 1	
FIRE TEST NUMBER (WHERE APPLIES)	N/A	UL DES 1485 / 1485	UL DES 1485 / 1485	UL DES 1485 / 1485	

- NOTES:
- STCS ARE PREDICTED USING THE "TRAC" COMPUTER PROGRAM.
  - STCS ARE BASED ON BEST PRACTICE STUDS.
  - STC VALUES ONLY APPLICABLE FOR PARTITION DESIGN TYPE A & B.
  - THE SCHEDULE BOARD WALL PANELS SHALL BE USED ON PARTITION ACCESSIBLE AS SET OR TIEED LOCATIONS SCHEDULED IN THE ROOM FRESH SCHEDULE.

## INTERIOR PARTITION TYPE PLAN SYMBOL



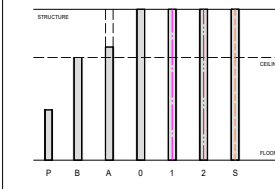
## PARTITION TAG LEGEND

FRAMING SIZE CHART (SEE PARTITION CHARTS)

XX	FRAMING SIZE (MTL)	XX	FRAMING SIZE (CMU)
0	1 1/2" ON 2" FLOORING	4	2 1/2" CONCRETE MASONRY UNIT
1	1 1/2" NON-LOAD-BEARING MTL STUD	6	5 1/2" CONCRETE MASONRY UNIT
2	2" NON-LOAD-BEARING MTL STUD	8	5 1/2" CONCRETE MASONRY UNIT
3	2 1/2" NON-LOAD-BEARING MTL STUD	10	5 1/2" CONCRETE MASONRY UNIT
4	4" NON-LOAD-BEARING MTL STUD	12	11 1/2" CONCRETE MASONRY UNIT
6	6" NON-LOAD-BEARING MTL STUD		
8	8" NON-LOAD-BEARING MTL STUD		

FIRE RATING / PARTITION HEIGHT DESIGNATION

XX	HEIGHT/RATING DESCRIPTION
A	NON-RATED - EXTEND STUDS TO UNDERSIDE OF STRUCTURE ABOVE. EXTEND COVER OR BRACE FOR ACOUSTIC INSULATION TO TOP FLOOR CEILING.
B	NON-RATED PARTITION - TO UNDERSIDE OF CEILING.
0	NON-RATED - TO UNDERSIDE OF STRUCTURE ABOVE.
1	1 HOUR FIRE-RATED
2	2 HOUR FIRE-RATED
S	SMOKE-RESISTANT PARTITION
P	PARTIAL HEIGHT PARTITION (SEE PLAN & ELEVATIONS FOR PARTITION HEIGHT)







#	ISSUED BY	DATE

Issue Date: TBD  
 PC: NATHAN HONEYCUTT  
 PM: KATHERYN GREER  
 PA: KATHERYN GREER  
 Drawn By: GRACE HOOPER  
 Checked By: Project Checked By

### SITE PLAN GENERAL NOTES

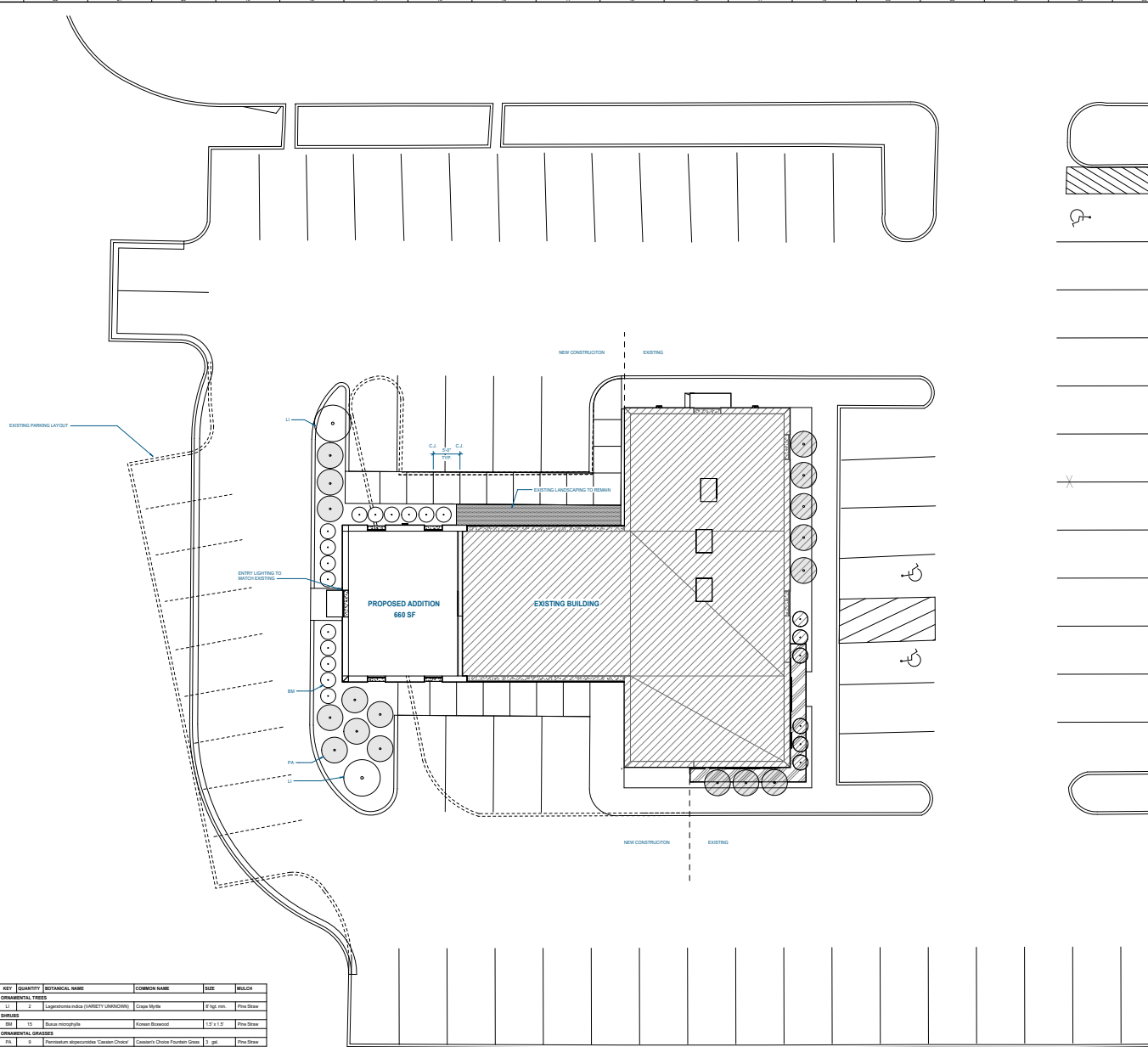
1. INFORMATION USED TO GENERATE THIS SITE PLAN CAME FROM SITE SURVEY DATED \_\_\_\_\_ REFER TO 1-18 & C-18 DRAWINGS
2. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION
3. CONSTRUCT ALL SIDEWALKS WITH A MINIMUM 2% CROSS SLOPE AWAY FROM BUILDING UNLESS NOTED OTHERWISE. SLOPE AWAY FROM SIDEWALK ADJACENT
4. "CJ" STANDS FOR CONTROL JOINT. "EJ" STANDS FOR EXPANSION JOINT
5. NEW SIDEWALKS ARE 3" WIDE WITH CONTROL JOINTS EVERY 8' OF C/C AND EXPANSION JOINTS EVERY 20'-0" C/C UNLESS NOTED OTHERWISE
6. DIMENSIONS SHOWN ON SITE PLAN ARE TO FRONT FACE OF CURB EXCEPT IN CASE OF MANHOLE CONCRETE IN BUILDING AND CENTERLINE OF STRIPING UNLESS NOTED OTHERWISE. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES DO NOT SCALE THE DRAWINGS
7. REFER TO CIVIL FOR ELEVATIONAL LAYOUT OF PARKING, STRIPING, DRIVE SIGNAGE AND LOCATION OF BUILDING.
8. REFER TO CIVIL DRAWINGS FOR EXISTING SITE ITEMS TO REMAIN, TO BE REMOVED, TO BE RELOCATED AND THE RESPONSIBLE PARTY FOR EACH.
9. ALL GRADING SHALL SLOPE AWAY FROM BUILDING.
10. CONCRETE SIDEWALK TO MATCH EXISTING IN FINISH AND COLOR.

### SITE PLAN KEYNOTES

ALL EXTERIOR LIGHTING TO MATCH EXISTING

### SITE PLAN LEGEND

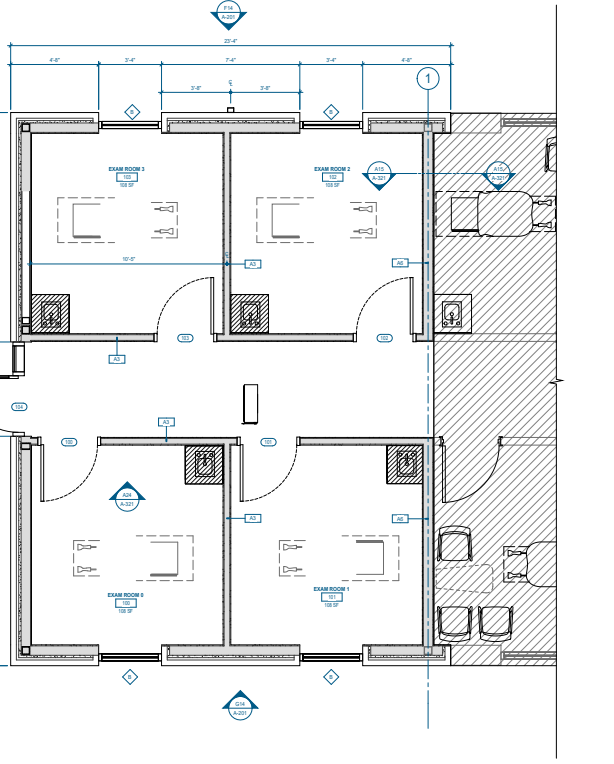
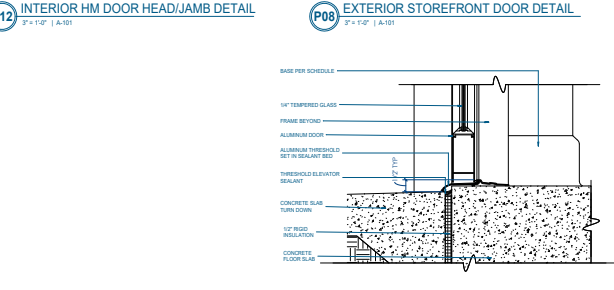
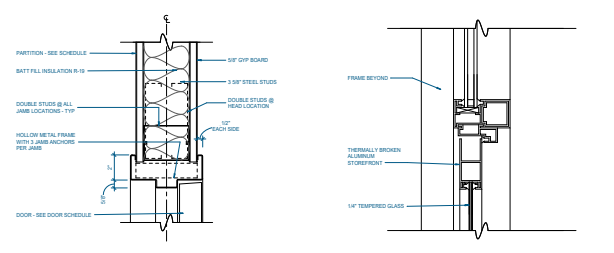
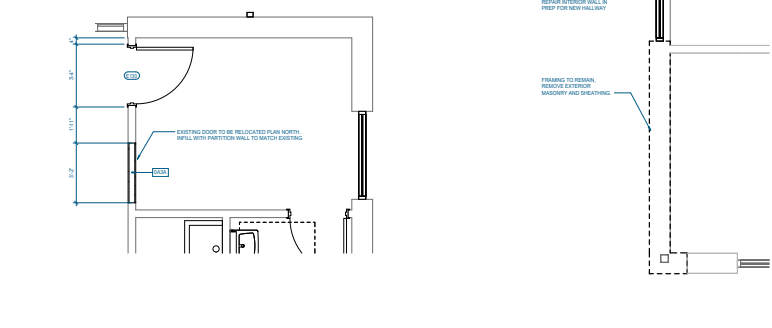
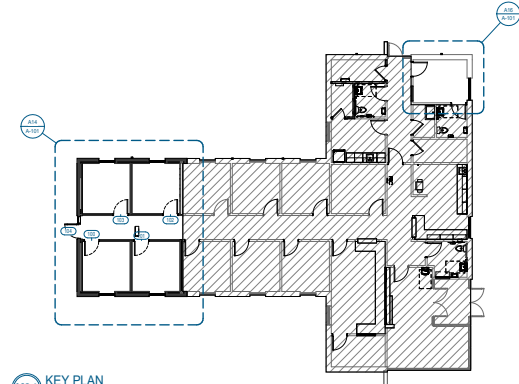
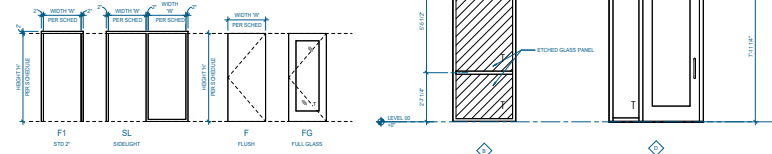
- EXISTING SIDEWALK
- NEW SIDEWALK
- EXISTING BUILDING
- POWERPOLE
- NEW SITE LIGHTING
- BOLLARD
- PROPERTY LINE
- AREA OUT OF ARCHITECTURAL SCOPE. REFER TO MEP AND STRUCTURAL FOR ADDITIONAL WORK IF NEEDED
- KEYED NOTE MARK
- CONSTRUCTION JOINT
- CONTROL JOINT
- EXPANSION JOINT
- DEMOLISHED PAVING
- CENTERLINE OF OBJECT



KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	MULCH
<b>ORNAMENTAL TREES</b>					
L1	2	Liquidambar styraciflua (WAXY SPICEWOOD)	Creeper Maple	8" Hgt. min.	Tree Straw
<b>SHRUBS</b>					
SH1	15	Buxus microcarpa	Korean Boxwood	1.5' x 1.5'	Tree Straw
<b>ORNAMENTAL GRASSES</b>					
PA	9	Panicum alpinum 'Golden Chisel'	Caspar's Chisel Fountain Grass	1' tall	Tree Straw

ASSEMBLY	LEAF INFORMATION				FRAME INFORMATION				HARDWARE INFORMATION				DETAILS						
	DOOR NO.	W	H	THK	TYPE	LEAF QTY	MATL	FINISH	GLAZING	FUNCTION	TYPE	MATL	FINISH	SET NO.	KEYSIDE ROOM NAME	HEAD	JAMB	SILL	LEAF_WIDT H
100	3'-0"	7'-0"	1-1/2"	PS	1	SD				EXAM ROOM	PS	PS	PS	1	EXAM ROOM 1	PS	PS	PS	3'-0"
101	3'-0"	7'-0"	1-1/2"	PS	1	SD				EXAM ROOM	PS	PS	PS	2	EXAM ROOM 1	PS	PS	PS	3'-0"
102	3'-0"	7'-0"	1-1/2"	PS	1	SD				EXAM ROOM	PS	PS	PS	3	EXAM ROOM 1	PS	PS	PS	3'-0"
103	3'-0"	7'-0"	1-1/2"	PS	1	SD				EXAM ROOM	PS	PS	PS	4	EXAM ROOM 1	PS	PS	PS	3'-0"
104	3'-0"	7'-0"	1-1/2"	PS	1	SD				EXAM ROOM	PS	PS	PS	5	EXAM ROOM 1	PS	PS	PS	3'-0"
105	3'-0"	7'-0"	1-1/2"	PS	1	SD				EXAM ROOM	PS	PS	PS	6	EXAM ROOM 1	PS	PS	PS	3'-0"
106	3'-0"	7'-0"	1-1/2"	PS	1	SD				EXAM ROOM	PS	PS	PS	7	EXAM ROOM 1	PS	PS	PS	3'-0"

FINISH ABBREVIATIONS	FRAME FUNCTION ABBREVIATIONS
AL-4	ANODIZED ALUMINUM
AL-4	BLACK ANODIZED ALUMINUM
CC-300	HOLLOW CORE WOOD VENEER
HW	SOLID CORE WOOD VENEER
IP	HOLLOW METAL
PLM	PLASTIC LAMINATE FACED DOOR
PF-4	PAINTED FINISH
PF-5	STAINED FINISH
PS	PANEL GLASS STEEL FINISH
SD	SCHEDULE DOOR
SD-1	STANDARD DOOR
SD-2	STANDARD DOOR
SD-3	STANDARD DOOR
SD-4	STANDARD DOOR
SD-5	STANDARD DOOR
SD-6	STANDARD DOOR
SD-7	STANDARD DOOR
SD-8	STANDARD DOOR
SD-9	STANDARD DOOR
SD-10	STANDARD DOOR
SD-11	STANDARD DOOR
SD-12	STANDARD DOOR
SD-13	STANDARD DOOR
SD-14	STANDARD DOOR
SD-15	STANDARD DOOR
SD-16	STANDARD DOOR
SD-17	STANDARD DOOR
SD-18	STANDARD DOOR
SD-19	STANDARD DOOR
SD-20	STANDARD DOOR



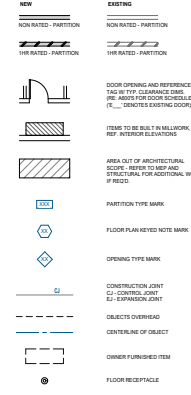
**FLOOR PLAN GENERAL NOTES**

- REFER TO SHEET A-01 FOR ADDITIONAL GENERAL NOTES.
- ALL NEW PARTITIONS SHALL BE TYPE AND GLAZING REFER TO PARTITION SCHEDULE FOR MORE INFORMATION.
- REFER TO PARTITION TYPE FOR LOCATION OF SOUND ATTENUATION BARRIERS.
- PARTITION TYPES ARE SCHEDULED IN THE A-100 SERIES. SEE THE A-100 SERIES "DOOR COMPLIANCE PLANS LIFE SAFETY PLAN" FOR GRAPHIC EXTENT OF FIRE RATED PARTITIONS.
- TYPICAL DIMENSIONS SHOWN ON THE FLOOR PLAN FOR DOOR SCHEDULES ARE TO THE FACE OF STUD OR CENTERLINE OF COLUMN AND TO FACE OF CONCRETE OR MASONRY WALLS UNLESS OTHERWISE NOTED. DIMENSIONS IN REDUCED SCALE ARE FROM FLOOR FACE OF EXISTING WALL TO FLOOR FACE OF NEW WALL. UNLESS OTHERWISE INDICATED DIMENSIONS NOTED AS MINIMUM CLEARANCE SHALL BE TO FACE OF PARTITION FINISH UNLESS OTHERWISE INDICATED.
- PARTITIONS NOT DIMENSIONED ARE GENERALLY LOCATED BY ONE OF THE FOLLOWING METHODS:  
A. VERTICAL CENTERLINE: CENTER OF PARTITION ALONG WITH THE CENTER OF EXISTING CONCRETE OR MASONRY COLUMN OR COLUMN OR MULLION. CENTER THE OVERALL PARTITION WITH FINISH THICKNESS OF THE WALL.  
B. FACE OF EXISTING WALL: PARTITION TO FACE OF EXISTING WALL OR EXISTING PARTITION. REMOVE THE EXISTING CORNER BEAD, TANK, SPACER AND GLASS UNLESS NOTED. RE-AND EXISTING ORIGINAL TO BE IN THE SAME PLANE WITH THE NEW JOINT.  
C. WHERE NEW OPENING: PARTITION TO FACE OF EXISTING CORNER BEAD OR EDGE. REMOVE THE EXISTING CORNER BEAD, TANK, SPACER AND GLASS UNLESS NOTED. RE-AND EXISTING ORIGINAL TO BE IN THE SAME PLANE WITH THE NEW JOINT.
- WHERE NEW OPENING IS TO BE PROVIDED IN AN EXISTING PARTITION OR COLUMN ENCASEMENT, THE FACE OF THE NEW OPENING SHALL BE PROVIDED WITH A FRAME SMOOTH TO MATCH ADJACENT CONSTRUCTION AS NOTED BY BULLETIN THROUGHOUT THE DRAWINGS UNLESS OTHERWISE NOTED.
- SEE EXTERIOR ELEVATIONS FOR LOCATIONS OF VERTICAL EXPANSION JOINTS IN MASONRY.
- SEE EQUIPMENT DRAWINGS (E-1000) FOR LOCATION OF FOOD SERVICE EQUIPMENT NOT SHOWN. COORDINATE WITH MECHANICAL, PLUMBING AND ELECTRICAL.
- PROVIDE MINIMUM 1/2" CLEAR FLOOR SPACE AT THE PUSH SIDE OF EVERY DOOR WITH A GLASS. PROVIDE MINIMUM 1' CLEAR AT THE PULL SIDE OF EVERY DOOR. UNLESS SPECIFICALLY DIMENSIONED, NOTED OR SHOWN OTHERWISE.
- LOCATE DOORS AT A FRESH FACE OF INTERSECTING STUD PARTITION TO INSIDE EDGE OF DOOR FRAME AND LOCATE DOORS IN MASONRY AT FRESH FACE OF INTERSECTING MASONRY PARTITION TO INSIDE EDGE OF DOOR FRAME AND.
- THE ROUGH OPENING OF A NEW DOOR GRAPHICALLY SHOWN IN THE CENTER OF WALL DIMENSIONS SHOULD BE CONCENTRIC ON THAT ROOMSPACE.
- ALL SUPPLIED CORNERS, VERTICAL AND HORIZONTAL, SHALL BE BULL-NOSSED.
- SEE G-103 FOR TYPICAL MOUNTING HEIGHTS.
- VERIFY LOCATION OF HARBORBOARDS, TACHES, AND MONITORS PRIOR TO INSTALLATION.
- FIELD MEASURE AND CONFIRM DIMENSIONS FOR EQUIPMENT FURNISHING & ARCHITECTURE, HOOKUP AND WIRING.
- LAUNCHES AND SINKS SHALL BE ACCOMPANIED BY A PAPER TONNEL, DOWNPIPE AND DRAIN COUPLER UNLESS OTHERWISE NOTED ON THE FLOOR PLAN.
- SEE DOOR SCHEDULES FOR DOOR FRAME MATERIALS, FINISHES AND ALL HARDWARE COMBINATIONS. REFER TO PROJECT MANUAL.
- REFER TO MOUNTING DIAGRAMS AND ELEVATIONS FOR LOCATION OF SWITCHES, DIMMERS, THERMOSTATS AND OUTLETS.

**FLOOR PLAN KEYED NOTES**

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RCP GENERAL NOTES

1. CEILING HEIGHTS TO BE "11" UNLD
2. FOR CEILING FINISHES, REFER TO FINISH SCHEDULE.
3. ALL INTERIOR OYSPAM CEILING BULK HEADS HEIGHT TO BE "11" UNLD
4. SEE ELECTRICAL DRAWINGS FOR THE LOCATIONS OF CEILING MOUNTED SMOKE DETECTORS, OPERABLE MANUAL CALL DOWN DEVICES, EXIT SIGNAGE, FIRE ALARM DEVICES, WALL MOUNTED EXIT LIGHTS, ETC.
5. CENTER ALL CEILING MOUNTED LIGHT FIXTURES, LIFE SAFETY DEVICES, SMOKE DETECTORS, SPRINKLERS AND OTHER DEVICES IN THE CENTER OF THE BOARD SOFFIT. IN BOTH DIRECTIONS AND BE CENTERED WITHIN OYSPAM BOARD SOFFIT, UNLESS OTHERWISE NOTED.
6. LIGHTING FIXTURES ARE DIMENSIONED TO CENTER OF FIXTURE, UNLESS OTHERWISE NOTED.
7. IF LOCATION DIMENSIONS ARE NOT INDICATED, FINAL POSITION OF ANY WALL MOUNTED DEVICES AND DEVICES SHALL BE COORDINATED WITH ARCHITECT.
8. UNLESS OTHERWISE NOTED, THE CEILING SHALL BE INDICATED BY AN OYSPAM BOARD SOFFIT OR UNLESS OTHERWISE NOTED.
9. UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL VERIFY THAT ACCESS PANELS OF FLOOR DEVICES ARE INSTALLED IN THE CORNER OF THE CEILING. THESE DEVICES OR ADJUSTMENT TO MECHANICAL, PLUMBING, OR ELECTRICAL ITEMS MAY BE REQUIRED IF NOT INDICATED IN THE DRAWINGS. COORDINATE WITH ARCHITECT WITH APPLICABLE CODES. COORDINATE BY ARCHITECT PRIOR TO INSTALL.
10. VERIFY THAT ALL MECHANICAL ELEMENTS FIT IN PLACE AND ARE SECURED BEFORE PROCEEDING WITH FINISHING CEILING. THE CONTRACTOR SHALL REPORT ANY DEVIATIONS OR NONCONFORMANCES TO THE ARCHITECT.
11. PROVIDE CONE LIGHTING, UNDERCABINET LIGHTING AND OVERCABINET LIGHTING. CONE LIGHTING SHALL NOT BE LIMITED TO EXPOSED STRUCTURE, SMOKE DETECTOR, SPRINKLERS, ETC. REFER TO FINISH SCHEDULE FOR FINISH COLOR.
12. CEILING SUPPORT SYSTEM ARE NOT DESIGNED OR INTENDED TO SUPPORT MECHANICAL EQUIPMENT OR OTHER CONNECTIONS. SUPPORT THESE ITEMS INDEPENDENTLY FROM THE STRUCTURE ABOVE.
13. ALL CEILING LIGHT FIXTURES IN A GIVEN SPACE SHALL BE CENTERED ON THE ROOM OR SPACE. (PLAN LOCATES ELECTRICAL FIXTURES, ETC.)
14. ALL OYSPAM BOARD SOFFITS AND CEILING HEIGHTS INDICATED SHALL BE SEARCHED FROM BOTTOM FACE OF OYSPAM BOARD ABOVE FINISH FLOOR. COORDINATE SPRINKLER HEADS TO FINISH DOWN HEIGHTS FOR UPPER AND FULL HEIGHT CABINETS WITH FINISH CEILING HEIGHTS.
15. SPRINKLER HEAD LOCATIONS ARE USUALLY NOT SHOWN ON ARCHITECTURAL REFLECTED CEILING PLANS. REFER TO FIRE PROTECTION DRAWINGS. THE CONTRACTOR SHALL REPORT ANY DEVIATIONS OR NONCONFORMANCES TO THE ARCHITECT.
16. MINIMUM VERTICAL CLEARANCE SHALL BE MAINTAINED BETWEEN THE BOTTOM OF EXTENDED SPRINKLER HEADS AND THE TOP OF ANY FILES, SHELVING, LOCKERS, ETC.
17. SUSPENDED CEILING SYSTEMS MUST BE INSTALLED TO COMPLY WITH ASTM C672 AND ASTM E1996. REFER TO FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
18. FOR FURTHER DETAIL & DIMENSIONS SEE FLOOR PLANS AND CEILING DETAILS.

RCP KEYED NOTES

- (A13) CONDUCTOR HEAD AND CONDUIT TO BE WHITE OR TO MATCH PAINTED CEILING PANEL. ALL MECHANICAL EQUIPMENT OR OTHER CONNECTIONS SHALL SUPPORT THESE ITEMS INDEPENDENTLY FROM THE STRUCTURE ABOVE.
- (A14) SPRINKLER HEAD LOCATIONS ARE USUALLY NOT SHOWN ON ARCHITECTURAL REFLECTED CEILING PLANS. REFER TO FIRE PROTECTION DRAWINGS. THE CONTRACTOR SHALL REPORT ANY DEVIATIONS OR NONCONFORMANCES TO THE ARCHITECT.
- (A15) MINIMUM VERTICAL CLEARANCE SHALL BE MAINTAINED BETWEEN THE BOTTOM OF EXTENDED SPRINKLER HEADS AND THE TOP OF ANY FILES, SHELVING, LOCKERS, ETC.

RCP LEGEND

**CEILING TYPES**

SUSPENDED 2' x 2' ACoustICAL CEILING SYSTEM

OYSPAM BOARD CEILING

CEILING CONTROL/MOVEMENT JOINT

**CEILING TYPE TAG**

CEILING MATERIAL

CEILING HEIGHT

**MECHANICAL SYMBOLS**

RETURN AIR GRILLE REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION

SUPPLY AIR CEILING DIFFUSER REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION

NEW CEILING ACCESS PANEL

SUPPLY LINEAR DIFFUSER REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION

SUPPLY LINEAR DIFFUSER REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION

NEW RECESSED SPRINKLER HEAD

**LIGHT FIXTURE SYMBOLS**

2x4 FIXTURE

2x2 FIXTURE

2' RECESSED LINEAR DOWNLIGHT

2' SUSPENDED LINEAR DOWNLIGHT

RECESSED DOWNLIGHT

SUSPENDED PENDANT DOWNLIGHT

RECESSED COVE LIGHT

EXIT LIGHTS

PS-1 - MOTORIZED PROJECTION SCREEN

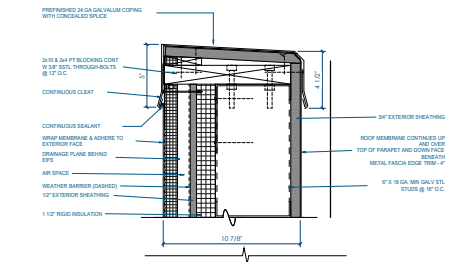
MS-1 - MOTORIZED SHADE - BLACKOUT

PH-1 - CEILING MOUNTED PROJECTOR

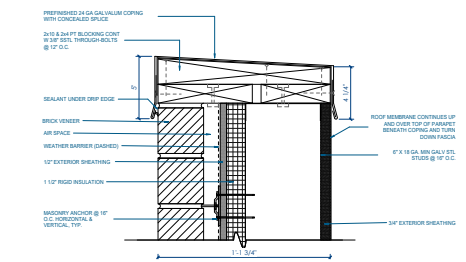
NEW CEILING MOUNTED CAMERA

NEW EMERGENCY STROBE/OPERATOR

NEW OCCUPANCY SENSOR

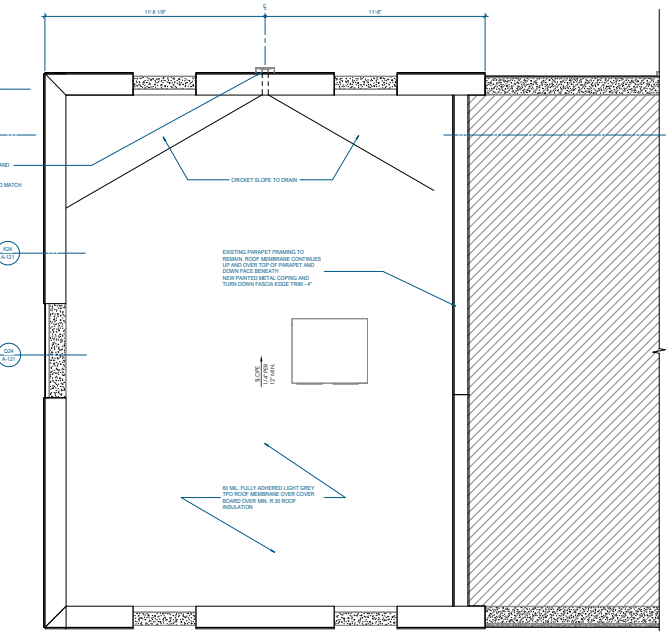
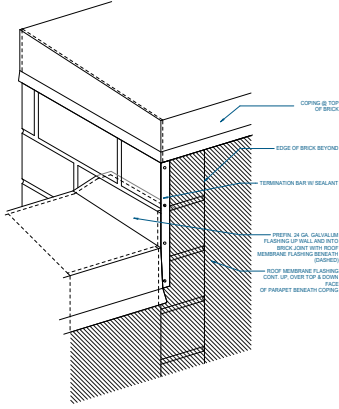


(O2A) PARAPET DETAIL @ EIFS 2' x 1' 2" | A-121



(K2A) PARAPET DETAIL @ BRICK VENEER 2' x 1' 2" | A-121

(L08) DETAIL @ FLASHING OF PARAPET 2' x 1' 2" | A-121



McCarthy, Nicholas McCarthy  
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 Knoxville, TN 37902  
 865.544.2000  
[www.mhmnc.com](http://www.mhmnc.com)

ARCHITECTURE:  
**McCARTY HOLSAPLE MCCARTY  
 ARCHITECTS, INC.**  
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[www.mhmc.com](http://www.mhmc.com)  
 Nathan Honeycutt  
[nhoneycutt@mhmnc.com](mailto:nhoneycutt@mhmnc.com)

STRUCTURAL:  
**HAINES STRUCTURAL GROUP**  
 800 SOUTH GAY ST., RM 1750  
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[www.haines-sg.com](http://www.haines-sg.com)  
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 LLC**  
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 865.251.5861  
[www.ardura.com](http://www.ardura.com)  
 Aaron Gray  
[agray@ardura.com](mailto:agray@ardura.com)

Project Information:

23015

**SUMMIT MEDICAL  
 HARDIN VALLEY  
 ADDITION**  
 10689 HARDIN VALLEY ROAD  
 KNOXVILLE, TN 37932

Scale:

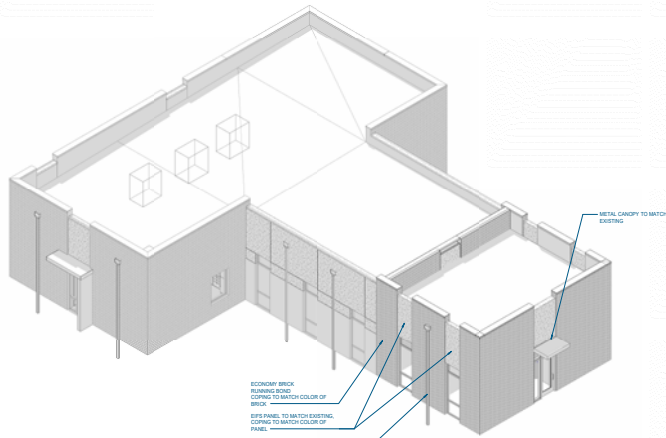
100% CD  
 PRELIMINARY PACKAGE:  
**NOT FOR  
 CONSTRUCTION**

Consultant:

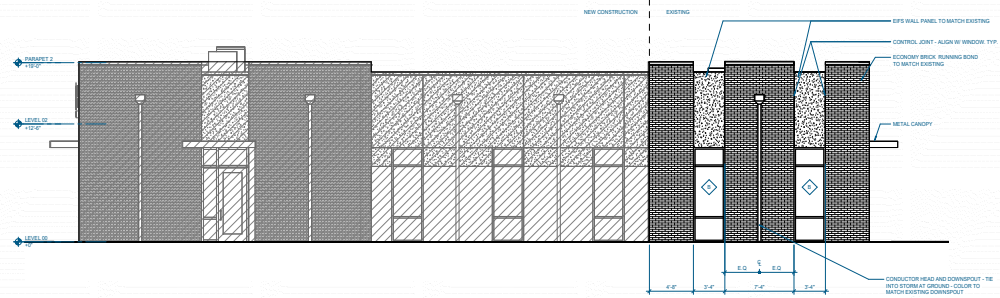
#	ISSUED BY:	DATE

Issue Date:	TBD
PC:	NATHAN HONEYCUTT
PM:	KATHRYN GREER
PA:	KATHRYN GREER
Drawn By:	GRACE HOOPER
Checked By:	Project Checked By

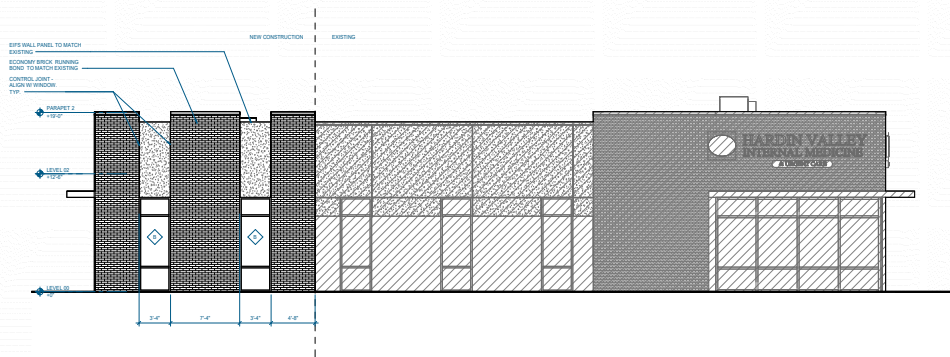
Sheet Information:



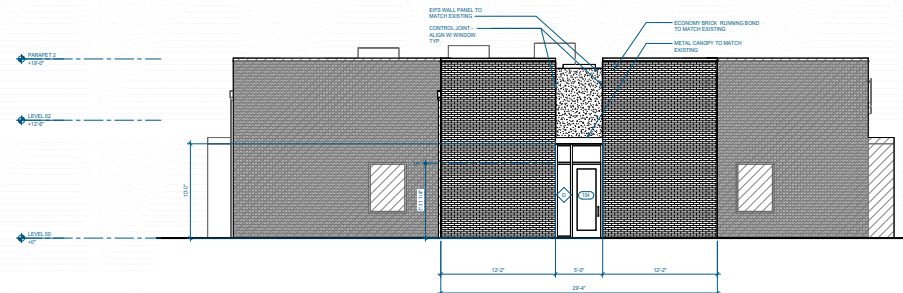
**M24** AXON VIEW -  
 | A.201



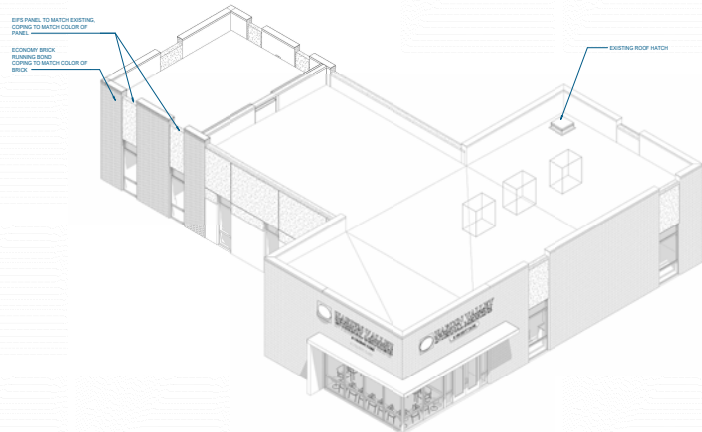
**F14** NORTH ELEVATION  
 3/16" = 1'-0" | A.201



**G14** SOUTH ELEVATION  
 3/16" = 1'-0" | A.201



**A14** WEST ELEVATION  
 3/16" = 1'-0" | A.201



**A24** AXON VIEW  
 | A.201





- |   |  |  |
|---|--|--|
| <input type="checkbox"/> BUILDING PERMIT - NEW CONSTRUCTION                   | <input type="checkbox"/> REZONING        | <input type="checkbox"/> ADMINISTRATIVE REVIEW |
| <input checked="" type="checkbox"/> BUILDING PERMIT - EXPANSION OR RENOVATION | <input type="checkbox"/> SIGNAGE         | <input type="checkbox"/> BOARD REVIEW          |
| <input type="checkbox"/> BUILDING PERMIT - GRADING PLAN                       | <input type="checkbox"/> ZONING VARIANCE |  |

Hardin Valley Internal Medical Clinic

**PUBLISHED APPLICANT NAME** - no individuals on behalf of -

7/14/2023	9/11/2023	9-A-23-TOB
<b>DATE FILED</b>	<b>MEETING DATE (IF APPLICABLE)</b>	<b>FILE NUMBER</b>

### CORRESPONDENCE

Correspondence related to this application will be directed to the contact listed below.

- APPLICANT  OWNER  OPTION HOLDER  SURVEYOR  ENGINEER  ARCHITECT/LANDSCAPE ARCHITECT  ATTORNEY

Kathryn Greer	McCarty Holsaple McCarty		
<b>NAME</b>	<b>COMPANY</b>		
550 W. Main St., Ste. 300	Knoxville	TN	37902
<b>ADDRESS</b>	<b>CITY</b>	<b>STATE</b>	<b>ZIP</b>
865 357-5445	kgreer@mhminc.com		
<b>PHONE</b>	<b>EMAIL</b>		

### CURRENT PROPERTY INFO

- MULTIPLE OWNERS / OPTION HOLDERS  PART OF PARCEL

Summit Medical Group Hardin	Summit Medical Group Hardin	jcarroll@summithealthcare.com
<b>OWNER NAME - if different -</b>	<b>OWNER ADDRESS</b>	<b>OWNER PHONE/EMAIL</b>
10689 Hardin Valley Rd, Knoxville, TN 37932		
<b>PROPERTY ADDRESS</b>		
103EA002	y	5.20 acres
<b>PARCEL ID(S)</b>	<b>PART OF PARCEL? (Y/N)</b>	<b>TRACT SIZE</b>

### STAFF USE ONLY

	<input type="checkbox"/> CITY <input checked="" type="checkbox"/> COUNTY
Northwest quadrant of the intersection of Hardin Valley Rd & Charlevoix Rd	6th
<b>GENERAL LOCATION</b>	<b>DISTRICT</b>
CA/TO	GC
<b>ZONING</b>	<b>SECTOR PLAN LAND USE CLASSIFICATION</b>
Northwest County	Commercial
<b>PLANNING SECTOR</b>	<b>EXISTING LAND USE</b>

## REQUEST

### BUILDING PERMIT

- NEW CONSTRUCTION  
 EXPANSION OR RENOVATION  
 GRADING PLAN

- REZONING  
 SIGNAGE  
 ZONING VARIANCE

### PLAN MATERIALS:

- DEVELOPMENT PLAN  
 BUILDING ELEVATIONS  
 FLOOR PLAN  
 LANDSCAPE PLAN  
 SIGNAGE PLAN  
 OFF-STREET PARKING

OTHER:

WAIVERS OR VARIANCES REQUESTED?  YES  NO

ADMINISTRATIVE REVIEW:  LIGHTING  LANDSCAPING PLAN

## RENOVATION OR EXPANSION

### SUMMARY OF WORK TO BE PERFORMED:

Building addition to add 4 exam rooms to their current building

## ZONING VARIANCE

### SUMMARY OF ZONING VARIANCE REQUEST:

## REZONING

REZONE FROM: \_\_\_\_\_

TO: \_\_\_\_\_

SECTOR PLAN AMENDMENT FROM: \_\_\_\_\_

TO: \_\_\_\_\_

## SIGNAGE

- YARD SIGN       BUILDING SIGN       OTHER SIGN
- AREA: \_\_\_\_\_      AREA: \_\_\_\_\_      AREA: \_\_\_\_\_
- HEIGHT: \_\_\_\_\_      HEIGHT: \_\_\_\_\_      HEIGHT: \_\_\_\_\_
- FINISH: \_\_\_\_\_      FINISH: \_\_\_\_\_      TYPE: \_\_\_\_\_

## STAFF USE ONLY

<input type="checkbox"/> TTCDA Checklist	CODE	CODE	TOTAL
<input type="checkbox"/> Property Owners/Option Holders	FEE	FEE	
	1102   \$450		\$450.00

## AUTHORIZATION

*By signing below*

*You certify that you are the property owner and/or authorized representative.*

 **Architectural Project Manager**      **7/14/2023**  
APPLICATION AUTHORIZED BY      AFFILIATION      DATE

**931.607.2881**      **kgreer@mhminc.com**  
PHONE NUMBER      EMAIL

 **Michelle Portier**      **SG, 07/14/2023**  
STAFF SIGNATURE      PRINT NAME      DATE PAID