

Applicant: JASON HUNT CANNON & CANNON

Request: BUILDING PERMIT

Meeting Date: 11/6/2023

Address: 2122 Schaeffer Rd.

Map/Parcel Number: 104 093

Location: South of Hardin Valley Rd, south and east sides of Schaeffer Rd

Existing Zoning: OB(k) (Office, Medical, and Related Services), PC (Planned Commercial), PR (k) (Planned Residential) up to 6.5 du/ac, & TO (Technology Overlay)

Proposed Zoning: N/A

Existing Land Use: Agriculture/forestry/vacant

Proposed Land Use: New multifamily development

Appx. Size of Tract: 27.1 acres

Accessibility: Access is via Schaeffer Rd, a major collector with a pavement width of 37 ft within a 57 ft right-of-way.

Surrounding Zoning and Land Uses: North: CA/TO (General Business) / (Technology Overlay)

South: PR/TO (Planned Residential) up to 3 du/ac / (Technology Overlay)

East: A/TO (Agricultural) / (Technology Overlay)

West: PC/TO, OB/TO (Planned Commercial) / TO (Technology Overlay), (Office, Medical, and Related Services) / (Technology Overlay)

Comments: This proposal is for a new, 196-unit multi-family development and 2 duplexes (4 units) in Hardin Valley. The 27.1-acre site is at the intersection of Hardin Valley Rd and Schaeffer Rd. There will be one driveway access point, which is on Schaeffer Rd.

PURSUANT TO ARTICLE V, SECTION 2 OF THE TTCDA ADMINISTRATIVE RULES AND PROCEDURES, THE DECISION OF THE TTCDA TO APPROVE REQUESTS FOR BUILDING PERMIT CERTIFICATES OF APPROPRIATENESS MUST BE BASED ON THE FOLLOWING CRITERIA:

A. CONFORMITY OF THE PROPOSAL WITH THE TENNESSEE TECHNOLOGY CORRIDOR DESIGN GUIDELINES.

1. The property has 3 different zones, PC (Planned Commercial), OB (Office, Medical, and Related Services), and PR (Planned Residential) up to 6.5 du/ac and is in the TO (Technology Overlay) zone. All structures will be in the OB or PR zone. The building setbacks adhere to either the zoning district or the TTCDA guidelines, whichever is more stringent. TTCDA requires a 100-ft setback when abutting residential, a 30-ft front setback, and a 20 ft side setback. The peripheral boundary in the PC zone is 50 ft, while the peripheral boundary in the PR zone is 35-ft. The proposed site plan meets these requirements.
2. The proposed parking lot has 436 parking spaces, including 12 garage spaces. This meets the minimum requirement, which is 312 spaces and is under the maximum, which is 546 spaces.
3. This property is partially forested with some previous grading. The landscape plan is extensive and adheres to all landscape requirements of TTCDA. There is a 40 ft no disturb buffer along the southern and southwestern lot lines where the subject property abuts the residential

subdivision to the south, which was a condition of the rezoning in 2014 (5-C-14-RZ).

4. The lighting plan meets all TTCDA guidelines for lighting intensity. Light poles are full cut off with dark finishes.

5. The applicant is requesting one waiver to increase the Floor Area Ratio (FAR) from 30% maximum to 36%. The proposed plan has a floor area ratio of 34.8%. The applicant is requesting an additional 1.2% to accommodate any potential changes in the site plan or building plans during permit review and to limit the need to request a modification to the waiver if required. Staff supports the waiver because the Ground Area Coverage and Impervious Area Ratio are well within the limits, so there is no impact on the land resulting from the overage and it does not impact stormwater mitigation. The increase in the FAR is a result of a taller building than what is typically seen of industrial, commercial, or office/warehouse uses prevalent in this area. Additionally, this site sits below the abutting subdivision and there is already a 40-ft non disturbance buffer than includes tall mature trees.

6. The monument sign is 98-sqft, which is based on the Tennessee State Scenic Highway Act, which limits signs to 100-sqft within 1,000 ft of designated scenic highways. The base masonry will match the apartments and clubhouse.

B. CONFORMITY OF THE PROPOSAL WITH THE KNOXVILLE-KNOX COUNTY MINIMUM SUBDIVISION REGULATIONS AND EITHER THE KNOXVILLE ZONING ORDINANCE, OR THE KNOX COUNTY ZONING ORDINANCE, AS APPROPRIATE.

PC (Planned Commercial), OB (Office, Medical, and Related Services), PR (Planned Residential) up to 6.5 du/ac, and TO (Technology Overlay):

1. The PR and OB zones allow multi-family dwellings and duplexes as permitted uses. The administrative procedures for the PR and PC zones require the Planning Commission to approve the development plan before permits can be issued. Therefore, this request is being reviewed concurrently with this application for the PR and PC portions of the property (Case 11-E-23-DP).

2. This PR zone district is approved for a maximum of 6.5 du/ac. The proposed density within the PR zoned portion is 6.33 du/ac. The OB zone allows multi-family dwellings with densities up to 12 du/ac, and the proposed density in the OB zone is 9.54 du/ac. The density over the entire 27.1 acres is 8.11 du/ac.

3. The proposed buildings are 3 stories and 38 ft tall. The OB zone has a maximum height of 45 ft. The Planning Commission determines the maximum height for any use other than houses and duplexes in the PR zone. Staff recommends a maximum height of 40 ft for the multi-dwelling structures for the PR zone. Additionally, this site sits below the abutting subdivision and there is already a 40 ft non disturbance buffer than includes tall mature trees.

4. There were conditions placed during the rezoning of the PR (Planned Residential) portion (5-C-14-RZ). There shall be no clearing or grading until a development plan is approved, 100-ft setback along the peripheral boundary, and a 40-ft no disturb buffer along the peripheral boundary abutting the residential subdivision to the south.

5. The property is in the Hillside and Ridgetop Protection Area (HP), which has stricter standards for development than the rest of the TO zones. However, this property has been previously disturbed, first with the road improvements on Schaeffer Road, then on the subject property in 2013. Some of the steep slopes at the front of the property are a result of the grading that was done with the Schaeffer Road improvements. Therefore, this property is exempt from the HP section of the TTCDA Guidelines.

6. The applicant does not wish to replat the property, so the Subdivision Regulations are not applicable.

C. EFFECT OF THE PROPOSAL ON THE SUBJECT PROPERTY, SURROUNDING PROPERTY AND THE COMMUNITY AS A WHOLE.

1. Schaffer Rd is a major collector road that was realigned in 2018. At this time, sidewalks were added along the frontage of this property extending to Hardin Valley Rd.

2. As stated previously, staff has reviewed the landscaping plans and supports the landscaping plan as proposed because it meets the TTCDA standards.

3. As mentioned previously, this property is exempt from TTCDA Hillside Protection guideline review because it has been previously disturbed. The conditions of the rezoning will keep a 40-ft non disturbance buffer along the property line with the subdivision to the south, per conditions

of the Planned Residential rezoning (5-C-14-RZ).

D. CONSISTENCY OF THE PROPOSAL WITH THE REQUIREMENTS OF KNOX COUNTY DEPARTMENTS, AS APPROPRIATE.

1. The traffic study recommends extending the storage length of the westbound left turn lane at the intersection of Hardin Valley Road at Schaeffer Road / Cherahala Boulevard. The storage should be extended by 100-ft and should include a bay taper with a length of 160-ft. A Memorandum of Understanding with Knox County Engineering and Public Works is required for all road improvements per Chapter 54, Article V of the Knox County Code (Ord. O-23-4-102).

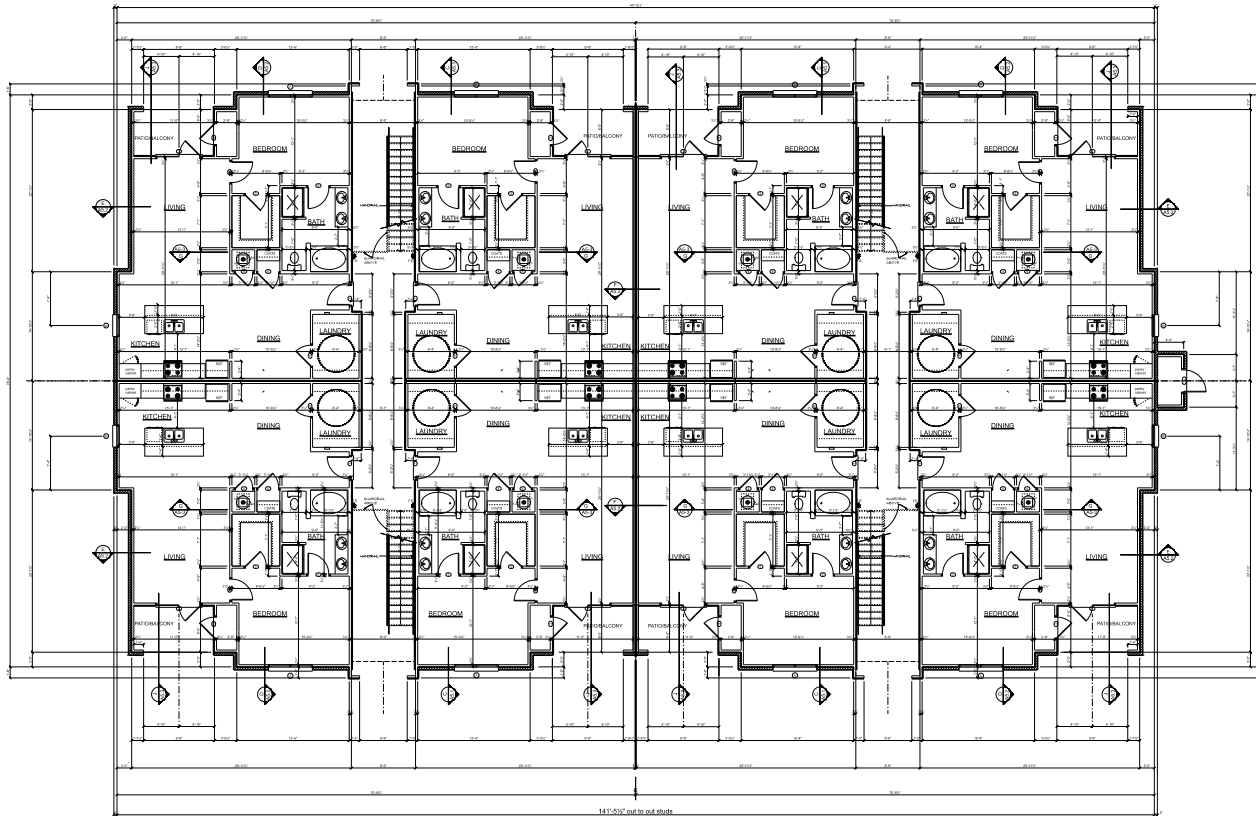
Design Guideline Conformity: With the recommended conditions and approval of the waiver, the proposed development conforms to the TTCDA Design Guidelines.

Waivers and Variances Requested: 1) Increase the maximum Floor Area Ratio from 30% to 36%.

Staff Recommendation:

Staff recommends approval of this request for a Certificate of Appropriateness for a building permit, subject to five conditions:

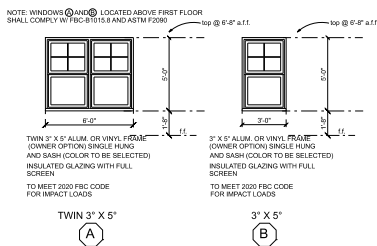
- 1) Obtaining Planning Commission approval of the development plan case associated with this request prior to applying for permits. A request for development plan approval is on the November 9, 2023 Planning Commission agenda (Case 11-E-23-DP).
- 2) The applicant shall enter into a Memorandum of Understanding with Knox County Engineering and Public Works, which is required for all road improvements per Chapter 54, Article V of the Knox County Code (Ord. O-23-4-102).
- 3) Installation of all landscaping as shown on development plan within six months of the issuance of an occupancy permit, or posting a bond with the Knox County Department of Engineering and Public Works to guarantee such installation.
- 4) Meeting all applicable requirements of the Knox County Department of Engineering and Public Works.
- 5) Meeting all applicable requirements of the Knox County Zoning Ordinance.



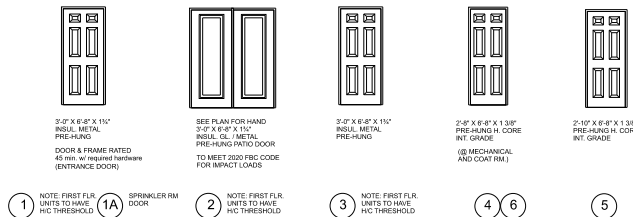
SECOND & THIRD FLOOR IS SIMILAR TO FIRST FLOOR PLAN

FLOOR PLAN - 1 BR / 1 BATH DELUXE THREE STORY (24 UNIT)

SC 1/8"=10"



GRAPHIC WINDOW SCHEDULE
SCALE 1/4"=1'-0"



GRAPHIC DOOR SCHEDULE
SCALE 1/4"=1'-0"

SCHEDULE OF ROOM FINISHES									
ROOM	FLOOR	BASE	WALLS	CEILING	REMARKS				
FOYER	CONCRETE	WOOD	PAINT	CONCRETE					
CLUBS	CONCRETE	WOOD	PAINT	CONCRETE	REFER TO WALL SECTIONS FOR BUBBLES MATERIAL				
LOBBY	CONCRETE	WOOD	PAINT	CONCRETE					
DINING	CONCRETE	WOOD	PAINT	CONCRETE					
KITCHEN	CONCRETE	WOOD	PAINT	CONCRETE					
LIFTLIFT	CONCRETE	WOOD	PAINT	CONCRETE					
HALL	CONCRETE	WOOD	PAINT	CONCRETE					
BEDROOMS	CONCRETE	WOOD	PAINT	CONCRETE					
CLIMBERS	CONCRETE	WOOD	PAINT	CONCRETE					
STAIRS	CONCRETE	WOOD	PAINT	CONCRETE					
MECHANICAL	CONCRETE	WOOD	PAINT	CONCRETE					
STORAGE/STORAGE	CONCRETE	WOOD	PAINT	CONCRETE					
OUTSIDE STORAGE	CONCRETE	WOOD	PAINT	CONCRETE					
TRASH/STORAGE	CONCRETE	WOOD	PAINT	CONCRETE					
BREASTFEED	CONCRETE	WOOD	PAINT	CONCRETE					
STAIRWELL	CONCRETE	WOOD	PAINT	CONCRETE					

REVISED 10/23/2023

11-E-23-DP
11-A-23-TOB

BLDG #4

REVISIONS BY

JAMES P. LOVELACE ~ ARCHITECT
2305 SOUTH ANDREW CIRCLE
COLUMBUS GA. 31902
(706) 577-4215
P.O. BOX 1353

Retreat at Hardin Valley
2122 Schaeffer Road
Knoxville, TN 37932

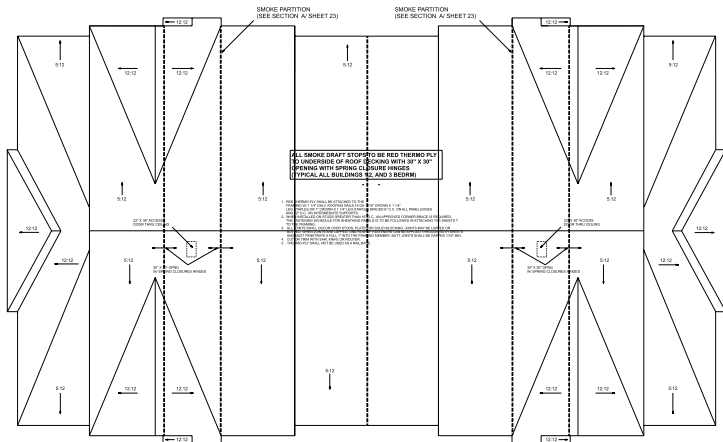
DATE 09/05/2023
SCALE AS NOTED
DRAWN RD/JAP/L
JOB 2022-08
SHEET A1.1



FRONT AND REAR ELEV - 1 BR 1 BATH LUXURY THREE STORY SC-1/8"=1/4"

REVISONS BY

JAMES P. LOVELAKE ~ ARCHITECT
 2305 SOUTH ANDREW CIRCLE (706) 577-4215
 P.O. BOX 1353 COLUMBUS GA. 31902



BLDG 4 ROOF PLAN SMOKE PARTITION LAYOUT FOR (24 UNIT) 1 BEDROOM THREE STORY



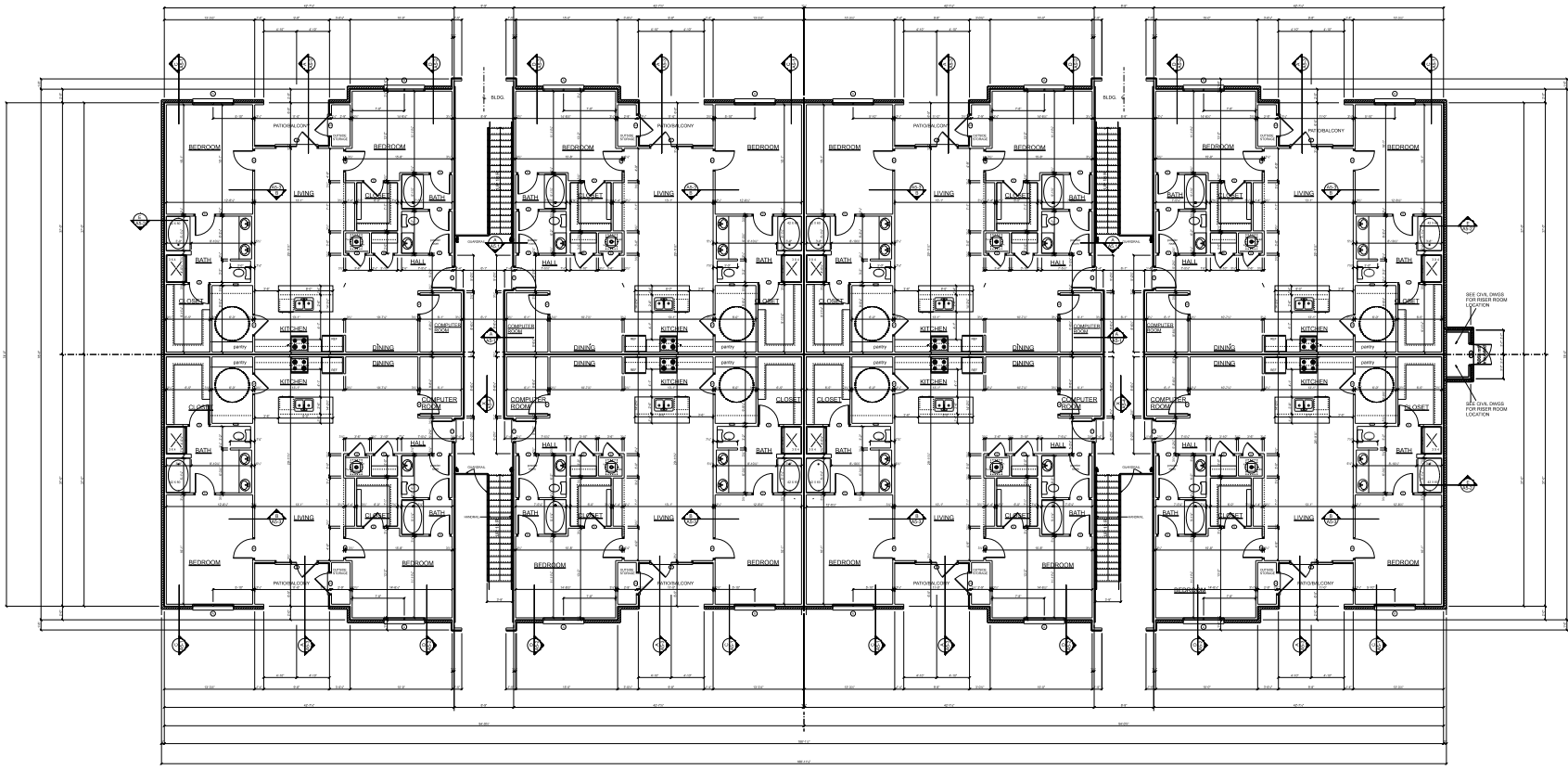
BLDG END ELEV - 1BR 1 BATH LUXURY THREE STORY ELEVATION SC-1/8"=1/4"

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DATE 09/05/2023
 SCALE AS NOTED
 DRAWN RDJ/JPL
 JOB 2022-08

11-E-23-DP
 11-A-23-TOB

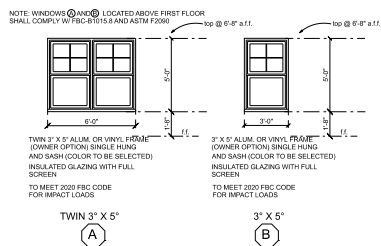
BLDG #4 A1.2



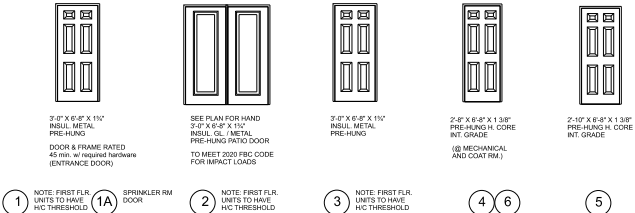
SECOND & THIRD FLOOR IS SIMILAR TO FIRST FLOOR PLAN

FLOOR PLAN - 2 BR / 2 BATH DELUXE / THREE STORY (24 UNIT) SC 1/8"=1'0"

* NOTE: SEE ADA PLAN @ 2 BR / 2 BATH DELUXE (SHEET A4-0) FOR (1) UNIT ADA ON FIRST FLOOR @ BLDG SEE SHEET A0-1 FOR LOCATION
NOTE: SEE CIVIL DWGS FOR SLAB ORIENTATION AND SLAB ELEVATIONS



GRAPHIC WINDOW SCHEDULE
SCALE 1/2"=1'-0"



GRAPHIC DOOR SCHEDULE
SCALE 1/2"=1'-0"

ROOM	FLOOR		WALL		CEILING		REMARKS
	EXTERIOR	INTERIOR	EXTERIOR	INTERIOR	EXTERIOR	INTERIOR	
HALL							REFER TO WALL SECTION FOR SUB-FLOOR MATERIAL
BEDROOMS							
BATHS							
KITCHENS							
LIVING							
DINING							
KITCHEN							
UTILITY							
HALL							
CLOSETS							
STORAGE/CL. 1							
STORAGE/CL. 2							
STORAGE/CL. 3							
STORAGE/CL. 4							
STORAGE/CL. 5							
STORAGE/CL. 6							
STORAGE/CL. 7							
STORAGE/CL. 8							
STORAGE/CL. 9							
STORAGE/CL. 10							
STORAGE/CL. 11							
STORAGE/CL. 12							
STORAGE/CL. 13							
STORAGE/CL. 14							
STORAGE/CL. 15							
STORAGE/CL. 16							
STORAGE/CL. 17							
STORAGE/CL. 18							
STORAGE/CL. 19							
STORAGE/CL. 20							
STORAGE/CL. 21							
STORAGE/CL. 22							
STORAGE/CL. 23							
STORAGE/CL. 24							

11-E-23-DP
11-A-23-TOB

BLDG # 2, 7, 8, 9

REV: 001 BY: []
REV: 002 BY: []
REV: 003 BY: []
REV: 004 BY: []
REV: 005 BY: []
REV: 006 BY: []
REV: 007 BY: []
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REV: 009 BY: []
REV: 010 BY: []

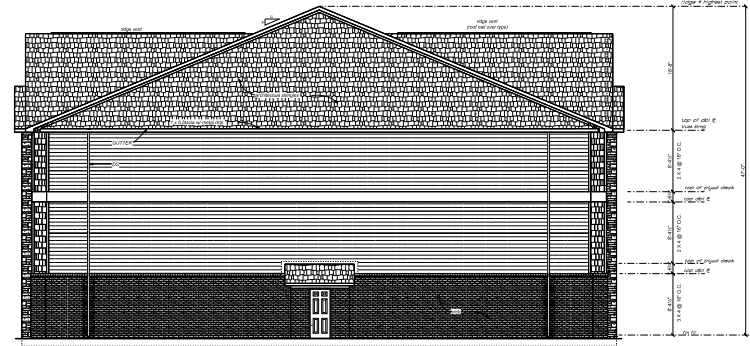
JAMES P. LOVELACE - ARCHITECT
2305 SOUTH ANDREW CIRCLE
COLUMBUS GA. 31902
(706) 577-4215
P.O. BOX 1363

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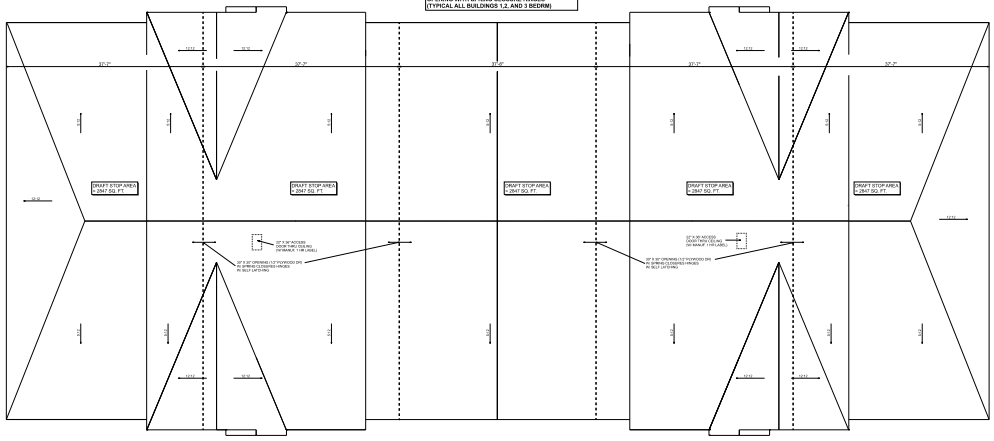
DATE: 09/05/2023
SCALE: AS NOTED
DRAWN: RDJ/JPL
JOB: 2022-08
SHEET: A2.1



FRONT AND REAR ELEVATION - 2 BR 2 BATH DELUXE THREE STORY (24 UNIT) SC: 1/8"=1'0"



SIDE ELEVATION - 2 BR 2 BATH DELUXE THREE STORY (24 UNIT) SC: 1/8"=1'0"



ROOF PLAN FOR 2 BR / 2 BATH DELUXE THREE STORY (24 UNIT) (NTS)

REVISIONS BY

JAMES P. LOVELACE ~ ARCHITECT
 2305 SOUTH ANDREW CIRCLE
 COLUMBUS GA. 31902
 (706) 577-4215
 P.O. BOX 1363

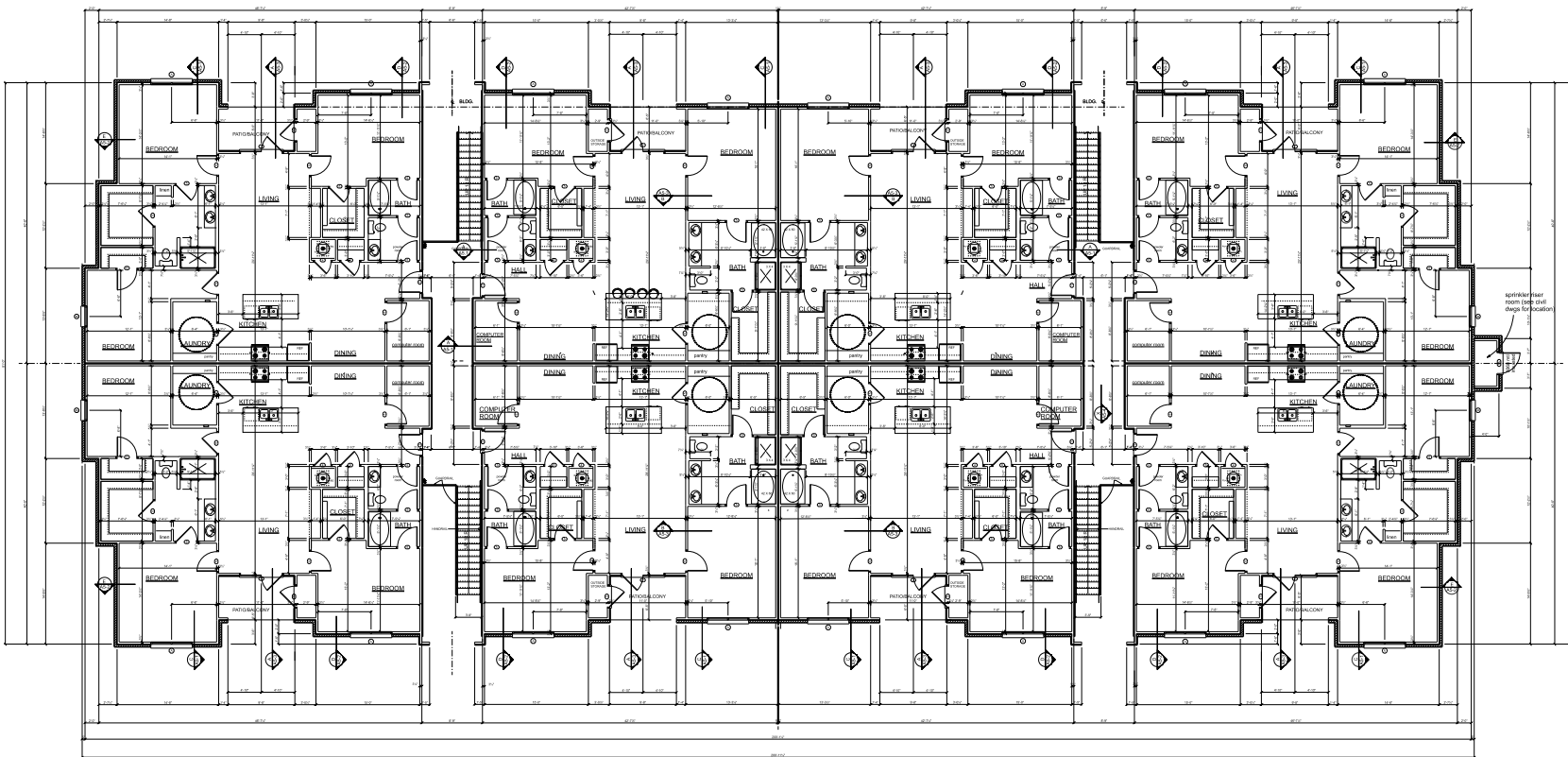
Retreat at Hardin Valley
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DATE 09/05/2023
 SCALE AS NOTED
 DRAWN RDJ/JPL
 JOB 2022-08

11-E-23-DP
 11-A-23-TOB

BLDG # 2, 7, 8, 9

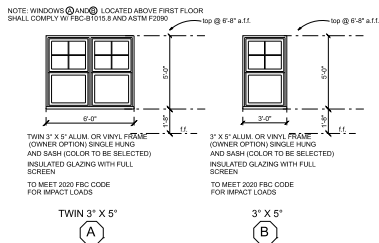
SHEET A2.2



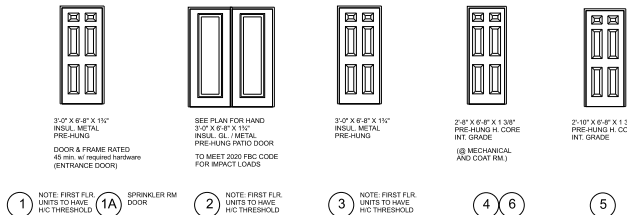
SECOND & THIRD FLOOR IS SIMILAR TO FIRST FLOOR PLAN

FLOOR PLAN - 2 BR / 2 BATH DELUXE & 3 BEDROOM DELUXE THREE STORY (24 UNIT) SC 1/8"=1'0"

* NOTE: SEE ADA PLAN @ 2 BR / 2 BATH and 3 BR (SHEETS A4.0) FOR UNITS ON FIRST FLOOR. (1) 2 BR ADA UNITS @ BLDGS SEE SHEET A0.1 FOR EXACT LOCATIONS OF ADA UNITS



GRAPHIC WINDOW SCHEDULE
SCALE: 1/4"=1'-0"



GRAPHIC DOOR SCHEDULE
SCALE: 1/4"=1'-0"

SCHEDULE OF ROOM FINISHES

ROOM	FLOOR	FLOOR	BASE	WALLS	CEILING	REMARKS
BEDROOM	CONCRETE SLAB ON GRADE	WOOD TYP.	WOOD TYP.	WOOD TYP.	WOOD TYP.	REFER TO WALL SECTIONS FOR SUR FLOOR MATERIAL
LOBBY	CONCRETE SLAB ON GRADE	WOOD TYP.	WOOD TYP.	WOOD TYP.	WOOD TYP.	
DINING	CONCRETE SLAB ON GRADE	WOOD TYP.	WOOD TYP.	WOOD TYP.	WOOD TYP.	
KITCHEN	CONCRETE SLAB ON GRADE	WOOD TYP.	WOOD TYP.	WOOD TYP.	WOOD TYP.	
BED-EN	CONCRETE SLAB ON GRADE	WOOD TYP.	WOOD TYP.	WOOD TYP.	WOOD TYP.	
LIT/RY	CONCRETE SLAB ON GRADE	WOOD TYP.	WOOD TYP.	WOOD TYP.	WOOD TYP.	
HALL	CONCRETE SLAB ON GRADE	WOOD TYP.	WOOD TYP.	WOOD TYP.	WOOD TYP.	
BEDROOMS	CONCRETE SLAB ON GRADE	WOOD TYP.	WOOD TYP.	WOOD TYP.	WOOD TYP.	
CLOSET	CONCRETE SLAB ON GRADE	WOOD TYP.	WOOD TYP.	WOOD TYP.	WOOD TYP.	
BATH	CONCRETE SLAB ON GRADE	WOOD TYP.	WOOD TYP.	WOOD TYP.	WOOD TYP.	
MEDICAL	CONCRETE SLAB ON GRADE	WOOD TYP.	WOOD TYP.	WOOD TYP.	WOOD TYP.	
STORAGE/CLB	CONCRETE SLAB ON GRADE	WOOD TYP.	WOOD TYP.	WOOD TYP.	WOOD TYP.	
OUTRAGE STORAGE	CONCRETE SLAB ON GRADE	WOOD TYP.	WOOD TYP.	WOOD TYP.	WOOD TYP.	
RECREATION	CONCRETE SLAB ON GRADE	WOOD TYP.	WOOD TYP.	WOOD TYP.	WOOD TYP.	
BROUENRY	CONCRETE SLAB ON GRADE	WOOD TYP.	WOOD TYP.	WOOD TYP.	WOOD TYP.	
STORAGE	CONCRETE SLAB ON GRADE	WOOD TYP.	WOOD TYP.	WOOD TYP.	WOOD TYP.	

11-E-23-DP
11-A-23-TOB

BLDG # 1, 3, 5, 6

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Knoxville, TN 37932

JAMES P. LOVELACE - ARCHITECT
2305 SOUTH ANDREW CIRCLE
COLUMBUS GA. 31902

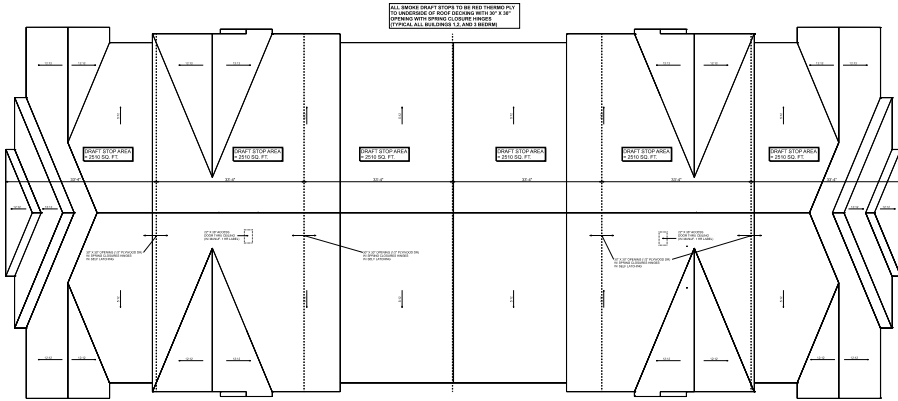
REVISIONS

NO.	BY	DATE	DESCRIPTION

DATE: 09/05/2023
SCALE: AS NOTED
DRAWN: RD/JPL
JOB: 2022-08
SHEET: A3.1

REVISIONS	BY

JAMES P. LOVELACE ~ ARCHITECT
 2305 SOUTH ANDREW CIRCLE
 COLUMBUS GA. 31902
 (706) 577-4215
 P.O. BOX 1363



ROOF PLAN FOR 2 BR DELUXE & 3 BR DELUXE THREE STORY (24 UNIT) SC: 1/8"=1'0"



END ELEVATIONS - 2 BR DELUXE / 3 BR DELUXE / THREE STORY / BLDG SC: 1/8"=1'0"



EXTERIOR ELEVATIONS - 2 BR DELUXE / 3 BR DELUXE / THREE STORY / BLDGS # 1,3,5,6 SC: 1/8"=1'0"

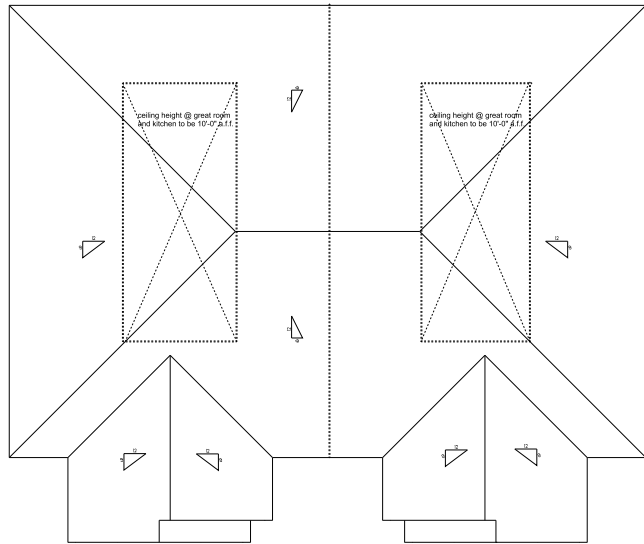
11-E-23-DP
 11-A-23-TOB

BLDG # 1, 3, 5, 6

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DATE 09/05/2023
 SCALE AS NOTED
 DRAWN RD/JJ/PL
 JOB 2022-08

SHEET A3.2



ROOF PLAN SC: 1/8"=1'-0"



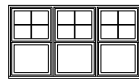
TWIN 3' X 5' ALUM. OR VINYL FRAME (OWNER OPTION) SINGLE HUNG AND SASH (COLOR TO BE SELECTED) INSULATED GLAZING FULL SCREEN (TO MEET FLA CODE FOR IMPACT LOAD REACTION)

TWIN 3' X 5'
A



3' X 5' ALUM. OR VINYL FRAME (OWNER OPTION) SINGLE HUNG AND SASH (COLOR TO BE SELECTED) INSULATED GLAZING FULL SCREEN (TO MEET FLA CODE FOR IMPACT LOAD REACTION)

3' X 5'
B



TRIPLE 3' X 5' ALUM. OR VINYL FRAME (OWNER OPTION) SINGLE HUNG AND SASH (COLOR TO BE SELECTED) INSULATED GLAZING FULL SCREEN (TO MEET FLA CODE FOR IMPACT LOAD REACTION)

TRIPLE 3' X 5'
C

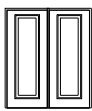
GRAPHIC WINDOW SCHEDULE

SCALE 1/4"=1'-0"



3'-0" X 6'-8" X 1'-0" INSUL. METAL PRE-HUNG

1 UNITS TO HAVE HIC THRESHOLD



SEE PLAN FOR HAND 3'-0" X 6'-8" X 1'-0" INSUL. GL./METAL PRE-HUNG PATIO DOOR

2 UNITS TO HAVE HIC THRESHOLD



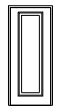
2'-0" X 6'-8" X 1'-0" PRE-HUNG H. CORE W/ GRADE

3



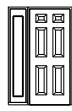
2'-0" X 6'-8" X 1'-0" PRE-HUNG H. CORE W/ GRADE

4



3'-0" X 6'-8" X 1'-0" INSUL. GL./METAL PRE-HUNG PATIO DOOR

5 UNITS TO HAVE HIC THRESHOLD

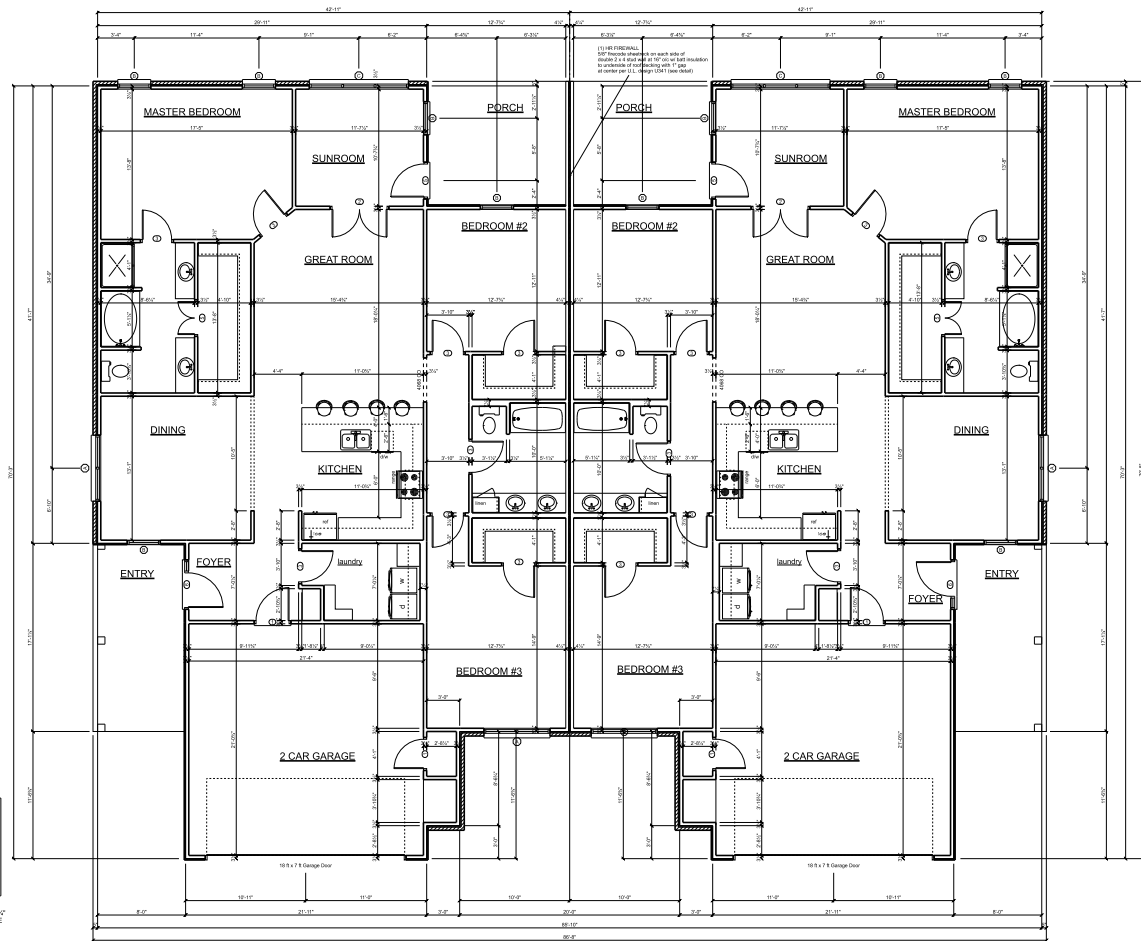


3'-0" X 6'-8" X 1'-0" W/ 1/2" SIDELITE INSUL. METAL PRE-HUNG

6 UNITS TO HAVE HIC THRESHOLD

GRAPHIC DOOR SCHEDULE

SCALE 1/2"=1'-0"



DUPLEX FLOOR PLAN FOR BLDGS

SC: 3/16"=1'-0"

SEE CIVIL SITE PLAN FOR BUILDING ORIENTATION

11-E-23-DP
11-A-23-TOB

BLDG # 10, 11

REVISIONS BY

JAMES P. LOVELACE ~ ARCHITECT
2305 SOUTH ANDREW CIRCLE
COLUMBUS GA. 31902
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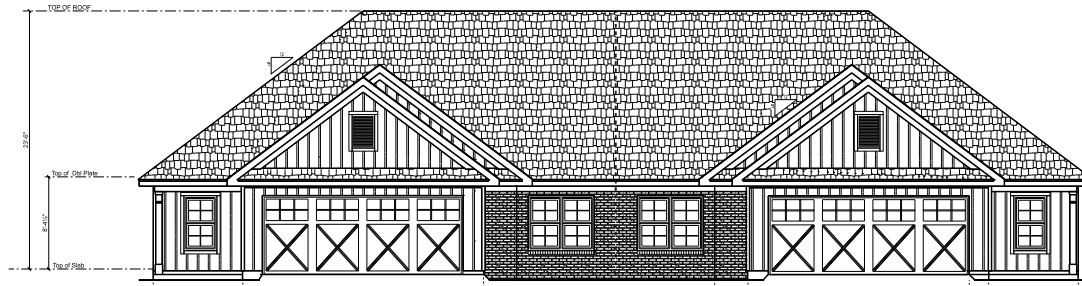
SCALE NOTED

DRAIN RDJ/JPL

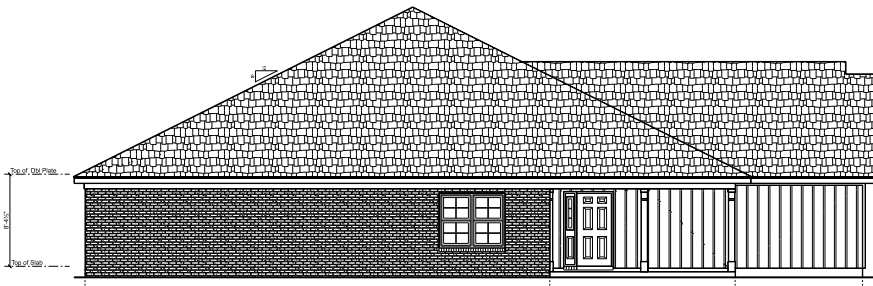
JOB 2022-08

SHEET

A3.5



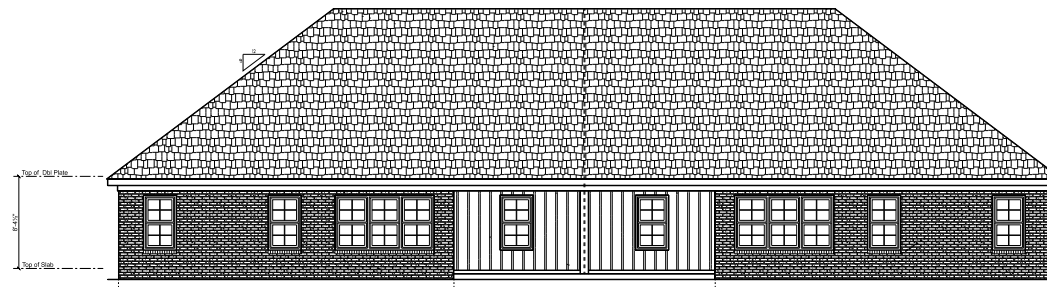
FRONT ELEVATION SC:3/16"=1'0"



LEFT ELEVATION SC:3/16"=1'0"



RIGHT ELEVATION SC:3/16"=1'0"



REAR ELEVATION SC:3/16"=1'0"

11-E-23-DP
11-A-23-TOB

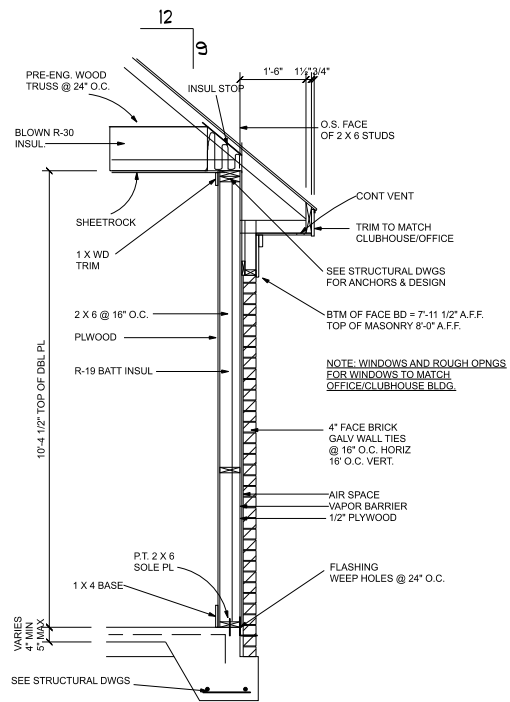
REVISIONS	BY

JAMES P. LOVELACE - ARCHITECT
 2305 SOUTH ANDREW CIRCLE
 P.O. BOX 1353
 COLUMBUS GA. 31902
 (706) 577-4215

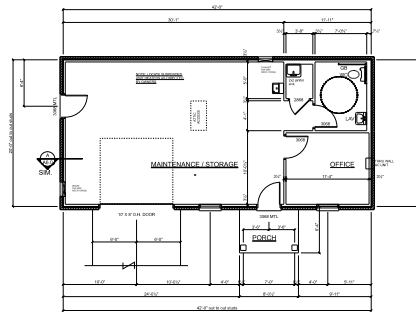
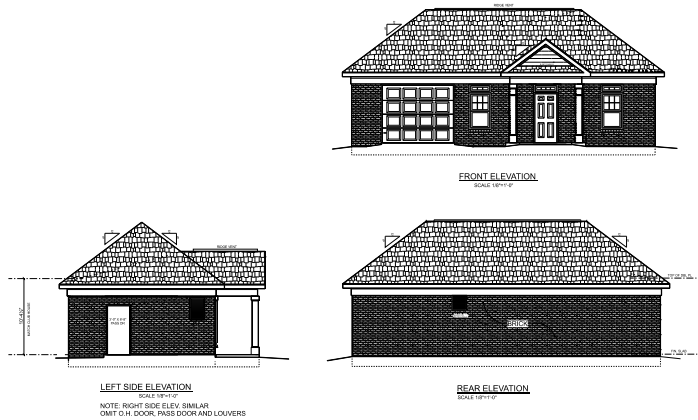
Retreat at Hardin Valley
 2122 Scheffer Road
 Knoxville, TN 37932

DATE	09/05/2023
SCALE	NOTED
DRAWN	RDJ/JPL
JOB	2022-08
SHEET	

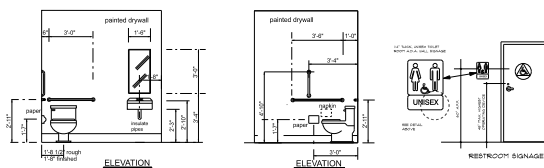
BLDG # 10, 11 A3.6



A TYPICAL WALL SECTION
SCALE 3/4"=1'-0"



FLOOR PLAN BLDG
SCALE 1/8"=1'-0"



BATHROOM ELEVATIONS SC. 1/4"=1'-0"

REV. NO. BY

JAMES P. LOVELACE ~ ARCHITECT
2305 SOUTH ANDREW CIRCLE
COLUMBUS GA. 31902
(706) 577-4215
P.O. BOX 1353

Retreat at Hardin Valley
2122 Schaeffer Road
Knoxville, TN 37932

DATE 09/05/2023
SCALE AS NOTED
DRAWN RDJ/JPL
JOB 2022-08

11-E-23-DP
11-A-23-TOB

BLDG #13 - MAINT.

SHEET
A6.0

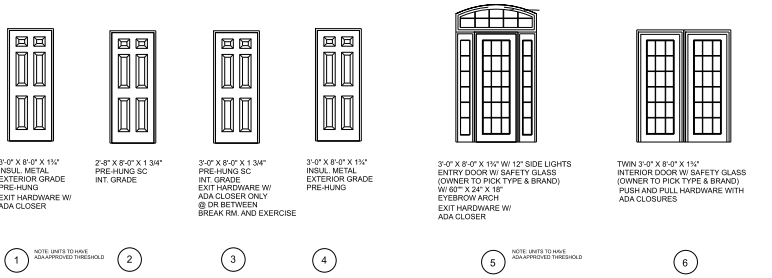
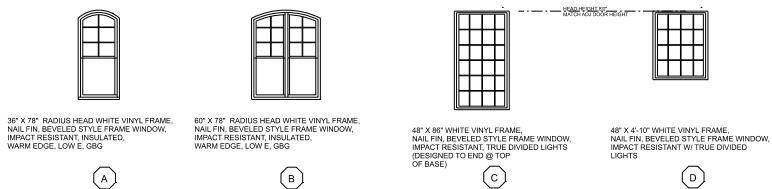
11-E-23-DP
11-A-23-TOB

REVISIONS BY

JAMES P. LOVELACE ~ ARCHITECT
2305 SOUTH ANDREW CIRCLE
COLUMBUS GA. 31902
(706) 577-4215
P.O. BOX 1353

Retreat at Hardin Valley
2122 Schaeffer Road
Knoxville, TN 37932

DATE 09/05/2023
SCALE AS NOTED
DRAWN RDJ/JPL
JOB 2022-08
SHEET
A7.0



SCHEDULE OF GROUP B (BUSINESS OCCUPANCY)
A-3 OCCUPANCY, EXERCISE ROOM - LESS THAN 50 CLASSIFIED AS GROUP B BUSINESS PER 2020 FBC 303.1.2

ROOM	FBC 2020 / TABLE 1004.5	NUMBER
RECEPTION ROOM	444 SQ FT. + 50 SQ FT./ PERSON = 8.9	9
CONFERENCE ROOM	200 SQ FT. + 15 SQ FT./ PERSON = 13.3	14
OFFICE #1	170 SQ FT. + 100 SQ FT./ PERSON = 1.7	2
OFFICE #2	154 SQ FT. + 100 SQ FT./ PERSON = 1.54	2
MANAGER	128 SQ FT. + 100 SQ FT./ PERSON = 1.28	2
OFFICE STORAGE	64 SQ FT. + 100 SQ FT./ PERSON = 0.64	1
BREAK AREA	209 SQ FT. + 50 SQ FT./ PERSON = 4.18	5
FITNESS ROOM	1107 SQ FT. + 50 SQ FT./ PERSON = 22.2	23
TOTAL BUSINESS		58

FIRE PROTECTION NOTES:

1. EACH FIRE PROTECTION SUBCONTRACTOR SHALL SUBMIT PLANS FOR EVALUATION AND APPROVAL PRIOR TO COMMENCEMENT OF WORK, UPON ISSUANCE OF EACH BUILDING PERMIT.

GENERAL NOTES

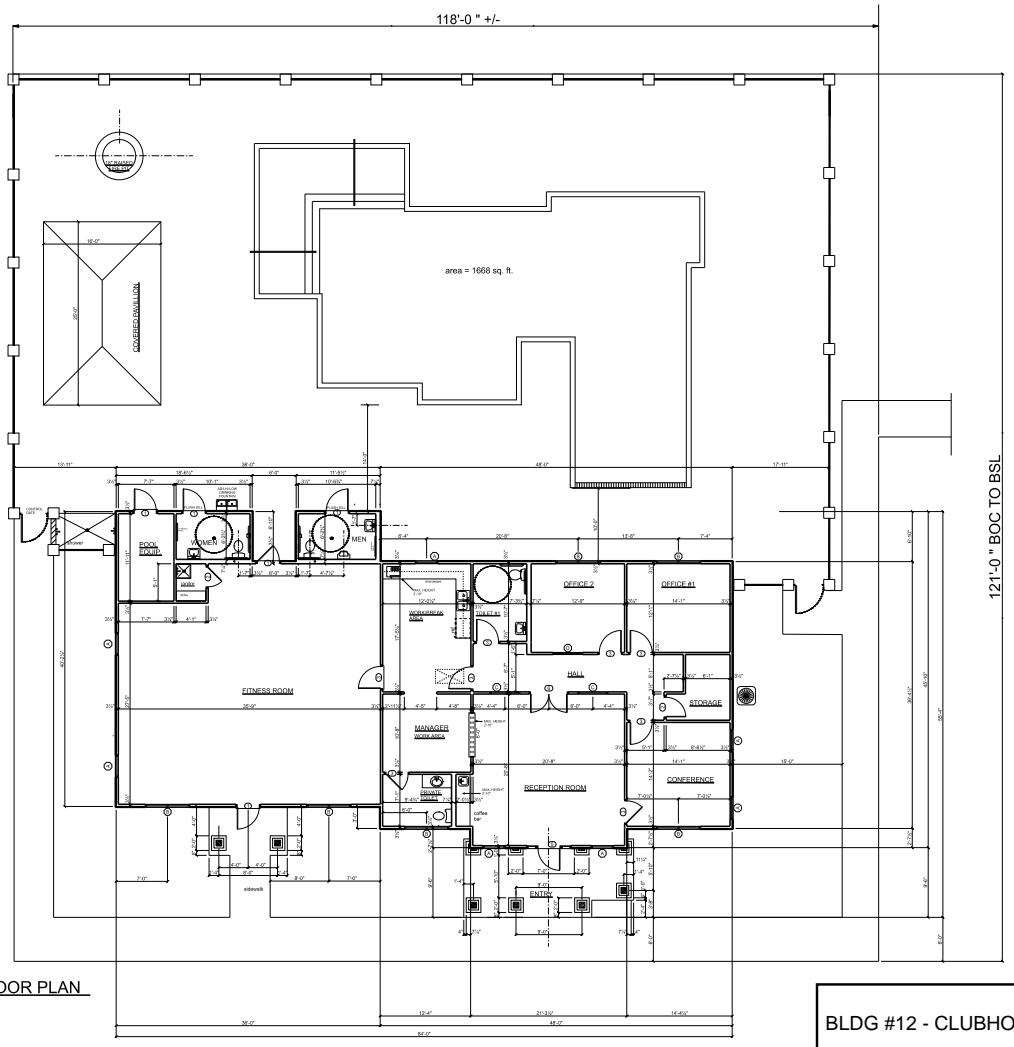
1. "CONTRACTOR SHALL MAKE AVAILABLE TO THE BUILDING INSPECTOR DOCUMENTATION NECESSARY TO VERIFY THAT ALL EXTERIOR ENVELOPE COMPONENTS REQUIRING PRODUCT APPROVAL PER FS 553.842 ARE IN COMPLIANCE WITH PRODUCT APPROVAL INSTALLATION REQUIREMENTS."

2. ADA COMPLIANCE NOTE
NOTE: ALL TOILET ROOMS AND TOILET ROOM COMPARTMENTS INCLUDING GRAB BARS, URINALS AND LAVATORIES SHALL BE CONSTRUCTED IN STRICT ACCORDANCE W/ FLORIDA ACCESSIBILITY CODE.

TYPE VB - NON SPRINKLED

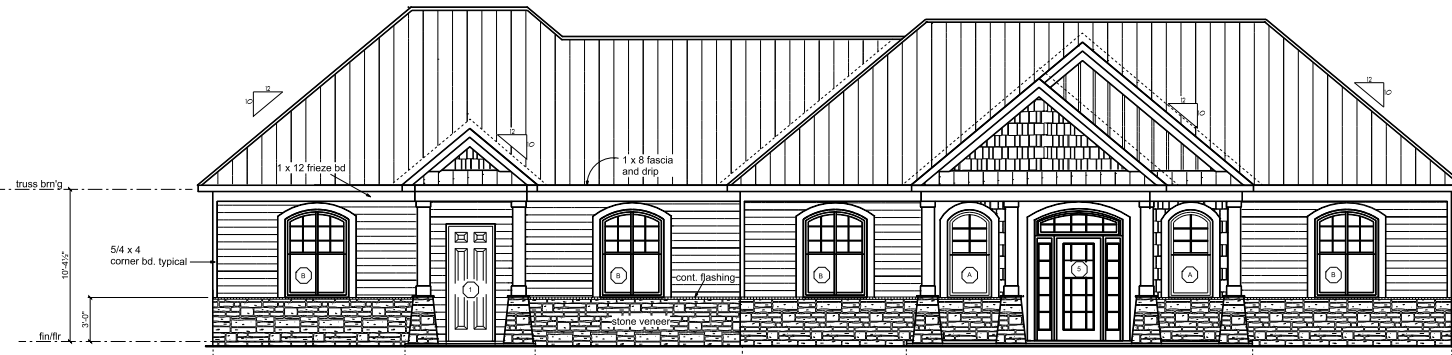
AUTOMATIC SPRINKLER SYSTEM NOT REQUIRED; BLDG LESS THAN 12,000 SF., OCCUPANT LOAD LESS THAN 300 AND FIRE AREA IS LOCATED ON FLOOR WITH LEVEL EXIT DISCHARGE.

GROSS SQ FT 3,407 OFFICE/ CLUBHOUSE BLDG HEATED & COOLED 3207 SF AND OPEN AREA 200 SF.

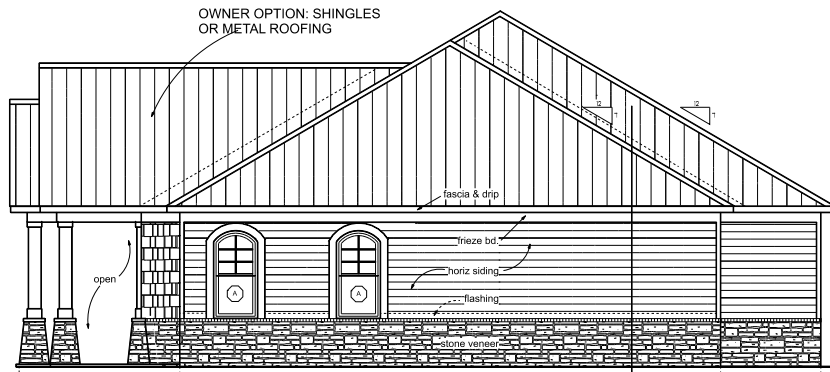


CLUBHOUSE FLOOR PLAN

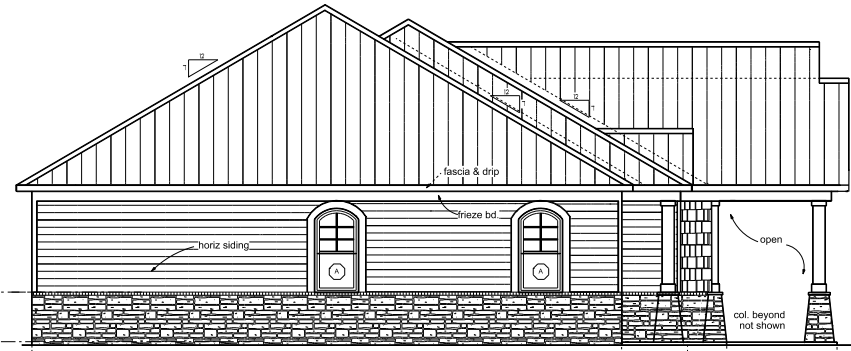
BLDG #12 - CLUBHOUSE



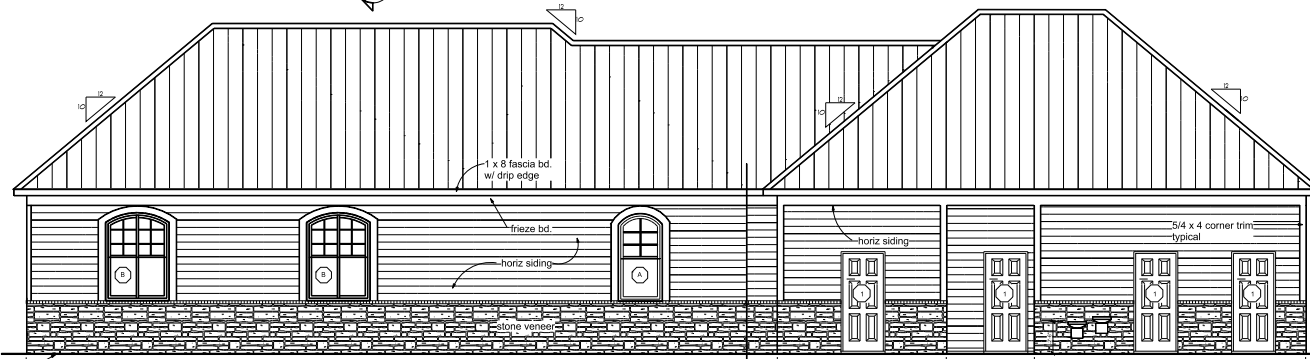
FRONT ELEVATION BLDG SC: 1/4"=1'0"



RIGHT ELEVATION SC: 1/4"=1'0"



LEFT ELEVATION SC: 1/4"=1'0"



REAR ELEVATION SC: 1/4"=1'0"

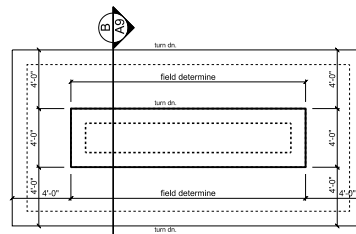
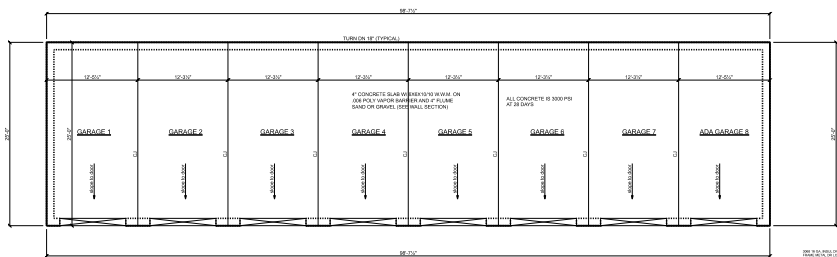
11-E-23-DP
11-A-23-TOB

REV: 0000 BY: _____
JAMES P. LOVELACE ~ ARCHITECT
 2305 SOUTH ANDREW CIRCLE (706) 577-4215
 COLUMBUS GA. 31902
 P.O. BOX 1353

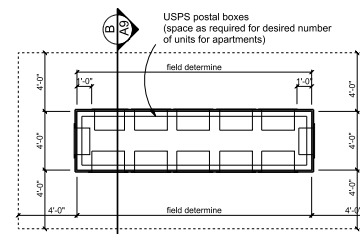
Retreat at Hardin Valley
 2122 Schaeffer Road
 Knoxville, TN 37932

DATE: 09/05/2023
 SCALE: AS NOTED
 DRAWN: RDJ/JPL
 JOB: 2022-08

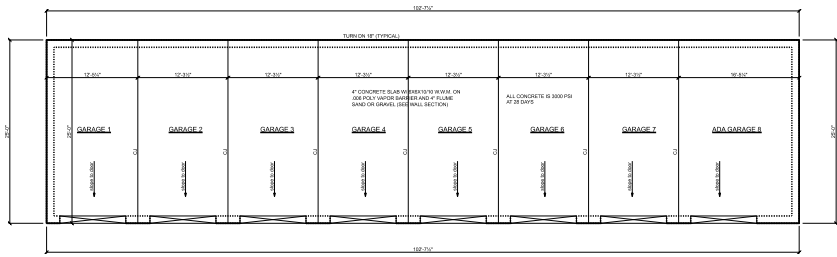
BLDG #12 - CLUBHOUSE SHEET **A7.1**



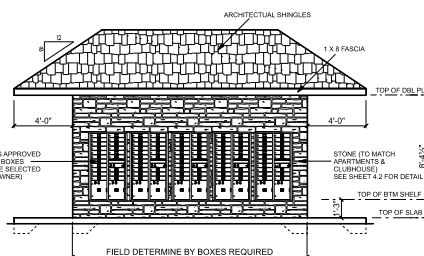
FOUNDATION PLAN (BLDG # 16) SC: 1/4"=1'-0"



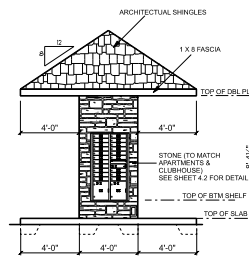
FLOOR PLAN (BLDG # 16) SC: 1/4"=1'-0"



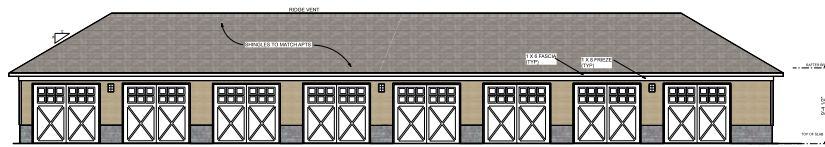
FOUNDATION PLAN LAYOUT for BLDG # 17, 18 & 20 (EIGHT UNIT) SC: 1/8"=1'-0"



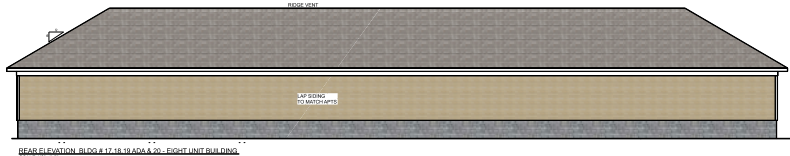
FRONT & REAR ELEVATION (BLDG # 16) SC: 1/4"=1'-0"



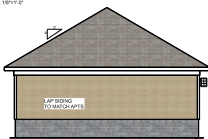
RIGHT & LEFT ELEVATION (BLDG # 16) SC: 1/4"=1'-0"



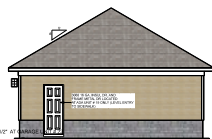
FRONT ELEVATION BLDG # 17, 18, 19, ADA & 20 - EIGHT UNIT SCALE 1/8"=1'-0"



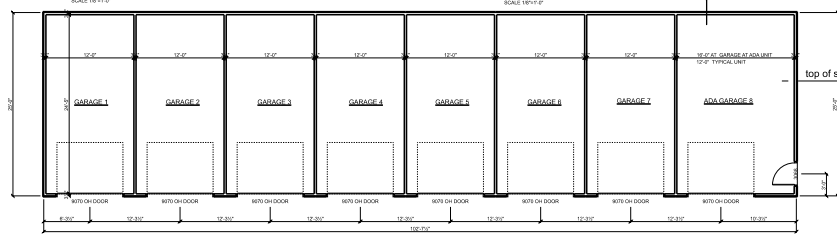
REAR ELEVATION BLDG # 17, 18, 19, ADA & 20 - EIGHT UNIT BUILDING SCALE 1/8"=1'-0"



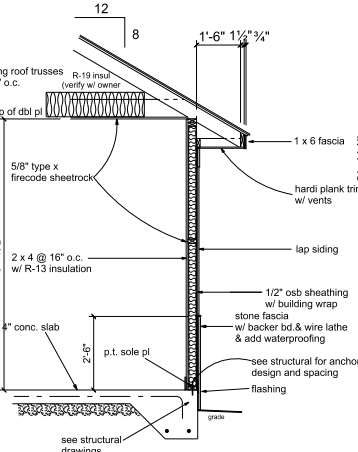
LEFT ELEVATION BLDG # 17, 18, 19, ADA & 20 - EIGHT UNIT BLDG SCALE 1/8"=1'-0"



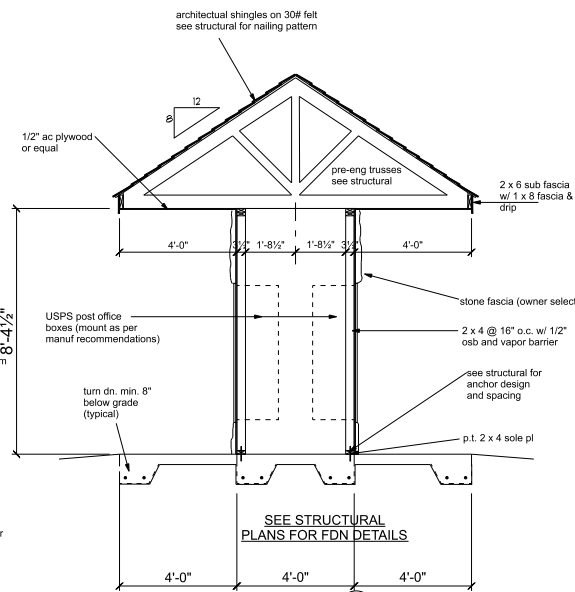
RIGHT ELEVATION BLDG # 17, 18, 19, ADA & 20 - EIGHT UNIT BLDG SCALE 1/8"=1'-0"



GARAGE PLAN for BLDG # 17, 18, 19, ADA & 20 (EIGHT UNIT) SC: 1/8"=1'-0"



WALL SECTION (A) SCALE 1/2"=1'-0"



SECTION (B) BLDG SCALE: 1/2"=1'-0"

11-E-23-DP
11-A-23-TOB

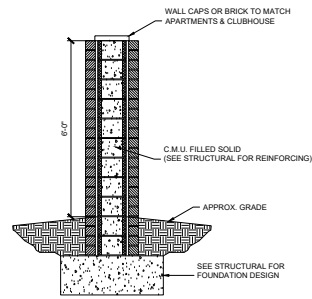
GARAGES
MAIL KIOSK

REV/CHG B7

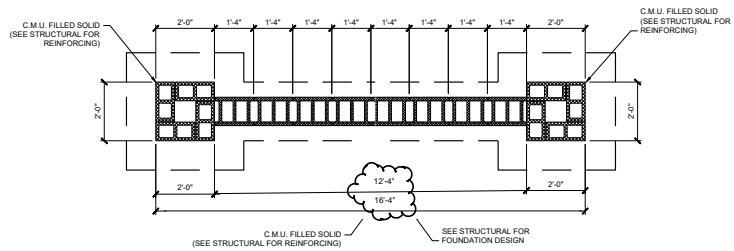
JAMES P. LOVELACE ~ ARCHITECT
2305 SOUTH ANDREW CIRCLE
COLUMBUS GA. 31902

Retreat at Hardin Valley
2122 Schaefer Road
Knoxville, TN 37932

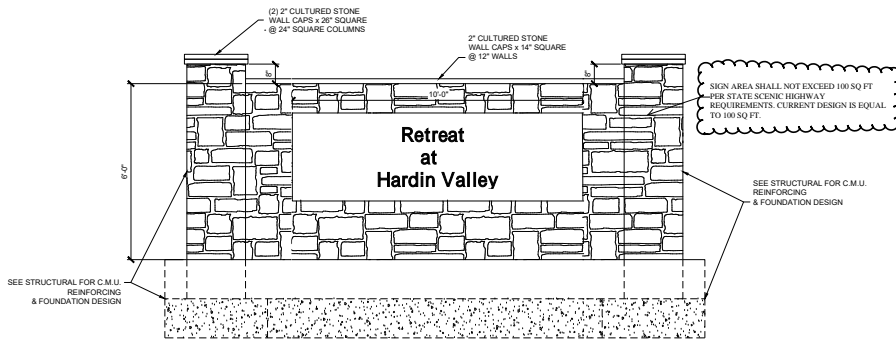
DATE 09/05/2023
SCALE AS NOTED
DRAWN RDJ/JPL
JOB 2022-08
SHEET A8.0



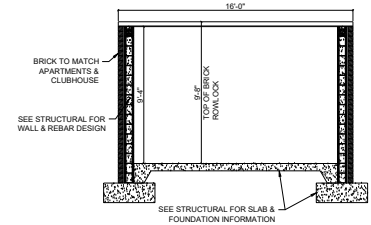
1 SECTION @ SIGN
SCALE: 1/2"=1'-0"



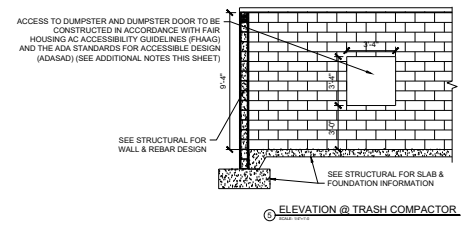
2 FOUNDATION PLAN
SCALE: 1/2"=1'-0"



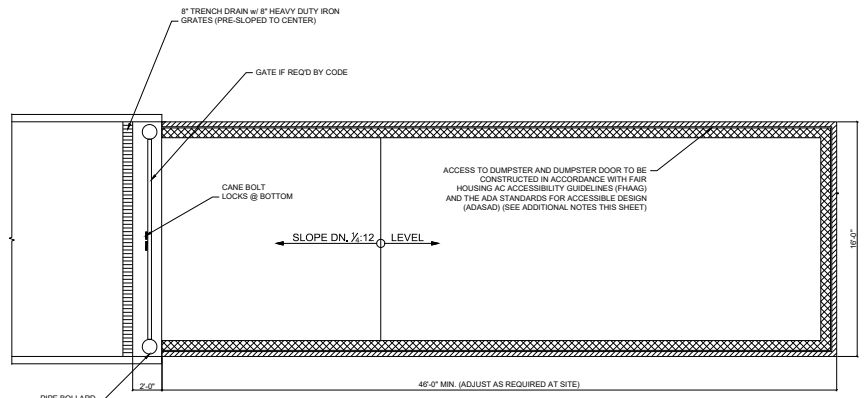
3 ELEVATION @ SIGN
SCALE: 1/2"=1'-0"
FINAL SIGN APPROVAL BY CITY / TO MATCH CITY REQUIREMENTS.



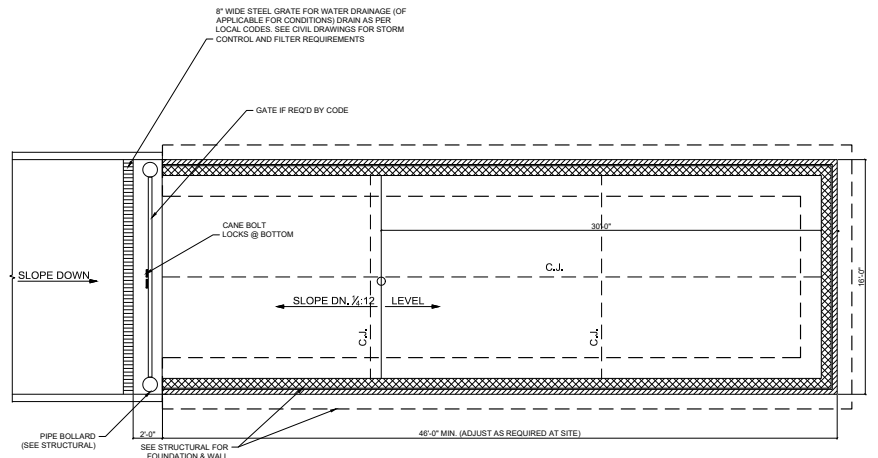
4 SECTION @ TRASH COMPACTOR



5 ELEVATION @ TRASH COMPACTOR



6 TRASH COMPACTOR PLAN
SCALE: 1/4"=1'-0"



7 TRASH COMPACTOR FOUNDATION PLAN
SCALE: 1/4"=1'-0"

11-E-23-DP
11-A-23-TOB

SIGN
TRASH COMPACTOR

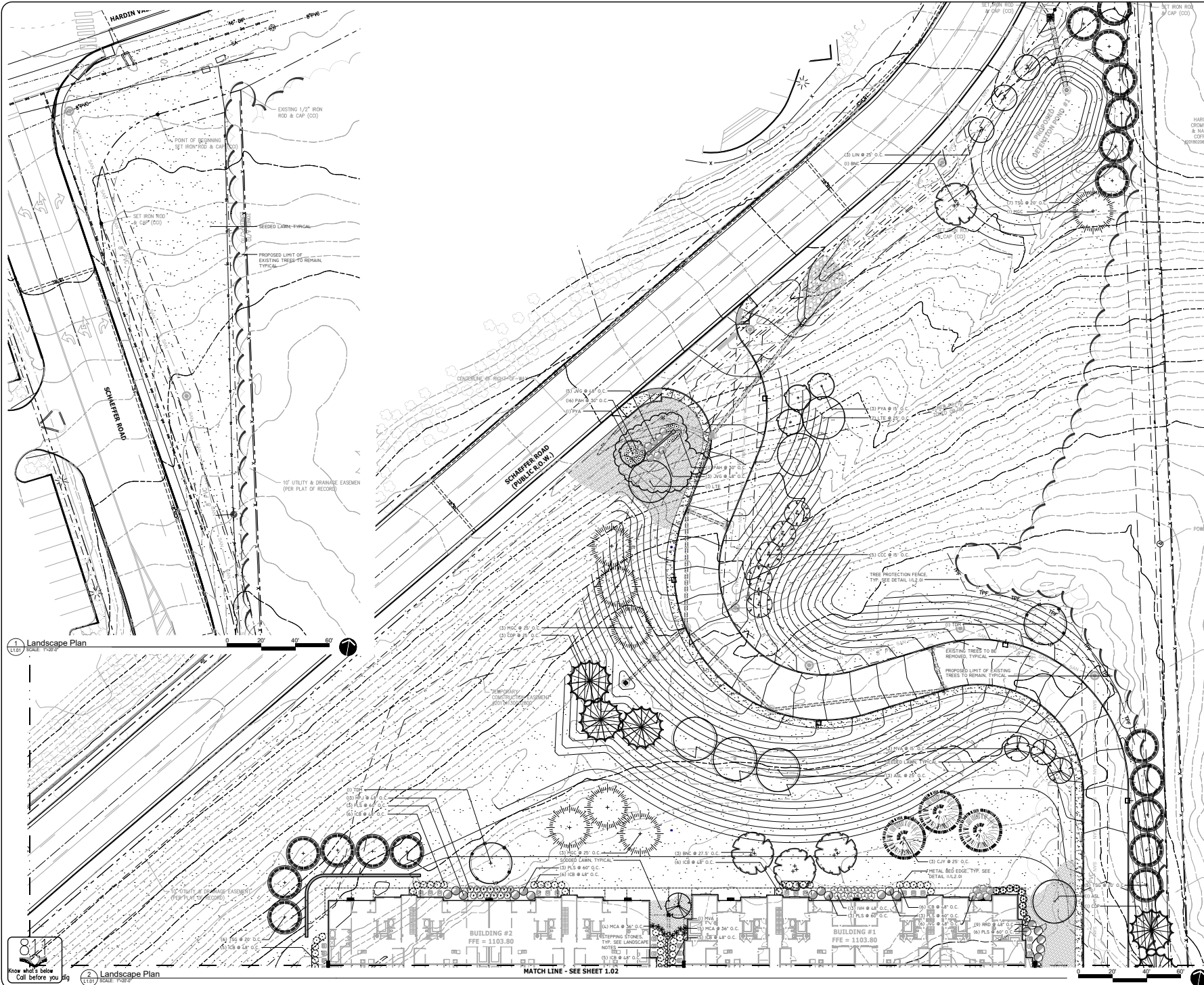
REVISIONS	BY

JAMES P. LOVELACE ~ ARCHITECT
(706) 577-4215
2305 SOUTH ANDREW CIRCLE
COLUMBUS GA. 31902
P.O. BOX 1353

Retreat at Hardin Valley
2122 Schaeffer Road
Knoxville, TN 37932

DATE 09/05/2023
SCALE AS NOTED
DRAWN AJD
JOB 2022-08
SHEET

A10.0

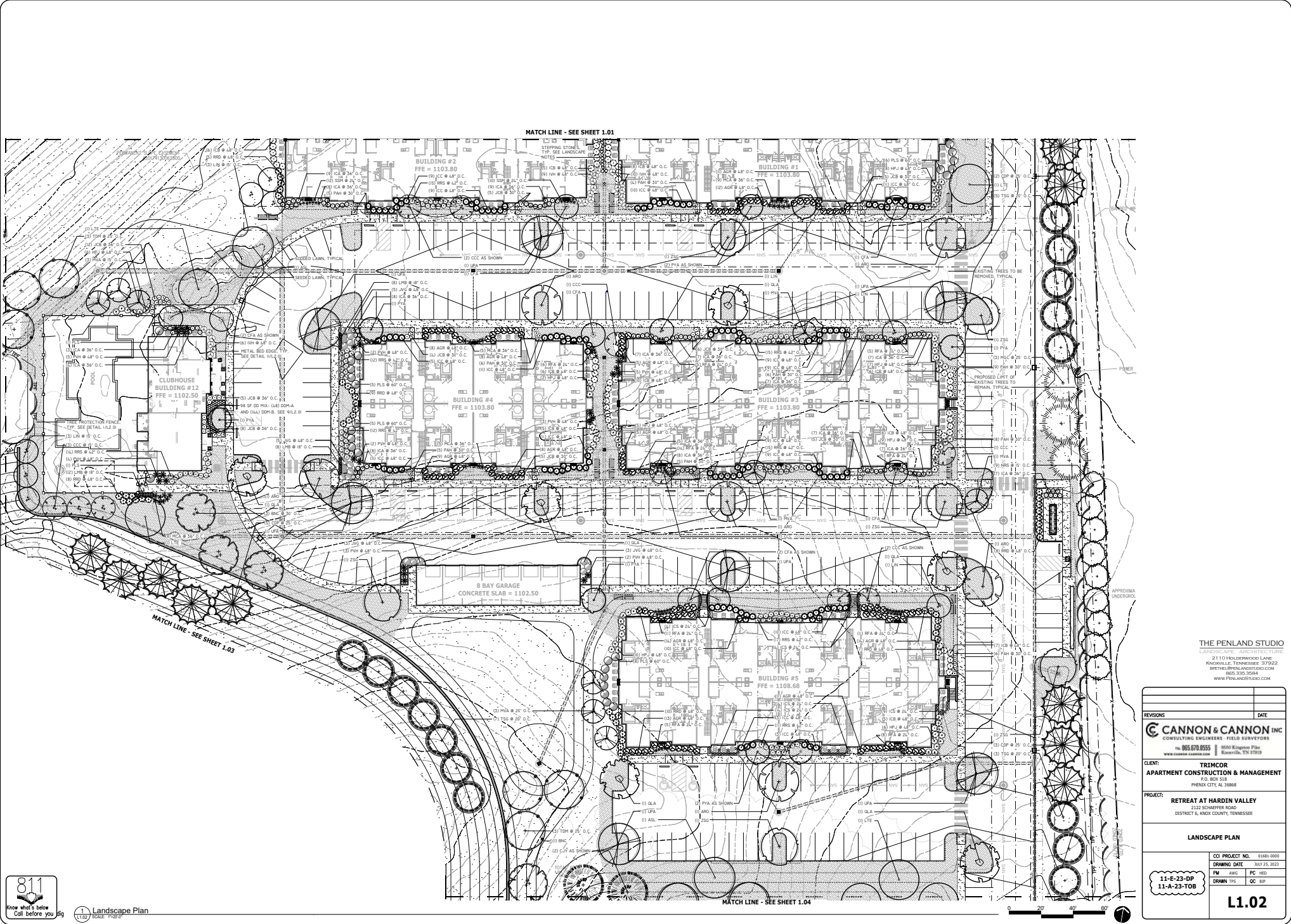


1 Landscape Plan
SCALE: 1/8"=1'-0"

2 Landscape Plan
SCALE: 1/8"=1'-0"

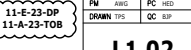
THE PENLAND STUDIO
LANDSCAPE ARCHITECTURE
2110 HOLDERWOOD LANE
KNOXVILLE, TENNESSEE 37922
BYPENLANDSTUDIO.COM
NO. 505.526.9584
WWW.PENLANDSTUDIO.COM



REVISIONS	DATE
CANNON & CANNON INC. CONSULTING ENGINEERS - FIELD SURVEYORS 855.671.8555 www.cannon-cannon.com	
CLIENT:	TRIMCOR APARTMENT CONSTRUCTION & MANAGEMENT P.O. BOX 518 PINECITY, AL 36860
PROJECT:	RETREAT AT HARDIN VALLEY 2122 SCHAEFER ROAD DISTRICT 6, KNOX COUNTY, TENNESSEE
LANDSCAPE PLAN	
CO PROJECT NO.	01681-0000
PM AVG DATE	MAY 25, 2023
DRAWN TFS	OC BP
11-A-23-0P 11-A-23-TOB	
L1.01	



THE PENLAND STUDIO
 LANDSCAPE ARCHITECTURE
 2110 HOLDERWOOD LANE
 KNOXVILLE, TENNESSEE 37922
 615.571.8555
 WWW.PENLANDSTUDIO.COM

REVISIONS	DATE
 <p>CANNON & CANNON INC CONSULTING ENGINEERS - FIELD SURVEYORS 855.671.8555 1600 Rutledge Pike Knoxville, TN 37918 www.cannon-cannon.com</p>	
CLIENT:	TRIMCOR APARTMENT CONSTRUCTION & MANAGEMENT P.O. BOX 318 PINEDEX CITY, AL 36868
PROJECT:	RETREAT AT HARDIN VALLEY 2122 SCHIFFER ROAD DISTRICT 6, KNOX COUNTY, TENNESSEE

LANDSCAPE PLAN		
CO PROJECT NO.	01681-0000	
DRAWING DATE	MAY 25, 2023	
PM	AWG	PC
DRAWN	TFS	CC
		
L1.02		

 Know who's below. Call before you dig.
 Landscape Plan



MATCH LINE
(SEE SHEET 1.02 FOR CONTINUATION)

MATCH LINE
(SEE SHEET 1.02 FOR CONTINUATION)

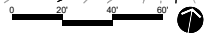
MATCH LINE
(SEE SHEET 1.03 FOR CONTINUATION)

THE PENLAND STUDIO
LANDSCAPE ARCHITECTURE
2110 HOLDERWOOD LANE
KNOXVILLE, TENNESSEE 37922
BETH@THEPENLANDSTUDIO.COM
NO. 335.3584
WWW.PENLANDSTUDIO.COM

REVISIONS	DATE
<p>CANNON & CANNON INC CONSULTING ENGINEERS - FIELD SURVEYORS 865.670.8555 8600 Kingston Pike Knoxville, TN 37959 www.cannon-cannon.com</p>	
CLIENT:	TRIMCOR APARTMENT CONSTRUCTION & MANAGEMENT P.O. BOX 518 PINEY CREEK, AL 36068
PROJECT:	RETREAT AT HARDIN VALLEY 2122 SCHIFFER ROAD DISTRICT 6, KNOX COUNTY, TENNESSEE
LANDSCAPE PLAN	
CO PROJECT NO.	01681-0000
DRAWING DATE	MAY 25, 2023
PM	AWG PC HED
DRAWN	TFS CC BP
L1.03	

811
Know who's below
Call before you dig

Landscape Plan
DATE: 11/23/23



MATCH LINE
(SEE SHEET 1.02 FOR CONTINUATION)



MATCH LINE
(SEE SHEET 1.03 FOR CONTINUATION)

MATCH LINE
(SEE SHEET 1.05 FOR CONTINUATION)



Landscape Plan
Scale: 1/8" = 1'-0"



THE PENLAND STUDIO
LANDSCAPE ARCHITECTURE
2110 HOLDERWOOD LANE
KNOXVILLE, TENNESSEE 37922
BP@THEPENLANDSTUDIO.COM
865.535.0584
WWW.PENLANDSTUDIO.COM

REVISIONS	DATE
CANNON & CANNON INC CONSULTING ENGINEERS - FIELD SURVEYORS 865.670.8555 www.cannon-cannon.com	
CLIENT:	TRIMCOR APARTMENT CONSTRUCTION & MANAGEMENT P.O. BOX 518 PHOENIX CITY, AL 36868
PROJECT:	RETREAT AT HARDIN VALLEY 2122 SCHNEPPER ROAD DISTRICT 6, KNOX COUNTY, TENNESSEE
LANDSCAPE PLAN	
CO PROJECT NO.	01681-0000
DRAWING DATE	MAY 25, 2023
PM	AWG PC RED
DRAWN	TPS OC BP
11-E-23-0P 11-A-23-TOB	
L1.04	

ROY C. & JUDY L. DUNN
25.00

EXISTING RAILROAD
RAIL

MATCH LINE (SEE SHEET 1.04 FOR CONTINUATION)

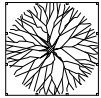


EXISTING TREES TO BE
PRESERVED. LIMIT OF SAFETY?
TREES TO REMAIN. TYPICAL.
TREE PROTECTION FENCE
(TYP. SEE DETAIL 1A.2)



THE PENLAND STUDIO
LANDSCAPE ARCHITECTURE
2110 HOLDERWOOD LANE
KNOXVILLE, TENNESSEE 37922
BRYTHE@PENLANDSTUDIO.COM
606.535.0584
WWW.PENLANDSTUDIO.COM

REVISIONS	DATE
CANNON & CANNON INC CONSULTING ENGINEERS - FIELD SURVEYORS 855.670.8555 www.cannon-cannon.com 1800 Riverside Plaza Knoxville, TN 37918	
CLIENT:	TRIMCOR APARTMENT CONSTRUCTION & MANAGEMENT P.O. BOX 518 PINECITY, AL 36868
PROJECT:	RETREAT AT HARDIN VALLEY 2122 SCHIFFER ROAD DISTRICT 6, KNOX COUNTY, TENNESSEE
LANDSCAPE PLAN	
CO PROJECT NO.	01681-0000
DRAWING DATE	MAY 25, 2023
11-E-23-0P	PM AWC PC RED
11-A-23-10B	DRAWN TFS CC BP
L1.05	



• ESTABLISH TREE PROTECTION FENCING PRIOR TO START OF ANY SITE CLEARING, GRADING, DEMOLITION OR CONSTRUCTION ACTIVITIES. TREE PROTECTION SHALL BE APPROVED BY THE ENGINEER PRIOR TO START OF CONSTRUCTION ACTIVITIES AND MAINTAINED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION.

• LIMITS OF GRADING AT DRIPLINE OF TREES. SEE PLAN FOR LOCATIONS OF TREE PROTECTION FENCING (TPF).

• PROTECTIVE FENCING TO PRESERVE TRUNK, BRANCHES, AND ROOT SYSTEM AND TO MINIMIZE COMPACTION OF SOIL AROUND TREE.

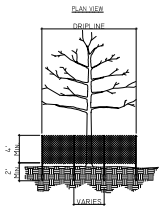
• TREE PROTECTION FENCING TO CONSIST OF 4'x4" MIN. HT. ORANGE SAFETY PLASTIC FENCE FABRIC OR CHAIN-LINK FENCING FABRIC. PROVIDE STEEL PICTS SPACED @ 4" O.C. MAX. FOR CHAIN-LINK FENCE WITH 12" MIN. ANCHORING DEPTH.

• NO FENCING TO BE NEEDED TO TREE.

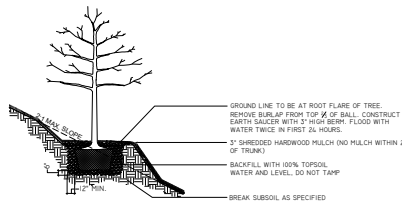
• HEAVY EQUIPMENT, VEHICULAR TRAFFIC OR STOCKPILING SHALL NOT BE PERMITTED WITHIN DRIPLINE.

• NO TOXIC MATERIALS TO BE STORED WITHIN 100' OF TREE DRIPLINE.

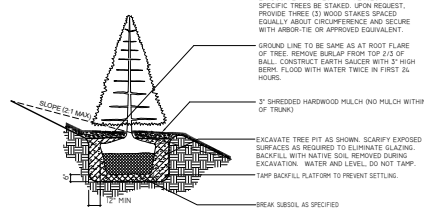
• IN AREAS WHERE FOOTINGS, PAVEMENT AND/OR UTILITIES WILL PENETRATE INTO THE DRIPLINE AREA, A LICENSED TREE SURGEON SHALL BE CALLED IN TO PERFORM ROOT PRUNING PRIOR TO BEGINNING CONSTRUCTION.



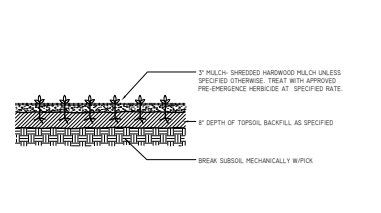
1 TREE PROTECTION FENCING
SCALE: 1/4" = 1'-0"



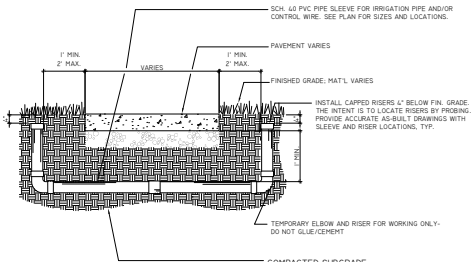
4 TREE PLANTING/GUYING ON SLOPE
SCALE: NOT TO SCALE



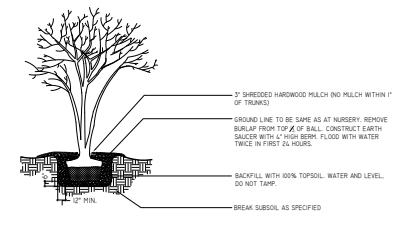
7 EVERGREEN TREE ON 2:1 SLOPE
SCALE: NOT TO SCALE



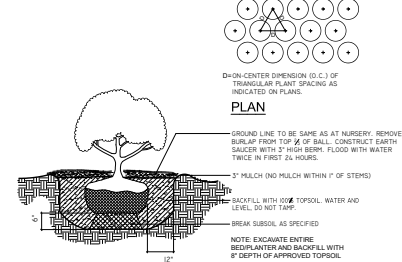
10 GROUND COVER/PERENNIAL PLANTING
SCALE: NOT TO SCALE



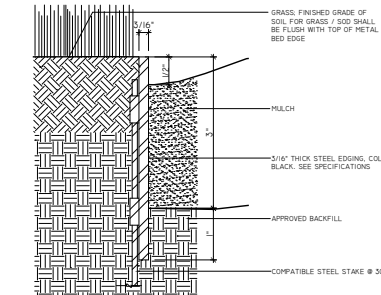
2 IRRIGATION SLEEVE DETAIL
SCALE: 1/2" = 1'-0"



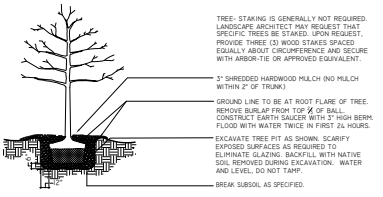
5 TREE PLANTING - MULTI-STEM TREE
SCALE: NOT TO SCALE



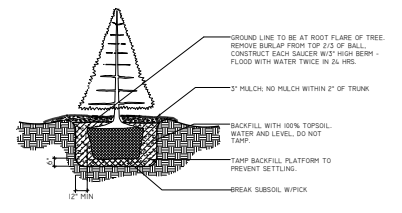
8 SHRUB PLANTING DETAIL
SCALE: NOT TO SCALE



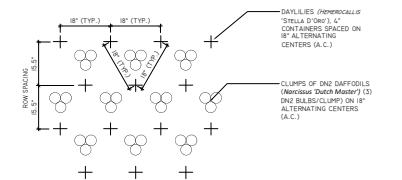
11 METAL BED EDGE
SCALE: 1/2" = 1'-0"



3 TREE PLANTING & GUYING TO 3' CAL.
SCALE: NOT TO SCALE



6 EVERGREEN TREE - TO 8' HT.
SCALE: NOT TO SCALE



9 COLOR BED SPACING
SCALE: N.T.S.



THE PENLAND STUDIO
LANDSCAPE ARCHITECTURE
2110 HOLDERWOOD LANE
KNOXVILLE, TENNESSEE 37922
BYPENLANDSTUDIO.COM
NO. 330.9246
WWW.PENLANDSTUDIO.COM

REVISIONS	DATE

CANNON & CANNON INC.
CONSULTING ENGINEERS - FIELD SURVEYORS
805.671.8555
www.cannon-cannon.com

CLIENT: **TRIMCOR**
APARTMENT CONSTRUCTION & MANAGEMENT
P.O. BOX 518
PINEY CITY, AL 36068

PROJECT: **RETREAT AT HARDIN VALLEY**
2122 SCHNEPPER ROAD
DISTRICT 6, KNOX COUNTY, TENNESSEE

LANDSCAPE DETAILS

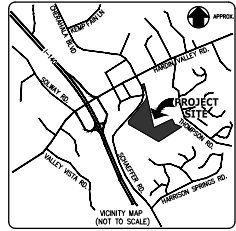
CD PROJECT NO.	01681-0000
DRAWING DATE	MAY 25, 2023
PM	AWG PC HED
DRAWN	TFS OC BP

L2.01

RETREAT AT HARDIN VALLEY

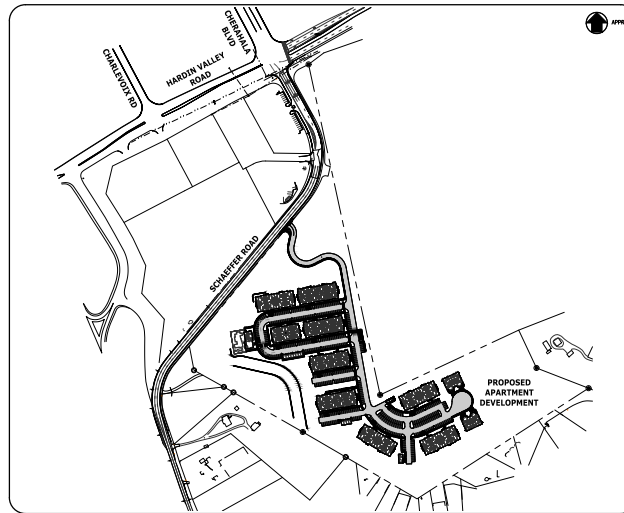
2122 SCHAEFFER ROAD

KNOXVILLE, TENNESSEE



DRAWING INDEX

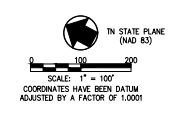
- 1 COVER SHEET
- 2 OVERALL SITE PLAN AND TTCDA INTENSITY CALCULATIONS
- 3 OVERALL SITE LAYOUT AND TRUCK TURN PLAN
- 4 HARDIN VALLEY ROAD IMPROVEMENTS
- 5 ENLARGED SITE LAYOUT PLAN
- 6 ENLARGED SITE LAYOUT PLAN
- 7 ENLARGED SITE LAYOUT PLAN
- 8 ENLARGED SITE LAYOUT PLAN
- 9 ENLARGED SITE LAYOUT PLAN
- 10 DRIVEWAY PROFILES
- 11 DRIVEWAY PROFILES
- 12 OVERALL SITE GRADING PLAN
- 13 ENLARGED SITE GRADING AND DRAINAGE PLAN
- 14 ENLARGED SITE GRADING AND DRAINAGE PLAN
- 15 ENLARGED SITE GRADING AND DRAINAGE PLAN
- 16 ENLARGED SITE GRADING AND DRAINAGE PLAN
- 17 ENLARGED SITE GRADING AND DRAINAGE PLAN
- 18 SITE DETAILS
- 19 SITE DETAILS
- L1.00 LANDSCAPE INDEX PLAN
- L1.01 LANDSCAPE PLAN
- L1.02 LANDSCAPE PLAN
- L1.03 LANDSCAPE PLAN
- L1.04 LANDSCAPE PLAN
- L1.05 LANDSCAPE PLAN
- L2.01 LANDSCAPE DETAILS



PROPERTY DATA	
PROPERTY OWNER	THE GRAND RESERVE COLUMBUS, LLC P.O. BOX 3290 PHENIX CITY, AL 36868
KNOXVILLE C.I.T. MAP NO.	104
PARCEL NUMBER	93
JURISDICTION	KNOX COUNTY
ZONING	PR/TO "PLANNED RESIDENTIAL/TECHNOLOGY OVERLAY" PC/TO "PLANNED COMMERCIAL/TECHNOLOGY OVERLAY" OE/TO "OFFICE, MEDICAL, AND RELATED SERVICE/TECHNOLOGY OVERLAY"
AREA	27.10 AC. TOTAL

REVISED PER KNOX PLANNING REVIEW COMMENTS		10/23/2021
REVISIONS		DATE
CLIENT:	TRIMCOR APARTMENT CONSTRUCTION & MANAGEMENT P.O. BOX 318 PHENIX CITY, AL 36868	
PROJECT:	RETREAT AT HARDIN VALLEY 2122 SCHAEFFER ROAD DISTRICT 6, KNOX COUNTY, TENNESSEE	
COVER SHEET		
ISS PROJECT NO.	01681-0000	
DRAWING DATE	JULY 25, 2021	
PREP	304	PC
DRAWN	304	FR
11-E-23-DP 11-A-23-T08		
1		

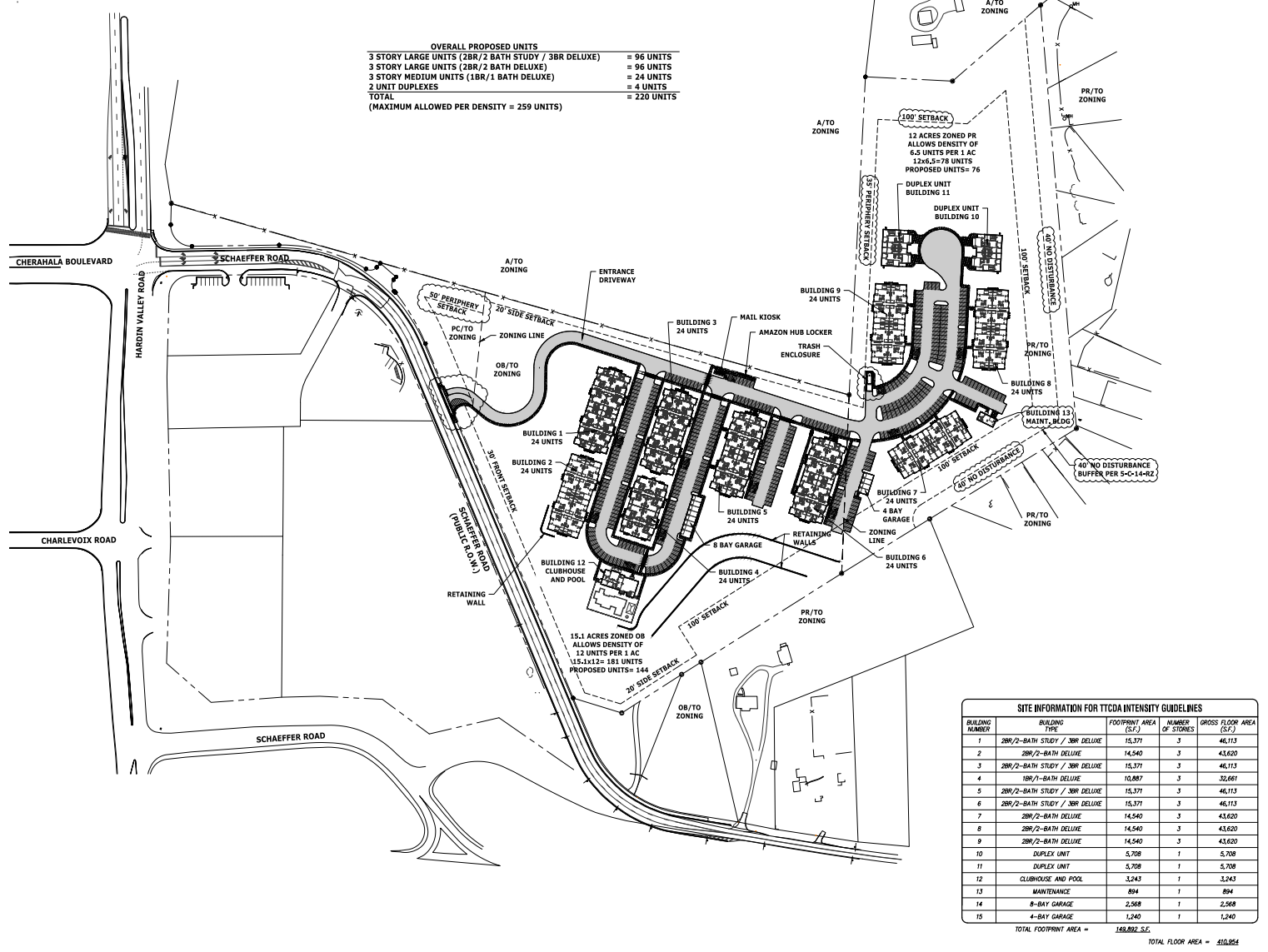
REVISED 11/1/2023



OVERALL PROPOSED UNITS

3 STORY LARGE UNITS (2BR/2 BATH STUDY / 3BR DELUXE)	= 96 UNITS
3 STORY LARGE UNITS (2BR/2 BATH DELUXE)	= 96 UNITS
3 STORY MEDIUM UNITS (1BR/1 BATH DELUXE)	= 24 UNITS
2 UNIT DUPLEXES	= 4 UNITS
TOTAL	= 220 UNITS

(MAXIMUM ALLOWED PER DENSITY = 259 UNITS)



- NOTES:**
1. THE TOPOGRAPHIC AND PLANNING DATA SHOWN WAS PROVIDED BY TRIMCOR APARTMENT CONSTRUCTION, DATED APRIL 2020. THE BOUNDARY WAS PROVIDED BY CANNON AND CANNON, DATED APRIL 2020.
 2. UNLESS NOTED OTHERWISE, DIMENSIONS ARE TAKEN FROM OUTSIDE FACE OF BUILDING AND/OR FACE OF CURB.
 3. THE MINERAL AGGREGATE BASE AND ASPHALT SURFACE COURSES SHALL MEET THE MATERIALS, EQUIPMENT, CONSTRUCTION AND TESTING REQUIREMENTS OF THESE DRAWINGS AND KNOX COUNTY STANDARD SPECIFICATIONS.
 4. PROPERTY CONCERNED REFLECTS PARCEL 83 AS SHOWN ON KNOX COUNTY CLT TAX MAP NO. 104. ZONING FOR THE PROPERTY IS OB/TO AND PR/TO "OFFICE, MEDICAL AND RELATED SERVICES ZONE WITH TECHNOLOGY OVERLAY" AND "PLANNED RESIDENTIAL ZONE < 6.5 DU/AC WITH TECHNOLOGY OVERLAY".
 5. TOTAL AREA IS 27.18 ACRES. THE TOTAL DISTURBED AREA IS APPROXIMATELY 20.3 ACRES.
 6. TRAFFIC CONTROL DEVICES AND PAVEMENT MARKING SHALL CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATION "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
 7. ALL SETBACKS SHALL BE IN ACCORDANCE WITH KNOX COUNTY AND TTCDA ZONING ORDINANCES.
 8. OWNER: THE GRAND RESERVE COLUMBIAS LLC
P.O. BOX 2096
PERRY CITY, AL 36868
DEVELOPER: TRIMCOR APARTMENT CONSTRUCTION & MANAGEMENT
P.O. BOX 318
PERRY CITY, AL 36868
CONTACT: DAN HIBBELT
 9. PERIMETER SLOPES SHALL BE LANDSCAPED PER TTCDA REQUIREMENTS. SLOPES ARE NOT TO EXCEED 2:1 (H:V).
 10. PROPOSED LANDSCAPE WILL COMPLY WITH KNOX COUNTY AND TTCDA REQUIREMENTS.

PARKING SUMMARY - TTCDA AND KNOX COUNTY REQUIREMENTS

REQUIRED SPACES FOR MULTI-FAMILY RESIDENTIAL:
1.5 SPACES PER DWELLING UNIT FOR THE FIRST 20 UNITS PLUS 1 ADDITIONAL SPACE PER DWELLING UNIT FOR EACH ONE BEDROOM UNIT IN EXCESS OF 20 UNITS PLUS 1.5 SPACES PER DWELLING UNIT FOR EACH TWO (OR MORE) BEDROOM UNITS.

1 BEDROOM UNITS (24 PROPOSED): 1.5 SPACES PER UNIT = 36 SPACES
1.5 SPACES PER UNIT = 1.5 X 192 = 288 SPACES

2 OR MORE BEDROOM UNITS (192 PROPOSED): 1.5 SPACES PER UNIT = 1.5 X 192 = 288 SPACES

TOTAL REQUIRED: 30 + 4 + 288 = 322 SPACES
MINIMUM SPACES ALLOWED PER MINIMUM: 322 X 1.75 = 564 SPACES

TOTAL SPACES PROVIDED: 436 SPACES
(2.0 SPACES PER UNIT AVERAGE)

TOTAL STANDARD SPACES: 401 SPACES
TOTAL GARAGE SPACES: 12 SPACES
ACCESSIBLE SPACES: 23 SPACES

REQUIRED (401-500) 7 STANDARD +2 VAN = 9 TOTAL

- LEGEND**
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT
 - CONCRETE SIDEWALK
 - CONCRETE PAVEMENT
 - PROPOSED LIGHT DUTY ASPHALT PAVEMENT
 - EXIST. R.O.W./BOUNDARY
 - BUILDING SETBACK LINE
 - ZONING LINE
 - 1 (C3.07) DETAIL REFERENCE (DETAIL NO./SHEET NO.)
 - 2 NUMBER OF PARKING SPACES
 - 3 COORDINATE POINT
 - 4 ACCESSIBLE PARKING
 - 5 ACCESSIBLE CURB RAMP

SITE INFORMATION FOR TTCDA INTENSITY GUIDELINES

BUILDING NUMBER	BUILDING TYPE	FOOTPRINT AREA (SQ. FT.)	NUMBER OF STORES (SQ. FT.)	GROSS FLOOR AREA (SQ. FT.)
1	2BR/2-BATH STUDY / 3BR DELUXE	15,371	3	46,113
2	2BR/2-BATH DELUXE	14,540	3	43,620
3	2BR/2-BATH STUDY / 3BR DELUXE	15,371	3	46,113
4	1BR/1-BATH DELUXE	10,887	3	32,661
5	2BR/2-BATH STUDY / 3BR DELUXE	15,371	3	46,113
6	2BR/2-BATH STUDY / 3BR DELUXE	15,371	3	46,113
7	2BR/2-BATH DELUXE	14,540	3	43,620
8	2BR/2-BATH DELUXE	14,540	3	43,620
9	2BR/2-BATH DELUXE	14,540	3	43,620
10	DUPLEX UNIT	5,708	1	5,708
11	DUPLEX UNIT	5,708	1	5,708
12	CLUBHOUSE AND POOL	3,243	1	3,243
13	MAINTENANCE	894	1	894
14	8-BAY GARAGE	2,568	1	2,568
15	4-BAY GARAGE	1,240	1	1,240

TOTAL FOOTPRINT AREA = 149,892 SQ. FT. TOTAL FLOOR AREA = 410,954

TTCDA INTENSITY CALCULATIONS:

GROUND AREA COVERING (GAC)
GAC = BUILDING FOOTPRINT AREA/GROSS LOT AREA
149,892 SQ. FT./1,186,476 SQ. FT. (27.10 AC) = 0.127 OR 12.7%
GAC NOT TO EXCEED: 30%

FLOOR AREA RATIO (FAR)
FAR = GROSS FLOOR AREA/GROSS LOT AREA
410,954 SQ. FT./1,186,476 SQ. FT. (27.10 AC) = 0.348 OR 34.8%
FAR NOT TO EXCEED: 30% (WHEN REQUESTED)

IMPERVIOUS AREA RATIO (IAR)
IAR=GROSS IMPERVIOUS AREA/GROSS LOT AREA
423,719 SQ. FT./1,186,476 SQ. FT. (27.10 AC) = 0.359 OR 35.9%
IAR NOT TO EXCEED: 70%

REVISED PER KNOX PLANNING REVIEW COMMENTS 10/23/2021
REVISED PER KNOX PLANNING REVIEW COMMENTS 11/01/2023

DATE

CLIENT: TRIMCOR APARTMENT CONSTRUCTION & MANAGEMENT
P.O. BOX 318
PERRY CITY, AL 36868

PROJECT: RETREAT AT HARDIN VALLEY
232 SCHAEFFER ROAD
DISTRICT 6, KNOX COUNTY, TENNESSEE

OVERALL SITE PLAN AND TTCDA INTENSITY CALCULATIONS

PROJECT NO. 11066-0000
DRAWING DATE: JULY 25, 2023

PREPARED BY	REVISED BY	DATE
11-E-23-DP		
11-A-23-T08		

2



NOTES:
 1. SEE SHEET 2 FOR APPLICABLE SITE LAYOUT NOTES.

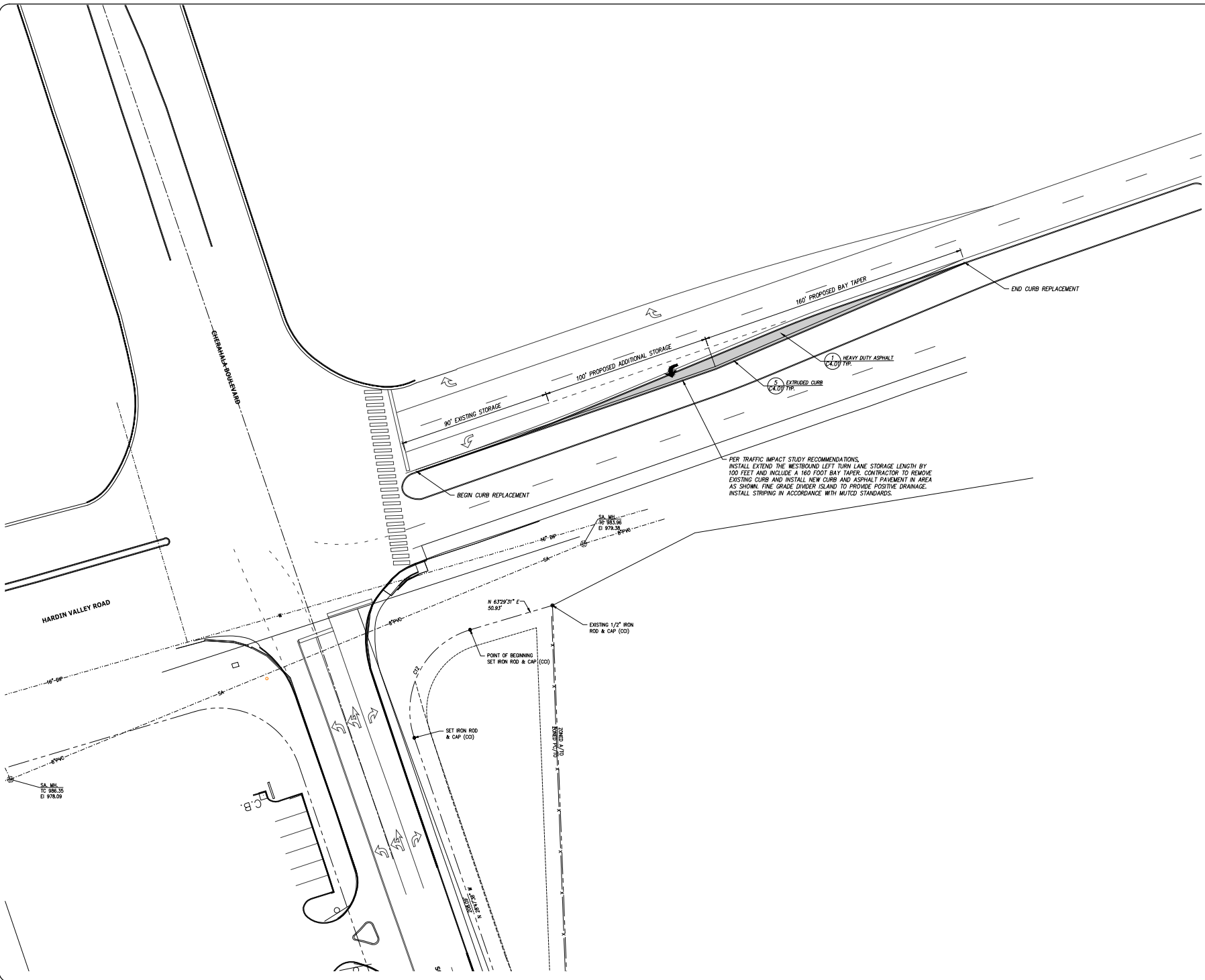
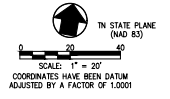
SPECIAL NOTE:
 1. ADA COMPLIANT ROUTE AS SHOWN ON THIS PLAN REPRESENTS THE DESIGNED ACCESSIBLE ROUTE. CONTRACTOR IS TO CONSTRUCT ALL SHADED AREAS IN COMPLIANCE WITH CURRENT ADA REGULATIONS. CONTRACTOR TO COORDINATE ANY DISCREPANCIES ENCOUNTERED IN THE FIELD WITH ENGINEER PRIOR TO CONSTRUCTION OF ADA COMPLIANT ROUTE.

LEGEND

	PROPOSED HEAVY DUTY ASPHALT PAVEMENT
	CONCRETE SIDEWALK
	CONCRETE PAVEMENT
	PROPOSED LIGHT DUTY ASPHALT PAVEMENT
	EXIST. R.O.W./BOUNDARY
	BUILDING SETBACK LINE
	ZONING LINE
	ACCESSIBLE ROUTE
	DETAIL REFERENCE (DETAIL NO./SHEET NO.)
	NUMBER OF PARKING SPACES
	COORDINATE POINT
	ACCESSIBLE PARKING
	ACCESSIBLE CURB RAMP

REVISED PER KNOX PLANNING REVIEW COMMENTS	10/23/2021
REVISIONS	DATE
CLIENT: TRIMCOR APARTMENT CONSTRUCTION & MANAGEMENT P.O. BOX 318 PRINCE CITY, AL 36869	
PROJECT: RETREAT AT HARDIN VALLEY 232 SCHAEFER ROAD DISTRICT 6, KNOX COUNTY, TENNESSEE	
OVERALL SITE LAYOUT AND TRUCK TURN PLAN	
CSI PROJECT NO.	01681-0000
DRAWING DATE	JULY 25, 2023
PREPARED BY	JKH
DESIGNED BY	PC
DRAWN BY	FR
11-E-23-DP 11-A-23-T08	
3	

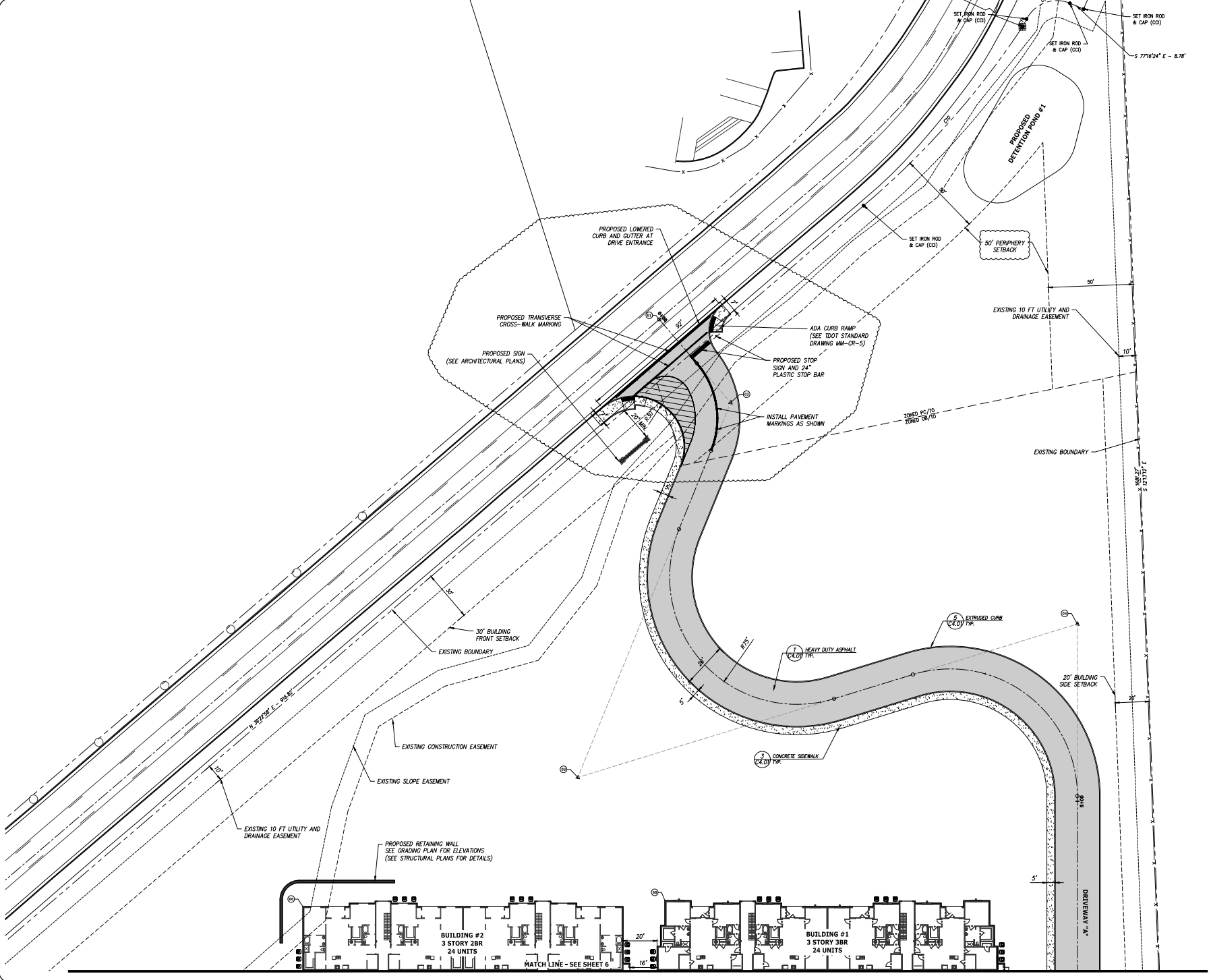
NOTES:
 1. SEE SHEET 2 FOR APPLICABLE SITE LAYOUT NOTES.



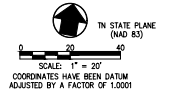
LEGEND

	PROPOSED HEAVY DUTY ASPHALT PAVEMENT
	CONCRETE SIDEWALK
	CONCRETE PAVEMENT
	PROPOSED LIGHT DUTY ASPHALT PAVEMENT
	EXIST. R.O.W./BOUNDARY
	BUILDING SETBACK LINE
	ZONING LINE
	ACCESSIBLE ROUTE
	DETAIL REFERENCE (DETAIL NO./SHEET NO.)
	NUMBER OF PARKING SPACES
	COORDINATE POINT
	ACCESSIBLE PARKING
	ACCESSIBLE CURB RAMP

REVISED PER KNOX PLANNING REVIEW COMMENTS	10/23/2021
PREPARED BY	DATE
CLIENT: TRIMCOR APARTMENT CONSTRUCTION & MANAGEMENT P.O. BOX 318 PRINCETON, AL 36868	
PROJECT: RETREAT AT HARDIN VALLEY 2322 SCHAEFER ROAD DISTRICT 6, KNOX COUNTY, TENNESSEE	
HARDIN VALLEY ROAD IMPROVEMENTS	
CSI PROJECT NO.	01681-0000
DRAWING DATE	JULY 25, 2023
PREPARED BY	384 PC
DRAWN BY	384 FR
11-E-23-DP 11-A-23-T08	
4	



NOTES:
 1. SEE SHEET 2 FOR APPLICABLE SITE LAYOUT NOTES.



LEGEND

	PROPOSED HEAVY DUTY ASPHALT PAVEMENT
	CONCRETE SIDEWALK
	CONCRETE PAVEMENT
	PROPOSED LIGHT DUTY ASPHALT PAVEMENT
	EXIST. R.O.W./BOUNDARY
	BUILDING SETBACK LINE
	ZONING LINE
	ACCESSIBLE ROUTE
	DETAIL REFERENCE (DETAIL NO./SHEET NO.)
	NUMBER OF PARKING SPACES
	COORDINATE POINT
	ACCESSIBLE PARKING
	ACCESSIBLE CURB RAMP

	REVISED PER KNOX PLANNING REVIEW COMMENTS	10/23/2021
	REVISED PER KNOX PLANNING REVIEW COMMENTS	11/01/2023

CLIENT: **TRIMCOR APARTMENT CONSTRUCTION & MANAGEMENT**
 P.O. BOX 318
 PRINCE CITY, AL 36868

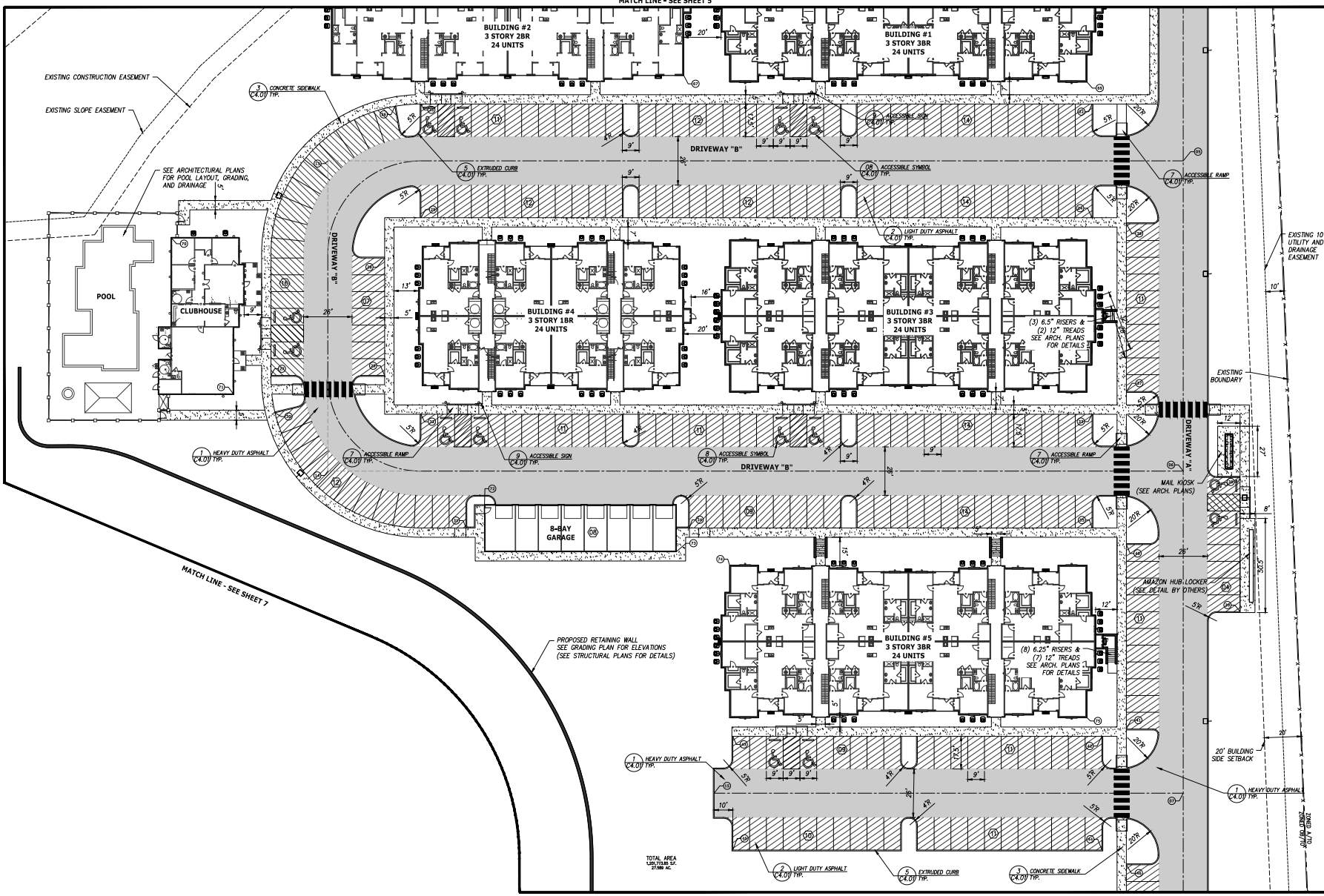
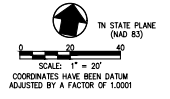
PROJECT: **RETREAT AT HARDEN VALLEY**
 2322 SHAWFEE ROAD
 DISTRICT 6, KNOX COUNTY, TENNESSEE

ENLARGED SITE LAYOUT PLAN

CS PROJECT NO.	01661-0000
DRAWING DATE	JULY 25, 2023
DATE	DATE
PREP	304
PC	
DRAWN	304
FR	
11-E-23-DP	
11-A-23-T08	
5	

MATCH LINE - SEE SHEET 5

NOTES:
1. SEE SHEET 2 FOR APPLICABLE SITE LAYOUT NOTES.



MATCH LINE - SEE SHEET 7

MATCH LINE - SEE SHEET 7

LEGEND

	PROPOSED HEAVY DUTY ASPHALT PAVEMENT
	CONCRETE SIDEWALK
	CONCRETE PAVEMENT
	PROPOSED LIGHT DUTY ASPHALT PAVEMENT
	EXIST. R.O.W./BOUNDARY
	BUILDING SETBACK LINE
	ZONING LINE
	ACCESSIBLE ROUTE
	DETAIL REFERENCE (DETAIL NO./SHEET NO.)
	NUMBER OF PARKING SPACES
	COORDINATE POINT
	ACCESSIBLE PARKING
	ACCESSIBLE CURB RAMP

REVISED PER KNOX PLANNING REVIEW COMMENTS 10/23/2021

REVISIONS	DATE



CLIENT: **TRIMCOR APARTMENT CONSTRUCTION & MANAGEMENT**
P.O. BOX 318
PRINCE CITY, AL 36868

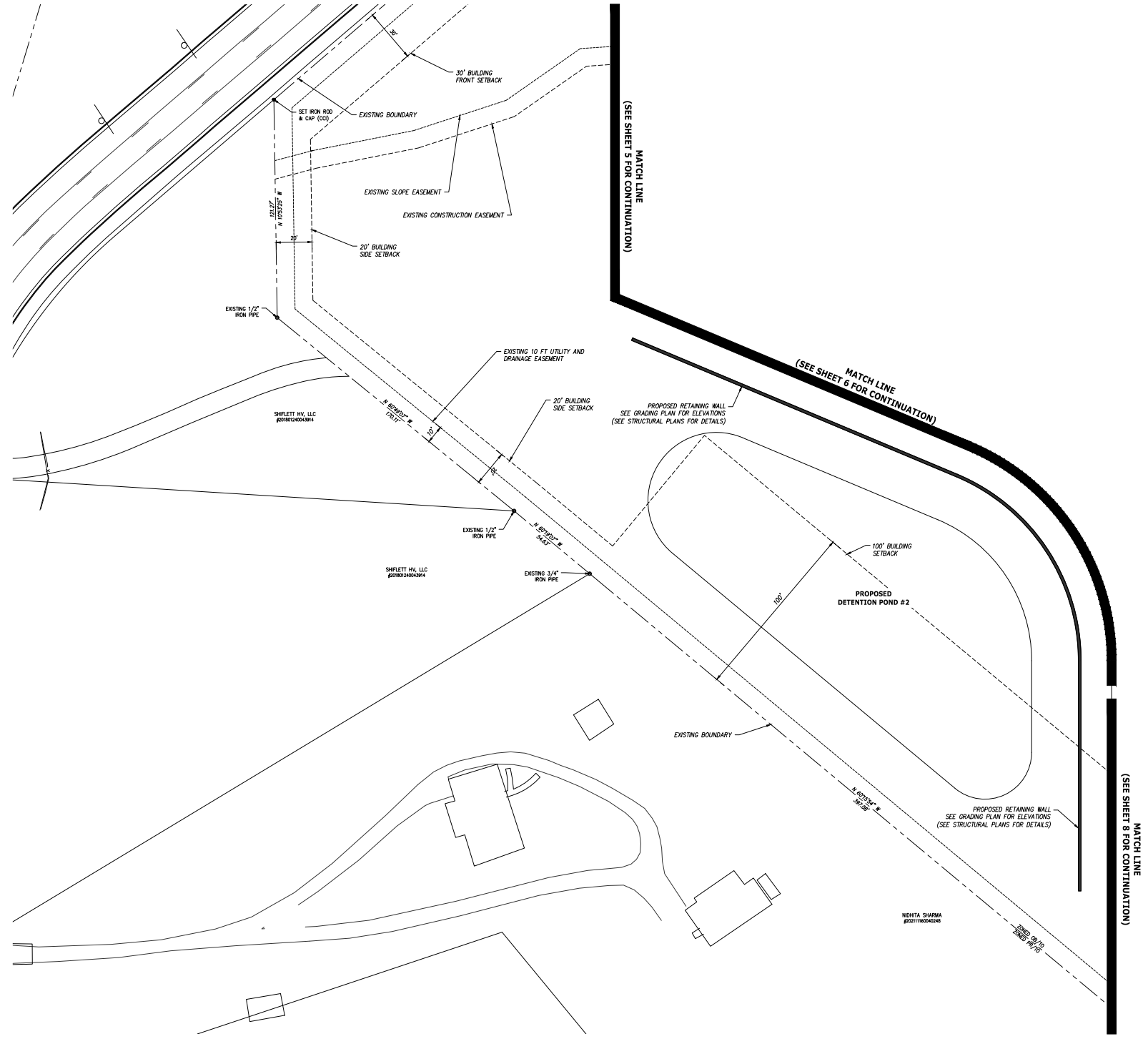
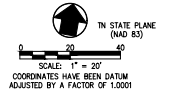
PROJECT: **RETREAT AT HARDIN VALLEY**
232 SCHAEFER ROAD
DISTRICT 6, KNOX COUNTY, TENNESSEE

ENLARGED SITE LAYOUT PLAN

CSI PROJECT NO.	01681-0000
DRAWING DATE	JULY 25, 2023
PREPARED BY	SKH PC
DRAWN BY	FR

11-E-23-DP
11-A-23-108

NOTES:
 1. SEE SHEET 2 FOR APPLICABLE SITE LAYOUT NOTES.

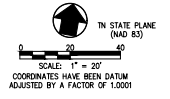


LEGEND	
	PROPOSED HEAVY DUTY ASPHALT PAVEMENT
	CONCRETE SIDEWALK
	CONCRETE PAVEMENT
	PROPOSED LIGHT DUTY ASPHALT PAVEMENT
	EXIST. R.O.W./BOUNDARY
	BUILDING SETBACK LINE
	ZONING LINE
	ACCESSIBLE ROUTE
	DETAIL REFERENCE (DETAIL NO./SHEET NO.)
	NUMBER OF PARKING SPACES
	COORDINATE POINT
	ACCESSIBLE PARKING
	ACCESSIBLE CURB RAMP

REVISED PER KNOX PLANNING REVIEW COMMENTS	10/23/2021
REVISIONS	DATE
CLIENT:	TRIMCOR APARTMENT CONSTRUCTION & MANAGEMENT P.O. BOX 318 PRINCETON, AL 36868
PROJECT:	RETREAT AT HARDIN VALLEY 2322 SCHAEFER ROAD DISTRICT 6, KNOX COUNTY, TENNESSEE
ENLARGED SITE LAYOUT PLAN	
CSI PROJECT NO.	01681-0000
DRAWING DATE	JULY 25, 2023
PREPARED BY	SHR
DESIGNED BY	FR
<div style="border: 1px solid black; padding: 2px; display: inline-block;"> 11-E-23-DP 11-A-23-T08 </div>	
7	

MATCH LINE
(SEE SHEET 6 FOR CONTINUATION)

NOTES:
1. SEE SHEET 2 FOR APPLICABLE SITE LAYOUT NOTES.

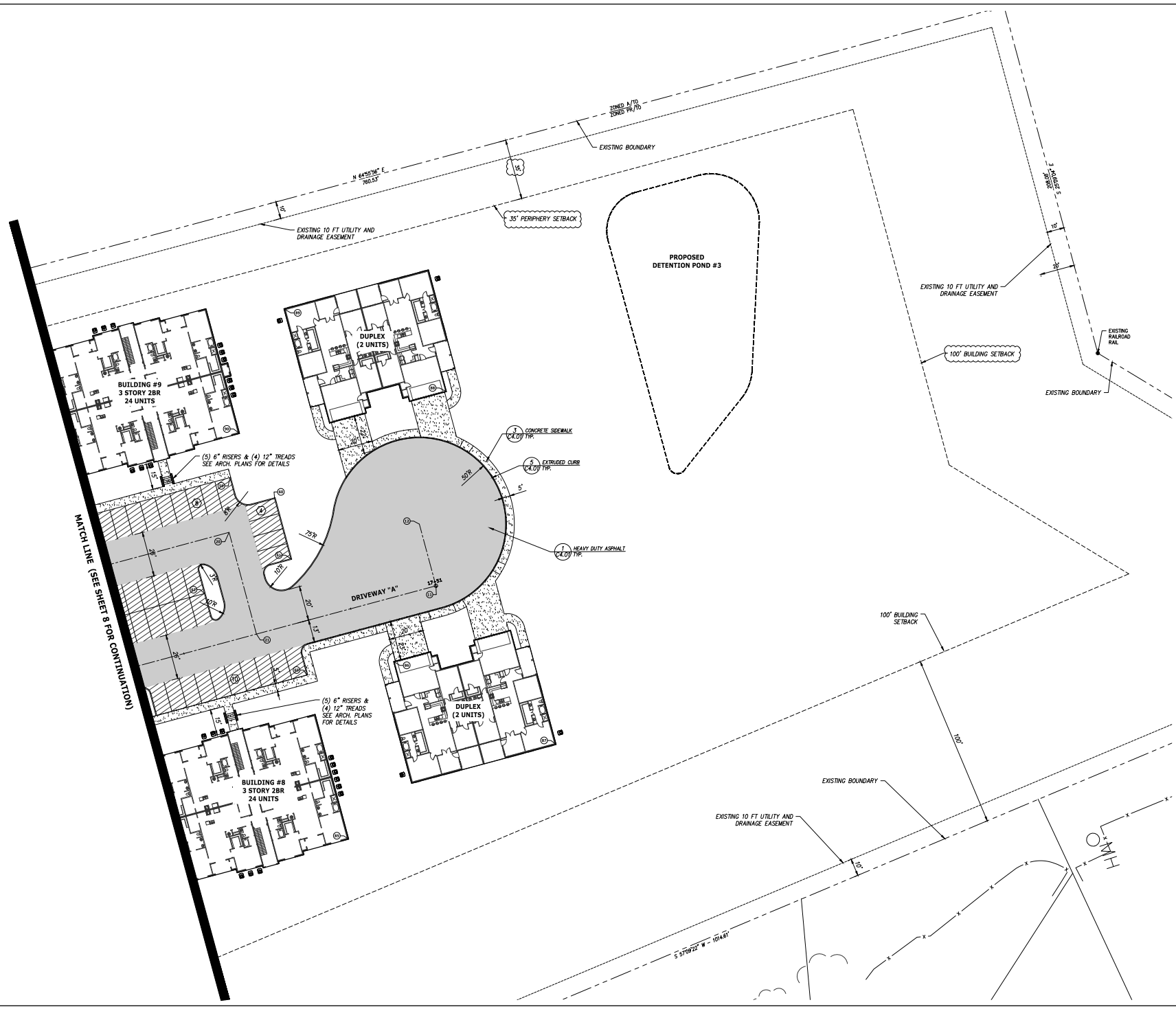
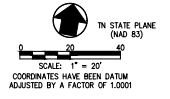


LEGEND

	PROPOSED HEAVY DUTY ASPHALT PAVEMENT
	CONCRETE SIDEWALK
	CONCRETE PAVEMENT
	PROPOSED LIGHT DUTY ASPHALT PAVEMENT
	EXIST. R.O.W./BOUNDARY
	BUILDING SETBACK LINE
	ZONING LINE
	ACCESSIBLE ROUTE
	DETAIL REFERENCE (DETAIL NO./SHEET NO.)
	NUMBER OF PARKING SPACES
	COORDINATE POINT
	ACCESSIBLE PARKING
	ACCESSIBLE CURB RAMP

REVISED PER KNOX PLANNING REVIEW COMMENTS	10/23/2021
REVISIONS	DATE
CLIENT:	TRIMCOR APARTMENT CONSTRUCTION & MANAGEMENT P.O. BOX 318 PRINCETON CITY, AL 36868
PROJECT:	RETREAT AT HARDIN VALLEY 2322 SCHAEFER ROAD DISTRICT 6, KNOX COUNTY, TENNESSEE
ENLARGED SITE LAYOUT PLAN	
CSI PROJECT NO.	01681-0000
DRAWING DATE	JULY 25, 2023
PREP	304 PC
DRAWN	304 FR
11-E-23-DP 11-A-23-T08	
8	

NOTES:
 1. SEE SHEET 2 FOR APPLICABLE SITE LAYOUT NOTES.



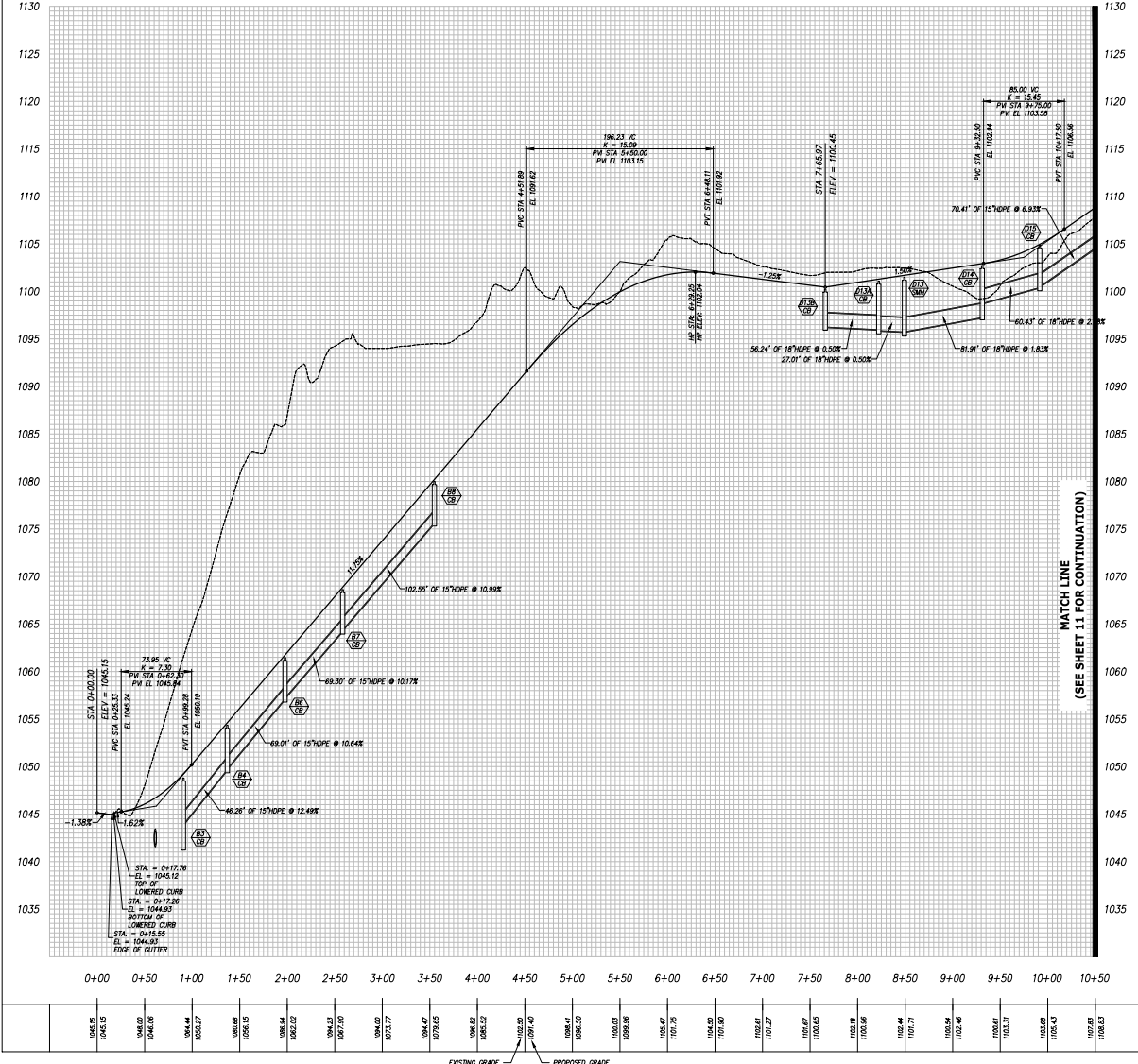
LEGEND

	PROPOSED HEAVY DUTY ASPHALT PAVEMENT
	CONCRETE SIDEWALK
	CONCRETE PAVEMENT
	PROPOSED LIGHT DUTY ASPHALT PAVEMENT
	EXIST. R.O.W./BOUNDARY
	BUILDING SETBACK LINE
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	NUMBER OF PARKING SPACES
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REVISED PER KNOX PLANNING REVIEW COMMENTS		10/23/2021
REVISIONS		DATE
CLIENT:	TRIMCOR APARTMENT CONSTRUCTION & MANAGEMENT P.O. BOX 318 PRINCETON, AL 36868	
PROJECT:	RETREAT AT HARDIN VALLEY 232 SCHAEFER ROAD DISTRICT 6, KNOX COUNTY, TENNESSEE	
ENLARGED SITE LAYOUT PLAN		
CSI PROJECT NO.	01681-0000	
DRAWING DATE	JULY 25, 2021	
PREPARED BY	JKH	PC
DRAWN BY	JKH	FR
11-E-23-DP 11-A-23-T08		
9		

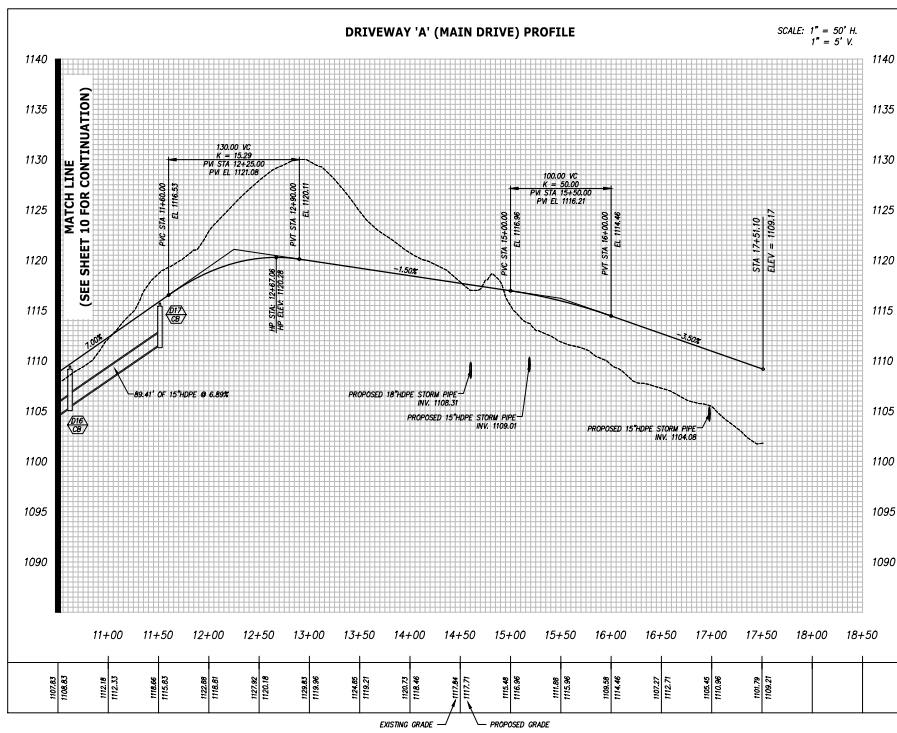
DRIVEWAY 'A' (MAIN DRIVE) PROFILE

SCALE: 1" = 50' H.
1" = 5' V.



MATCH LINE
(SEE SHEET 11 FOR CONTINUATION)

REVISED PER KNOX PLANNING REVIEW COMMENTS		10/23/2021
REVISIONS		DATE
CLIENT:	TRIMCOR APARTMENT CONSTRUCTION & MANAGEMENT P.O. BOX 318 PRINCETON CITY, AL 36868	
PROJECT:	RETREAT AT HARDIN VALLEY 2322 SCHAEFER ROAD DISTRICT 6, KNOX COUNTY, TENNESSEE	
DRIVEWAY PROFILES		
CSI PROJECT NO.	01681-0000	
DRAWING DATE	JULY 25, 2021	
PREP	SKH	PC
DRAWN	SKH	FR
11-E-23-DP 11-A-23-108		
10		



REVISED PER KNOX PLANNING REVIEW COMMENTS		10/23/2021
REVISIONS	DATE	
CLIENT: TRIMCOR APARTMENT CONSTRUCTION & MANAGEMENT P.O. BOX 318 PRINCETON, TN 38668		
PROJECT: RETREAT AT HARDIN VALLEY 2322 SCHAEFFER ROAD DISTRICT 6, KNOX COUNTY, TENNESSEE		
DRIVEWAY PROFILES		
CSI PROJECT NO. 01681-0000		DRAWING DATE: JULY 25, 2021
PREPARED BY: JSH	CHECKED BY: JSH	DESIGNED BY: JSH
DRAWN BY: JSH		DATE: JSH
11-E-23-DP		
11-A-23-T08		
11		



IN STATE PLANE
(NAD 83)
SCALE: 1" = 20'
COORDINATES HAVE BEEN DATUM
ADJUSTED BY A FACTOR OF 1.0001

- NOTES:**
1. THE TOPOGRAPHIC AND PLANNING DATA SHOWN WAS PROVIDED BY TUCK ADRIAN, INC. DATED APRIL 10TH, 2022. THE BOUNDARY WAS PROVIDED BY CANNON AND CANNON, INC. DATED MARCH 24TH, 2012.
 2. THE DISTURBED AREA IS APPROXIMATELY 18.0 ACRES. THE TOTAL SITE AREA IS APPROXIMATELY 27.16 ACRES.
 3. UNLESS NOTED OTHERWISE, THE PROPOSED GRADES SHOWN ON THESE DRAWINGS ARE FINISH GRADE. EXISTING AND PROPOSED CONTOURS ARE SHOWN AT 2 FT. INTERVALS.
 4. EROSION CONTROL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK. THE DEVICES SHOWN ON THE DRAWINGS ARE THE MINIMUM REQUIRED. THE CONTRACTOR SHALL PROVIDE ADDITIONAL EROSION CONTROL DEVICES AS NEEDED.
 5. THE SITE SHALL BE CLEARED AND GROBBER WITHIN THE LIMITS OF EXCAVATION. COMPLETELY DISPOSE OF ALL MATERIALS RESULTING FROM CLEARING AND GROBBER OFF-SITE OR ON-SITE AT A LOCATION DETERMINED BY THE OWNER.
 6. ALL TREE STAMPS, BOLLERS, AND OTHER OBSTRUCTIONS SHALL BE REMOVED TO A DEPTH OF 2 FT BELOW THE SUBGRADE. ROCK SHALL BE SCARIFIED TO A DEPTH OF 1 FOOT BELOW SUBGRADE.
 7. STRIP TOPSOIL TO A MINIMUM DEPTH OF 8-IN. AND TEMPORARILY STOCKPILE EXCAVATED MATERIALS. INSTALL SILT FENCE OR OTHER APPROPRIATE EROSION CONTROL STRUCTURES ON THE DOWN HILL SIDE OF THE STOCKPILE.
 8. PROOF ROLL AREAS TO RECEIVE FILL.
 9. A 4 IN. (MIN) LAYER OF TOPSOIL SHALL BE PLACED OVER THE AREAS TO BE SEEDED AND TO THE FINISH GRADE ELEVATIONS AS SHOWN ON THE DRAWINGS.
 10. ALL NEWLY GRADED EARTHWORK AREAS THAT ARE NOT TO BE PAVED, STABILIZED, OR SOODED SHALL BE SEED, FERTILIZED, AND MULCHED WITHIN 30 DAYS OF ATTAINMENT OF FINAL GRADE.
 12. TEMPORARY SEEDING MIXTURES SHALL BE AS FOLLOWS:
SEEDING RATES PER ACRE PERCENTAGES
1/1 TO 2/1 ITALIAN RYE 33%
KOREAN LESPEDEZA 53%
SUMMER GRASS 14%
2/1 TO 3/1 SUDAN GRASS 100%
STAR MULLET 100%
3/1 TO 4/1 BURETTA RYE 50%
ITALIAN RYE 33%
4/1 TO 5/1 ITALIAN RYE 33%
KOREAN LESPEDEZA 53%
SUMMER GRASS 14%
5/1 TO 7/1 KENTUCKY 31 FESCUE 80%
KOREAN LESPEDEZA 15%
ENGLISH RYE 5%
7/1 TO 8/15 KENTUCKY 31 FESCUE 10%
ENGLISH RYE 20%
KOREAN LESPEDEZA 10%
OSMAN MULLET 10%
8/1 TO 8/15 BERMAINGRASS (MULLED) 70%
ANNUAL LESPEDEZA 10%
9/1 TO 12/1 KENTUCKY 31 FESCUE 70%
ENGLISH RYE 20%
WHITE CLOVER 10%
12/1 TO 12/1 KENTUCKY 31 FESCUE 70%
BROWN VETCH 25%
ENGLISH RYE 5%
 13. PERMANENT SEEDING MIXTURES SHALL BE AS FOLLOWS:
SEEDING RATES PER ACRE PERCENTAGES
2/1 TO 3/1 KENTUCKY 31 FESCUE 80%
KOREAN LESPEDEZA 15%
ENGLISH RYE 5%
4/1 TO 8/15 KENTUCKY 31 FESCUE 10%
ENGLISH RYE 20%
KOREAN LESPEDEZA 10%
OSMAN MULLET 10%
8/1 TO 8/15 BERMAINGRASS (MULLED) 70%
ANNUAL LESPEDEZA 10%
9/1 TO 12/1 KENTUCKY 31 FESCUE 70%
ENGLISH RYE 20%
WHITE CLOVER 10%
12/1 TO 12/1 KENTUCKY 31 FESCUE 70%
BROWN VETCH 25%
ENGLISH RYE 5%
 14. DO NOT ALLOW WATER TO ACCUMULATE IN EXCAVATIONS OR POND ON-SITE. PROVIDE NECESSARY MEASURES TO KEEP THE SITE FREE-DRAINING.
 15. MULCH WITH STRAW AT A RATE OF 100 LBS./1000 S.F. OVER THE SEEDED AREAS.
 16. NO SLOPE SHALL EXCEED 2:1 (H:V). ALL SLOPES STEEPER THAN 2:1 TO RECEIVE EXTENDED TERM EROSION CONTROL BLANKET.
 17. ALL EARTH EXPOSURE, ALL SLOPES 3:1 OR GREATER ARE TO BE TRACKED WITH A DOZER TO FORM CLEAR MARKS PARALLEL TO THE CONTOUR.
 18. APPLY TEMPORARY SEEDING WHENEVER GRADING OPERATIONS ARE HALTED FOR OVER 14 DAYS AND FINAL GRADING OF EXPOSED SURFACE IS TO BE COMPLETED WITHIN ONE YEAR. APPLY TEMPORARY SEEDING TO ALL SOIL STOCKPILES.
 19. APPLY PERMANENT SEEDING WHENEVER GRADING OPERATIONS ARE COMPLETED AND ALL CONSTRUCTION OPERATIONS WILL NOT IMPACT THE DISTURBED AREA.
 20. APPLY PERMANENT SEEDING TO ALL NON-CONSTRUCTION AREAS WHICH SHOW SIGNS OF EXCESSIVE EROSION.

SPECIAL NOTE:

1. FINAL DRAINAGE DESIGN AND CALCULATIONS FOR DETENTION AND WATER QUALITY TO BE INCLUDED AS PART OF SUBMITTAL TO KNOX COUNTY FOR PERMITTING.

LEGEND

---84---	EXISTING CONTOUR
---80---	PROPOSED INDEX CONTOUR
97.50	PROPOSED SPOT ELEVATION
1	DETAIL REFERENCE (DETAIL NO./SHEET NO.)
1/4" = 1"	EXIST. STORM
---	EXIST. SEWER
---	EXIST. WATER
---	EXIST. FENCE
⊕	EXIST. POWER POLE

REVISED PER KNOX PLANNING REVIEW COMMENTS 10/23/2021

REVISIONS	DATE

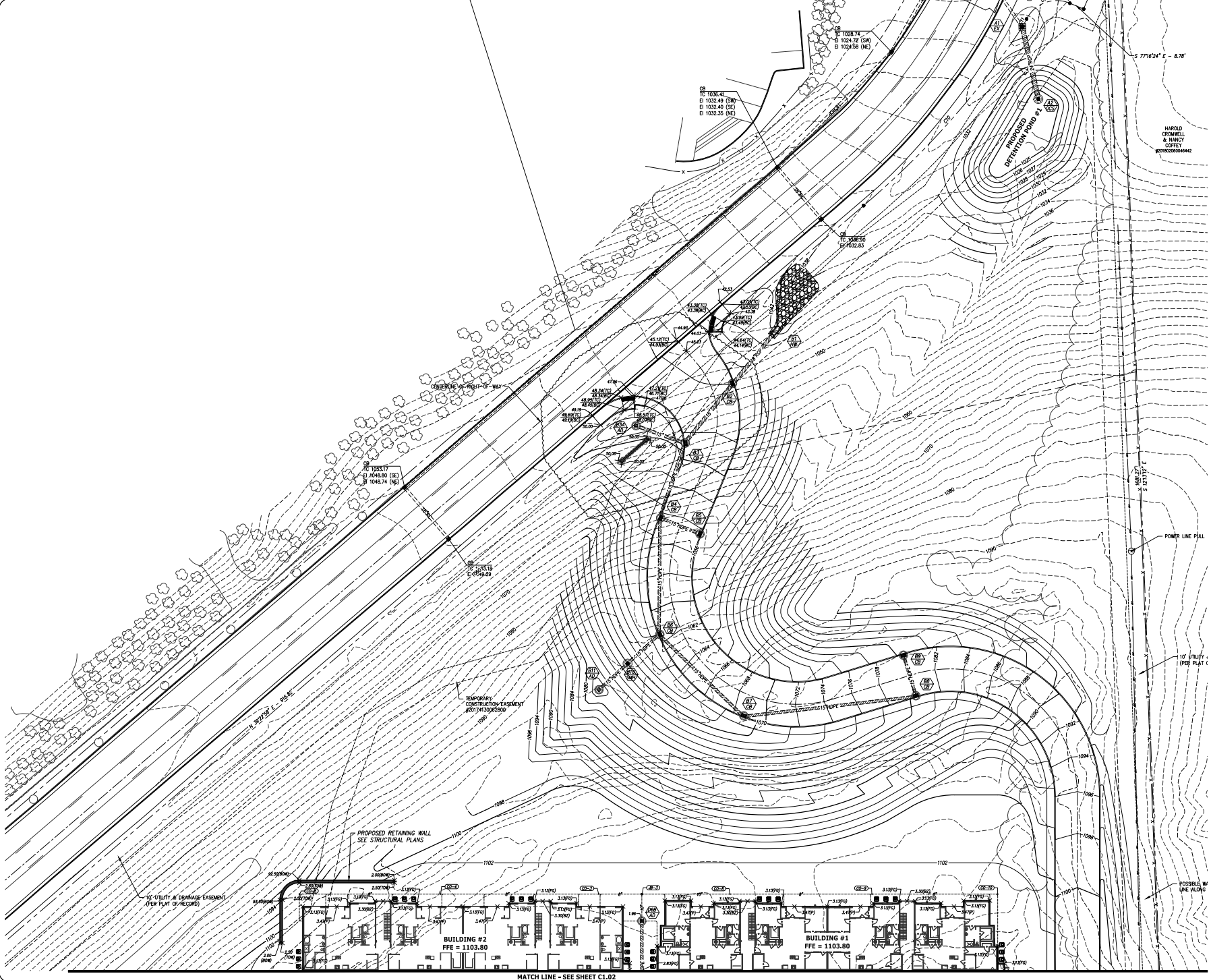
CLIENT: **TRIMCOR APARTMENT CONSTRUCTION & MANAGEMENT**
P.O. BOX 318
PINEK CITY, TN 38668

PROJECT: **RETREAT AT HARDIN VALLEY**
232 SCHAEFER ROAD
DISTRICT 6, KNOX COUNTY, TENNESSEE

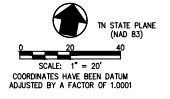
OVERALL SITE GRADING PLAN

DESIGN PROJECT NO.	01681-0000
DRAWING DATE	JULY 25, 2023
PREPARED BY	JEH
CHECKED BY	PC
DRAWN BY	FR

11-E-23-DP
11-A-23-T08



NOTES:
 1. SEE SHEET 12 FOR APPLICABLE SITE GRADING NOTES.



HAROLD DONNELL & NANCY COFFEY
 #2016030046442

SPECIAL NOTE:
 1. FINAL DRAINAGE DESIGN AND CALCULATIONS FOR DETENTION AND WATER QUALITY TO BE INCLUDED AS PART OF SUBMITTAL TO KNOX COUNTY FOR PERMITTING.

LEGEND

---884---	EXISTING CONTOUR
---890---	PROPOSED INDEX CONTOUR
97.50	PROPOSED SPOT ELEVATION
1	DETAIL REFERENCE (DETAIL NO./SHEET NO.)
1	10' UTILITY (PER PLAT #)
---S---	EXIST. STORM
---SA---	EXIST. SEWER
---	EXIST. WATER
---	EXIST. FENCE
⊙	EXIST. POWER POLE

REVISED PER KNOX PLANNING REVIEW COMMENTS 10/23/2021

REVISIONS	DATE

CLIENT: TRIMCOR APARTMENT CONSTRUCTION & MANAGEMENT
 P.O. BOX 318
 PRINCETON, TN 38658

PROJECT: RETREAT AT HARDIN VALLEY
 2322 SCHIFFER ROAD
 DISTRICT 6, KNOX COUNTY, TENNESSEE

ENLARGED SITE GRADING AND DRAINAGE PLAN

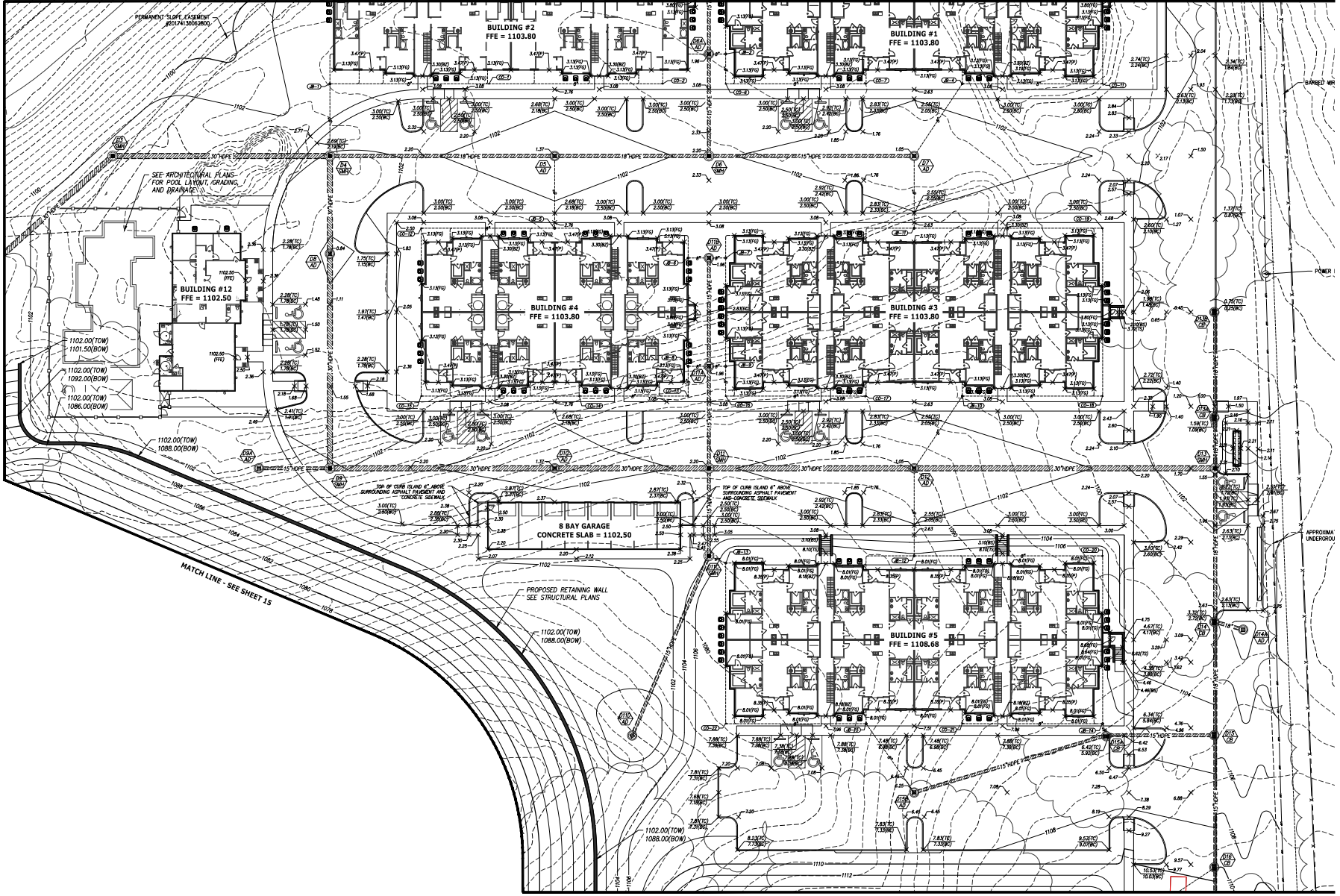
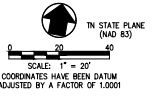
PROJECT NO.	01681-0000
DRAWING DATE	JULY 25, 2023
PREPARED BY	JK
CHECKED BY	PC
DRAWN BY	FR

11-E-23-DP
 11-A-23-T08
13

MATCH LINE - SEE SHEET C1.02

MATCH LINE - SEE SHEET 13

NOTES:
1. SEE SHEET 12 FOR APPLICABLE SITE GRADING NOTES.



SPECIAL NOTE:
1. FINAL DRAINAGE DESIGN AND CALCULATIONS FOR DETENTION AND WATER QUALITY TO BE INCLUDED AS PART OF SUBMITTAL TO KNOX COUNTY FOR PERMITTING.

LEGEND

---	EXISTING CONTOUR
- - - -	PROPOSED INDEX CONTOUR
97.50	PROPOSED SPOT ELEVATION
+	DETAIL REFERENCE (DETAIL NO./SHEET NO.)
⊕	EXIST. STORM
—S—	EXIST. SEWER
—W—	EXIST. WATER
—F—	EXIST. FENCE
⊕	EXIST. POWER POLE

REVISED PER KNOX PLANNING REVIEW COMMENTS 10/23/2021

REVISIONS	DATE

CLIENT: TRIMCOR APARTMENT CONSTRUCTION & MANAGEMENT
P.O. BOX 318
PRINCETON, TN 38688

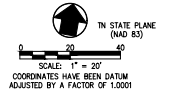
PROJECT: RETREAT AT HARDIN VALLEY
2122 SCHAEFER ROAD
DISTRICT 6, KNOX COUNTY, TENNESSEE

ENLARGED SITE GRADING AND DRAINAGE PLAN

CSI PROJECT NO. 01681-0000
DRAWING DATE: JULY 25, 2023

11-E-23-DP	PC
11-A-23-T08	FE

NOTES:
 1. SEE SHEET 12 FOR APPLICABLE SITE GRADING NOTES.



SPECIAL NOTE:
 1. FINAL DRAINAGE DESIGN AND CALCULATIONS FOR DETENTION AND WATER QUALITY TO BE INCLUDED AS PART OF SUBMITTAL TO KNOX COUNTY FOR PERMITTING.

LEGEND

---84---	EXISTING CONTOUR
---890---	PROPOSED INDEX CONTOUR
97.50	PROPOSED SPOT ELEVATION
+	
1	DETAIL REFERENCE (DETAIL NO./SHEET NO.)
---S-1---	EXIST. STORM
---SA---	EXIST. SEWER
---	EXIST. WATER
---	EXIST. FENCE
⚡	EXIST. POWER POLE

REVISED PER KNOX PLANNING REVIEW COMMENTS 10/23/2021

REVISIONS: _____ DATE: _____



CLIENT: TRIMCOR APARTMENT CONSTRUCTION & MANAGEMENT
 P.O. BOX 318
 PRINCETON, AL 36868

PROJECT: RETREAT AT HARDIN VALLEY
 2322 SHIFFER ROAD
 DISTRICT 6, KNOX COUNTY, TENNESSEE

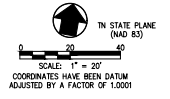
ENLARGED SITE GRADING AND DRAINAGE PLAN

CSI PROJECT NO. 01681-0000
 DRAWING DATE: JULY 25, 2023

11-E-23-DP
 11-A-23-T08

MATCH LINE
(SEE SHEET 14 FOR CONTINUATION)

NOTES:
1. SEE SHEET 12 FOR APPLICABLE SITE GRADING NOTES.

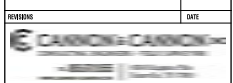


SPECIAL NOTE:
1. FINAL DRAINAGE DESIGN AND CALCULATIONS FOR DETENTION AND WATER QUALITY TO BE INCLUDED AS PART OF SUBMITTAL TO KNOX COUNTY FOR PERMITTING.

LEGEND

---	EXISTING CONTOUR
- - - -	PROPOSED INDEX CONTOUR
●	PROPOSED SPOT ELEVATION
+	DETAIL REFERENCE (DETAIL NO./SHEET NO.)
⊖	EXIST. STORM
⊖	EXIST. SEWER
⊖	EXIST. WATER
⊖	EXIST. FENCE
⊖	EXIST. POWER POLE

REVISED PER KNOX PLANNING REVIEW COMMENTS 10/23/2021



CLIENT: TRIMCOR
APARTMENT CONSTRUCTION & MANAGEMENT
P.O. BOX 318
PINEK CITY, AL 36668

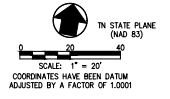
PROJECT: RETREAT AT HARDIN VALLEY
2322 SCHIFFER ROAD
DISTRICT 6, KNOX COUNTY, TENNESSEE

ENLARGED SITE GRADING AND DRAINAGE PLAN

PROJECT NO.	01681-0000
DRAWING DATE	JULY 25, 2023
PREPARED BY	JEH
DESIGNED BY	PC
DRAWN BY	FR

11-E-23-DP
11-A-23-T08

NOTES:
1. SEE SHEET 12 FOR APPLICABLE SITE GRADING NOTES.



MATCH LINE (SEE SHEET 16 FOR CONTINUATION)

SPECIAL NOTE:
1. FINAL DRAINAGE DESIGN AND CALCULATIONS FOR DETENTION AND WATER QUALITY TO BE INCLUDED AS PART OF SUBMITTAL TO KNOX COUNTY FOR PERMITTING.

LEGEND

---884---	EXISTING CONTOUR
---890---	PROPOSED INDEX CONTOUR
97.50	PROPOSED SPOT ELEVATION
+	
1	DETAIL REFERENCE
(14.07)	(DETAIL NO./SHEET NO.)
---S---	EXIST. STORM
---SA---	EXIST. SEWER
---	EXIST. WATER
---	EXIST. FENCE
⊕	EXIST. POWER POLE

REVISED PER KNOX PLANNING REVIEW COMMENTS 10/23/2021

REVISIONS	DATE



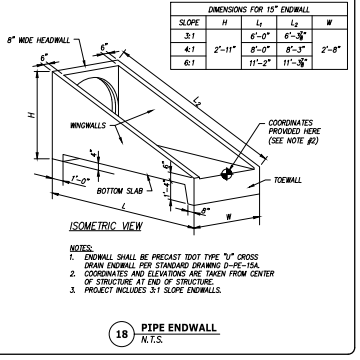
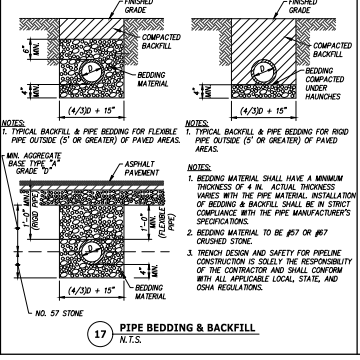
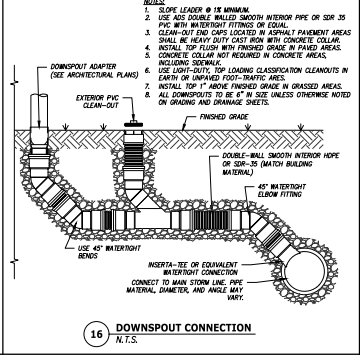
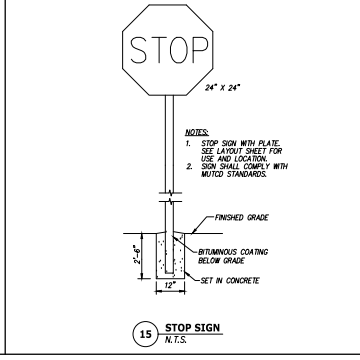
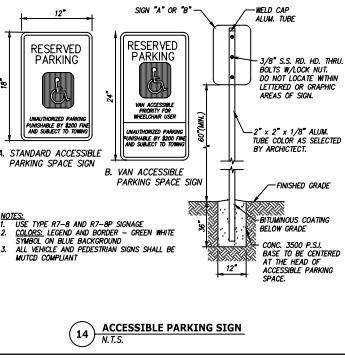
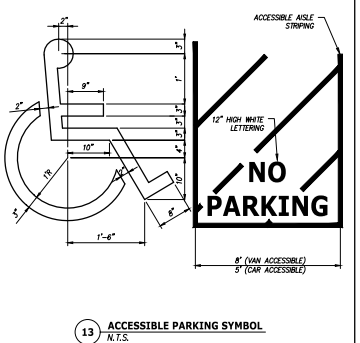
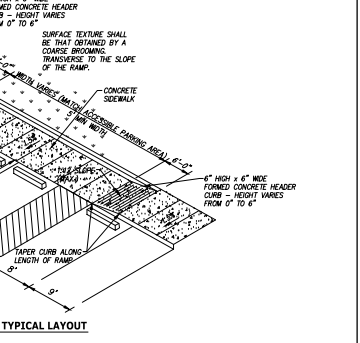
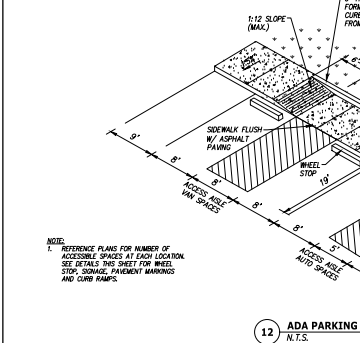
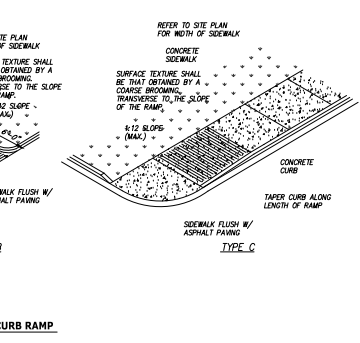
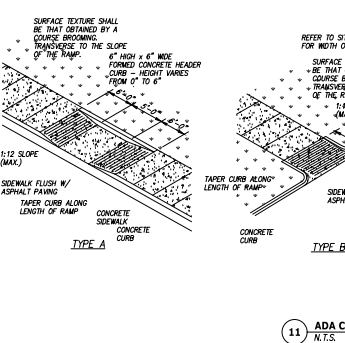
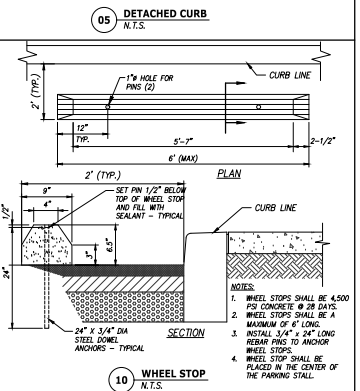
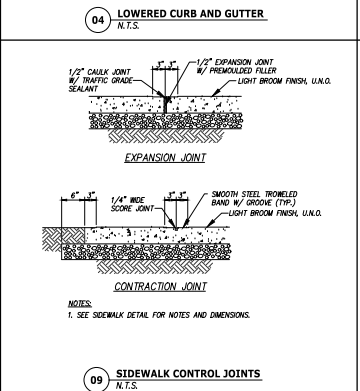
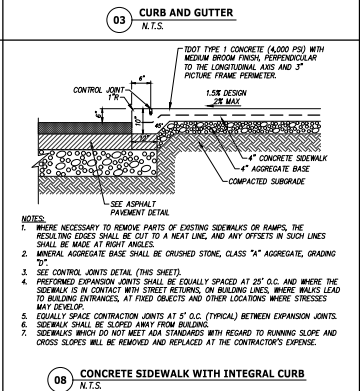
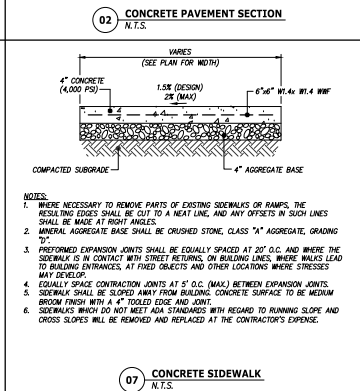
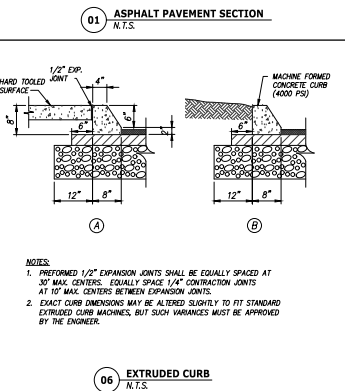
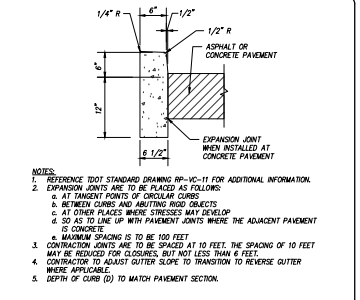
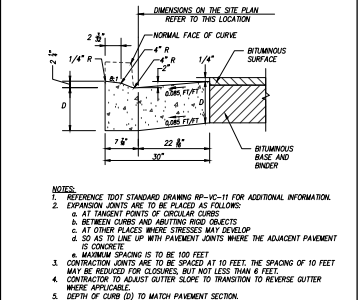
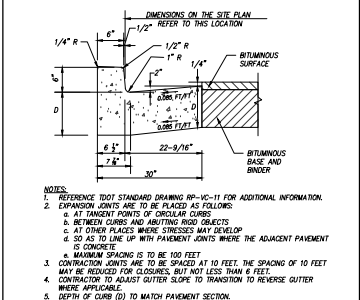
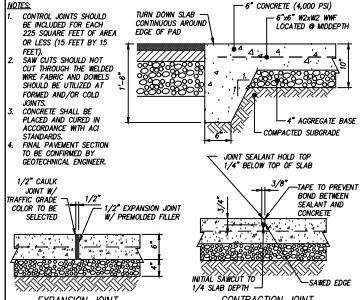
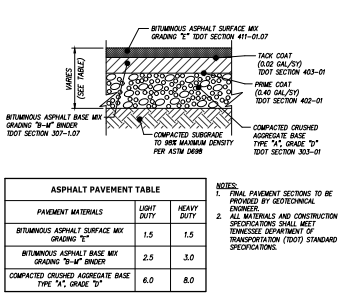
CLIENT: **TRIMCOR**
APARTMENT CONSTRUCTION & MANAGEMENT
P.O. BOX 318
PRINCETON, AL 36868

PROJECT: **RETREAT AT HARDIN VALLEY**
2322 SCHIFFER ROAD
DISTRICT 6, KNOX COUNTY, TENNESSEE

ENLARGED SITE GRADING AND DRAINAGE PLAN

CSI PROJECT NO.	01681-0000
DRAWING DATE	JULY 25, 2023
PREPARED BY	JRH
DESIGNED BY	PC
DRAWN BY	FR

11-E-23-DP
11-A-23-T08



REVISED PER KNOX PLANNING REVIEW COMMENTS 10/23/2021

REVISIONS	DATE

SUBMIT: TRIMCOR APARTMENT CONSTRUCTION & MANAGEMENT
 2122 SCHIFFER ROAD
 DISTRICT 6, KNOX COUNTY, TENNESSEE

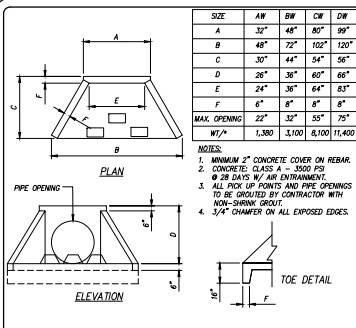
PROJECT: RETREAT AT HARDIN VALLEY

SITE DETAILS

NO.	DESCRIPTION
1	ENDWALL SHALL BE PRECAST DOT TYPE "C" CROSS DRAIN ENDWALL PER STANDARD DRAWING D-PP-15A.
2	COORDINATES AND ELEVATIONS ARE GIVEN FROM CENTER OF STRUCTURE AT END OF STRUCTURE.
3	PROJECT INCLUDES 3% SLOPE ENDWALLS.

11-E-23-DP
 11-A-23-T08

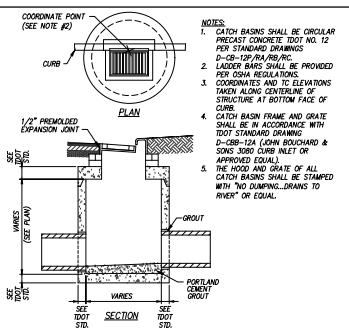
18



SIZE	A	B	C	D	DW
A	32"	48"	80"	99"	120"
B	48"	72"	102"	120"	120"
C	30"	44"	54"	56"	66"
D	26"	36"	60"	66"	83"
E	24"	36"	64"	83"	87"
F	48"	84"	108"	120"	120"
MAX. OPENING	22"	32"	52"	72"	72"
WT*/A	1,390	3,100	6,100	8,100	11,400

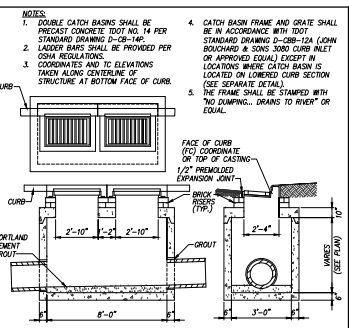
- NOTES:
- MINIMUM 2" CONCRETE COVER ON REBAR.
 - CONCRETE CLASS # - 3000 PSI @ 28 DAYS W/ AIR ENTRAINMENT.
 - ALL ROCK UP POINTS AND PIPE OPENINGS TO BE GROUDED BY CONTRACTOR WITH NON-SHRINK GROUT.
 - 3/4" CHAMFER ON ALL EXPOSED EDGES.

19 PRECAST HEADWALL WITH DISSIPATERS
N.T.S.



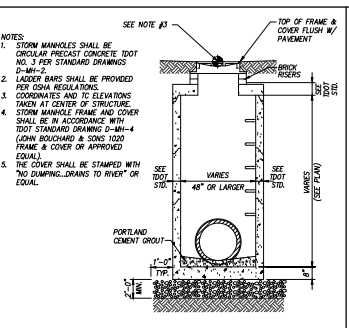
- NOTES:
- CATCH BASINS SHALL BE CIRCULAR PRECAST CONCRETE TOTT NO. 12 PER STANDARD DRAWING D-38-104.
 - LAGGER BARS SHALL BE PROVIDED PER SOA REGULATIONS.
 - COORDINATES AND TO ELEVATIONS TAKEN ALONG CENTERLINE OF STRUCTURE AT BOTTOM FACE OF CURB.
 - CATCH BASIN FRAME AND GRATE SHALL BE IN ACCORDANCE WITH TOTT STANDARD DRAWING D-38-124 (JOHN BOURGARD & SONS 3000 CURB INLET OR APPROVED EQUAL).
 - THE HOOD AND GRATE OF ALL CATCH BASINS SHALL BE STAMPED WITH "NO DUMPING...DRAINS TO RIVER" OR EQUAL.

20 SINGLE CATCH BASIN
N.T.S.



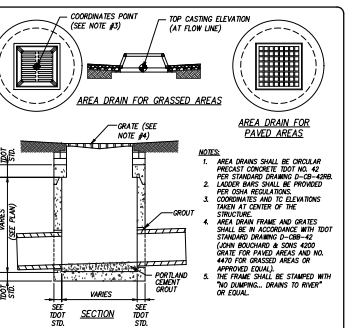
- NOTES:
- DOUBLE CATCH BASINS SHALL BE PRECAST CONCRETE TOTT NO. 14 PER STANDARD DRAWING D-38-104.
 - LAGGER BARS SHALL BE PROVIDED PER SOA REGULATIONS.
 - COORDINATES AND TO ELEVATIONS TAKEN ALONG CENTERLINE OF STRUCTURE AT BOTTOM FACE OF CURB.
 - CATCH BASIN FRAME AND GRATE SHALL BE IN ACCORDANCE WITH TOTT STANDARD DRAWING D-38-124 (JOHN BOURGARD & SONS 3000 CURB INLET OR APPROVED EQUAL).
 - THE HOOD AND GRATE OF ALL CATCH BASINS SHALL BE STAMPED WITH "NO DUMPING...DRAINS TO RIVER" OR EQUAL.

21 DOUBLE CATCH BASIN
N.T.S.



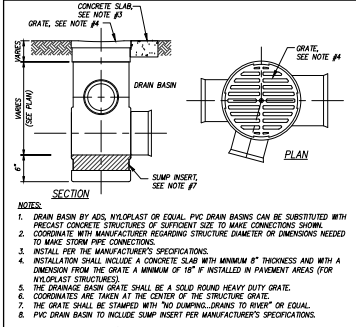
- NOTES:
- STORM MANHOLES SHALL BE CIRCULAR PRECAST CONCRETE TOTT NO. 3 PER STANDARD DRAWING D-38-104.
 - LAGGER BARS SHALL BE PROVIDED PER SOA REGULATIONS.
 - COORDINATES AND TO ELEVATIONS TAKEN AT CENTER OF STRUCTURE.
 - STORM MANHOLE FRAME AND COVER SHALL BE IN ACCORDANCE WITH TOTT STANDARD DRAWING D-38-4 (JOHN BOURGARD & SONS 1000 FRAME & COVER OR APPROVED EQUAL).
 - THE COVER SHALL BE STAMPED WITH "NO DUMPING...DRAINS TO RIVER" OR EQUAL.

22 STORM SEWER MANHOLE
N.T.S.



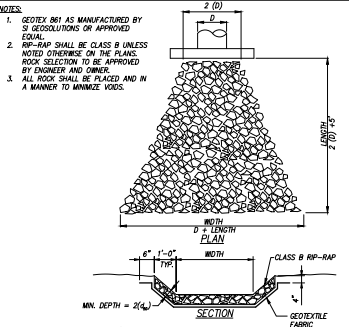
- NOTES:
- AREA DRAINS SHALL BE CIRCULAR PRECAST CONCRETE TOTT NO. 42 PER STANDARD DRAWING D-38-420B.
 - LAGGER BARS SHALL BE PROVIDED PER SOA REGULATIONS.
 - COORDINATES AND TO ELEVATIONS TAKEN AT CENTER OF THE STRUCTURE.
 - AREA DRAIN FRAME AND GRATES SHALL BE IN ACCORDANCE WITH TOTT STANDARD DRAWING D-38-42 (JOHN BOURGARD & SONS 4200 GRATE FOR PAVED AREAS AND NO. 4420 GRATE FOR GRASSED AREAS OR APPROVED EQUAL).
 - THE FRAME SHALL BE STAMPED WITH "NO DUMPING...DRAINS TO RIVER" OR EQUAL.

23 SINGLE AREA DRAIN
N.T.S.



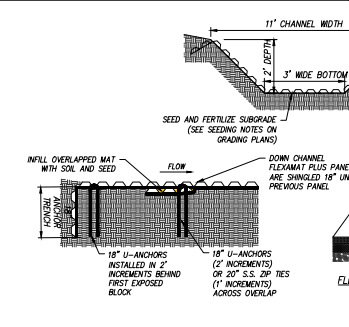
- NOTES:
- DRAIN BASIN BY ADS, HYDROPLAST OR EQUAL. PVC DRAIN BASINS CAN BE SUBSTITUTED WITH PRECAST CONCRETE STRUCTURES OF SUFFICIENT SIZE TO MAKE CONNECTIONS SHOWN.
 - COORDINATE WITH MANUFACTURER REGARDING STRUCTURE DIAMETER OR DIMENSIONS NEEDED TO MAKE STORM PIPE CONNECTIONS.
 - INSTALL PER THE MANUFACTURER'S SPECIFICATIONS.
 - INSTALLATION SHALL INCLUDE A CONCRETE SLAB WITH MINIMUM 6" THICKNESS AND WITH A DIMENSION FROM THE GRATE A MINIMUM OF 18" IF INSTALLED IN PAVEMENT AREAS (FOR HYDROPLAST STRUCTURES).
 - THE DRAINAGE BASIN GRATE SHALL BE A SOLID ROUND HEAVY DUTY GRATE.
 - COORDINATES ARE TAKEN AT THE CENTER OF THE STRUCTURE GRATE.
 - THE GRATE SHALL BE STAMPED WITH "NO DUMPING...DRAINS TO RIVER" OR EQUAL.
 - PVC DRAIN BASIN TO INCLUDE SUMP INSERT PER MANUFACTURER'S SPECIFICATIONS.

24 DRAIN BASIN/JUNCTION BOX
N.T.S.



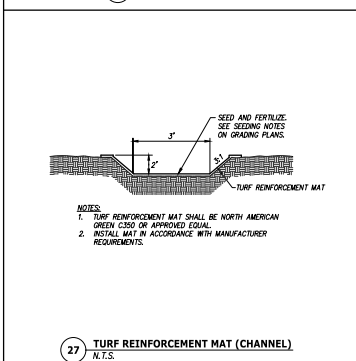
- NOTES:
- GEOTEX 961 AS MANUFACTURED BY S1 GEOSOLUTIONS OR APPROVED EQUAL.
 - RIp-RAP SHALL BE CLASS B UNLESS NOTED OTHERWISE ON THE PLANS. ROCK SELECTION TO BE APPROVED BY ENGINEER AND OWNER.
 - ALL ROCK SHALL BE PLACED AND IN A MANNER TO MINIMIZE WEARS.

25 RIP-RAP APRON
N.T.S.



- NOTES:
- CHANNEL ARMORING SHALL BE FLEXAMAT PLUS OR APPROVED EQUAL. CONTACT JEN-HILL CONSTRUCTION MATERIALS FOR ORDERING INFORMATION.
 - INSTALL MAT IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS. IT IS RECOMMENDED TO HAVE AN AUTHORIZED MANUFACTURER REPRESENTATIVE SHALL BE ON SITE FOR THE START OF THE INSTALLATION.
 - GRADE CHANNEL SO THAT WATER WILL FLOW DOWN CENTER OF THE CHANNEL AND BE CONTAINED TO THE CHANNEL. ALL SUBGRADE SURFACES PREPARED FOR PLACEMENT OF MATS SHALL BE SMOOTH AND FREE OF ALL ROCKS, STICKS, ROOTS, OTHER PROTRUSIONS OR DEBRIS OF ANY KIND.
 - PRIOR TO FLEXAMAT PLUS INSTALLATION, SEED AND FERTILIZE SUBGRADE WITH SITE SPECIFIC SEED MIX IN ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS.
 - INSTALL FLEXAMAT PLUS ROLLS THAT ARE 16\"/>

26 FLEXAMAT PLUS CHANNEL ARMOR
N.T.S.



- NOTES:
- TURF REINFORCEMENT MAT SHALL BE NORTH AMERICAN GREEN C250 OR APPROVED EQUAL.
 - INSTALL MAT IN ACCORDANCE WITH MANUFACTURER REQUIREMENTS.

27 TURF REINFORCEMENT MAT (CHANNEL)
N.T.S.

REVISED PER KNOX PLANNING REVIEW COMMENTS 10/23/2021

REVISIONS	DATE

CARRISON-CARRISON

CLIENT: **TRIMCOR APARTMENT CONSTRUCTION & MANAGEMENT**
P.O. BOX 318
PINDER CITY, AL 36668

PROJECT: **RETREAT AT HARDIN VALLEY**
2122 SCHIFFER ROAD
DISTRICT 6, KNOX COUNTY, TENNESSEE

SITE DETAILS

CSI PROJECT NO.	01681-0000
DRAWING DATE	JULY 25, 2023
PREPARED BY	JRH/PC
CHECKED BY	PC
DRAWN BY	PC

11-E-23-DP
11-A-23-TOB

19

- | | | |
|------------------------------------------------------------------------|---------------------------------------------|------------------------------------------------|
| <input checked="" type="checkbox"/> BUILDING PERMIT - NEW CONSTRUCTION | <input type="checkbox"/> REZONING | <input type="checkbox"/> ADMINISTRATIVE REVIEW |
| <input type="checkbox"/> BUILDING PERMIT - EXPANSION OR RENOVATION | <input checked="" type="checkbox"/> SIGNAGE | <input type="checkbox"/> BOARD REVIEW |
| <input checked="" type="checkbox"/> BUILDING PERMIT - GRADING PLAN | <input type="checkbox"/> ZONING VARIANCE | |

Retreat at Hardin Valley

PUBLISHED APPLICANT NAME - *no individuals on behalf of -*

September 25, 2023	November 6, 2023	11-A-23-TOB
DATE FILED	MEETING DATE (IF APPLICABLE)	FILE NUMBER

CORRESPONDENCE

Correspondence related to this application will be directed to the contact listed below.

- APPLICANT
 OWNER
 OPTION HOLDER
 SURVEYOR
 ENGINEER
 ARCHITECT/LANDSCAPE ARCHITECT
 ATTORNEY

Jason Hunt, P.E.	Cannon & Cannon, Inc.		
NAME	COMPANY		
8550 Kingston Pike	Knoxville	TN	37919
ADDRESS	CITY	STATE	ZIP
(865) 670-8555	jhunt@cannon-cannon.com		
PHONE	EMAIL		

CURRENT PROPERTY INFO

- MULTIPLE OWNERS / OPTION HOLDERS
 PART OF PARCEL

The Grand Reserve Columbus LLC	PO Box 1609, Phenix City, AL, 36868	dan@scorusa.com
OWNER NAME - if different -	OWNER ADDRESS	OWNER PHONE/EMAIL
2122 Schaeffer Road		
PROPERTY ADDRESS		
104 093	N	+/- 27.1 acres
PARCEL ID(S)	PART OF PARCEL? (Y/N)	TRACT SIZE

STAFF USE ONLY

- CITY COUNTY

South & east sides of Schaeffer Rd, south of Hardin Valley Rd, east of Pellissippi Pkwy	3rd
GENERAL LOCATION	DISTRICT
PC, PR(k) up to 6.5 du/ac, OB(k), & TO	MDR/O, LDR, & HP
ZONING	SECTOR PLAN LAND USE CLASSIFICATION
Northwest County	Vacant land
PLANNING SECTOR	EXISTING LAND USE

REQUEST

BUILDING PERMIT

- NEW CONSTRUCTION
 EXPANSION OR RENOVATION
 GRADING PLAN

- REZONING
 SIGNAGE
 ZONING VARIANCE

PLAN MATERIALS:

- DEVELOPMENT PLAN
 BUILDING ELEVATIONS
 FLOOR PLAN
 LANDSCAPE PLAN
 SIGNAGE PLAN
 OFF-STREET PARKING

OTHER:

WAIVERS OR VARIANCES REQUESTED? YES NO

ADMINISTRATIVE REVIEW: LIGHTING LANDSCAPING PLAN

RENOVATION OR EXPANSION

SUMMARY OF WORK TO BE PERFORMED:

New MF development

ZONING VARIANCE

SUMMARY OF ZONING VARIANCE REQUEST:

REZONING

REZONE FROM: _____

TO: _____

SECTOR PLAN AMENDMENT FROM: _____

TO: _____

SIGNAGE

YARD SIGN

AREA: 50 sf
 HEIGHT: 6 ft
 FINISH: Matte

BUILDING SIGN

AREA: _____
 HEIGHT: _____
 FINISH: _____

OTHER SIGN

AREA: _____
 HEIGHT: _____
 TYPE: _____

STAFF USE ONLY

- TTCDA Checklist
 Property Owners/Option Holders

CODE	CODE	TOTAL
FEE	FEE	
		\$625.00

AUTHORIZATION

By signing below

You certify that you are the property owner and/or authorized representative.



Owner

9/19/23

APPLICATION AUTHORIZED BY

AFFILIATION

DATE

706-445-9103

dan@scorusa.com

PHONE NUMBER

EMAIL



Michelle Portier

09/26/2023, SG

STAFF SIGNATURE

PRINT NAME

DATE PAID