

Applicant: MIKE BRINEGAR BROOKSTONE PARTNERS

Request: BUILDING PERMIT

Meeting Date: 3/6/2023

Address: 0 Gliding Hawk Ln & 0 Carmichael Rd.

Map/Parcel Number: 103 11502, 11503, & 104 109

Location: East side of Gliding Hawk Ln between Hardin Valley Rd and Carmichael Rd

Existing Zoning: OB (Office, Medical, and Related Services) / TO (Technology Overlay)

Proposed Zoning: N/A

Existing Land Use: Vacant land

Proposed Land Use: New multifamily development

Appx. Size of Tract: 39.24 acres

Accessibility: Access is via Gliding Hawk Ln, a local road off of Hardin Valley Road with a 25-ft pavement width inside a 56-ft wide right-of-way, and Valley Vista Road, a collector with a protected left turn lane and a 32-ft pavement width inside a 72-ft wide right-of-way.

Surrounding Zoning and Land Uses:

North: PC (Planned Commercial) / TO (Technology Overlay) - Commercial

South: OB (Office, Medical and Related Services) / TO (Technology Overlay) - Multifamily, single family, and rural residential

East: OB (Office, Medical and Related Services), BP (Business and Technology Park), A (Agricultural), and TO (Technology Overlay) - Commercial, industrial, and multifamily

West: OB (Office, Medical and Related Services) / TO (Technology Overlay) - Multifamily, single family residential, and agricultural/forestry/vacant

Comments:

- 1) The applicant is requesting approval of a multi-family development on three parcels comprising approximately 39-acres. The properties are to be combined and platted. They stretch from Gliding Hawk Lane just south of Hardin Valley Road to Carmichael Road at Valley Vista Road.
- 2) KGIS shows the site is located in the Hillside and Ridgetop Protection Area, with significant slope over some of the property. However, large portions of the site were graded in 2007 and 2018. The most significantly sloped areas were included in the clearing activity, and staff considers this project exempt from the HP regulations.
- 3) The northernmost and southernmost properties were rezoned to OB (Office, Medical, and Related Services) / TO (Technology Overlay) in 2022 (Cases 5-N-22-RZ and 5-H-22-RZ, respectively). The middle parcel was already zoned OB and did not require rezoning. The OB zoning district allows multi-dwelling development as a permitted use with a density less than 12 du/ac.
- 4) The proposed development consists of 274 dwelling units total. 16 dwellings are carriage house units. There will be a total of 71 one-bedroom units, 183 two- and three-bedroom units. There will be 10 apartment buildings and 4 carriage house groupings, all lining the proposed access road that winds through the site connect Gliding Hawk Lane and Valley Vista Road.
- 5) There are two access points proposed for the apartment complex, one at each road frontage. The northern access point is off of Gliding Hawk Lane, and is near the clubhouse and leasing office. The southern access point is off of Valley Vista Road near its intersection with Carmichael

Road. All roads abutted by the proposed development are classified roads, and Hardin Valley Road and Carmichael Road have direct access to Pellissippi Parkway. Traffic would not need to take local roads to meet this development.

6) The proposed parking for the development falls within the minimum and maximum number of spaces allowed by the Design Guidelines and those required by Knox County. The parking includes 453 surface parking spaces, 23 ADA spaces, and 45 garage spaces.

7) There are several amenity areas proposed, and these are clustered around the clubhouse area or are in the middle of the site near Buildings 6 and 7. The proposed list of amenities is extensive and includes a pool with a cabana area, a BBQ kitchen area, a putting green, a pickleball court, a hammock area, a playground, two fire pits, one of which with a "living area," an open lawn for passive sports, separate dog play areas for large and small dogs with a dog agility course, a pet washing station, and walking trails.

8) Waste collection is via a dumpster located along Gliding Hawk Lane.

9) Ground Area Coverage (GAC), Impervious Area Ratio (IAR), and Floor Area Ratio (FAR) calculations comply with the Design Guidelines.

10) The plan proposes pervious pavers for the roadway and parking areas, and a WKUD pumping station is at the northwest corner of the site. County Engineering is in support of the proposed means of stormwater mitigation and will continue to work with the applicant through the permitting process.

11) The carriage houses would be 2-story with garages that face the parking areas. Apartment buildings would be located in sloped areas and would be 3 stories on one side and 4 stories on the other. Building materials would be lap siding and board-and-batten siding, and the structures would feature pitched, shingled, roofs. Standing seam metal roofs top the balconies and decorative louvers are used as decorative accents. The color scheme will be white, dark gray and tan.

12) The clubhouse building materials would also be a combination of lap siding and board-and-batten siding, but would have stacked stone as an accent. The clubhouse roof will be clad in standing seam metal.

13) A series of retaining walls bound the site and are clustered around parking areas and buildings.

14) The proposed landscape plan is in compliance with the Design Guidelines.

15) The proposed lighting includes a series of light poles along the road and within parking areas. Some of the amenity areas are also illuminated with light poles. Light fixtures meet TTCDA Guidelines, as do lighting levels, with the exception of the private road. A waiver has been requested to increase the maximum lighting levels from 0.5 fc to 1.0 fc. Staff supports this for increased pedestrian safety within the development since the maximum allowed lighting levels for parking areas, which have similar interactions between vehicles and pedestrians, is 2.5 fc.

16) No signage is proposed at this time. Should signage be desired, it should be submitted with the Phase II application or as a separate application at a future time.

Design Guideline Conformity:	With the recommended conditions and approval of the waivers, the proposed development conforms to the Design Guidelines.
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Waivers and Variances Requested:	1) Increase the maximum light levels on the road from 0.5 fc to 1.0 fc (Section 1.8.5.d).
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Staff Recommendation:

Based on the reasons stated in the applicant's waiver letter, staff recommends approval of the requested waivers to:

1) Approve the request to increase the maximum light levels on the road from 0.5 fc to 1.0 fc (Section 1.8.5.d) to improve pedestrian safety on the site.

Staff recommends approval of a Certificate of Appropriateness for a Building Permit, subject to the following conditions:

1) Connecting the development to sanitary sewer, as well as meeting other applicable requirements of the Knox County Health Department.

2) Provision of street names which are consistent with the Uniform Street Naming and Addressing system Ordinance (Ord.

91-1-102).

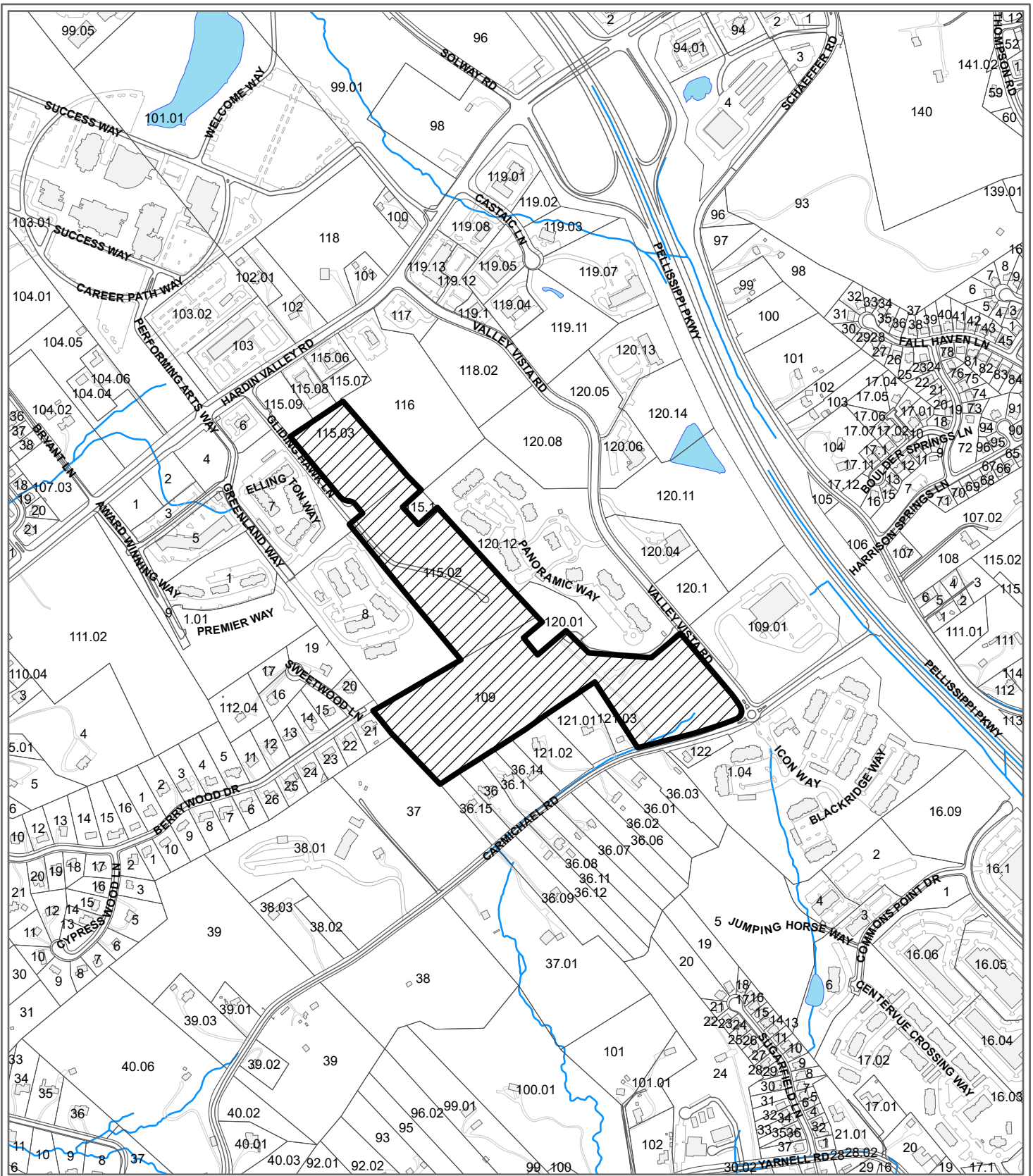
3) Installing all landscaping, as shown on the landscape plan, within six months of issuance of occupancy permits for the project, or posting a bond with the Knox County Department of Engineering and Public Works, to guarantee such installation.

4) Installation of all sidewalks as identified on the concept plan. Sidewalks shall meet all applicable requirements of the Americans with Disabilities Act (ADA) and the Knox County Department of Engineering and Public Works. A bond shall be provided to the Knox County Department of Engineering and Public Works by the developer in an amount sufficient to guarantee the installation of the sidewalks.

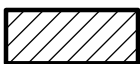
5) Meeting all applicable requirements of the Knox County Department of Engineering and Public Works.

6) Meeting all applicable requirements of the Knox County Zoning Ordinance.

7) Review and approval by the Knox County Fire Marshal's Office.



**3-A-23-TOB
CERTIFICATE OF APPROPRIATENESS**



Purpose of Request: Building Permit

Petitioner: Mike Brinegar Brookstone Partners

Map No: 103
Jurisdiction: County



Original Print Date: 2/14/2023 Revised:
Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902



February 27, 2023

Ms. Michelle Portier
Knoxville MPC
400 Main St. Suite 403
Knoxville, TN 37902

Re: Silver Creek Apartments 3-A-23-TOB

Dear Ms. Portier:

On behalf of Brookstone Partners, applicant for the Silver Creek at Hardin Valley Apartments, we would like to request a waiver to the TTCDA Guidelines for lighting levels noting that the submitted plans strive to meet the intent of the guidelines either directly or as best alternative measures. Please consider granting the following waiver:

Waiver Request: Increase the maximum light levels on the road from 0.5FC to 1.0FC (Section 1.8.5.d)

Waiver Justification: With full cut off fixtures and modern LED technology, it is impractical to light a road and not exceed 0.5FC near the poles. Typically, 1.0FC is the minimum for neighborhood streets and the photometric plans show there is no spill light near the property lines.

We believe that the Board desires a balanced approach which achieves both unity and flexibility and that the guidelines be uniformly applied to all developments. We offer that the Silver Creek development is consistent in character and nature as with other adjacent apartment developments with similar topography and physical constraints (i.e., Solway Apartments, Enclave, Icon, Greystone Summit, Greystone Vista, The Preserve, Greystone Pointe, and Waterstone).

Also, we believe that these proposed best alternatives (i.e., waivers) to the stated guidelines are consistent with the spirit and intent of your guidelines and if approved will maintain or enhance the overall visual quality and continuity within the corridor, maintain a high-quality man-made and natural environment (e.g., greenways, reforestation), and will complement and improve on the infrastructure available within the Technology Corridor.

We appreciate your time and consideration of this request. Please contact me if you have any questions.

Thank you,

Chris Gollhofer, P.E.

SILVER CREEK AT HARDIN VALLEY

BROOKSTONE PARTNERS
KNOXVILLE, TN



TTCDA FILE#: 3-A-23-TOB

A101



TTCDA FILE#: 3-A-23-TOB A202

HUMPHREYS & PARTNERS ARCHITECTS, L.P.
5339 Alpha Rd., Suite 300, Dallas, TX 75240 | 972.701.9636 | www.humphreys.com

BROOKSTONE PARTNERS

RENDERINGS

February 13, 2023

SILVER CREEK AT HARDIN VALLEY

KNOXVILLE, TN
HPA# 22407

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TTCA FILE#: 3-A-23-TOB A203

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BROOKSTONE PARTNERS

RENDERINGS

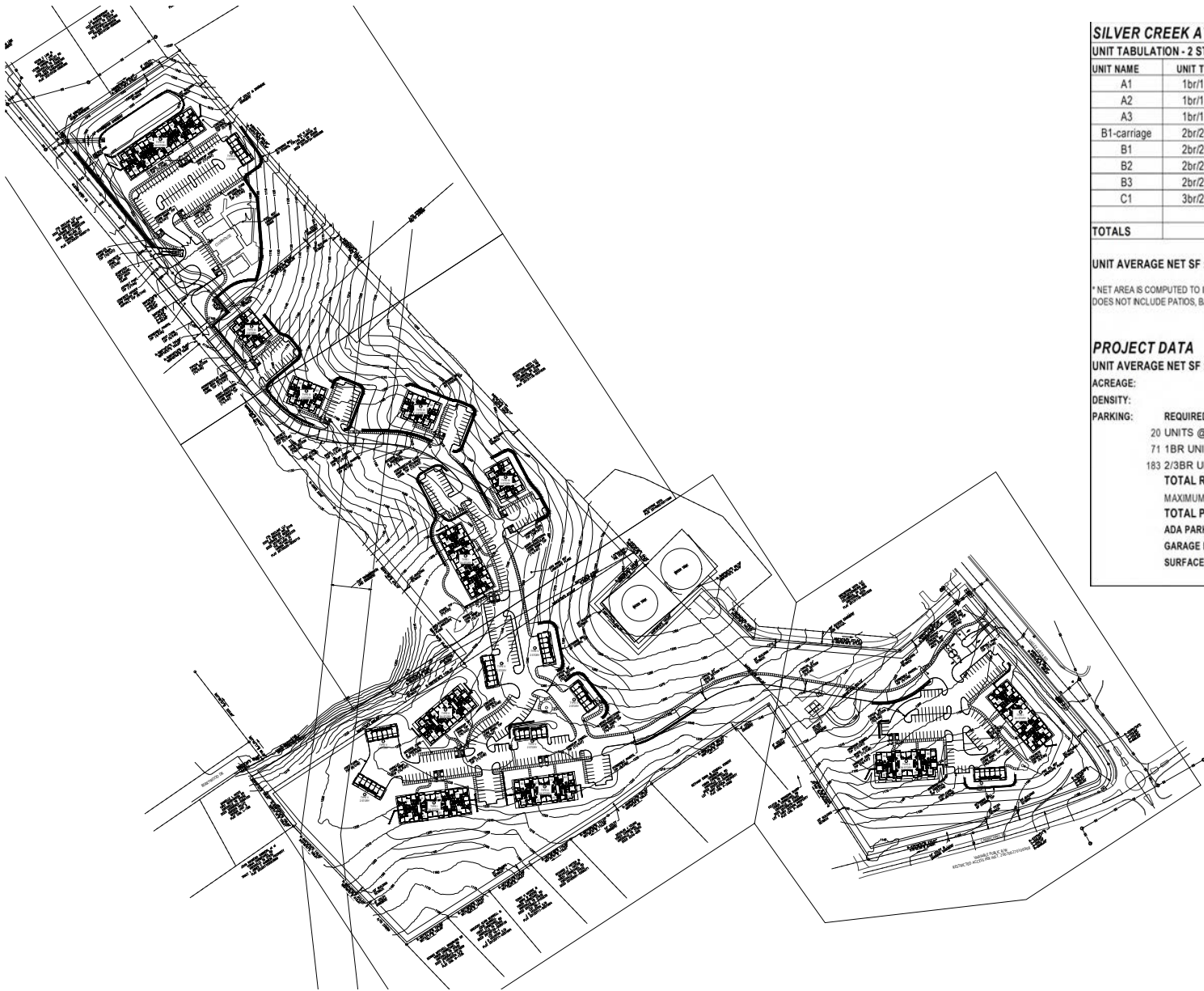
February 13, 2023

SILVER CREEK AT HARDIN VALLEY

KNOXVILLE, TN

HPA# 22407

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SILVER CREEK AT HARDIN VALLEY **BROOKSTONE PARTNERS** 2022407

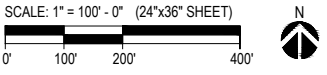
UNIT TABULATION - 2 STORY CARRIAGE & 3/4 STORY BREEZEWAY BUILDING							2/13/23
UNIT NAME	UNIT TYPE	NET AREA(SF)	UNIT COUNT	PERCENTAGE	TOTAL AREA	% BREAKDOWN	
A1	1br/1ba	828	28	10%	23,184	33%	
A2	1br/1ba	854	56	20%	47,824		
A3	1br/1ba	854	7	3%	5,978		
B1-carriage	2br/2ba	1,091	16	6%	17,456	49%	
B1	2br/2ba	1,136	21	8%	23,856		
B2	2br/2ba	1,134	52	19%	58,968		
B3	2br/2ba	1,233	45	16%	55,485	18%	
C1	3br/2ba	1,470	49	18%	72,030		
TOTALS			274	100%	304,781	100%	

UNIT AVERAGE NET SF : 1,112

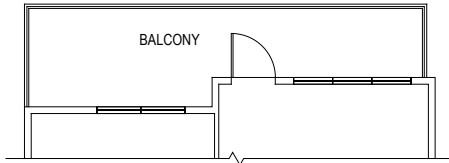
* NET AREA IS COMPUTED TO INCLUDE SQUARE FOOTAGE FROM EXTERIOR FACE OF ALL EXTERIOR FRAME WALLS THAT ENCLOSE A/C SPACE. IT DOES NOT INCLUDE PATIOS, BALCONIES, PATIO/BALCONY STORAGE.

PROJECT DATA

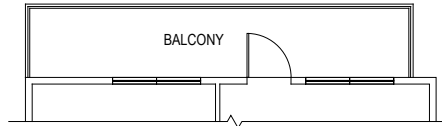
UNIT AVERAGE NET SF :	1,112 S.F.	
ACREAGE:	38.40 GROSS ACRES	
DENSITY:	7 UNITS/ACRE	
PARKING:	REQUIRED PARKING	
	20 UNITS @ 1.5SP/UNIT	30 SPACES
	71 1BR UNITS @ 1 SP/UNIT	71 SPACES
	183 2/3BR UNITS @ 1.5 SP/UNIT	275 SPACES
	TOTAL REQUIRED PARKING	376 SPACES
	MAXIMUM ALLOWABLE PARKING	658 SPACES
	TOTAL PROVIDED PARKING	521 SPACES
	ADA PARKING (VAN)	23 SPACES
	GARAGE PARKING	45 GARAGE SPACES
	SURFACE PARKING	453 SURFACE SPACES
		1.90 SPACES/UNIT



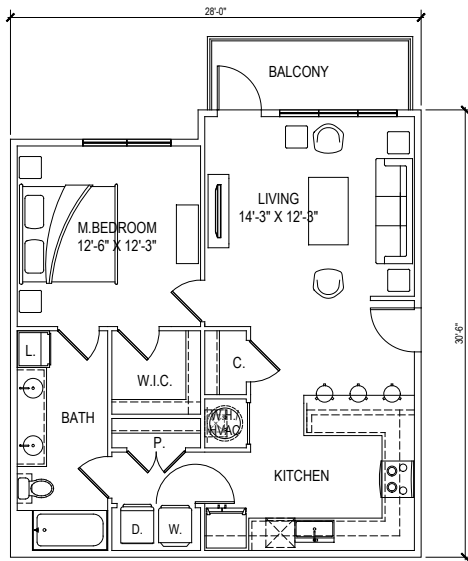
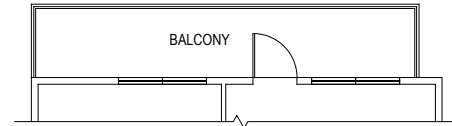
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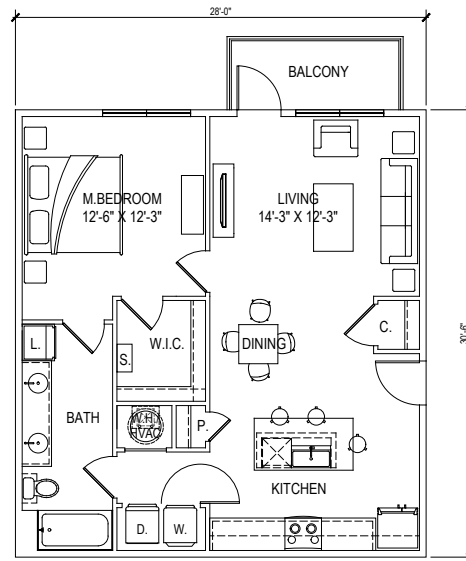
EXTENDED BALCONY - TOP LEVEL ONLY



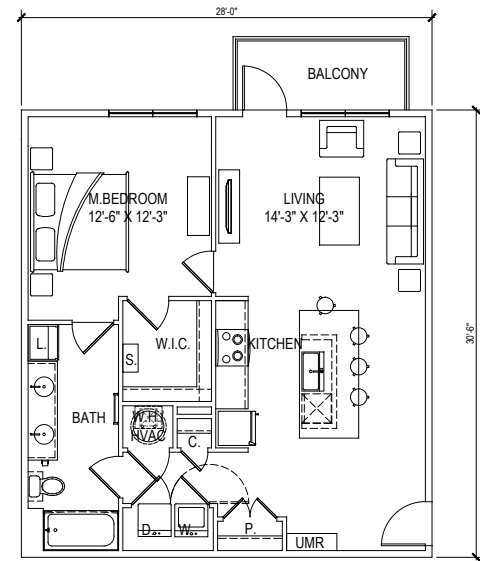
EXTENDED BALCONY - TOP LEVEL ONLY



UNIT A1
NET - 828 SQ. FT.



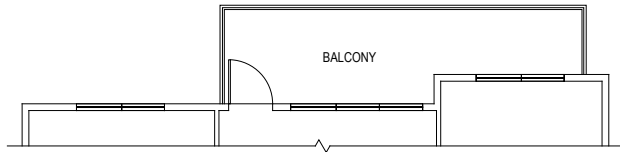
UNIT A2
NET - 854 SQ. FT.



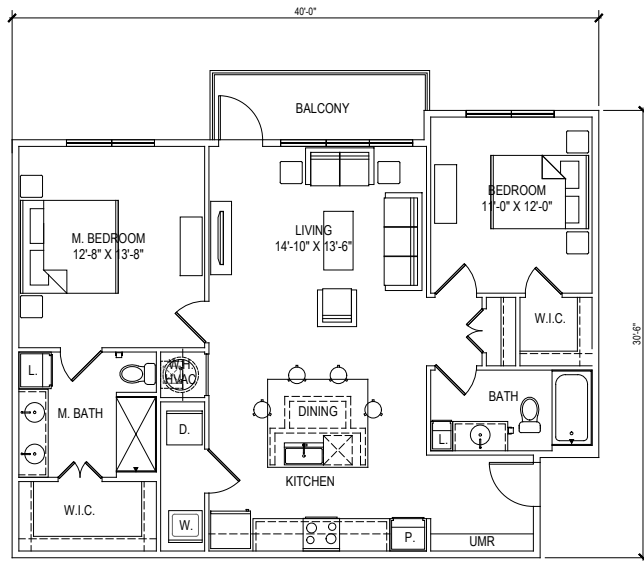
UNIT A3
NET - 854 SQ. FT.

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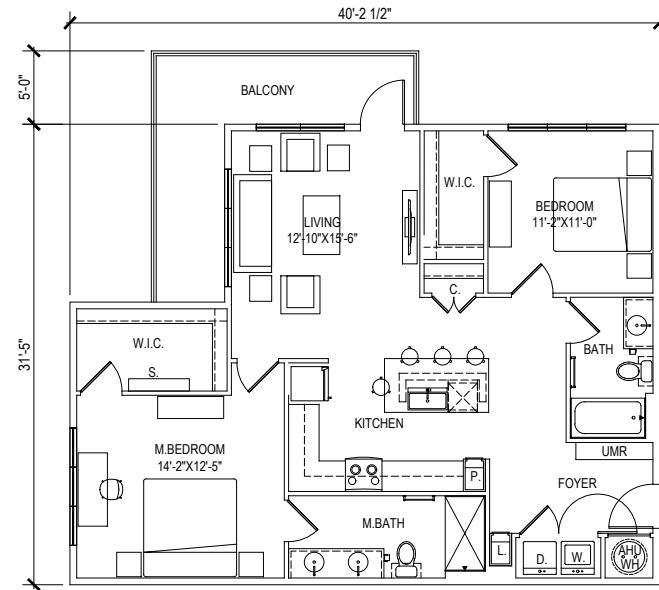




EXTENDED BALCONY - TOP LEVEL ONLY



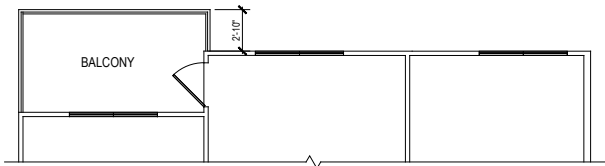
UNIT B1
NET - 1136 SQ. FT.



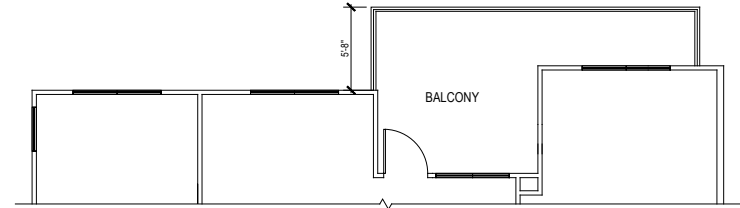
UNIT B2
NET - 1134 SQ. FT.

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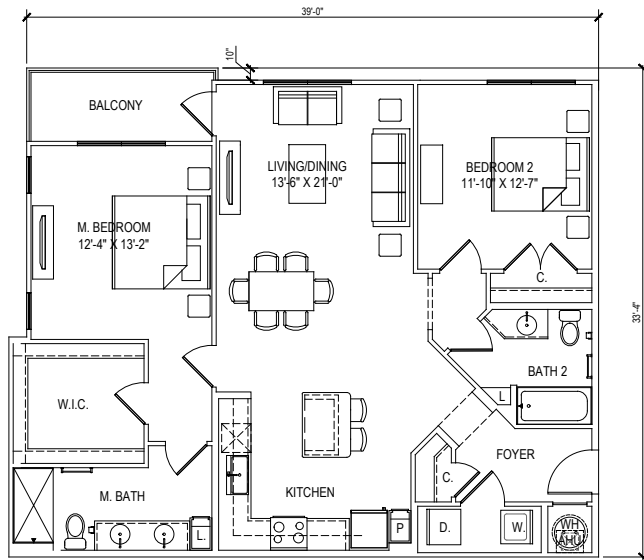




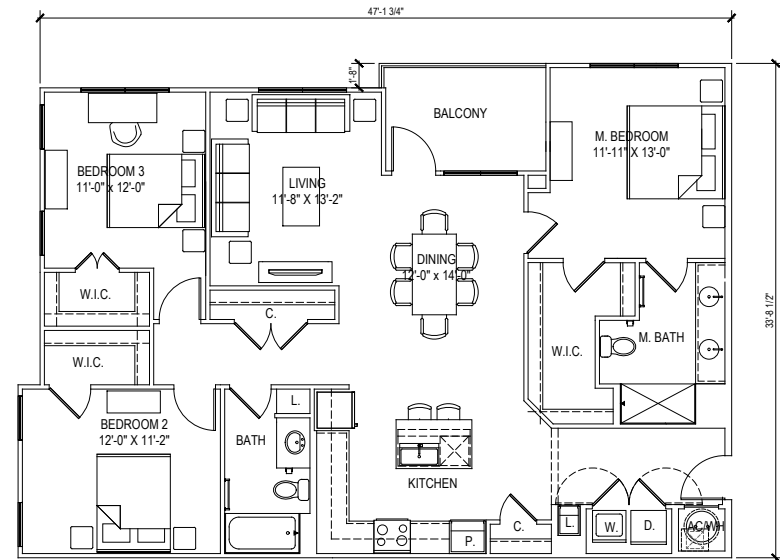
EXTENDED BALCONY - TOP LEVEL ONLY



EXTENDED BALCONY - TOP LEVEL ONLY



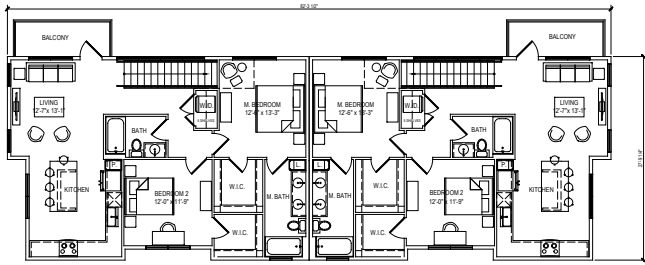
UNIT B3
NET - 1233 SQ. FT.



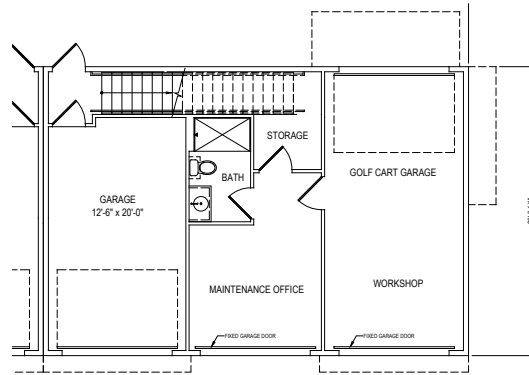
UNIT C-1
NET - 1470 SQ. FT.

SCALE: 1/4" = 1'-0" (24"x36" SHEET)

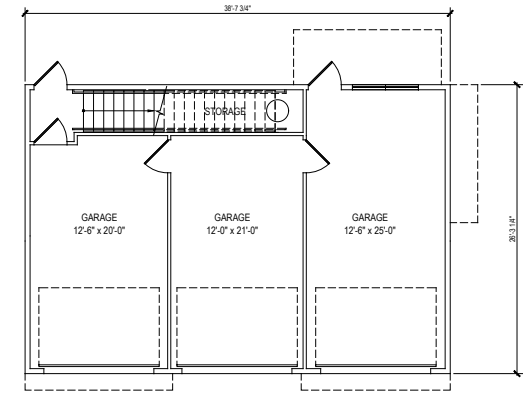




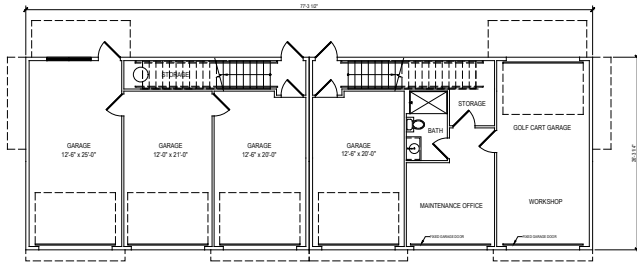
CARRIAGE HOUSE - UPPER LEVEL
BLDG. TYPE V & V.1



CARRIAGE HOUSE WITH MAINTENANCE AREA - LOWER LEVEL

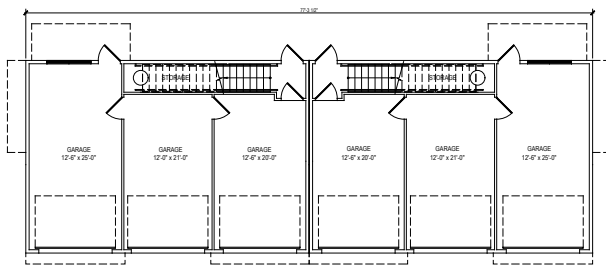
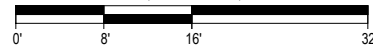


LOWER LEVEL

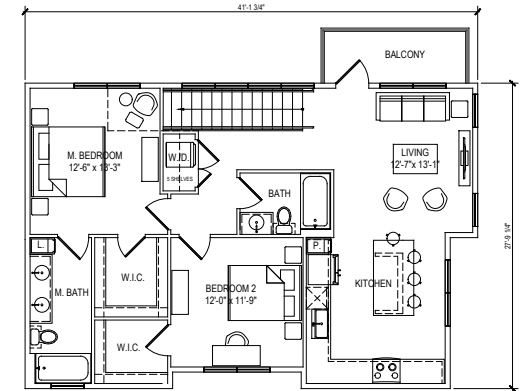


CARRIAGE HOUSE WITH MAINTENANCE AREA - LOWER LEVEL
BLDG. TYPE V.1

SCALE: 3/16" = 1'-0" (24"x36" SHEET)



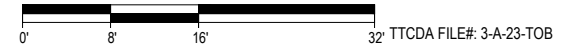
CARRIAGE HOUSE - LOWER LEVEL
BLDG. TYPE V



UPPER LEVEL
NET - 1091 SQ. FT.

UNIT B-CARRIAGE
NET - 1,091 SQ. FT.

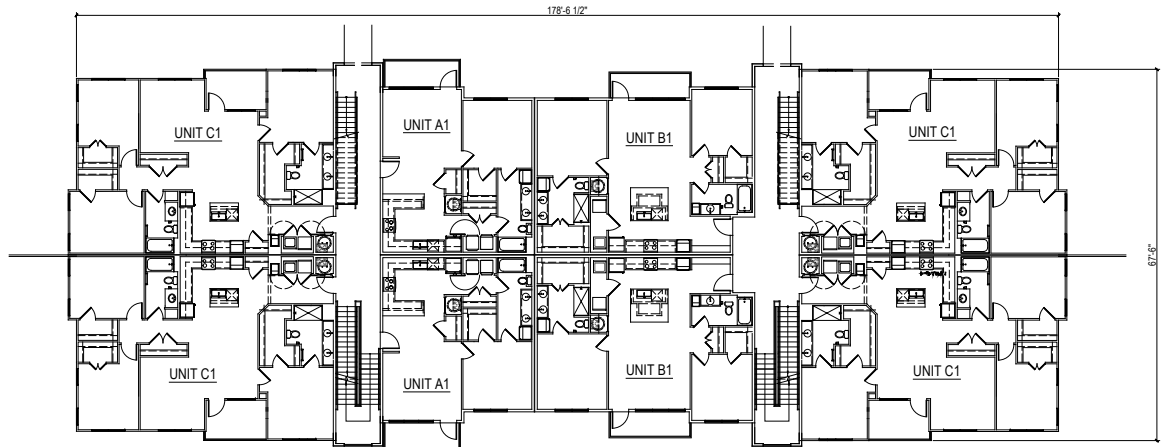
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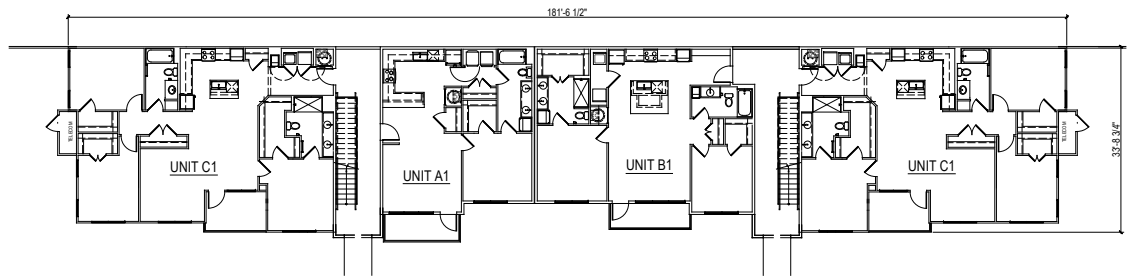
A304

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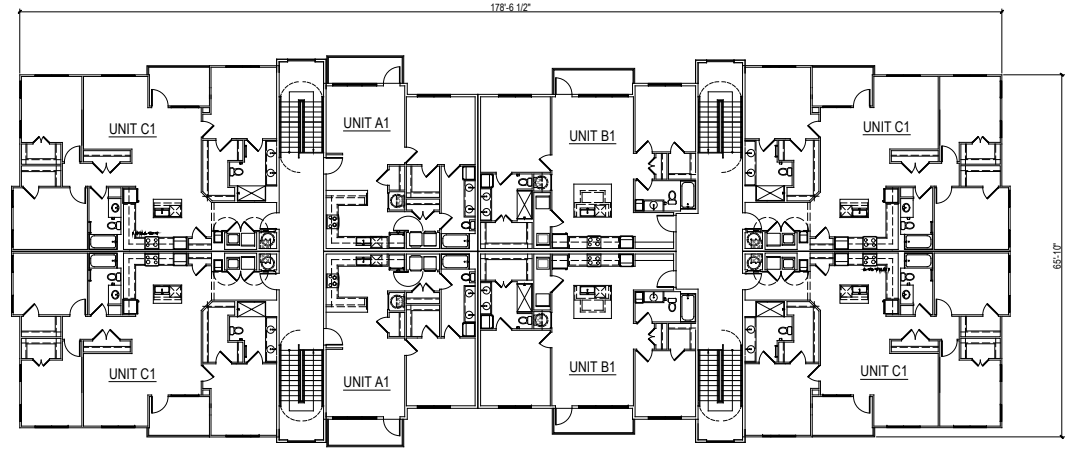
BUILDING TYPE I - 2ND FLOOR PLAN



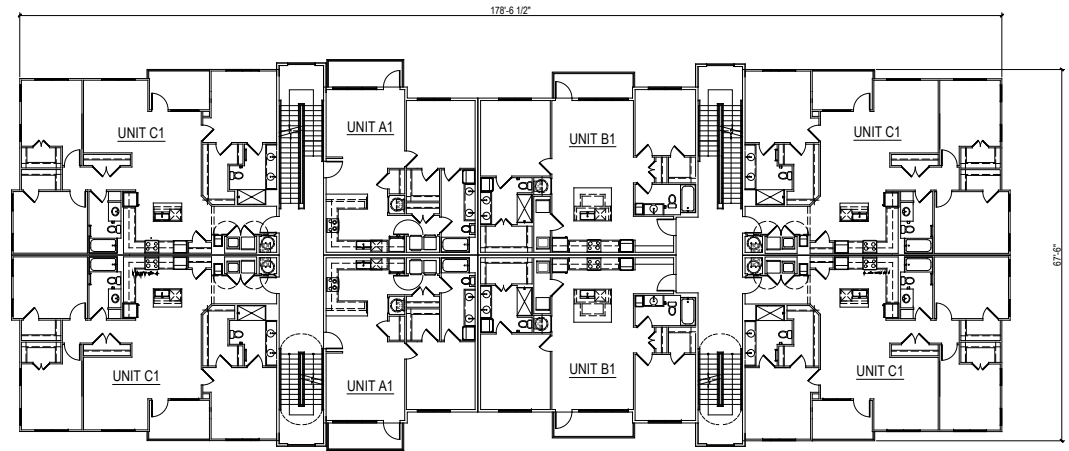
BUILDING TYPE I - 1ST FLOOR PLAN

SCALE: 3/32" = 1'-0" (24"x36" SHEET)



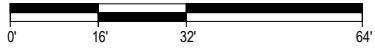


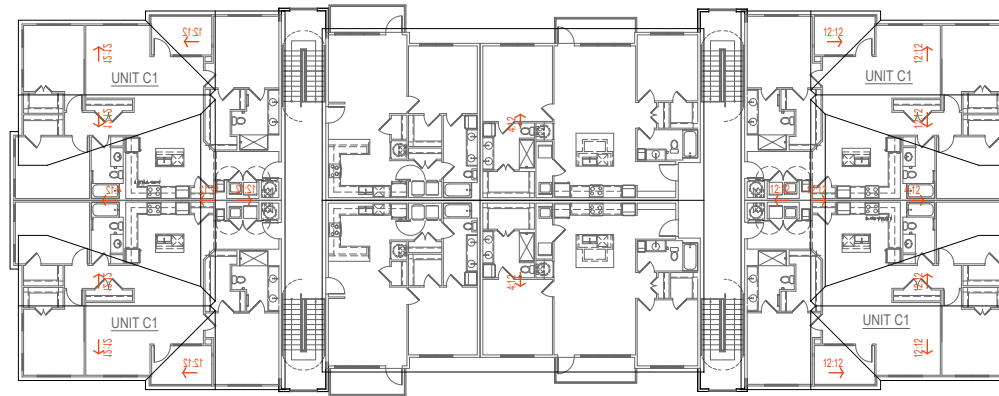
BUILDING TYPE I - 4TH FLOOR PLAN



BUILDING TYPE I - 3RD FLOOR PLAN

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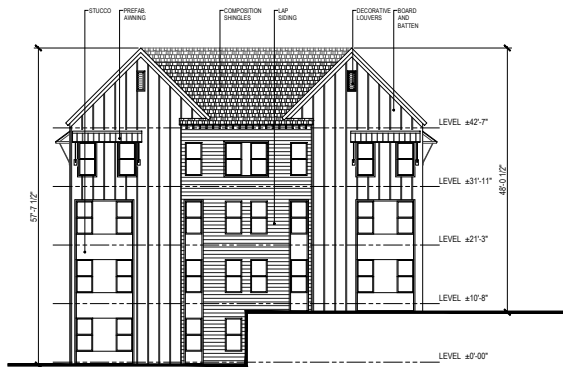




BUILDING TYPE I - ROOF PLAN

SCALE: 3/32" = 1'-0" (24"x36" SHEET)





1 BUILDING TYPE I - 4/3 STORIES
SHORT-INSIDE EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"



2 BUILDING TYPE I - 4/3 STORIES
LONG-INSIDE EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"



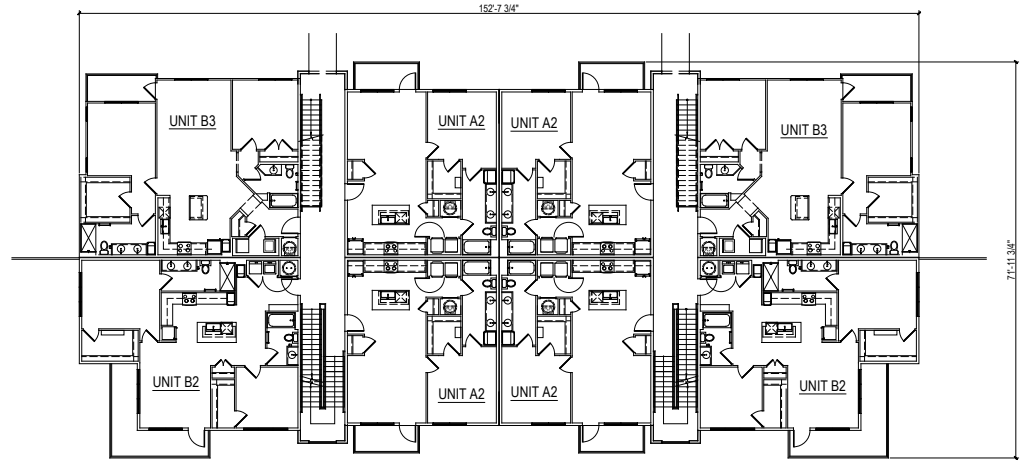
3 BUILDING TYPE I - 4/3 STORIES
SHORT-OUTSIDE EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"



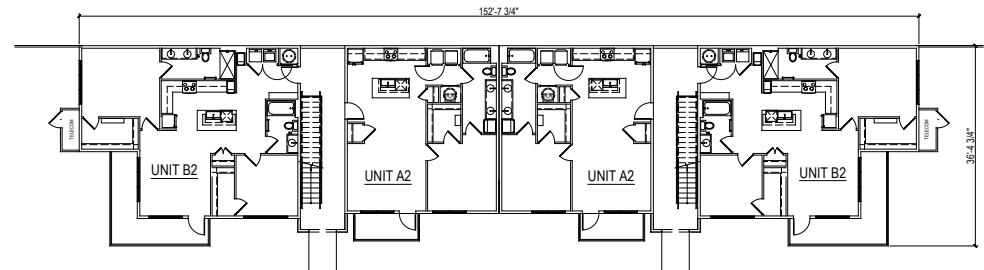
4 BUILDING TYPE I - 4/3 STORIES
LONG-OUTSIDE EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"

SCALE: 3/32" = 1'-0" (24"x36" SHEET)





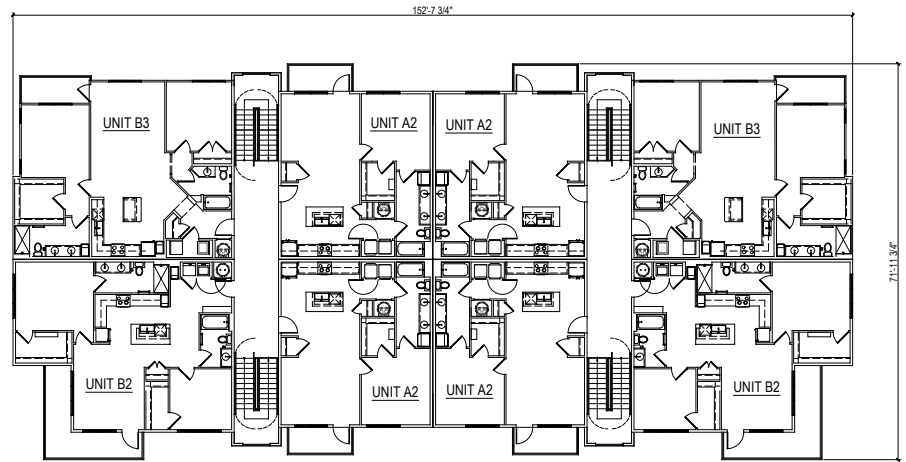
BUILDING TYPE II - 2ND FLOOR PLAN



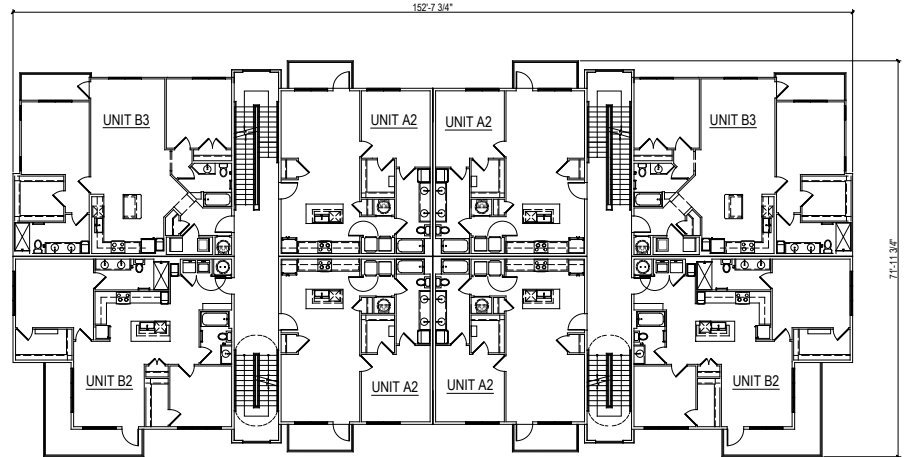
BUILDING TYPE II - 1ST FLOOR PLAN

SCALE: 3/32" = 1'-0" (24"x36" SHEET)





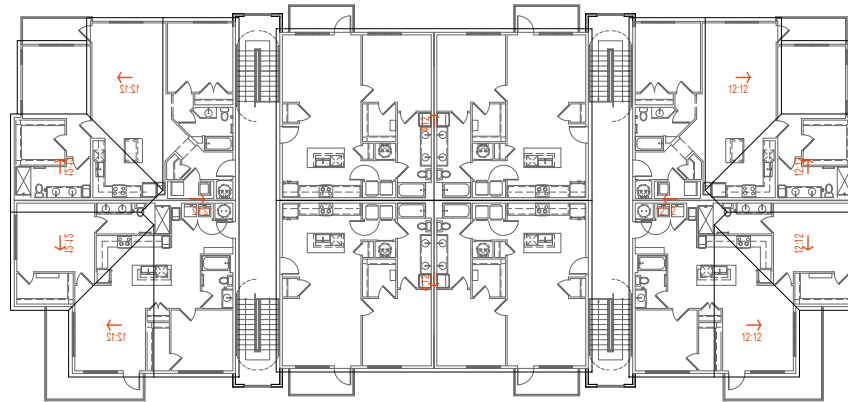
BUILDING TYPE II - 4TH FLOOR PLAN



BUILDING TYPE II - 3RD FLOOR PLAN

SCALE: 3/32" = 1'-0" (24"x36" SHEET)

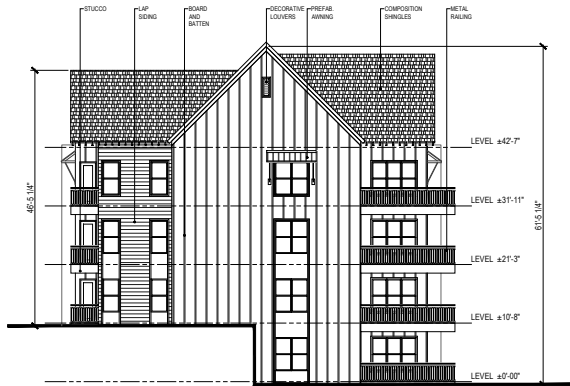




BUILDING TYPE II - ROOF PLAN

SCALE: 3/32" = 1'-0" (24"x36" SHEET)

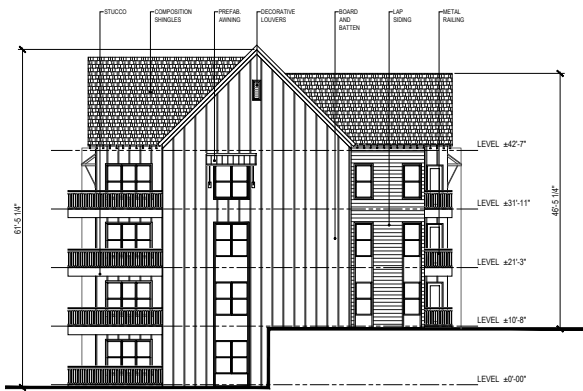




1 BUILDING TYPE II - 4/3 STORIES
SHORT-INSIDE EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"



2 BUILDING TYPE II - 4/3 STORIES
LONG-INSIDE EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"



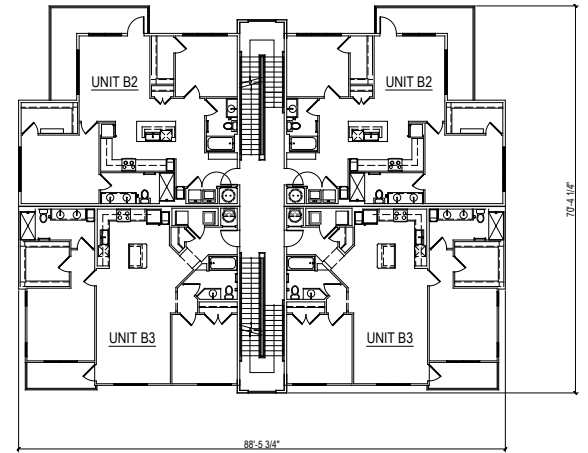
3 BUILDING TYPE II - 4/3 STORIES
SHORT-OUTSIDE EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"



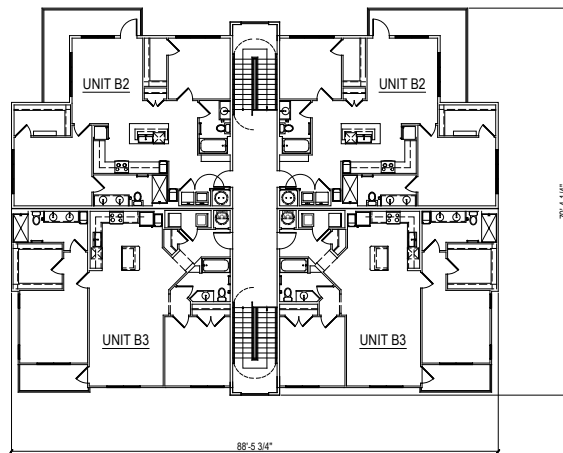
4 BUILDING TYPE II - 4/3 STORIES
LONG-OUTSIDE EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"

SCALE: 3/32" = 1'-0" (24"x36" SHEET)

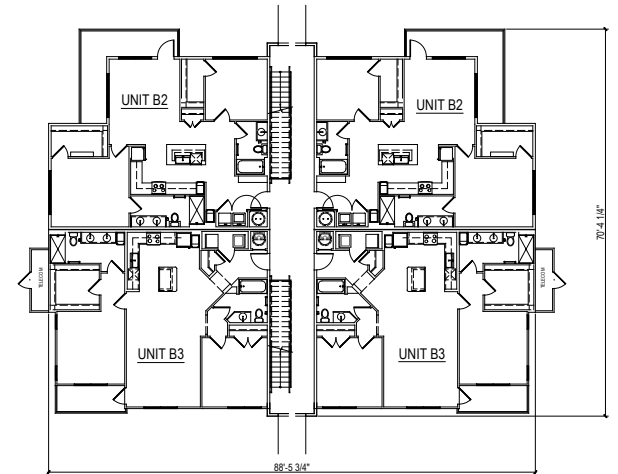




BUILDING TYPE III - 2ND FLOOR PLAN



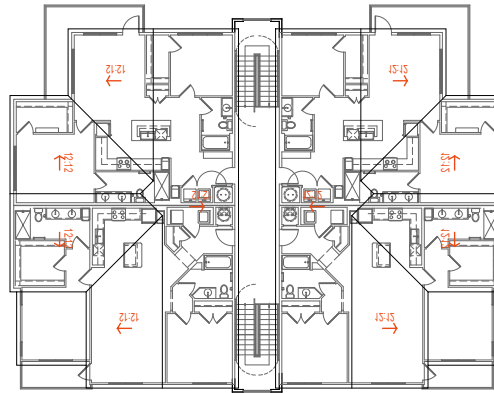
BUILDING TYPE III - 3RD FLOOR PLAN



BUILDING TYPE III - 1ST FLOOR PLAN

SCALE: 3/32" = 1'-0" (24"x36" SHEET)

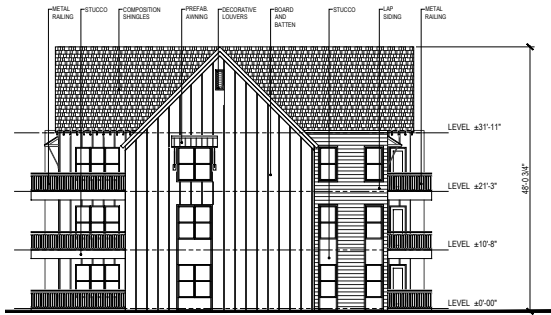




BUILDING TYPE III - ROOF PLAN

SCALE: 3/32" = 1'-0" (24"x36" SHEET)

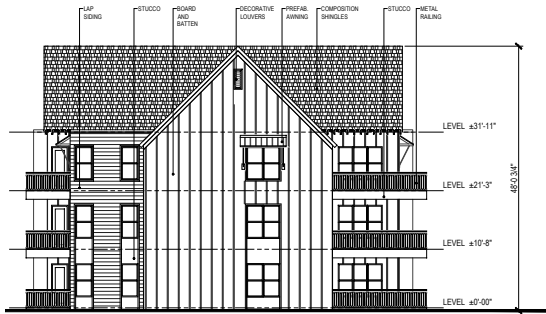




1 BUILDING TYPE III - 3 STORY
SHORT-INSIDE EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"



2 BUILDING TYPE III - 3 STORY
LONG-INSIDE EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"



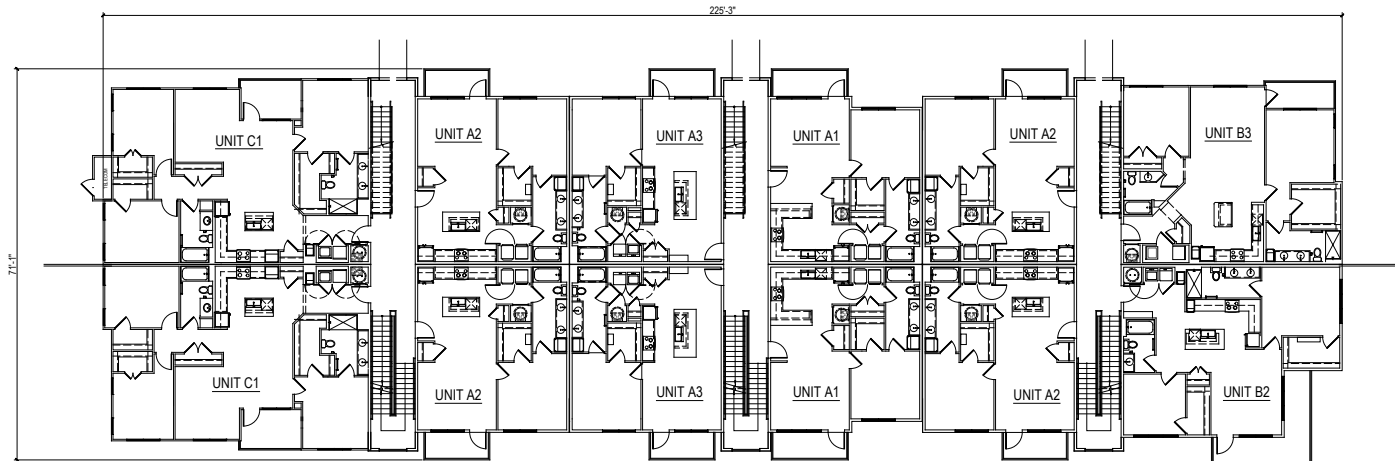
3 BUILDING TYPE III - 3 STORY
SHORT-OUTSIDE EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"



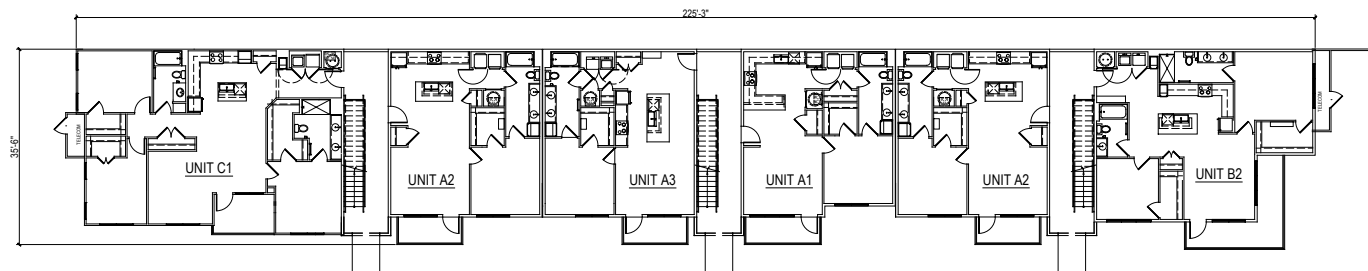
4 BUILDING TYPE III - 3 STORY
LONG-OUTSIDE EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"

SCALE: 3/32" = 1'-0" (24"x36" SHEET)





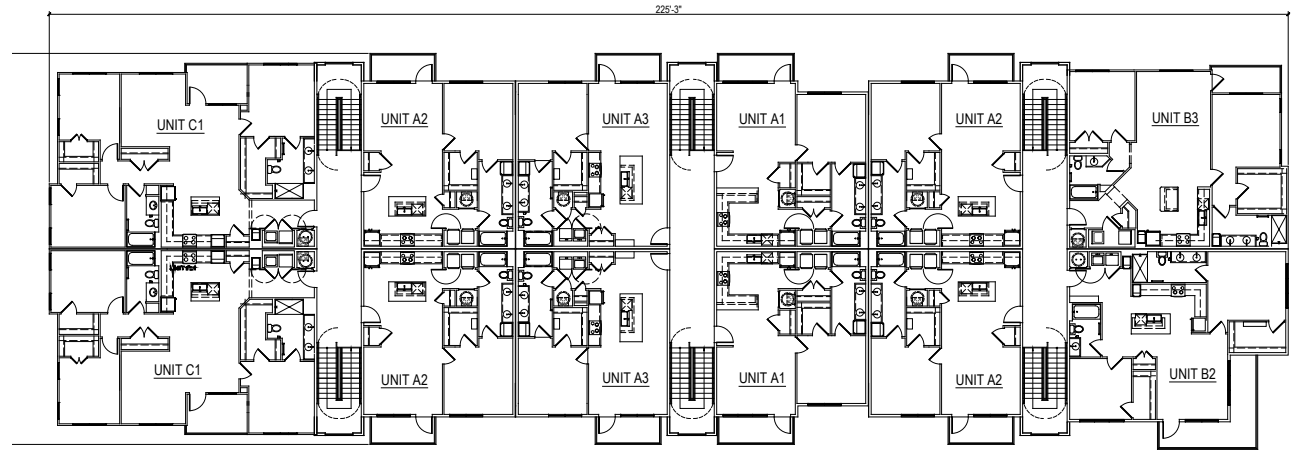
BUILDING TYPE IV - 2ND FLOOR PLAN



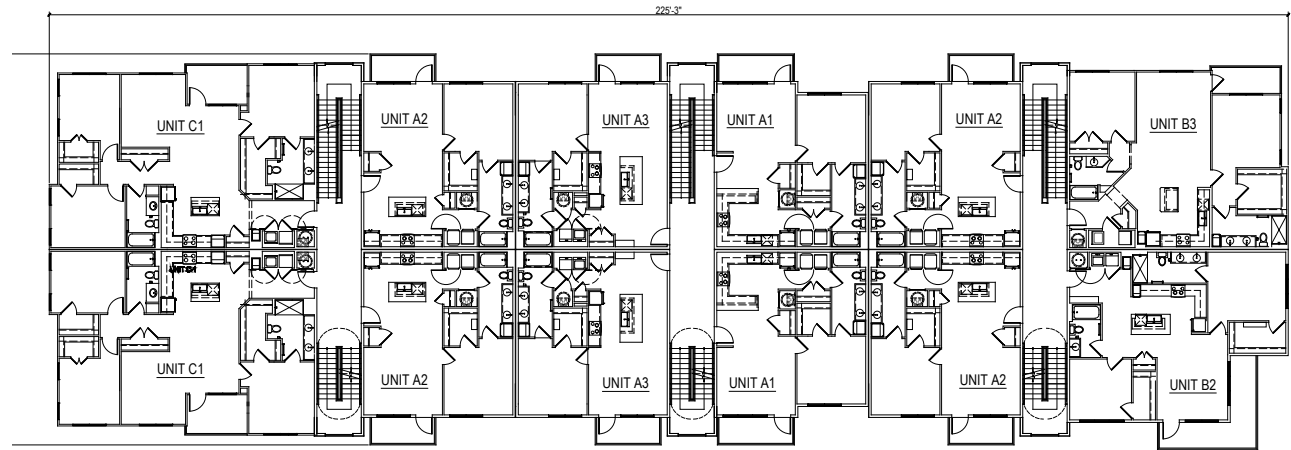
BUILDING TYPE IV - 1ST FLOOR PLAN

SCALE: 3/32" = 1'-0" (24"x36" SHEET)





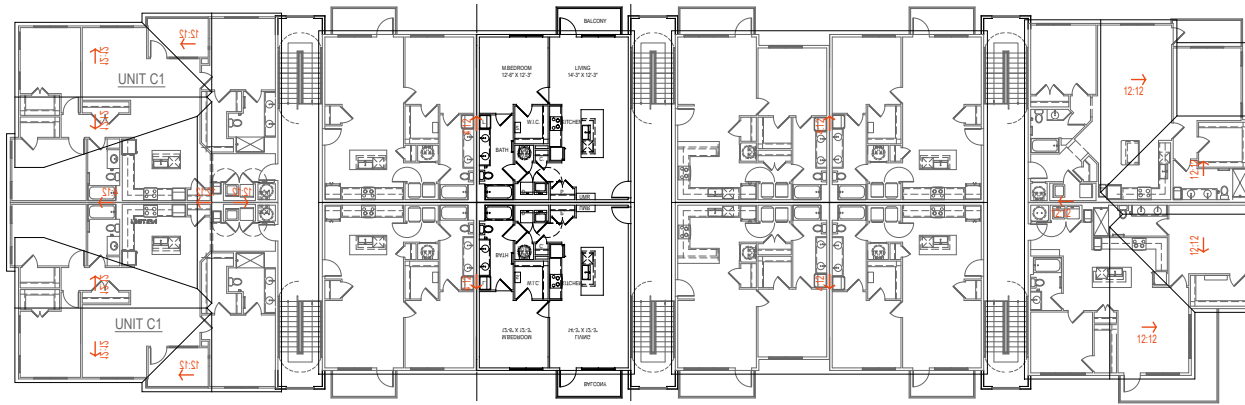
BUILDING TYPE IV - 4TH FLOOR PLAN



BUILDING TYPE IV - 3RD FLOOR PLAN

SCALE: 3/32" = 1'-0" (24"x36" SHEET)

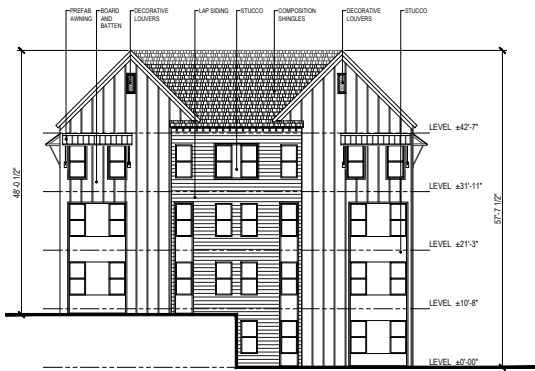




BUILDING TYPE IV - ROOF PLAN

SCALE: 3/32" = 1'-0" (24"x36" SHEET)

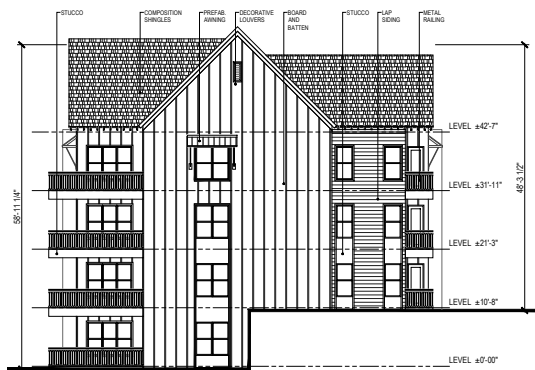




1 BUILDING TYPE IV - 4/3 STORIES
SHORT-INSIDE EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"



2 BUILDING TYPE IV - 4/3 STORIES
LONG-INSIDE EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"



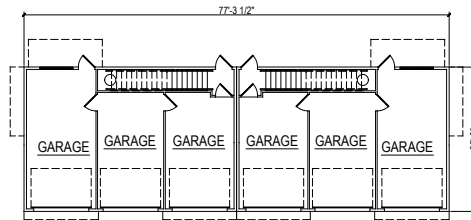
3 BUILDING TYPE IV - 4/3 STORIES
SHORT-OUTSIDE EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"



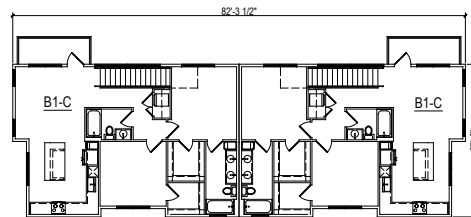
4 BUILDING TYPE IV - 4/3 STORIES
LONG-OUTSIDE EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"

SCALE: 3/32" = 1'-0" (24"x36" SHEET)





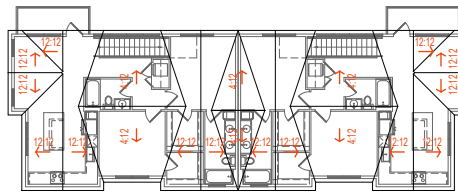
BUILDING TYPE V - 1ST FLOOR PLAN



BUILDING TYPE V - 2ND FLOOR PLAN

SCALE: 3/32" = 1'-0" (24"x36" SHEET)





BUILDING TYPE V - ROOF PLAN

SCALE: 3/32" = 1'-0" (24"x36" SHEET)



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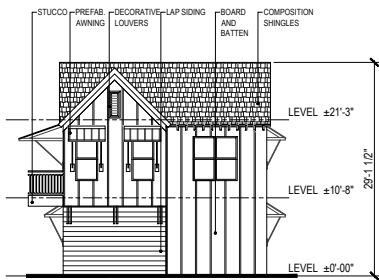
BROOKSTONE PARTNERS

BUILDING PLANS

February 13, 2023

TTCDA FILE#: 3-A-23-TOB **A450a**
SILVER CREEK AT HARDIN VALLEY
 KNOXVILLE, TN
 HPA# 22407

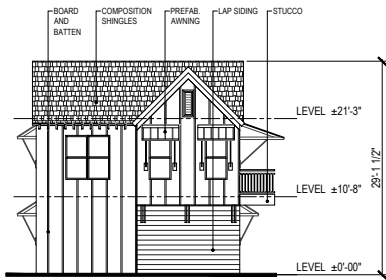
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1 **BUILDING TYPE V - 2 STORY
SHORT-INSIDE EXTERIOR ELEVATION**
SCALE: 1/8" = 1'-0"



2 **BUILDING TYPE V - 2 STORY
LONG-INSIDE EXTERIOR ELEVATION**
SCALE: 1/8" = 1'-0"



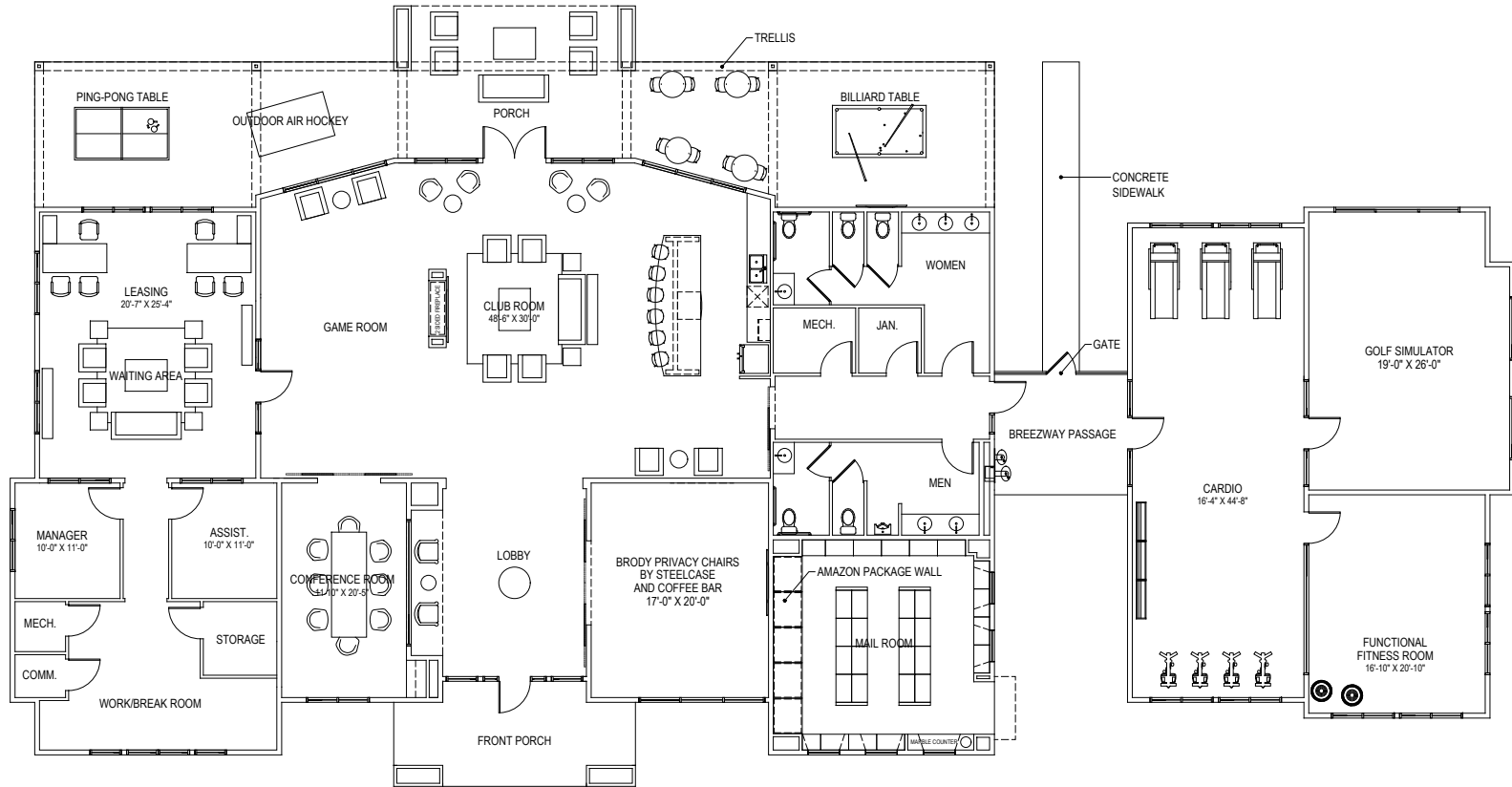
3 **BUILDING TYPE V - 2 STORY
SHORT-OUTSIDE EXTERIOR ELEVATION**
SCALE: 1/8" = 1'-0"



4 **BUILDING TYPE V - 2 STORY
LONG-OUTSIDE EXTERIOR ELEVATION**
SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0" (24"x36" SHEET)

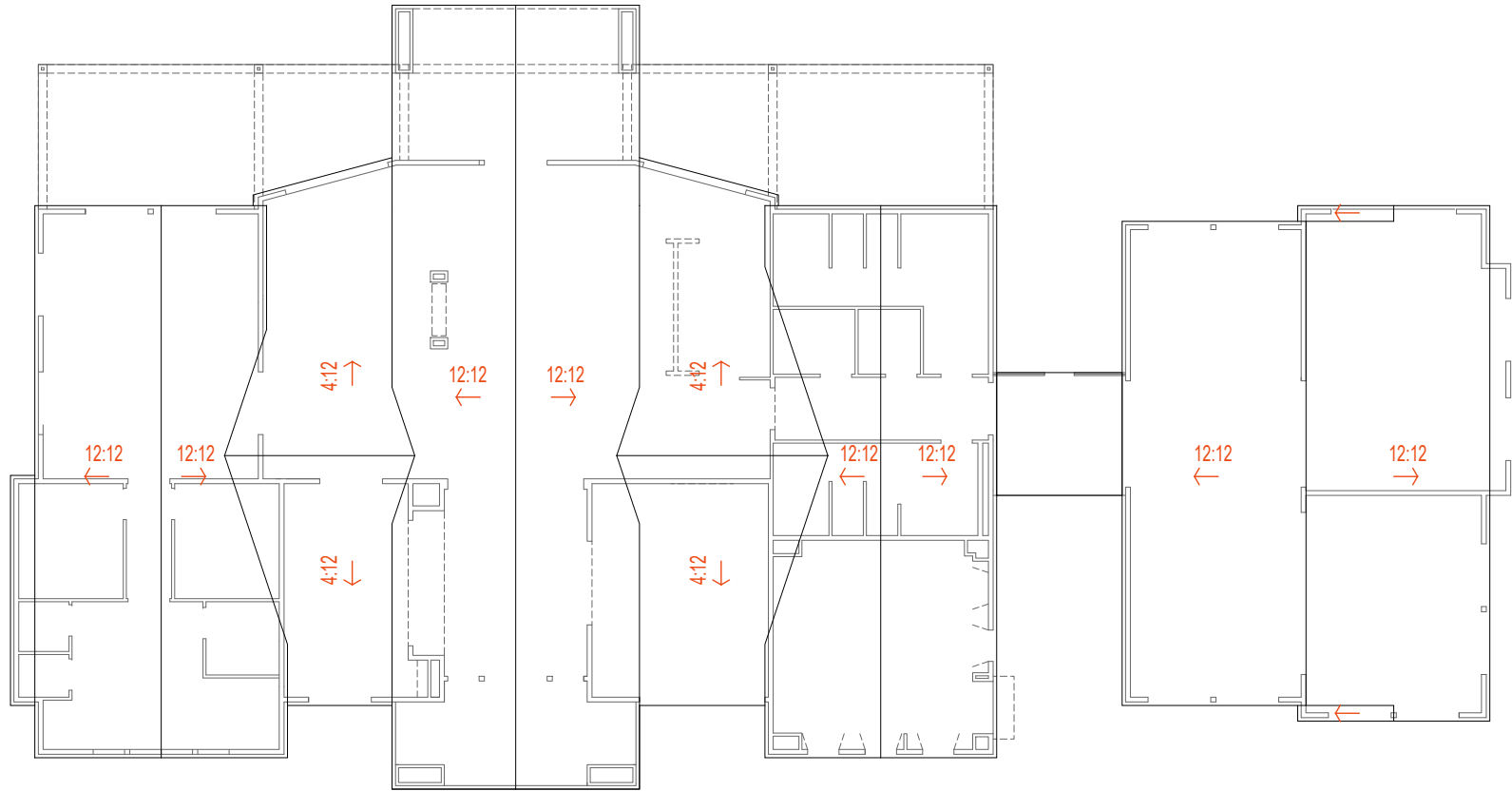




CLUB HOUSE
NET AREA: 6414 SQ. FT.

SCALE: 3/16" = 1'-0" (24"x36" SHEET)

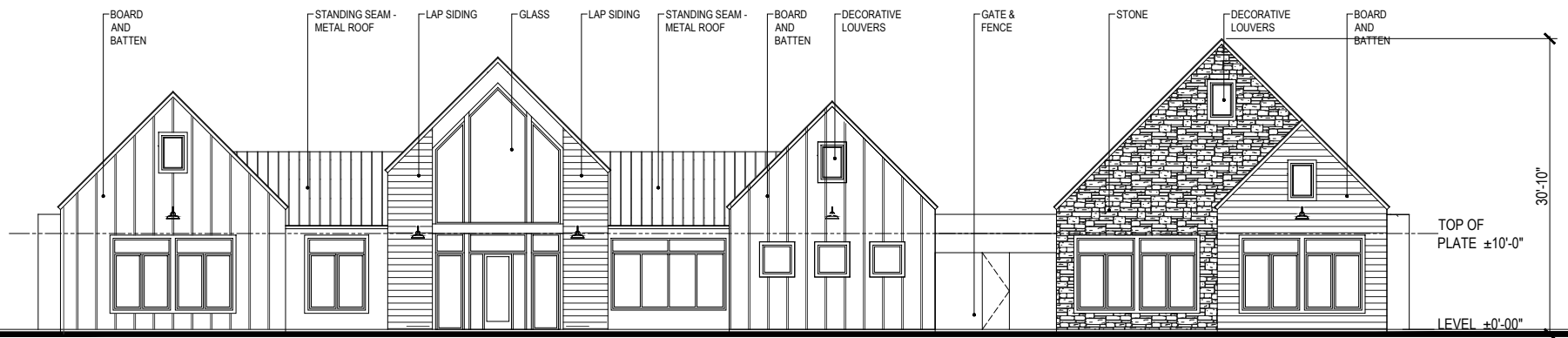




CLUB HOUSE
ROOF PLAN

SCALE: 3/16" = 1'-0" (24"x36" SHEET)

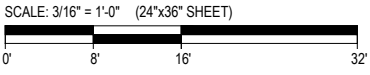




FRONT ELEVATION



REAR ELEVATION



TTCDA FILE#: 3-A-23-TOB **A802**

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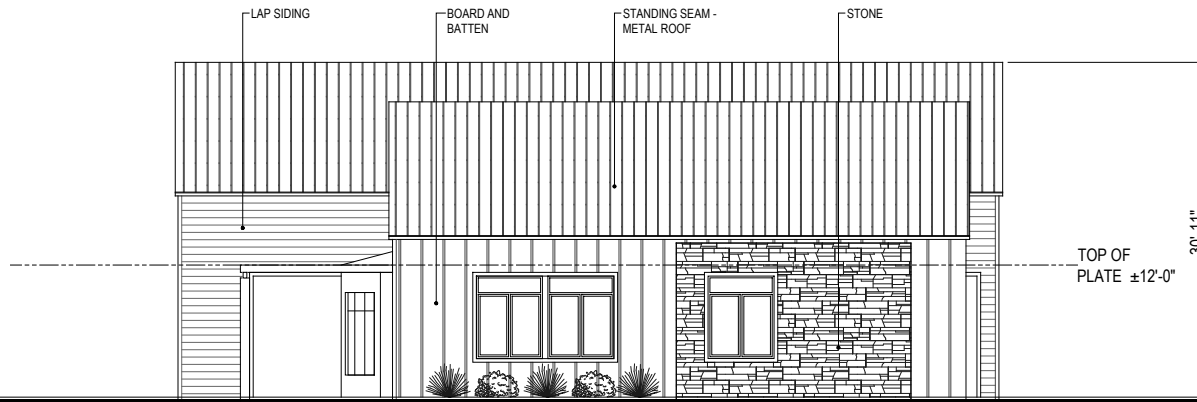
BROOKSTONE PARTNERS

CLUBHOUSE EXTERIOR ELEVATIONS

February 13, 2023

SILVER CREEK AT HARDIN VALLEY
 KNOXVILLE, TN
 HPA# 22407

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LEFT ELEVATION



RIGHT ELEVATION

SCALE: 3/16" = 1'-0" (24"x36" SHEET)



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BROOKSTONE PARTNERS

CLUBHOUSE ELEVATIONS

February 13, 2023

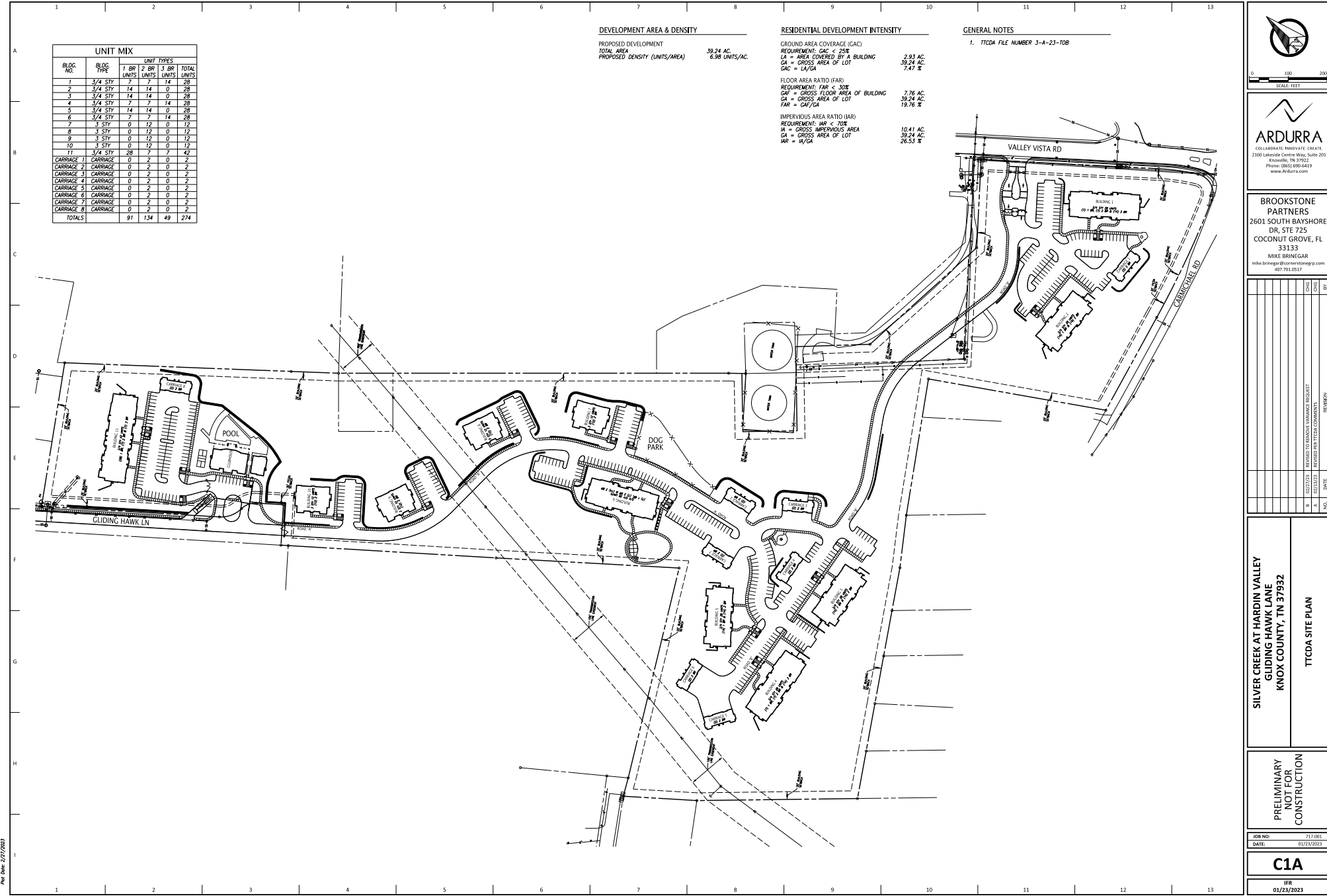
TTCDA FILE#: 3-A-23-TOB

A803

SILVER CREEK AT HARDIN VALLEY

KNOXVILLE, TN
HPA# 22407

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BLDG NO.	BLDG TYPE	UNIT TYPES			TOTAL UNITS
		1 BR UNITS	2 BR UNITS	3 BR UNITS	
1	3/4 STY	7	7	14	28
2	3/4 STY	14	14	0	28
3	3/4 STY	14	14	0	28
4	3/4 STY	7	7	14	28
5	3/4 STY	14	14	0	28
6	3/4 STY	7	7	14	28
7	3 STY	0	12	0	12
8	3 STY	0	12	0	12
9	3 STY	0	12	0	12
10	3 STY	0	12	0	12
11	3/4 STY	28	7	7	42
CARRIAGE 1	CARRIAGE	0	2	0	2
CARRIAGE 2	CARRIAGE	0	2	0	2
CARRIAGE 3	CARRIAGE	0	2	0	2
CARRIAGE 4	CARRIAGE	0	2	0	2
CARRIAGE 5	CARRIAGE	0	2	0	2
CARRIAGE 6	CARRIAGE	0	2	0	2
CARRIAGE 7	CARRIAGE	0	2	0	2
CARRIAGE 8	CARRIAGE	0	2	0	2
TOTALS		91	134	49	274

DEVELOPMENT AREA & DENSITY
 PROPOSED DEVELOPMENT TOTAL AREA 39.24 AC.
 PROPOSED DENSITY (UNITS/AREA) 6.98 UNITS/AC.

RESIDENTIAL DEVELOPMENT INTENSITY
 GROUND AREA COVERAGE (GAC) REQUIREMENT: GAC < 25%
 LA = AREA COVERED BY A BUILDING 2.93 AC
 GA = GROSS AREA OF LOT 39.24 AC
 GAC = LA/GA 7.47 %
 FLOOR AREA RATIO (FAR) REQUIREMENT: FAR < 3.0X
 GAF = GROSS FLOOR AREA OF BUILDING 7.76 AC
 GA = GROSS AREA OF LOT 39.24 AC
 FAR = GAF/GA 19.76 %
 IMPERVIOUS AREA RATIO (IAR) REQUIREMENT: IAR < 70%
 IA = GROSS IMPERVIOUS AREA 10.41 AC
 GA = GROSS AREA OF LOT 39.24 AC
 IAR = IA/GA 26.53 %

GENERAL NOTES
 1. TTCDA FILE NUMBER 3-A-23-10B

0 100 200
SCALE FEET

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NO.	DATE	BY	REVISION
1			
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SILVER CREEK AT HARDIN VALLEY
 GLIDING HAWK LANE
 KNOX COUNTY, TN 37932

TTCDA SITE PLAN

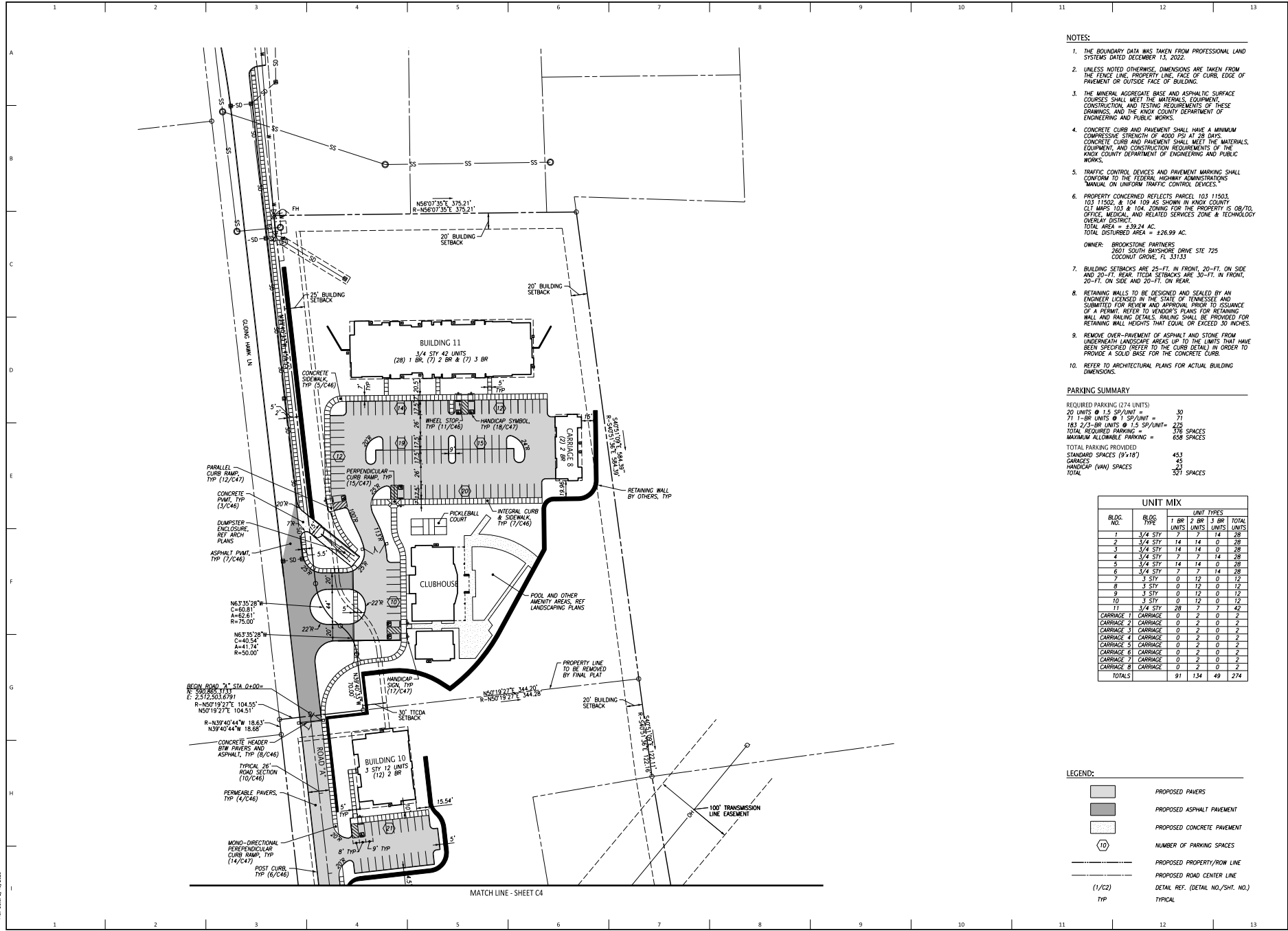
PRELIMINARY NOT FOR CONSTRUCTION

JOB NO: 717.001
 DATE: 01/23/2023

C1A
 IFR
 01/23/2023

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 Plot Date: 2/27/2023

File Name: I:\1717201\1717201\1717201\1717201.dwg
 Plot Date: 01/23/2023



- NOTES:**
- THE BOUNDARY DATA WAS TAKEN FROM PROFESSIONAL LAND SYSTEMS DATED DECEMBER 13, 2022.
 - UNLESS NOTED OTHERWISE, DIMENSIONS ARE TAKEN FROM THE FENCE LINE, PROPERTY LINE, FACE OF CURB, EDGE OF PAVEMENT OR OUTSIDE FACE OF BUILDING.
 - THE MINERAL AGGREGATE BASE AND ASPHALTIC SURFACE COURSES SHALL MEET THE MATERIALS, EQUIPMENT, CONSTRUCTION, AND TESTING REQUIREMENTS OF THESE DRAWINGS, AND THE KNOX COUNTY DEPARTMENT OF ENGINEERING AND PUBLIC WORKS.
 - CONCRETE CURB AND PAVEMENT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS. CONCRETE CURB AND PAVEMENT SHALL MEET THE MATERIALS, EQUIPMENT, AND CONSTRUCTION REQUIREMENTS OF THE KNOX COUNTY DEPARTMENT OF ENGINEERING AND PUBLIC WORKS.
 - TRAFFIC CONTROL DEVICES AND PAVEMENT MARKING SHALL CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
 - PROPERTY CONCERNED REFLECTS PARCEL 103.11503, 103.11502, & 104.109 AND SHOWN IN KNOX COUNTY CLI MAPS 103 & 104 ZONING FOR THE PROPERTY IS OB/TO, OFFICE, MEDICAL, AND RELATED SERVICES ZONE & TECHNOLOGY OVERLAY DISTRICT.
 TOTAL AREA = 339.24 AC.
 TOTAL DISTURBED AREA = 426.99 AC.
 OWNER: BROOKSTONE PARTNERS
 2601 SOUTH BAYSHORE DRIVE STE 725
 COCONUT GROVE, FL 33133
 - BUILDING SETBACKS ARE 20'-FT. IN FRONT, 20'-FT. ON SIDE AND 20'-FT. REAR. TIGCA SETBACKS ARE 30'-FT. IN FRONT, 20'-FT. ON SIDE AND 20'-FT. ON REAR.
 - RETAINING WALLS TO BE DESIGNED AND SEALED BY AN ENGINEER LICENSED IN THE STATE OF TENNESSEE AND SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO ISSUANCE OF A PERMIT. REFER TO VENDOR'S PLANS AND RETAINING WALL AND RAILING DETAILS. RAILING SHALL BE PROVIDED FOR RETAINING WALL HEIGHTS THAT EQUAL OR EXCEED 30 INCHES.
 - REMOVE OVER-PAVEMENT OF ASPHALT AND STONE FROM UNDERNEATH LANDSCAPE AREAS UP TO THE LIMITS THAT HAVE BEEN SPECIFIED (REFER TO CURB DETAIL) IN ORDER TO PROVIDE A SOLID BASE FOR THE CONCRETE CURBS.
 - REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS.

PARKING SUMMARY

REQUIRED PARKING (274 UNITS)	
20 UNITS @ 1.5 SP/UNIT	30
71 1-BR UNITS @ 1.5 SP/UNIT	107
183 2/3-BR UNITS @ 1.5 SP/UNIT	275
TOTAL REQUIRED PARKING	412 SPACES
MAXIMUM ALLOWABLE PARKING	658 SPACES
TOTAL PARKING PROVIDED	453
STANDARD SPACES (9'x18')	45
GARAGES	45
HANDICAP (MIN) SPACES	5
TOTAL	351 SPACES

UNIT MIX

BLDG. NO.	BLDG. TYPE	UNIT TYPES			TOTAL UNITS
		1 BR	2 BR	3 BR	
1	3/4 STY	7	7	14	28
2	3/4 STY	14	14	14	28
3	3/4 STY	14	14	0	28
4	3/4 STY	7	7	14	28
5	3/4 STY	14	14	0	28
6	3/4 STY	7	7	14	28
7	3 STY	0	12	0	12
8	3 STY	0	12	0	12
9	3 STY	0	12	0	12
10	3 STY	0	12	0	12
11	3/4 STY	28	7	7	42
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CARRIAGE 3	CARRIAGE	0	2	0	2
CARRIAGE 4	CARRIAGE	0	2	0	2
CARRIAGE 5	CARRIAGE	0	2	0	2
CARRIAGE 6	CARRIAGE	0	2	0	2
CARRIAGE 7	CARRIAGE	0	2	0	2
CARRIAGE 8	CARRIAGE	0	2	0	2
TOTALS		91	134	49	274

- LEGEND:**
- PROPOSED PAVERS
 - PROPOSED ASPHALT PAVEMENT
 - PROPOSED CONCRETE PAVEMENT
 - 10 NUMBER OF PARKING SPACES
 - PROPOSED PROPERTY/ROW LINE
 - PROPOSED ROAD CENTER LINE
 - DETAIL REF. (DETAIL NO./SHT. NO.)
 - TYP

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 MIKE BRINEGAR
 mike.brinegar@brookstonepartners.com
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NO.	DATE	BY	REVISION

SILVER CREEK AT HARDIN VALLEY
 GLIDING HAWK LANE
 KNOX COUNTY, TN 37932

LAYOUT AND PAVING PLAN

PRELIMINARY
 NOT FOR
 CONSTRUCTION

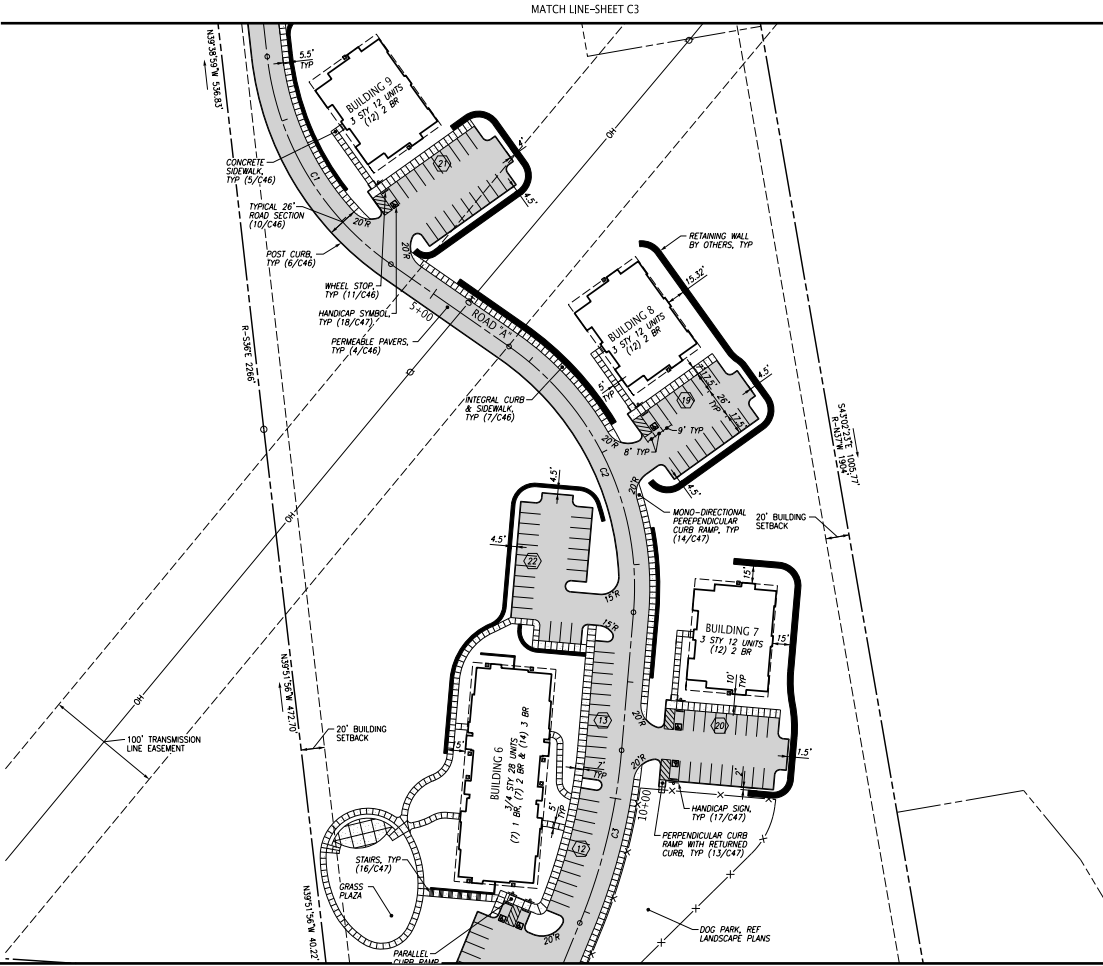
JOB NO: 1717001
 DATE: 01/23/2023

C3

HR
 01/23/2023

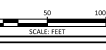
HORIZONTAL CURVE DATA TABLE						
CURVE NO.	P.L. COORDINATES		DELTA ANGLE	RADIUS	TANGENT	LENGTH
	NORTHING	EASTING				
C1	590.590.8664	2,512,731.3349	48° 38' 53" (LT)	250.00	113.01	212.27
C2	590.579.7468	2,513,111.3459	60° 01' 35" (RT)	250.00	144.41	261.91
C3	590.281.1675	2,513,272.0982	17° 25' 08" (RT)	500.00	76.60	152.01

NOTES:
1. REFER TO SHEET C3 FOR GENERAL NOTES.



LEGEND:

[Pattern]	PROPOSED PAVERS
[Pattern]	PROPOSED CONCRETE PAVEMENT
(10)	NUMBER OF PARKING SPACES
---	PROPOSED PROPERTY/ROW LINE
---	PROPOSED ROAD CENTER LINE
(1/C2)	DETAIL REF. (DETAIL NO./SHT. NO.)
TYP	TYPICAL



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NO.	DATE	REVISION	BY	CHKD

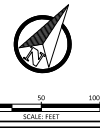
SILVER CREEK AT HARDIN VALLEY
GLIDING HAWK LANE
KNOX COUNTY, TN 37932
LAYOUT AND PAVING PLAN

PRELIMINARY NOT FOR CONSTRUCTION

JOB NO: 217.001
DATE: 01/23/2023

C4
HR
01/23/2023

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Plot Date: 01/23/2023



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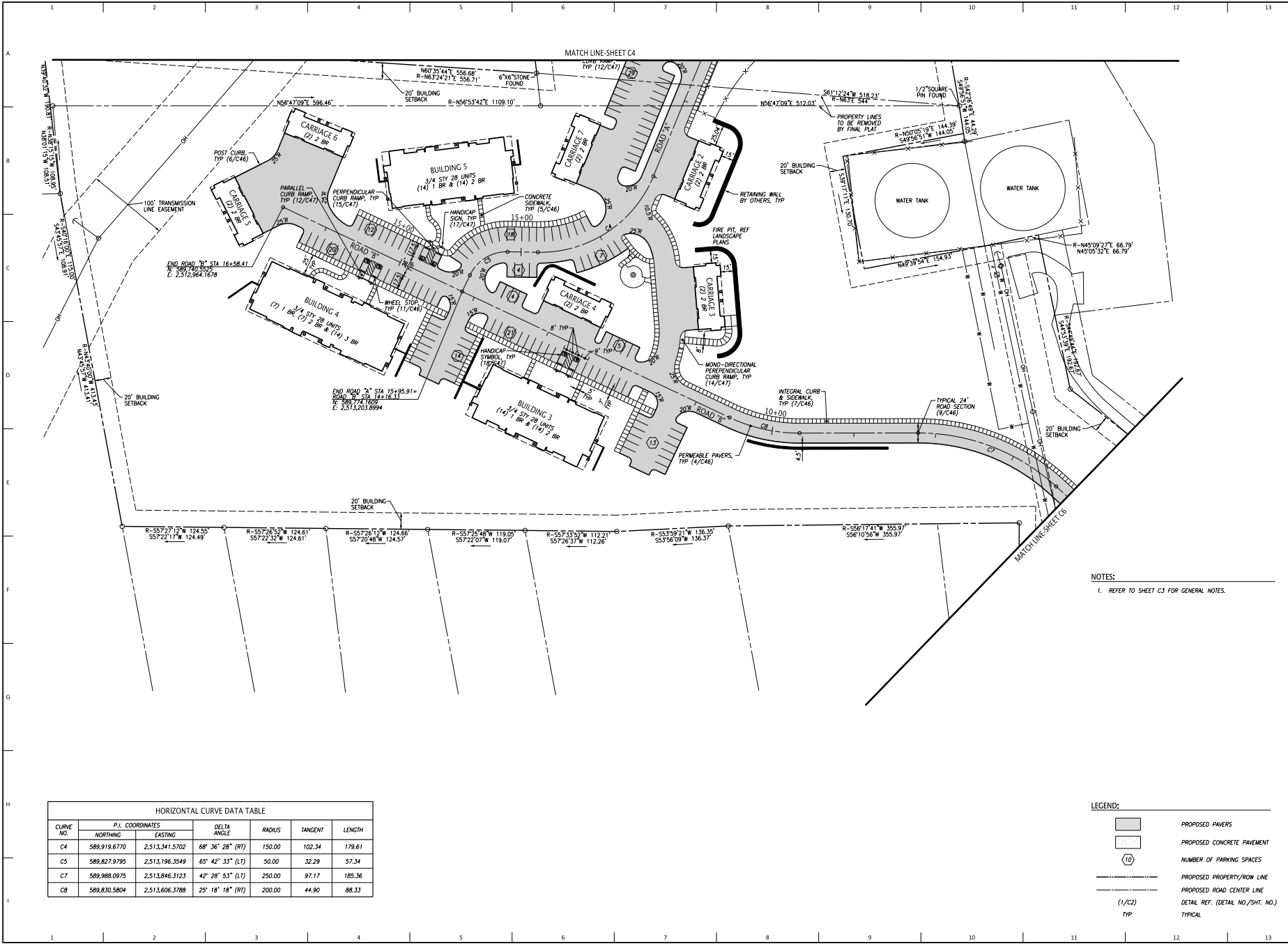
NO.	DATE	REVISIONS	COMMENTS	BY	CHK

SILVER CREEK AT HARDIN VALLEY
GLIDING HAWK LANE
KNOX COUNTY, TN 37932
LAYOUT AND PAVING PLAN

PRELIMINARY
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JOB NO: 217.001
DATE: 01/23/2023

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01/23/2023

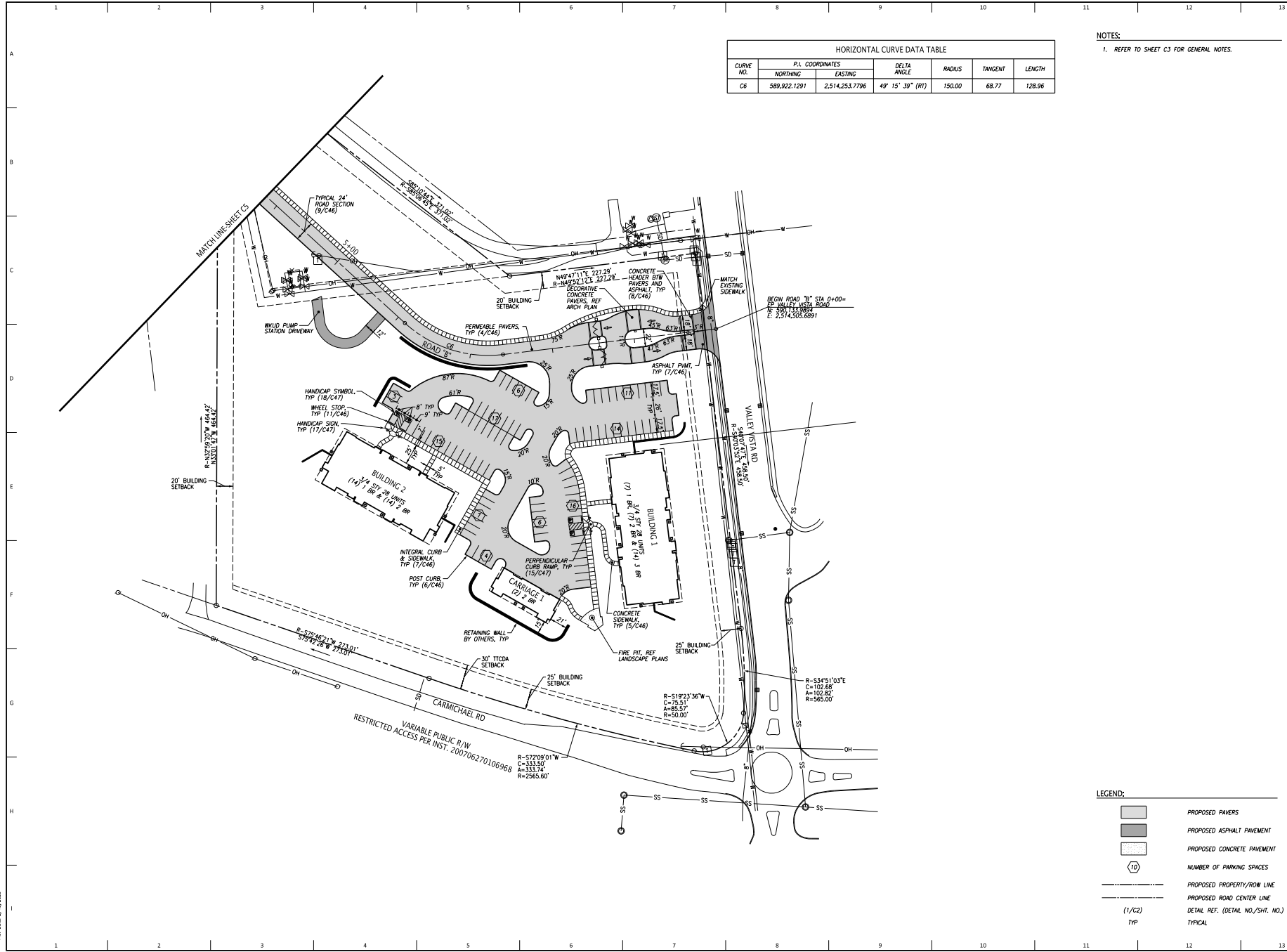


NOTES:
1. REFER TO SHEET C3 FOR GENERAL NOTES.

- LEGEND:**
- PROPOSED PAVERS
 - PROPOSED CONCRETE PAVEMENT
 - NUMBER OF PARKING SPACES
 - PROPOSED PROPERTY/ROW LINE
 - PROPOSED ROAD CENTER LINE
 - DETAIL REF. (DETAIL NO./SHT. NO.)
 - TYPICAL

CURVE NO.	P.L. COORDINATES		DELTA ANGLE	RADIUS	TANGENT	LENGTH
	NORTHING	EASTING				
C4	589,919.6770	2,513,341.5702	68° 36' 28" (RT)	150.00	102.34	179.61
C5	589,827.9795	2,513,196.3549	65° 42' 33" (LT)	50.00	32.29	57.34
C7	589,988.0975	2,513,846.3123	42° 28' 53" (LT)	250.00	97.17	185.36
C8	589,830.5804	2,513,606.3788	25° 18' 18" (RT)	200.00	44.90	88.33

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 Plot Date: 2/13/2023



CURVE NO.	P.I. COORDINATES		DELTA ANGLE	RADIUS	TANGENT	LENGTH
	NORTHING	EASTING				
C6	589,922.1291	2,514,253.7796	49° 15' 39" (RT)	150.00	68.77	128.96

NOTES:
 1. REFER TO SHEET C3 FOR GENERAL NOTES.

0 50 100
SCALE FEET

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NO.	DATE	REVISION	BY	CHKD

SILVER CREEK AT HARDIN VALLEY
 GLIDING HAWK LANE
 KNOX COUNTY, TN 37932

LAYOUT AND PAVING PLAN

PRELIMINARY
 NOT FOR
 CONSTRUCTION

JOB NO: 217.001
 DATE: 01/23/2023

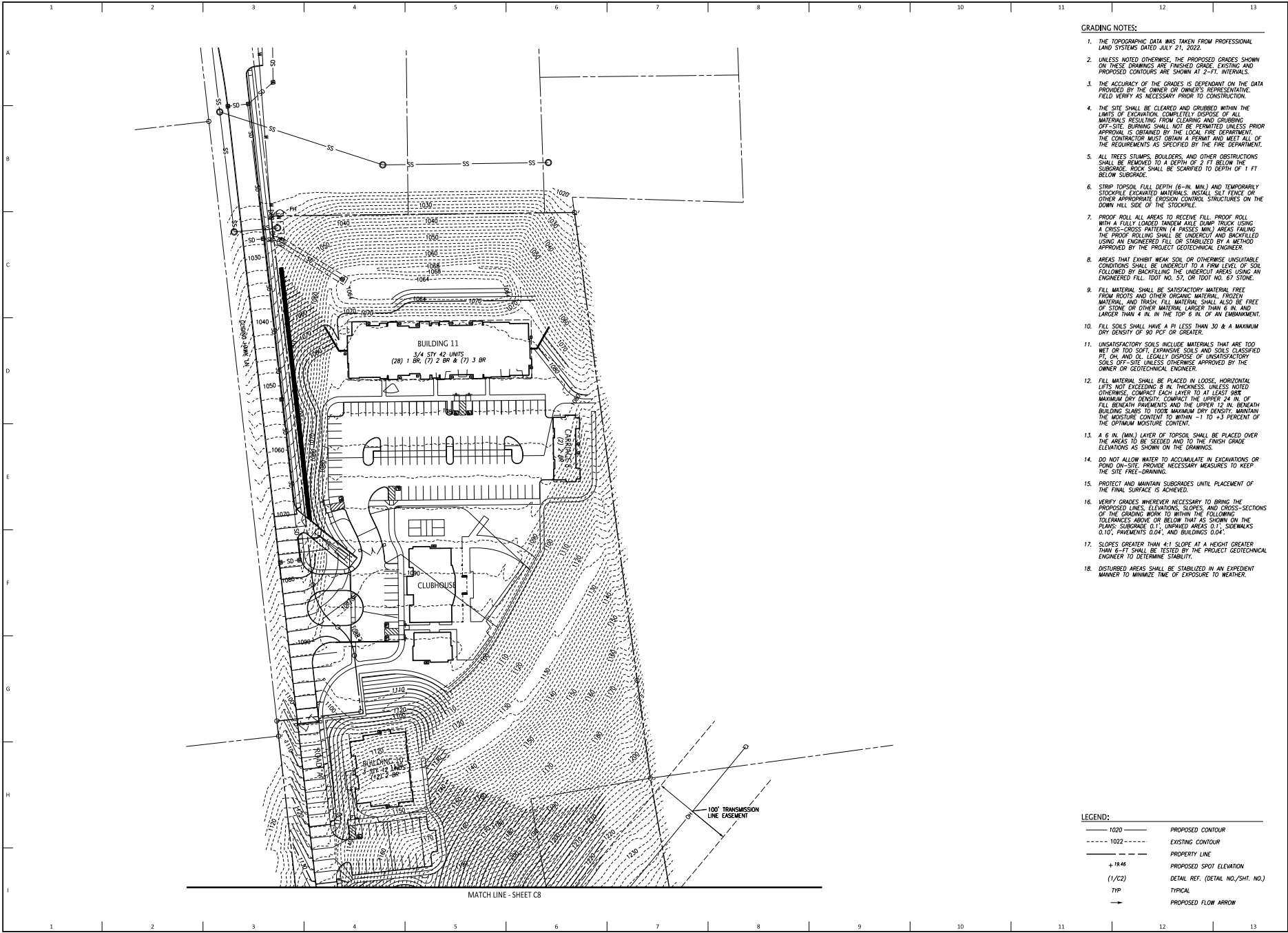
C6
 HR
 01/23/2023

LEGEND:

- PROPOSED PAVERS
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- NUMBER OF PARKING SPACES
- PROPOSED PROPERTY/ROW LINE
- PROPOSED ROAD CENTER LINE
- DETAIL REF. (DETAIL NO./SHT. NO.)
- TYPICAL

File Name: I:\17172\2023\IMSS\171001\006.dwg
 Plot Date: 2/1/2023

File Name: I:\17172\17172\DWG\17172\17172\17172.dwg
 Plot Date: 2/13/2023



GRADING NOTES:

1. THE TOPOGRAPHIC DATA WAS TAKEN FROM PROFESSIONAL LAND SYSTEMS DATED JULY 21, 2022.
2. UNLESS NOTED OTHERWISE, THE PROPOSED GRADES SHOWN ON THESE DRAWINGS ARE FINISHED GRADE, EXISTING AND PROPOSED CONTOURS ARE SHOWN AT 2'-FT. INTERVALS.
3. THE ACCURACY OF THE GRADES IS DEPENDENT ON THE DATA PROVIDED BY THE OWNER OR OWNER'S REPRESENTATIVE. FIELD VERIFY AS NECESSARY PRIOR TO CONSTRUCTION.
4. THE SITE SHALL BE CLEARED AND GROUND WITHIN THE LIMITS OF EXCAVATION COMPLETELY REMOVE OF ALL MATERIALS RESULTING FROM CLEARING AND GRUBBING. OFF-SITE BURNING SHALL NOT BE PERMITTED UNLESS PRIOR APPROVAL IS OBTAINED BY THE LOCAL FIRE DEPARTMENT. THE CONTRACTOR MUST OBTAIN A PERMIT AND MEET ALL OF THE REQUIREMENTS AS SPECIFIED BY THE FIRE DEPARTMENT.
5. ALL TREES STUMPS, Boulders, AND OTHER OBSTRUCTIONS SHALL BE REMOVED TO A DEPTH OF 2 FT BELOW THE SUBGRADE. ROCK SHALL BE SCARIFIED TO DEPTH OF 1 FT BELOW SUBGRADE.
6. STRIP TOPSOIL FULL DEPTH (6-IN. MIN.) AND TEMPORARILY STOCKPILE EXCAVATED MATERIALS. INSTALL SILT FENCE OR OTHER APPROPRIATE EROSION CONTROL STRUCTURES ON THE DOWN HILL SIDE OF THE STOCKPILE.
7. PROOF ROLL ALL AREAS TO RECEIVE FILL. PROOF ROLL WITH A FULLY LOADED TAMPER RAKE DRUM PROOK USING A CROSS-CROSS PATTERN (4 PASSES MIN.) AREAS FAILING THE PROOF ROLLING SHALL BE UNDERCUT AND BACKFILLED USING AN ENGINEERED FILL OR STABILIZED BY A METHOD APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.
8. AREAS THAT EXHIBIT WEAK SOIL OR OTHERWISE UNSUITABLE CONDITIONS SHALL BE UNDERCUT TO A FIRM LEVEL OF SOIL FOLLOWED BY BACKFILLING THE UNDERCUT AREAS USING AN ENGINEERED FILL, TYP. NO. 57, OR TYP. NO. 67 STONE.
9. FILL MATERIAL SHALL BE SATISFACTORY MATERIAL FREE FROM ROOTS AND OTHER ORGANIC MATERIAL. FROZEN MATERIAL AND TRUCK FILL MATERIAL SHALL ALSO BE FREE OF STONE OR OTHER MATERIAL LARGER THAN 6 IN. AND LARGER THAN 4 IN. IN THE TOP 6 IN. OF AN EMBANKMENT.
10. FILL SOILS SHALL HAVE A PI LESS THAN 30 & A MAXIMUM DRY DENSITY OF 90 PCF OR GREATER.
11. UNSATISFACTORY SOILS INCLUDE MATERIALS THAT ARE TOO WET OR TOO SOFT, EXPANSIVE SOILS AND SOILS CLASSIFIED PT. OH AND OL. LEGALLY DISPOSE OF UNSATISFACTORY SOILS OFF-SITE UNLESS OTHERWISE APPROVED BY THE OWNER OR GEOTECHNICAL ENGINEER.
12. FILL MATERIAL SHALL BE PLACED IN LOOSE, HORIZONTAL LIFTS NOT EXCEEDING 8 IN. THICKNESS. UNLESS NOTED OTHERWISE, COMPACT EACH LAYER TO AT LEAST 90% MAXIMUM DRY DENSITY. COMPACT THE UPPER 24 IN. OF FILL BENEATH PAVEMENTS AND THE UPPER 12 IN. BENEATH BUILDING SLABS TO 100% MAXIMUM DRY DENSITY. MAINTAIN THE MOISTURE CONTENT TO WITHIN -1 TO +3 PERCENT OF THE OPTIMUM MOISTURE CONTENT.
13. A 6 IN. (MIN.) LAYER OF TOPSOIL SHALL BE PLACED OVER THE AREAS TO BE SEEDED AND TO THE FINISH GRADE ELEVATIONS AS SHOWN ON THE DRAWINGS.
14. DO NOT ALLOW WATER TO ACCUMULATE IN EXCAVATIONS OR POND ON-SITE. PROVIDE NECESSARY MEASURES TO KEEP THE SITE FREE-DRAINING.
15. PROTECT AND MAINTAIN SUBGRADES UNTIL PLACEMENT OF THE FINAL SURFACE IS ACHIEVED.
16. VERIFY GRADES WHEREVER NECESSARY TO BRING THE PROPOSED LINES, ELEVATIONS, SLOPES, AND CROSS-SECTIONS OF THE GRADING WORK TO WITHIN THE FOLLOWING TOLERANCES ABOVE OR BELOW THAT AS SHOWN ON THE PLANS: SUBGRADE 0.1', UNPAVED AREAS 0.1', SIDEWALKS 0.10', PAVEMENTS 0.04', AND BUILDINGS 0.04'.
17. SLOPES GREATER THAN 4:1 SLOPE AT A HEIGHT GREATER THAN 6-FT SHALL BE TESTED BY THE PROJECT GEOTECHNICAL ENGINEER TO DETERMINE STABILITY.
18. DISTURBED AREAS SHALL BE STABILIZED IN AN EXPEDITIOUS MANNER TO MINIMIZE TIME OF EXPOSURE TO WEATHER.

LEGEND:

- 1020 — PROPOSED CONTOUR
- 1022 --- EXISTING CONTOUR
- - - - - PROPERTY LINE
- + 19.46 PROPOSED SPOT ELEVATION
- (1/1/22) DETAIL REF. (DETAIL NO./SHT. NO.)
- TYP TYPICAL
- PROPOSED FLOW ARROW



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NO.	DATE	REVISION/REVISION COMMENTS	DATE	BY

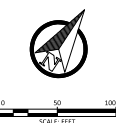
SILVER CREEK AT HARDIN VALLEY
 GLIDING HAWK LANE
 KNOX COUNTY, TN 37932

PRELIMINARY
 NOT FOR
 CONSTRUCTION

JOB NO: 1717201
 DATE: 01/23/2023

C7
 WFR
 01/23/2023

GRADING NOTES:
 1. REFER TO SHEET C7 FOR GRADING NOTES.



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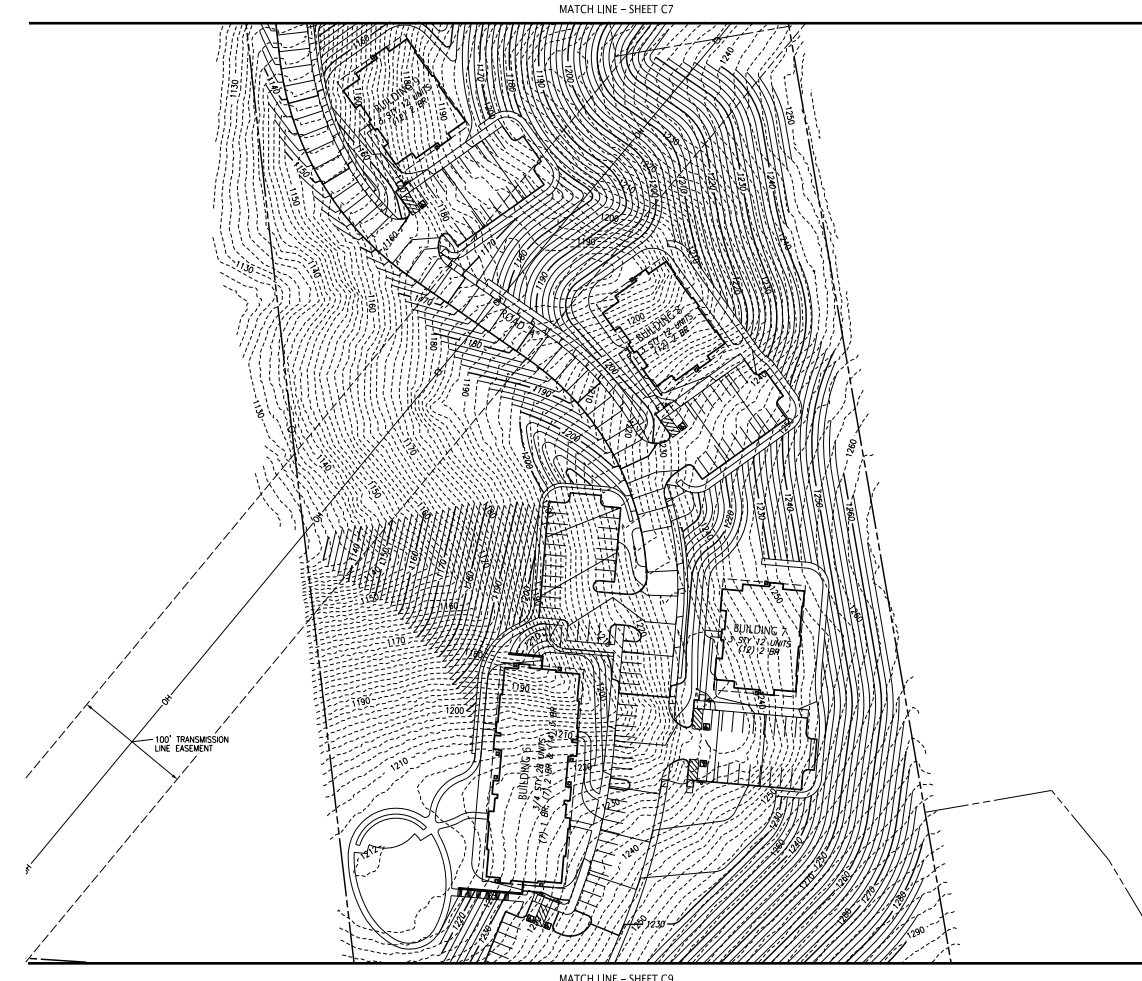
NO.	DATE	REVISION	CHKD.	BY

SILVER CREEK AT HARDIN VALLEY
 GLIDING HAWK LANE
 KNOX COUNTY, TN 37932
GRADING PLAN

PRELIMINARY
 NOT FOR
 CONSTRUCTION

JOB NO: 217-001
 DATE: 01/23/2023

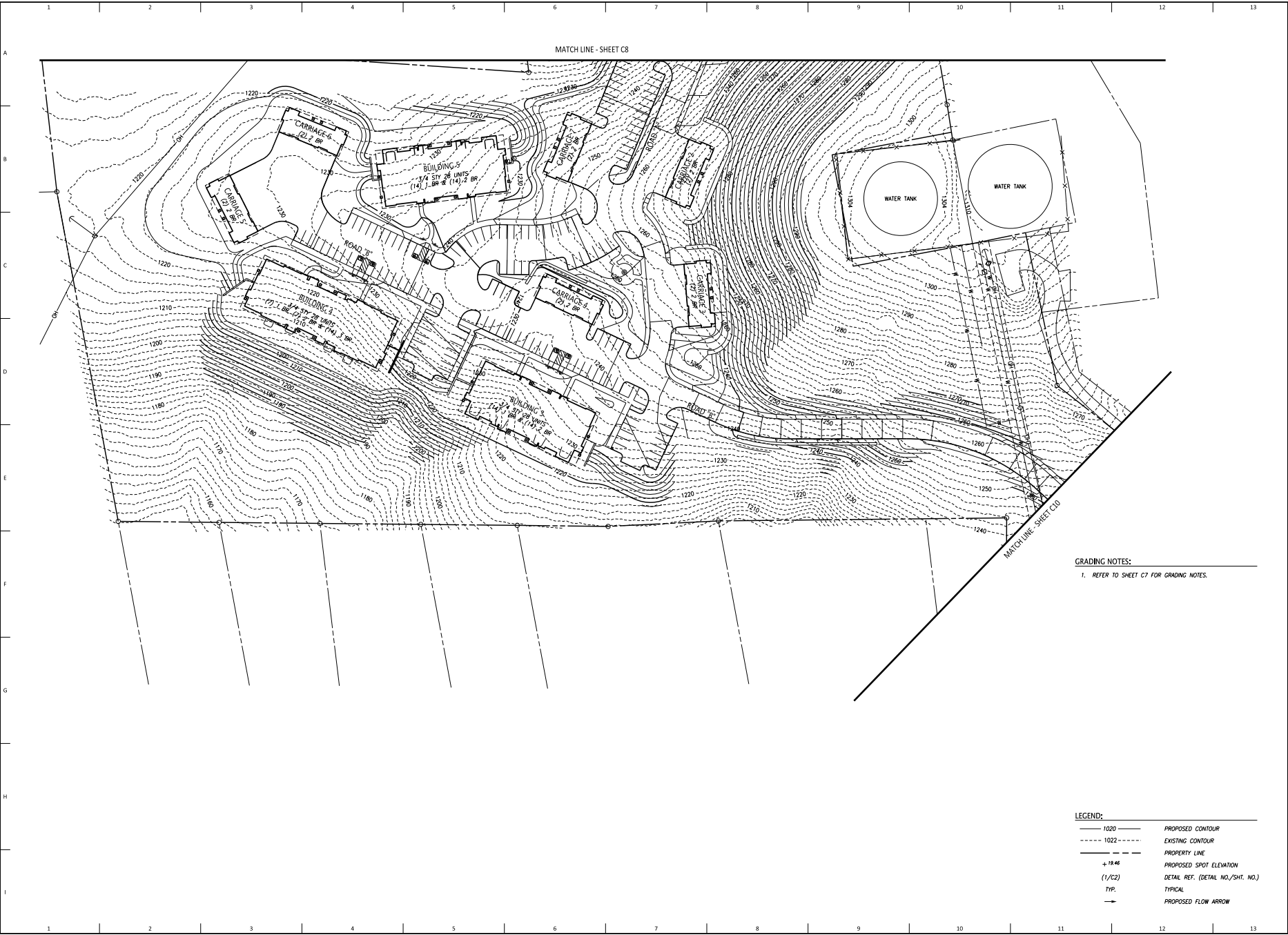
C8
 DR
 01/23/2023



LEGEND:

—— 1020	PROPOSED CONTOUR
----- 1022 -----	EXISTING CONTOUR
—————	PROPERTY LINE
+ 19.46	PROPOSED SPOT ELEVATION
(1/C2)	DETAIL REF. (DETAIL NO./SHT. NO.)
TYP.	TYPICAL
→	PROPOSED FLOW ARROW

File Name: I:\17-17-22-01\168517201\0088.dwg
 Plot Date: 2/1/2023



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NO.	DATE	REVISIONS OR TECHNICAL COMMENTS	DATE	BY

SILVER CREEK AT HARDIN VALLEY
 GLIDING HAWK LANE
 KNOX COUNTY, TN 37932

GRADING PLAN

PRELIMINARY
 NOT FOR
 CONSTRUCTION

JOB NO: 717-001
 DATE: 01/23/2023

C9
 HR
 01/23/2023

GRADING NOTES:
 1. REFER TO SHEET C7 FOR GRADING NOTES.

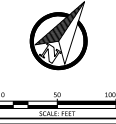
LEGEND:

— 1020 —	PROPOSED CONTOUR
- - - 1022 - - -	EXISTING CONTOUR
- - - - -	PROPERTY LINE
+ 19.46 (1/C2)	PROPOSED SPOT ELEVATION DETAIL REF. (DETAIL NO./SHT. NO.)
TYP.	TYPICAL
→	PROPOSED FLOW ARROW

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 Plot Name: 2/13/2023

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Plot Name: 2/13/2023

GRADING NOTES:
1. REFER TO SHEET C7 FOR GRADING NOTES.



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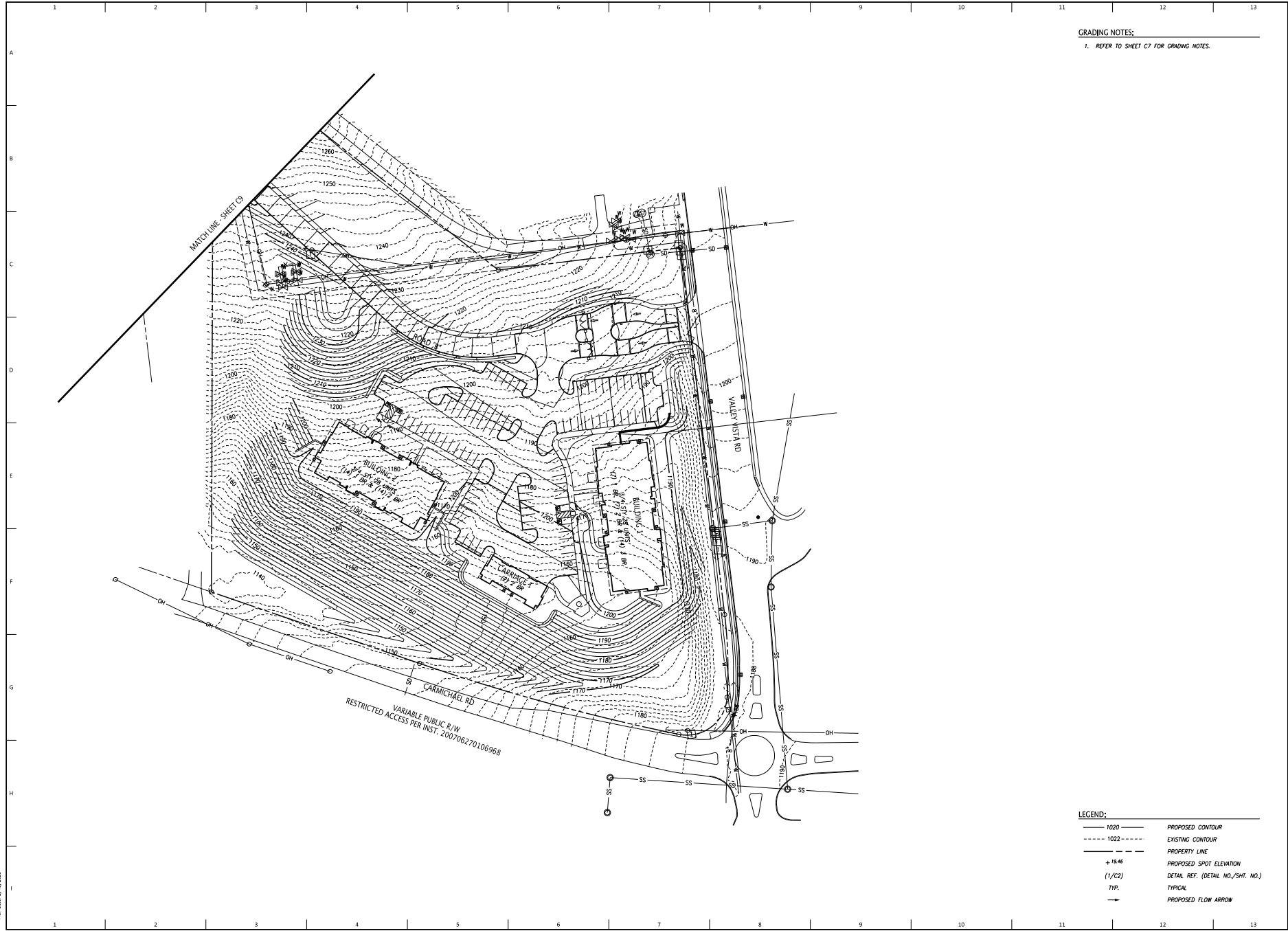
NO.	DATE	BY	DESCRIPTION

SILVER CREEK AT HARDIN VALLEY
GLIDING HAWK LANE
KNOX COUNTY, TN 37932
GRADING PLAN

PRELIMINARY NOT FOR CONSTRUCTION

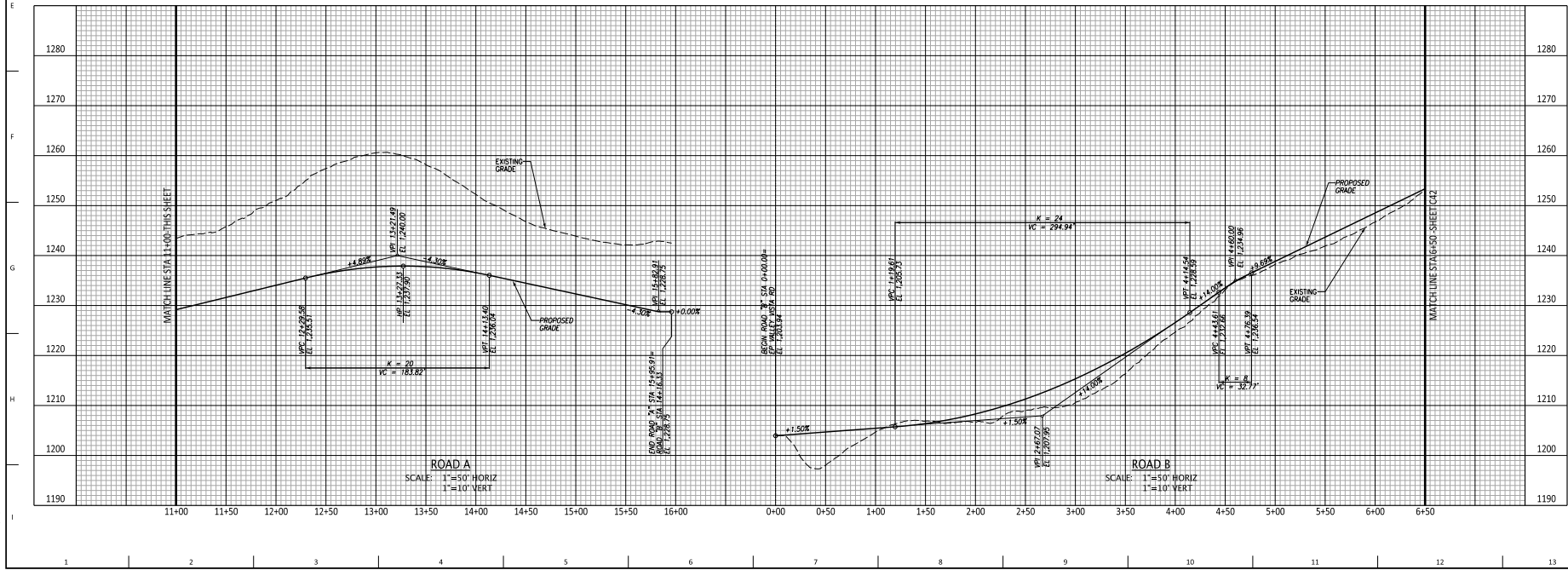
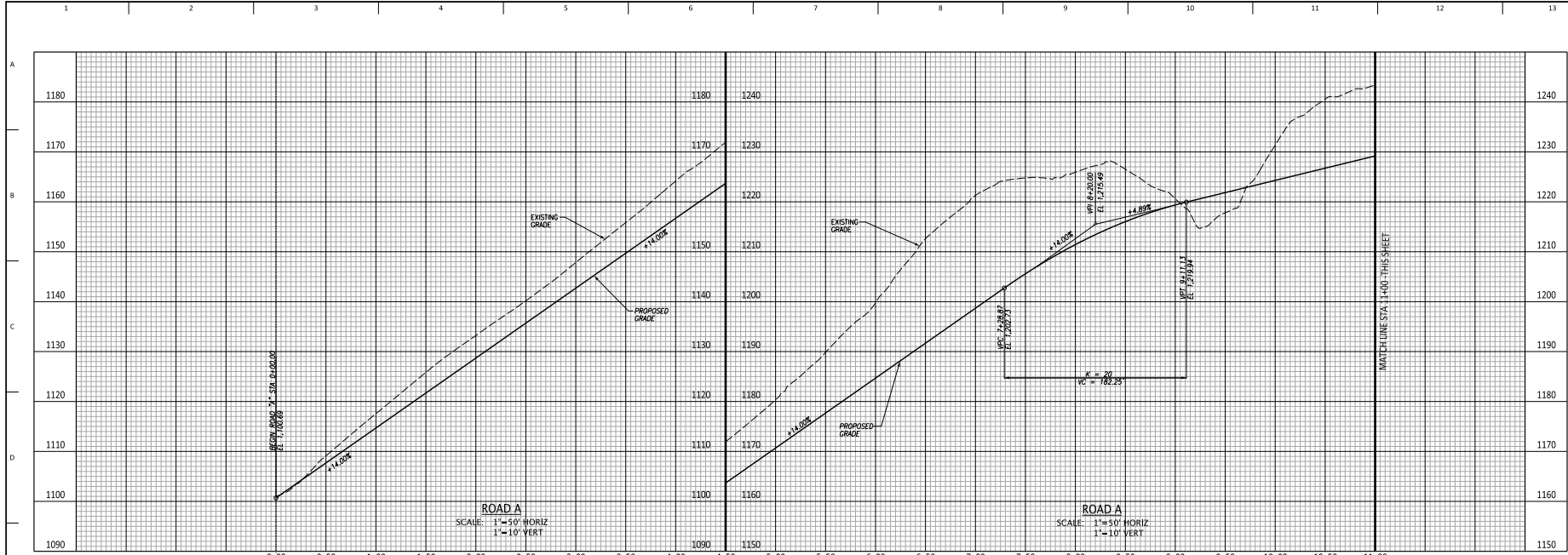
JOB NO: 1717001
DATE: 01/23/2023

C10
1/23/2023



- LEGEND:**
- 1020 — PROPOSED CONTOUR
 - - - 1022 - - - EXISTING CONTOUR
 - - - - - PROPERTY LINE
 - + 19.46 PROPOSED SPOT ELEVATION
 - (1/C2) DETAIL REF. (DETAIL NO./SHT. NO.)
 - TYP. TYPICAL
 - PROPOSED FLOW ARROW

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 Plot Date: 02/23/2023



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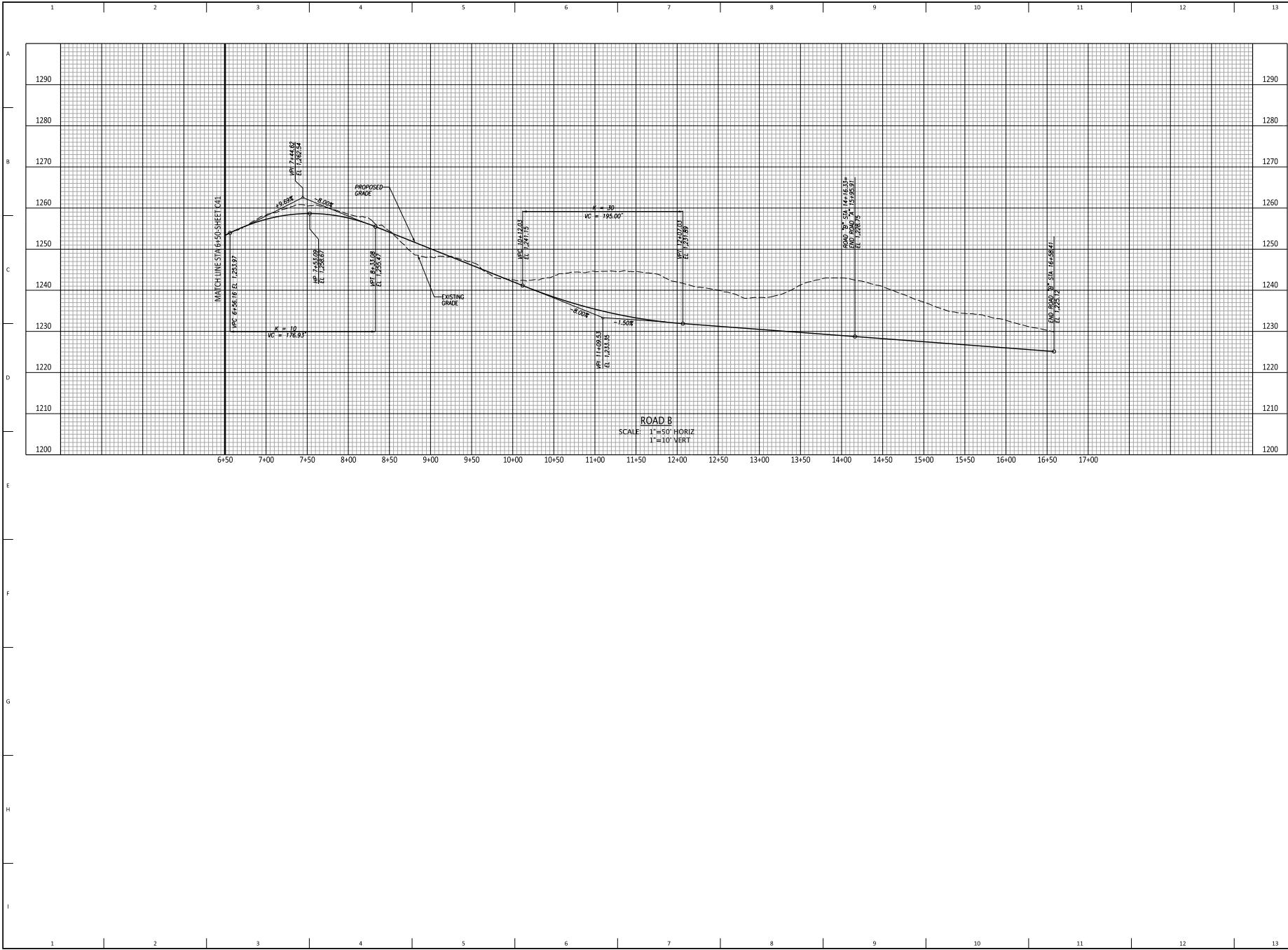
NO.	DATE	REVISION

SILVER CREEK AT HARDIN VALLEY
 GLIDING HAWK LANE
 KNOX COUNTY, TN 37932
 ROAD PROFILES

PRELIMINARY
 NOT FOR
 CONSTRUCTION

JOB NO: 1717001
 DATE: 02/23/2023

C41
 HR
 01/23/2023



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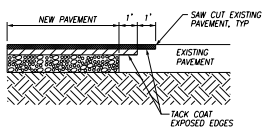
NO.	DATE	DESCRIPTION

SILVER CREEK AT HARDIN VALLEY
GLIDING HAWK LANE
KNOX COUNTY, TN 37932

ROAD PROFILES

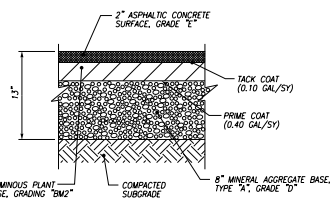
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JOB NO: 717-001
 DATE: 01/23/2023



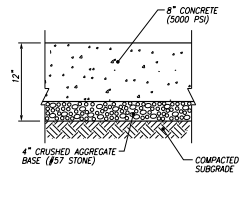
NOTES:
1. REFERENCE ASPHALT PAVEMENT SECTION DETAIL FOR THICKNESS OF PAVEMENT TO BE REPLACED.

1 TYPICAL ASPHALT SAW CUT
C46 NTS



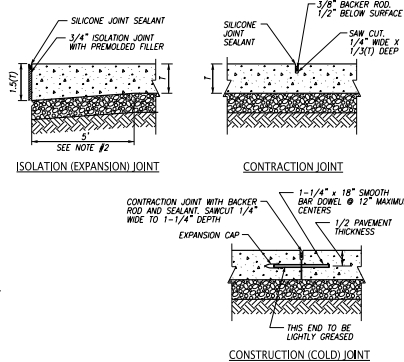
NOTES:
1. PAVEMENT HAS NOT BEEN DESIGNED FOR CONSTRUCTION TRAFFIC/ACTIVITIES. USE OF THESE SURFACES FOR CONSTRUCTION ACTIVITIES SHALL BE DONE AT THE CONTRACTOR'S CONVENIENCE AND RISK. DAMAGE TO PAVEMENT RESULTING FROM THESE ACTIVITIES SHALL BE REPAIRED IN CONFORMANCE WITH THE INITIAL PAVEMENT SPECIFICATIONS.

2 ASPHALT PAVEMENT SECTION
C46 NTS

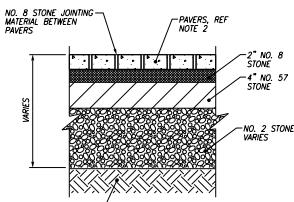


NOTES:
1. CONCRETE PAVEMENT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 5000 PSI AT 28 DAYS. CONCRETE PAVEMENT SHALL MEET THE MATERIALS, EQUIPMENT, AND CONSTRUCTION REQUIREMENTS OF TENNESSEE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
2. PROVIDE ISOLATION JOINTS WHERE CONCRETE PAVEMENT ABUTS BUILDINGS, ORANGE STRUCTURES, POLES, OTHER FIXED OBJECTS, AND WHERE ADJACENT TO OTHER PAVEMENT TYPES.
3. INCREASE PAD THICKNESS CONTINUOUSLY ALONG EDGE WHERE CONCRETE PAVEMENT IS ACCESSIBLE TO WHEEL LOADS.
4. PLACE CONTRACTION JOINTS AT 12' MAXIMUM CENTERS.
5. JOINT SEALANT TO BE HELD AT 1/4" BELOW SURFACE.

3 CONCRETE PAVEMENT SECTION
C46 NTS

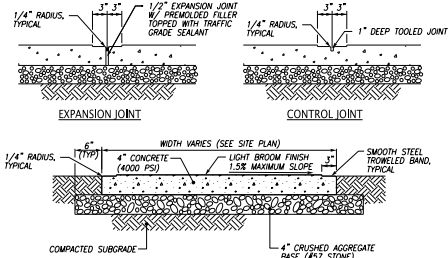


CONSTRUCTION (COLD) JOINT
CONTRACTION JOINT WITH BACKER ROD AND SEALANT: SAW CUT 1/4" WIDE X 1/3(X) DEEP. 1-1/4" x 18" SMOOTH 1/4" DIA. @ 12" MAXIMUM CENTERS. 1/2" PAVEMENT THICKNESS. EXPANSION CAP. THIS END TO BE LIGHTLY GREASED.



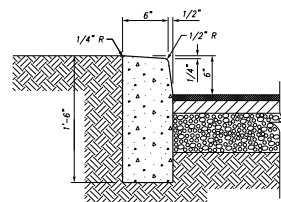
NOTES:
1. PAVEMENT HAS NOT BEEN DESIGNED FOR CONSTRUCTION TRAFFIC/ACTIVITIES. USE OF THESE SURFACES FOR CONSTRUCTION ACTIVITIES SHALL BE DONE AT THE CONTRACTOR'S CONVENIENCE AND RISK. DAMAGE TO PAVEMENT RESULTING FROM THESE ACTIVITIES SHALL BE REPAIRED IN CONFORMANCE WITH THE INITIAL PAVEMENT SPECIFICATIONS.
2. PAVERS SHALL BE AQUA BRIC, TYPE 4 BY BELGARD.
3. PAVEMENT SECTION SHALL APPLY TO ROADS AND DRIVEWAYS.
4. STONE AT PAVERS SHALL BE CLEAN.

4 PERMEABLE INTERLOCKING CONCRETE PAVEMENT SECTION
C46 NTS



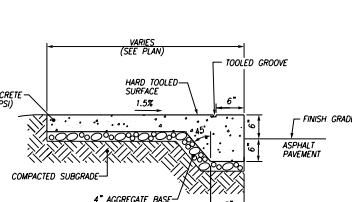
NOTES:
1. PREFORMED 1/2" EXPANSION JOINTS SHALL BE EQUALLY SPACED AT 20' MAXIMUM CENTERS AND WHERE THE SIDEWALK IS IN CONTACT WITH THE STREET RETURNS, ON BUILDING LINES, AND AT OTHER FIXED OBJECTS, EXPANSION JOINT AT BUILDINGS AND RETAINING WALLS SHALL BE INCREASED TO 1" WIDTH.
2. EQUALLY SPACE CONTRACTION JOINTS AT 5' MAXIMUM CENTERS BETWEEN EXPANSION JOINTS.
3. PROTECT AND CURE CONCRETE WITH AN APPROVED CURING COMPOUND (KURE-N-SEAL BY SONNEMORN OR EQUAL), APPLY ACCORDING TO THE MANUFACTURER'S SPECIFICATION.

5 CONCRETE SIDEWALK
C46 NTS



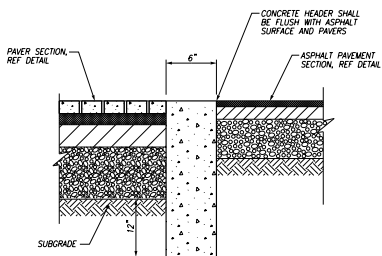
NOTES:
1. PREFORMED 1/2" EXPANSION JOINTS SHALL BE EQUALLY SPACED AT 30' MAXIMUM CENTERS, WITH 1/4" CONTRACTION JOINTS EQUALLY SPACED AT 10' MAXIMUM CENTERS BETWEEN EXPANSION JOINTS.
2. EXACT CURB DIMENSIONS MAY BE ALTERED SLIGHTLY TO FIT STANDARD EXTRUDED CURB MACHINES, BUT SUCH VARIANCES MUST BE APPROVED BY THE ENGINEER.
3. IMMEDIATELY AFTER THE CONCRETE HAS SUFFICIENTLY SET, BACKFILL BEHIND CURBS TO PREVENT PONDING OF SURFACE WATER.

6 POST CURB
C46 NTS



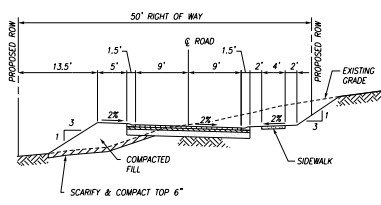
NOTES:
1. PREFORMED 1/2" EXPANSION JOINTS SHALL BE EQUALLY SPACED AT 30' MAXIMUM CENTERS, WITH 1/4" CONTRACTION JOINTS EQUALLY SPACED AT 10' MAXIMUM CENTERS BETWEEN EXPANSION JOINTS.
2. EXACT CURB DIMENSIONS MAY BE ALTERED SLIGHTLY TO FIT STANDARD EXTRUDED CURB MACHINES, BUT SUCH VARIANCES MUST BE APPROVED BY THE ENGINEER.
3. MAXIMUM SLOPE FOR RAMPS SHALL BE 12:1 IN ACCORDANCE WITH ADA REQUIREMENTS.

7 INTEGRAL CURB & SIDEWALK
C46 NTS

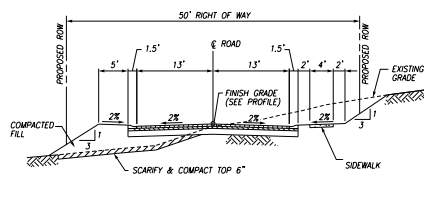


NOTES:
1. PREFORMED 1/2" EXPANSION JOINTS SHALL BE EQUALLY SPACED AT 30' MAXIMUM CENTERS, WITH 1/4" CONTRACTION JOINTS EQUALLY SPACED AT 10' MAXIMUM CENTERS BETWEEN EXPANSION JOINTS.

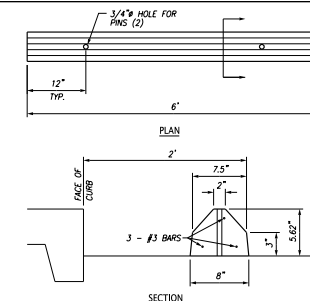
8 CONCRETE HEADER
C46 NTS



9 TYPICAL 24' ROAD SECTION
C46 NTS



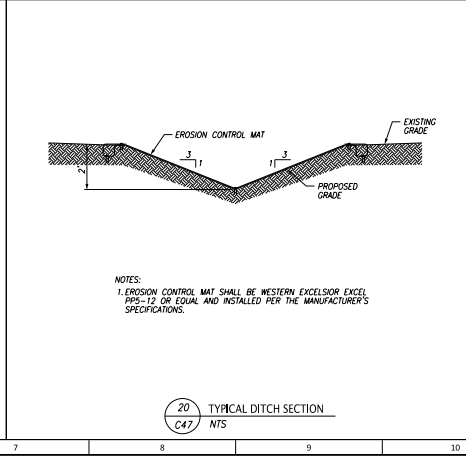
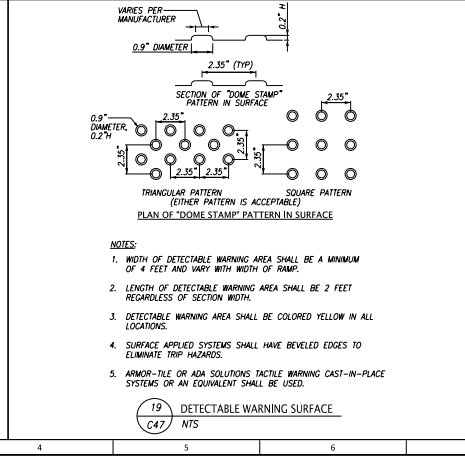
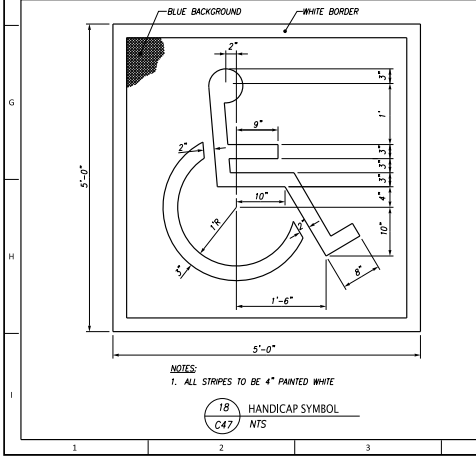
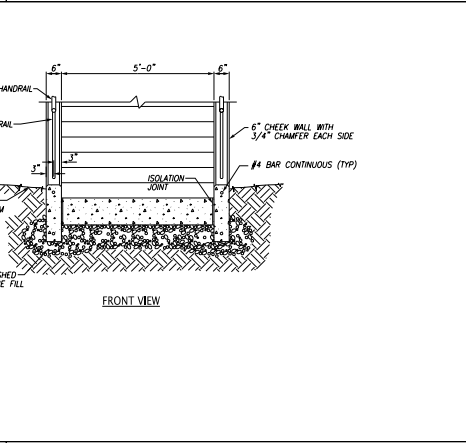
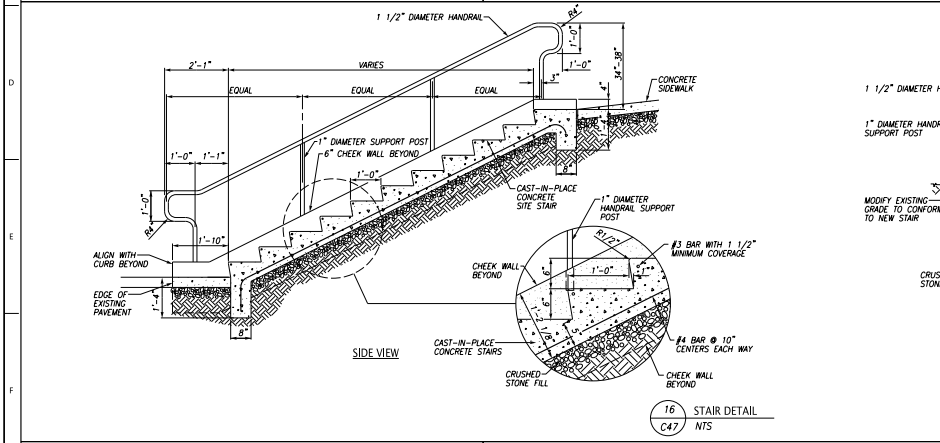
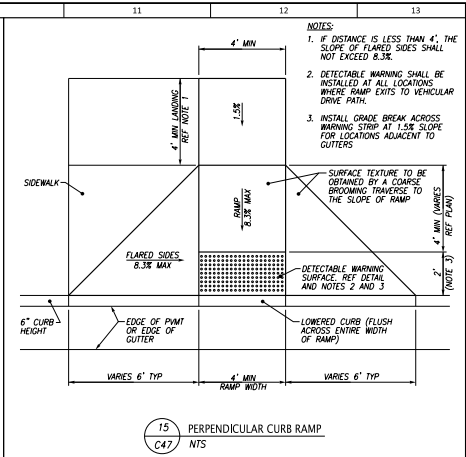
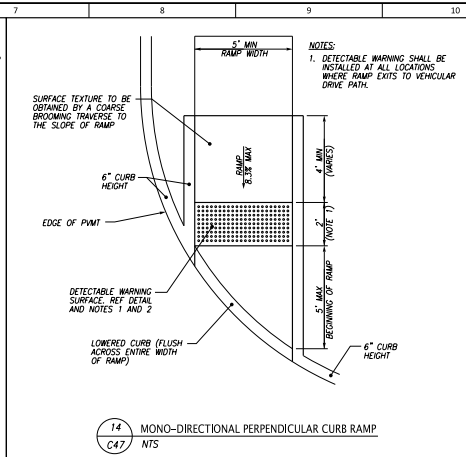
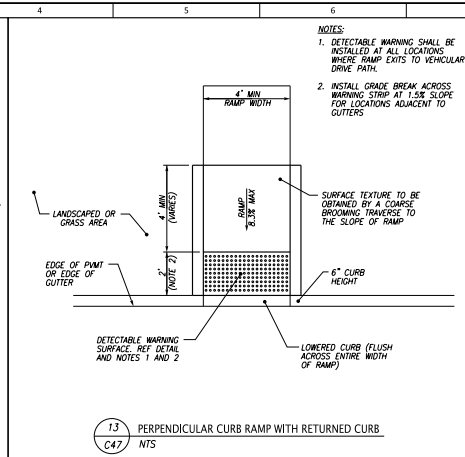
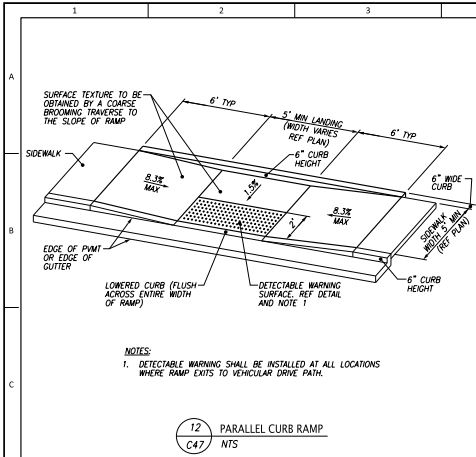
10 TYPICAL 26' ROAD SECTION
C46 NTS



NOTES:
1. WHEEL STOPS SHALL BE 4500 PSI CONCRETE @ 28 DAYS.
2. WHEEL STOPS SHALL BE 6' LONG AND 4225 POUNDS.
3. INSTALL 5/8" x 12" LONG REBAR PINS TO ANCHOR WHEEL STOPS.

11 WHEEL STOP
C46 NTS

NO.	DATE	DESCRIPTION



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SILVER CREEK AT HARDIN VALLEY
GLIDING HAWK LANE
KNOX COUNTY, TN 37932

PRELIMINARY
NOT FOR
CONSTRUCTION

JOB NO: 717.001
DATE: 01/23/2023

C47
IFR
01/23/2023

**SILVER CREEK
AT HARDIN VALLEY**

TTEDA SITE PLAN
Gliding Hawk Lane
Knox County, TN 37932



**BROOKSTONE
PARTNERS**

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Project: Silver Creek at Hardin Valley

Project #: 241635
Drawn By: CH, EE, AY CK'd By: CB
Date: 2023.01.23 Scale: As Noted

Rev.	Description	Date
TTEDA Submittal		2023.01.23
TTEDA Resubmittal		2023.02.13

PLANTING PLAN

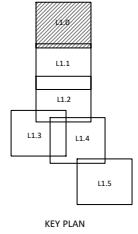
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PARKING SUMMARY:

Total Parking Area:
3.87 acres = 168,577 SF

Required Planting Coverage (5%):
168,577 x 0.05 = 8,429 SF

Proposed Planting Coverage:
25,643 SF



PLANTING LEGEND

	DECIDUOUS / SHADE TREE	(1)2 (2)0
	ORNAMENTAL / FLOWERING TREE	(1)2 (2)0
	EVERGREEN TREE	(1)2 (2)0
	SHRUBS; SEE PLANT SCHEDULE FOR SPECIES IDENTIFICATION	(1)3 (2)1
	GROUNDCOVER / PERENNIALS; SEE PLANT SCHEDULE FOR SPECIES IDENTIFICATION	(5) (2)7
	LAWN SOD	(7) (2)1
	FLAGSTONE	(6) (2)1
	METAL BED EDGE	(9) (2)1
	PLANT SPECIES ID / QUANTITY	

PLANTING NOTES:

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- ALL NEW PLANTS SHALL BE BALLED AND BURLAPPED UNLESS OTHERWISE NOTED ON THE PLANT SCHEDULE.
- THE GENERAL CONTRACTOR SHALL SUPPLY ALL NEW PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWINGS.
- ALL NEW PLANTS SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- THE GENERAL CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITY LINES PRIOR TO PLANTING AND REPORT ANY CONFLICTS TO THE OWNER'S REPRESENTATIVE.
- TREES SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE PLUS PLANTING SOIL AS THEY BORE TO PREVIOUS GRADE. SEE DECIDUOUS TREE PLANTING DETAILS.
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MATCHLINE SHEET L1.1



SCALE: 1" = 30'-0"
0 15' 30' 60' 90'



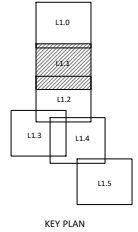
- ORNAMENTAL TREE PLANTING, TYP. (1)2
- DECIDUOUS TREE PLANTING, TYP. (2)0
- TREE PLANTING ON SLOPE, TYP. (1)0
- EVERGREEN TREE PLANTING, TYP. (1)0



Rev.	Description	Date
TTEDA Submittal		2023.01.23
TTEDA Resubmittal		2023.02.13

PLANTING PLAN

L1.1

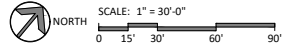


PLANTING LEGEND

	DECIDUOUS / SHADE TREE	(12) (12.0)
	ORNAMENTAL / FLOWERING TREE	(12) (12.0)
	EVERGREEN TREE	(12) (12.0)
	SHRUBS; SEE PLANT SCHEDULE FOR SPECIES IDENTIFICATION	(213) (12.1)
	GROUNDCOVER / PERENNIALS; SEE PLANT SCHEDULE FOR SPECIES IDENTIFICATION	(5) (12.1)
	LAWN SOD	(7) (12.1)
	FLAGSTONE	(6) (12.1)
	METAL BED EDGE	(9) (12.1)
	PLANT SPECIES ID / QUANTITY	

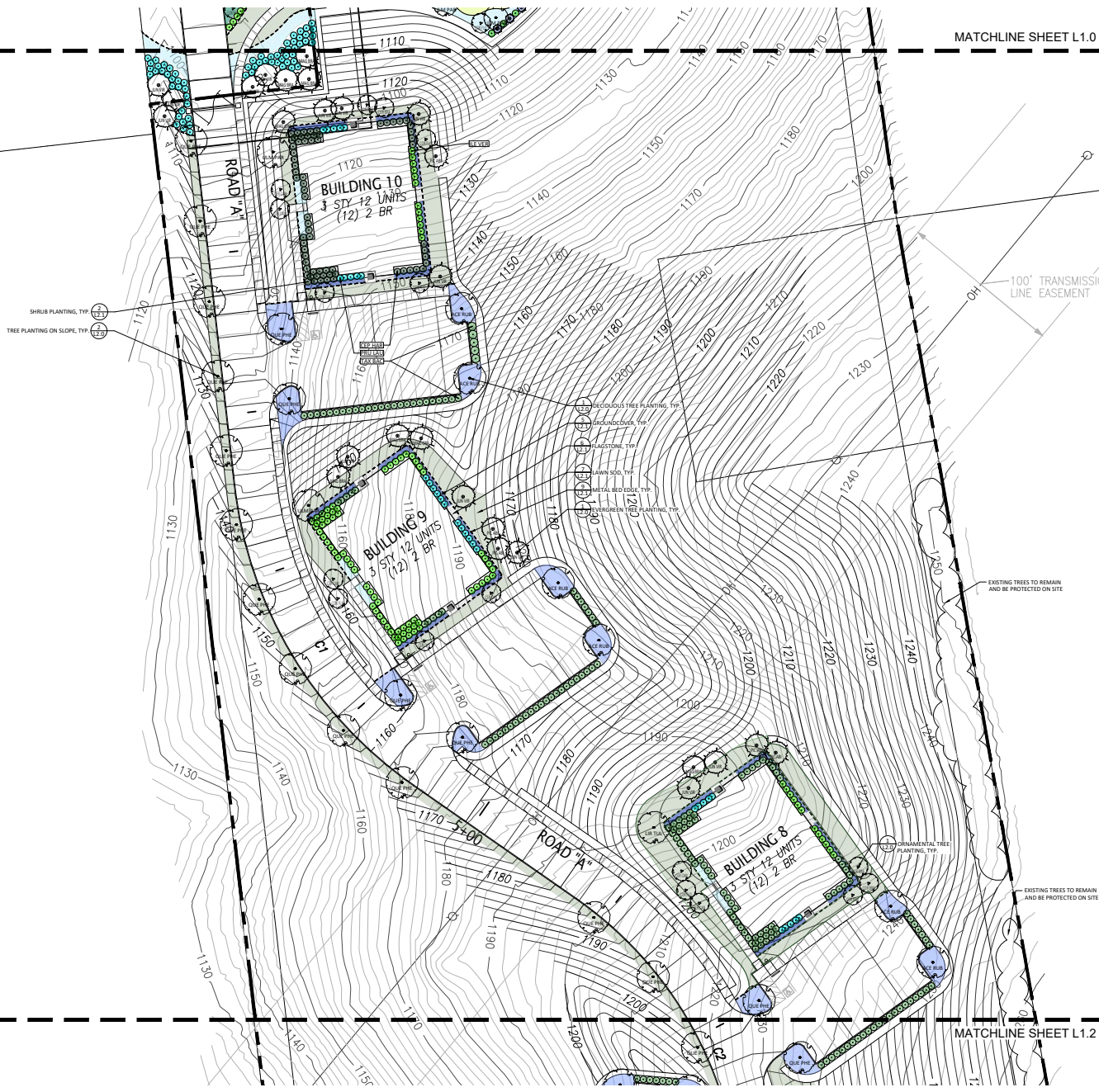
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MATCHLINE SHEET L1.0

MATCHLINE SHEET L1.2



SHRUB PLANTING, TYP. (12)
TREE PLANTING ON SLOPE, TYP. (12)

100' TRANSMISSION LINE EASEMENT

EXISTING TREES TO REMAIN AND BE PROTECTED ON SITE

EXISTING TREES TO REMAIN AND BE PROTECTED ON SITE

Client:
THE CORNERSTONE GROUP
BROOKSTONE PARTNERS
2601 South Bayshore Drive
Suite 725
Coconut Grove, FL 33133
MIKE BRINEGAR
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407.701.0517



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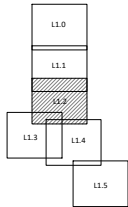
Project: Silver Creek at Hardin Valley

Project #: 141835
Drawn By: CH, EE, AY CK/D By: CB
Date: 2023.01.23 Scale: As Noted

Rev.	Description	Date
	TTEDA Submittal	2023.01.23
	TTEDA Resubmittal	2023.01.23

PLANTING PLAN

L1.2

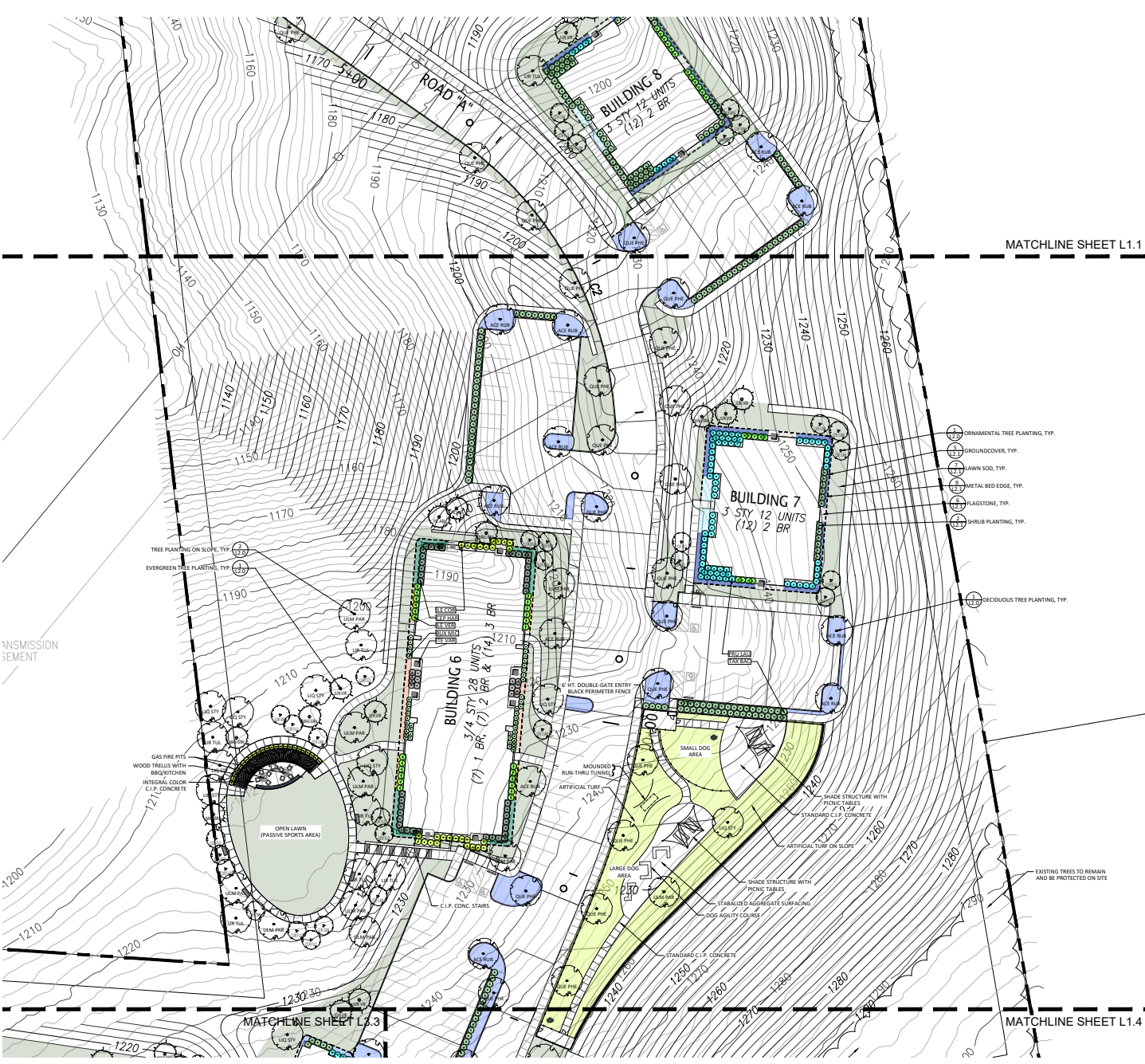
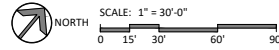


PLANTING LEGEND

	DECIDUOUS / SHADE TREE	
	ORNAMENTAL / FLOWERING TREE	
	EVERGREEN TREE	
	SHRUBS; SEE PLANT SCHEDULE FOR SPECIES IDENTIFICATION	
	GROUNDCOVER / PERENNIALS; SEE PLANT SCHEDULE FOR SPECIES IDENTIFICATION	
	LAWN SOD	
	FLAGSTONE	
	METAL BED EDGE	
	PLANT SPECIES ID / QUANTITY	

PLANTING NOTES:

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TRANSMISSION
SEMENT

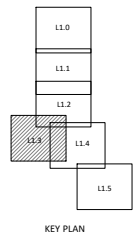
OPEN LAWN
(PASSIVE SPORTS AREA)

EXISTING TREES TO REMAIN
AND BE PROTECTED ON SITE



MATCHLINE SHEET L1.2

MATCHLINE SHEET L1.4

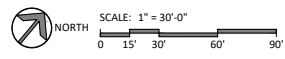


PLANTING LEGEND

	DECIDUOUS / SHADE TREE	(12) (12.0)
	ORNAMENTAL / FLOWERING TREE	(12) (12.0)
	EVERGREEN TREE	(12) (12.0)
	SHRUBS; SEE PLANT SCHEDULE FOR SPECIES IDENTIFICATION	(21) (12.1)
	GROUNDCOVER / PERENNIALS; SEE PLANT SCHEDULE FOR SPECIES IDENTIFICATION	(5) (12.1)
	LAWN SOD	(7) (12.1)
	FLAGSTONE	(6) (12.1)
	METAL BED EDGE	(9) (12.1)
	PLANT SPECIES ID / QUANTITY	

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SILVER CREEK AT HARDIN VALLEY
TTCA SITE PLAN
Gliding Hawk Lane
Knox County, TN 37932

Client:
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Project: Silver Creek at Hardin Valley
Project #: 241635
Drawn By: CH, EE, AY CK'd By: CB
Date: 2023.01.23 Scale: As Noted

Rev.	Description:	Date:
	TTCA Submittal	2023.01.23
	TTCA Resubmittal	2023.01.13

PLANTING PLAN

L1.3

Client:
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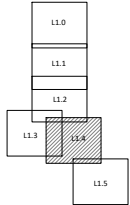
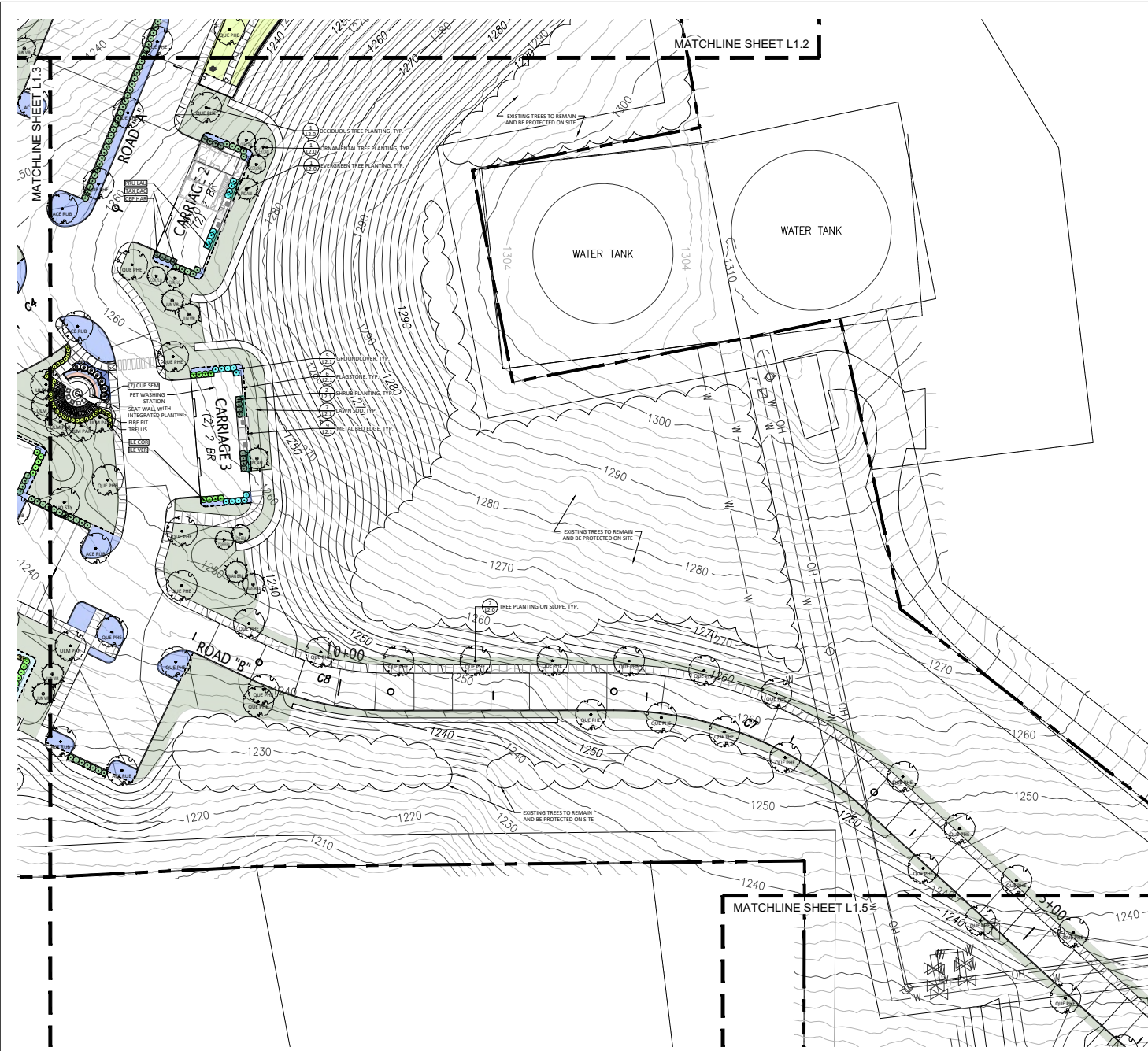


Project: Silver Creek at Hardin Valley
Project #: 141635
Drawn By: CH, EE, AY CK/D By: CB
Date: 2023.01.23 Scale: As Noted

Rev.	Description:	Date:
	TTCA Submittal	2023.01.23
	TTCA Resubmittal	2023.01.13

PLANTING PLAN

L1.4



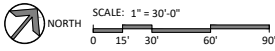
KEY PLAN

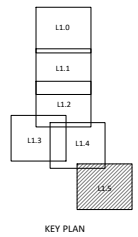
PLANTING LEGEND

	DECIDUOUS / SHADE TREE	(1)2 (12.0)
	ORNAMENTAL / FLOWERING TREE	(1)2 (12.0)
	EVERGREEN TREE	(1)2 (12.0)
	SHRUBS; SEE PLANT SCHEDULE FOR SPECIES IDENTIFICATION	(1)3 (12.1)
	GROUNDCOVER / PERENNIALS; SEE PLANT SCHEDULE FOR SPECIES IDENTIFICATION	(5) (12.1)
	LAWN SOD	(7) (12.1)
	FLAGSTONE	(6) (12.1)
	METAL BED EDGE	(9) (12.1)
	PLANT SPECIES ID / QUANTITY	

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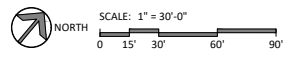




PLANTING LEGEND

	DECIDUOUS / SHADE TREE	(12) (12.0)
	ORNAMENTAL / FLOWERING TREE	(12) (12.0)
	EVERGREEN TREE	(12) (12.0)
	SHRUBS; SEE PLANT SCHEDULE FOR SPECIES IDENTIFICATION	(13) (12.1)
	GROUNDCOVER / PERENNIALS; SEE PLANT SCHEDULE FOR SPECIES IDENTIFICATION	(5) (12.1)
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Project: Silver Creek at Hardin Valley
Project #: 141635
Drawn By: CJS, EY, AY CK'd By: CB
Date: 2023.01.23 Scale: As Noted

Rev.	Description	Date
	TTCA Submittal	2023.01.23
	TTCA Resubmittal	2023.02.13

PLANTING PLAN

L1.5

PLANT SCHEDULE

SYMB.	QTY.	ABBREV.	SCIENTIFIC NAME	COMMON NAME	MIN. SIZE	SPACING	NOTES
LARGE DECIDUOUS SHADE TREES							
80 EA	ACE RUB	<i>Acer rubrum</i>	'October Glory'	October Glory Red Maple	2" CAL.		B&B; CENTRAL LEADER; FULL; WELL BRANCHED
16 EA	LIR TUL	<i>Liriodendron tulipifera</i>		Tulip Poplar	2" CAL.		
27 EA	LIQ STY	<i>Liquidambar styraciflua</i>	'Rotundiloba'	Rotundiloba Sweetgum	2" CAL.		
72 EA	QUE PHE	<i>Quercus phellos</i>	'Hightower'	Hightower Willow Oak	2" CAL.		
7 EA	ULM AME	<i>Ulmus americana</i>	'Princeton'	Princeton American Elm	2" CAL.		

202 TOTAL

MEDIUM DECIDUOUS TREES

46 EA	ULM PAR	<i>Ulmus parvifolia</i>	'Allee'	Allee Lacebark Elm	2" CAL.		B&B; CENTRAL LEADER; FULL; WELL BRANCHED
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46 TOTAL

MEDIUM EVERGREEN TREES

25 EA	CUP SEM	<i>Cupressus sempervirens</i>		Italian Cypress	8" HT.	SEE PLANTING PLANS	B&B; FULL TO GROUND
65 EA	JUN VIR	<i>Juniperus virginiana</i>		Eastern Red Cedar	8" HT.		
22 EA	MAG BRA	<i>Magnolia grandiflora</i>	'Bracken's Brown'	Bracken's Brown Beauty Magnolia	8" HT.		
21 EA	MAG GRA	<i>Magnolia grandiflora</i>		Southern Magnolia	8" HT.		

133 TOTAL

SMALL EVERGREEN TREES

19 EA	PIC ABI	<i>Picea abies</i>	'Cupressina'	Columnar Norway Spruce	8" HT.	SEE PLANTING PLANS	B&B; FULL TO GROUND
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19 TOTAL

SMALL ORNAMENTAL TREES

37 EA	COR BRA	<i>Cornus florida</i>	'Cherokee Brave'	Cherokee Brave Dogwood	10" MIN. HT.	SEE PLANTING PLANS	B&B; MULTI-STEM
70 EA	COR FLO	<i>Cornus florida</i>	'Cherokee Princess'	Cherokee Princess Dogwood	10" MIN. HT.		
47 EA	CER CAN	<i>Cercis canadensis</i>	'Forest Pansy'	Forest Pansy Redbud	10" MIN. HT.		

154 TOTAL

EVERGREEN SHRUBS

126 EA	BUX MIC	<i>Buxus microphylla</i> var. <i>japonica</i>	'Winter Gem'	Winter Gem Boxwood	#5 CONT.	3' O.C.	24" HT. x 24" SPD. MIN.
255 EA	CEP HAR	<i>Cephalotaxus harringtonia</i>	'Duke Gardens'	Duke Gardens Yew	#5 CONT.	4' O.C.	18" HT. x 24" SPD. MIN.
239 EA	ILE COR	<i>Ilex cornuta</i>	'Carissa'	Carissa Holly	#5 CONT.	3' O.C.	18" HT. x 18" SPD. MIN.
337 EA	ILE VER	<i>Ilex verticillata</i>	'Nana'	Nana Winterberry Holly	#5 CONT.	4' O.C.	18" HT. x 18" SPD. MIN.
176 EA	ILE VOM	<i>Ilex vomitoria</i>	'Stoke's Dwarf'	Stoke's Dwarf Yaupon Holly	#5 CONT.	3' O.C.	18" HT. x 18" SPD. MIN.
351 EA	PRU LAU	<i>Prunus laurocerasus</i>	'Otto Luyken'	Otto Luyken Laurel	#5 CONT.	4' O.C.	18" HT. x 24" SPD. MIN.
603 EA	TAX BAC	<i>Taxus baccata</i>	'Repandens'	Repandens English Yew	#5 CONT.	4' O.C.	18" HT. x 24" SPD. MIN.

2,087 TOTAL

DECIDUOUS SHRUBS

46 EA	FOT GAR	<i>Fothergilla gardenii</i>	'Mt. Airy'	Mt. Airy Fothergilla	#5 CONT.	3' O.C.	18" HT. x 12" SPD. MIN.
36 EA	ITE VIR	<i>Itea virginica</i>	'Henry's Garnette'	Henry's Garnette Sweetspire	#5 CONT.	3' O.C.	24" HT. x 18" SPD. MIN.
45 EA	ROS RAD	<i>Rosa radrazz</i>	'Knockout'	Knockout Rose	#5 CONT.	3' O.C.	18" HT. x 18" SPD. MIN.

127 TOTAL

GROUNDCOVER / PERENNIALS / BULBS

750 EA	HYP CAL	<i>Hypericum calycinum</i>	'NCHC1'	Golden Rule Saint John's Wort	1 GAL.	12" O.C.	6" HT. MIN.
6177 EA	ISO FLU	<i>Isotoma fluviatilis</i>		Blue Star Creeper	1 GAL.	12" O.C.	6-12" SPD.
1111 EA	JUN HOR	<i>Juniperus horizontalis</i>	'Blue Chip'	Blue Chip Juniper	3 GAL.	24" O.C.	18" SPD.
22178 EA	LIR MUS	<i>Liriope muscari</i>	'Big Blue'	Big Blue Liriope	1 GAL.	12" O.C.	6" HT. MIN.
2264 EA	OPH JAP	<i>Ophiopogon japonicus</i>	'Nanus'	Dwarf Mondo Grass	1 GAL.	12" O.C.	6" HT. MIN.
3267 EA	PAC TER	<i>Pachysandra terminalis</i>	'Green Sheen'	Green Sheen Pachysandra	1 GAL.	18" O.C.	6" HT. MIN.

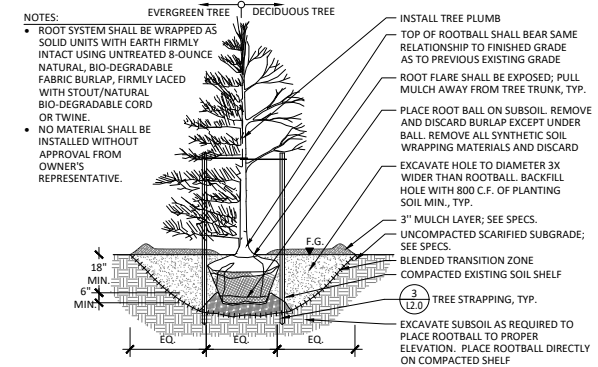
35,747 TOTAL

MEADOW / LAWN SEED

12783 SF	ART TRF	ARTIFICIAL TURF					
187,039 SF	TRF MIX	TURF TYPE FESCUE SEED					SEEDING RATE = 350 PLS LBS/ACRE

MISC ACCESSORIES

7795 LF		BLACK METAL BED EDGING; SEE PLANS, DETAILS, AND SPECIFICATIONS					
1850 SF		FLAGSTONE					

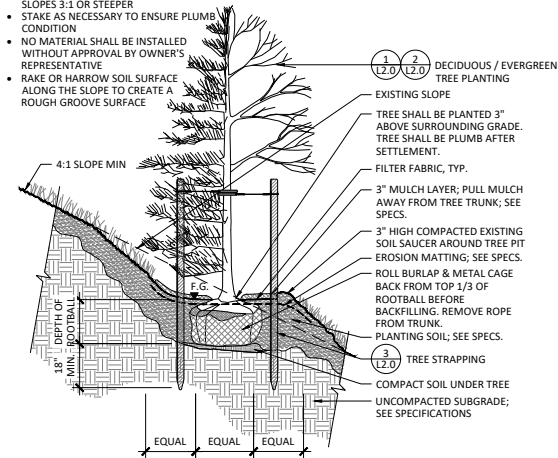


1 TREE PLANTING

N.T.S.

NOTES:

- ALL TREES SHALL BE FLOODED TWICE DURING FIRST 24-HOURS AFTER PLANTING
- EROSION CONTROL MATTING ON ALL SLOPES 3:1 OR STEEPER
- STAKE AS NECESSARY TO ENSURE PLUMB CONDITION
- NO MATERIAL SHALL BE INSTALLED WITHOUT APPROVAL BY OWNER'S REPRESENTATIVE
- RAKE OR HARROW SOIL SURFACE ALONG THE SLOPE TO CREATE A ROUGH GROOVE SURFACE



2 TREE PLANTING ON SLOPE

N.T.S.

NOTES:

- TREE STRAP SHALL BE FASTENED TO STAKES IN A MANNER WHICH PERMITS TREE MOVEMENT AND SUPPORTS THE TREE.
- STRAP SHALL BE GREEN, 3/4" WIDE POLYPROPYLENE MATERIAL, 900 LBS. BREAK STRENGTH.



3 TREE STRAPPING

N.T.S.

SILVER CREEK AT HARDIN VALLEY

TTCA SITE PLAN
Gilding Hawk Lane
Knox County, TN 37932

Client:



BROOKSTONE PARTNERS

2601 South Bayshore Drive
Suite 725
Coconut Grove, FL 33133

MIKE BRINEGAR
mike.brinegar@cornerstonegrp.com
407.701.0517



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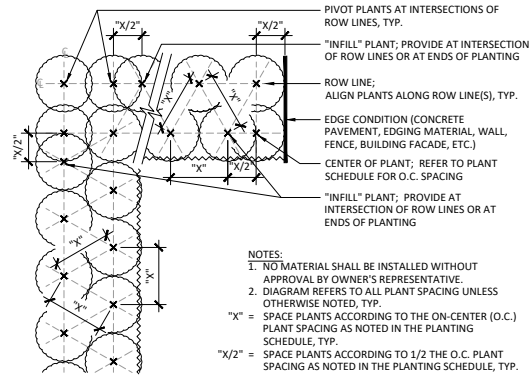
Project: Silver Creek at Hardin Valley

Project #: 141635
Drawn By: CH, EE, AY Ck'd By: CB
Date: 2023.01.23 Scale: As Noted

Rev.	Description:	Date:
TTCA Submittal		2023.01.23
TTCA Resubmittal		2023.02.13

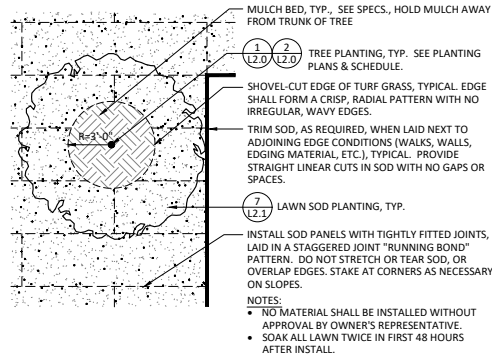
PLANTING DETAILS

L2.0



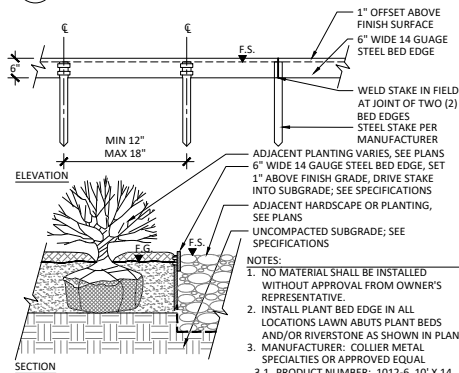
4 SPACING DIAGRAM - DOUBLE ROW
N.T.S.

- NOTES:**
- 1. NO MATERIAL SHALL BE INSTALLED WITHOUT APPROVAL BY OWNER'S REPRESENTATIVE.
 - 2. DIAGRAM REFERS TO ALL PLANT SPACING UNLESS OTHERWISE NOTED, TYP.
- "X" = SPACE PLANTS ACCORDING TO THE ON-CENTER (O.C.) PLANT SPACING AS NOTED IN THE PLANTING SCHEDULE, TYP.
- "X/2" = SPACE PLANTS ACCORDING TO 1/2 THE O.C. PLANT SPACING AS NOTED IN THE PLANTING SCHEDULE, TYP.



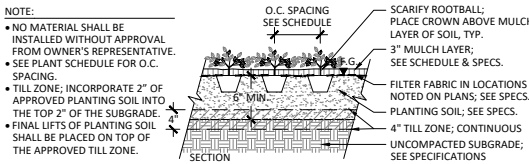
8 LAWN SOD LAYOUT
N.T.S.

- NOTES:**
- NO MATERIAL SHALL BE INSTALLED WITHOUT APPROVAL BY OWNER'S REPRESENTATIVE.
 - SOAK ALL LAWN TWICE IN FIRST 48 HOURS AFTER INSTALL.



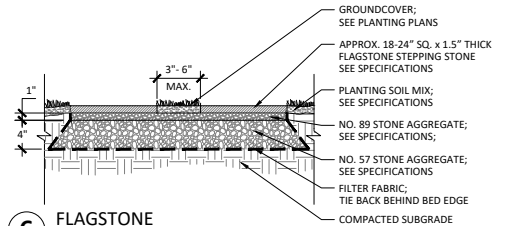
9 BED EDGE - METAL
N.T.S.

- NOTES:**
- NO MATERIAL SHALL BE INSTALLED WITHOUT APPROVAL FROM OWNER'S REPRESENTATIVE.
 - INSTALL PLANT BED EDGE IN ALL LOCATIONS LAWN ABUTS PLANT BEDS AND/OR RIVERSTONE AS SHOWN IN PLANS
 - MANUFACTURER: COLLIER METAL SPECIALTIES OR APPROVED EQUAL
 - PRODUCT NUMBER: 1012-6, 10' X 14 GA COMMERCIAL EDGING
 - FINISH: RAW STEEL



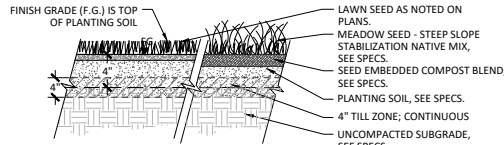
5 GROUNDCOVER / PERENNIAL PLANTING
N.T.S.

- NOTE:**
- NO MATERIAL SHALL BE INSTALLED WITHOUT APPROVAL FROM OWNER'S REPRESENTATIVE.
 - SEE PLANT SCHEDULE FOR O.C. SPACING.
 - TILL ZONE; INCORPORATE 2" OF APPROVED PLANTING SOIL INTO THE TOP 2" OF THE SUBGRADE.
 - FINAL LIFTS OF PLANTING SOIL SHALL BE PLACED ON TOP OF THE APPROVED TILL ZONE.

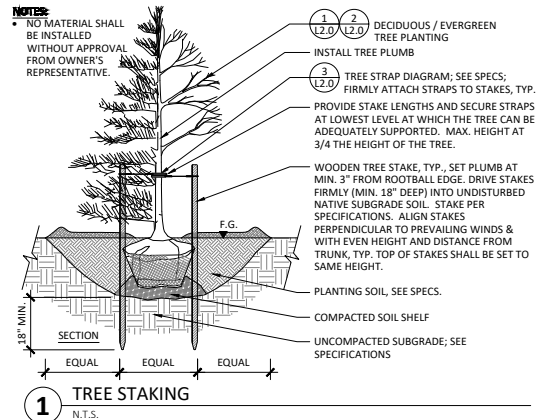


6 FLAGSTONE
N.T.S.

- NOTES:**
- NO MATERIAL SHALL BE INSTALLED WITHOUT APPROVAL FROM OWNER'S REPRESENTATIVE.
 - SOAK ALL LAWN TWICE IN FIRST 24-HOURS AFTER INSTALL.
 - TILL ZONE; INCORPORATE 2" OF APPROVED PLANTING SOIL INTO THE TOP 2" OF THE SUBGRADE. FINAL LIFTS OF PLANTING SOIL SHALL BE PLACED ON TOP OF THE APPROVED TILL ZONE.

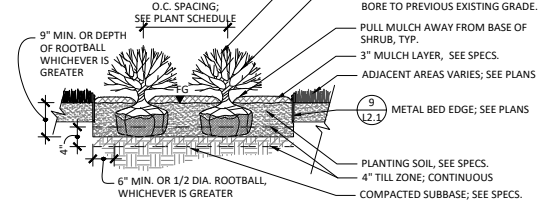


7 LAWN SOD / MEADOW SEED PLANTING
N.T.S.



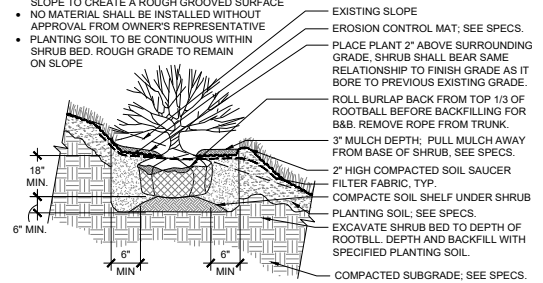
1 TREE STAKING
N.T.S.

- NOTES:**
- NO MATERIAL SHALL BE INSTALLED WITHOUT APPROVAL FROM OWNER'S REPRESENTATIVE.
 - ALL SHRUBS SHALL BE FLOODED TWICE DURING FIRST 24-HOURS AFTER PLANTING.
 - PLANTING SOIL SHALL BE CONTINUOUS WITHIN EACH SHRUB BED. ROUGH GRADE TO REMAIN ON SLOPE. FIRMED UP SOIL.
 - TILL ZONE; INCORPORATE 2" OF APPROVED PLANTING SOIL INTO THE TOP 2" OF THE SUBGRADE. FINAL LIFTS OF PLANTING SOIL SHALL BE PLACED ON TOP OF THE APPROVED TILL ZONE.



2 SHRUB PLANTING
N.T.S.

- NOTES:**
- ALL SHRUBS SHALL BE FLOODED TWICE DURING FIRST 24-HOURS AFTER PLANTING
 - EROSION CONTROL MATTING ON ALL SLOPES 3:1 OR STEEPER
 - RAKE OR HARROW SOIL SURFACE ALONG THE SLOPE TO CREATE A ROUGH GROOVED SURFACE
 - NO MATERIAL SHALL BE INSTALLED WITHOUT APPROVAL FROM OWNER'S REPRESENTATIVE
 - PLANTING SOIL TO BE CONTINUOUS WITHIN SHRUB BED. ROUGH GRADE TO REMAIN ON SLOPE



3 SHRUB PLANTING ON SLOPE
N.T.S.

- NOTES:**
- ROLL BURLAP BACK FROM TOP 1/3 OF ROOTBALL BEFORE BACKFILLING FOR B&B. REMOVE ROPE FROM TRUNK.
 - 3" MULCH DEPTH; PULL MULCH AWAY FROM BASE OF SHRUB, SEE SPECS.
 - 2" HIGH COMPACTED SOIL SAUCER
 - FILTER FABRIC, TYP.
 - COMPACTE SOIL SHELF UNDER SHRUB
 - PLANTING SOIL; SEE SPECS.
 - EXCAVATE SHRUB BED TO DEPTH OF ROOTBALL. DEPTH AND BACKFILL WITH SPECIFIED PLANTING SOIL.
 - COMPACTED SUBGRADE; SEE SPECS.

SILVER CREEK AT HARDIN VALLEY

TTCSA SITE PLAN
Gliding Hawk Lane
Knox County, TN 37932

Client:
THE CORNERSTONE GROUP
BROOKSTONE PARTNERS
2601 South Bayshore Drive
Suite 725
Coconut Grove, FL 33133
MIKE BRINEGAR
mike.brinegar@cornerstonegrp.com
407.701.0517



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Project: Silver Creek at Hardin Valley

Project #: 141635
Drawn By: CH, EE, AY Ck'd By: CB
Date: 2023.01.23 Scale: As Noted

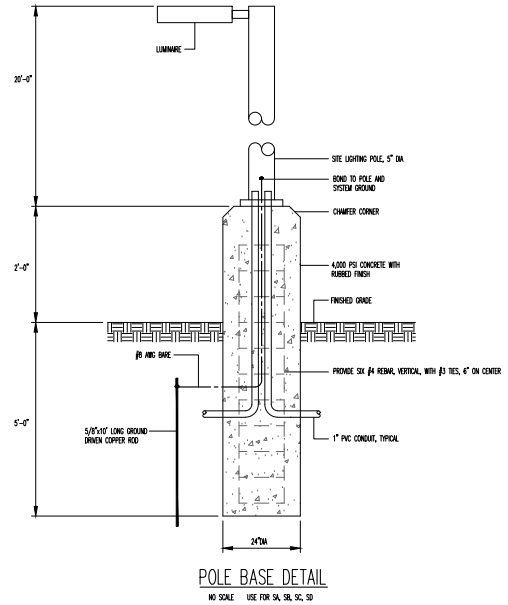
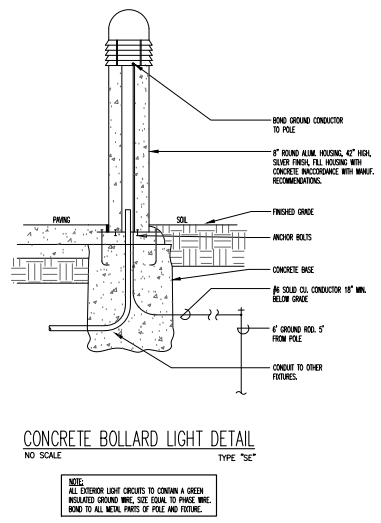
Rev.	Description:	Date:
TTCSA Submittal		2023.01.23
TTCSA Resubmittal		2023.01.13

PLANTING DETAILS

L2.1

LEGEND	
SYMBOL	DESCRIPTION
★ □	AREA FUTURE, REFER TO SITE LIGHT FUTURE SCHEDULE, PHOTO METRIC WEB SHOWN FOR DIRECTION OF ORIENTATION.
○	ROLLBACK, REFER TO SITE LIGHT FUTURE SCHEDULE

SITE LIGHTING FEATURE SCHEDULE						
SYM	CATALOG NUMBER	WATTAGE	FEET PER HOUR	PERFORMANCE	DESCRIPTION	NOTES
SA	LITHONIA D-SERIES SIZE 1 LED AREA LUMINAIRE	100W	1000	1000	THE POLE MOUNTED LIGHT TYPE 1	
SB	LITHONIA D-SERIES SIZE 0 LED AREA LUMINAIRE	100W	1000	1000	THE POLE MOUNTED LIGHT TYPE 2	
SC	LITHONIA D-SERIES SIZE 1 LED AREA LUMINAIRE	100W	1000	1000	THE POLE MOUNTED LIGHT TYPE 3	
SD	LITHONIA D-SERIES SIZE 1 LED AREA LUMINAIRE	100W	1000	1000	THE POLE MOUNTED LIGHT TYPE 4	
SE	LITHONIA D-SERIES SIZE 1 LED AREA LUMINAIRE	100W	1000	1000	THE POLE MOUNTED LIGHT TYPE 5	
SE	LITHONIA D-SERIES SIZE 1 LED AREA LUMINAIRE	100W	1000	1000	THE POLE MOUNTED LIGHT TYPE 6	
SE	LITHONIA D-SERIES SIZE 1 LED AREA LUMINAIRE	100W	1000	1000	THE POLE MOUNTED LIGHT TYPE 7	
SE	LITHONIA D-SERIES SIZE 1 LED AREA LUMINAIRE	100W	1000	1000	THE POLE MOUNTED LIGHT TYPE 8	
SE	LITHONIA D-SERIES SIZE 1 LED AREA LUMINAIRE	100W	1000	1000	THE POLE MOUNTED LIGHT TYPE 9	
SE	LITHONIA D-SERIES SIZE 1 LED AREA LUMINAIRE	100W	1000	1000	THE POLE MOUNTED LIGHT TYPE 10	



D-Series Size 1 LED Area Luminaire

Specifications

- SKU: D1S1
- Length: 21.17"
- Width: 10.16"
- Height H1: 1.58"
- Height H2: 23.17"
- Weight: 16.16 lbs

Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficiency, long-life luminaire.

The photometric performance results in sites with sensitive aesthetics, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65%, and expected service life of over 100,000 hours.

EXAMPLE: D5X0 LED P6 40K ZDCR T3M MVOLT SPA NPARZR PIR-IN DOBXD

SYMBOL	DESCRIPTION	WATTAGE	FEET PER HOUR	PERFORMANCE	DESCRIPTION	NOTES
SA	LITHONIA D-SERIES SIZE 1 LED AREA LUMINAIRE	100W	1000	1000	THE POLE MOUNTED LIGHT TYPE 1	
SB	LITHONIA D-SERIES SIZE 0 LED AREA LUMINAIRE	100W	1000	1000	THE POLE MOUNTED LIGHT TYPE 2	
SC	LITHONIA D-SERIES SIZE 1 LED AREA LUMINAIRE	100W	1000	1000	THE POLE MOUNTED LIGHT TYPE 3	
SD	LITHONIA D-SERIES SIZE 1 LED AREA LUMINAIRE	100W	1000	1000	THE POLE MOUNTED LIGHT TYPE 4	
SE	LITHONIA D-SERIES SIZE 1 LED AREA LUMINAIRE	100W	1000	1000	THE POLE MOUNTED LIGHT TYPE 5	
SE	LITHONIA D-SERIES SIZE 1 LED AREA LUMINAIRE	100W	1000	1000	THE POLE MOUNTED LIGHT TYPE 6	
SE	LITHONIA D-SERIES SIZE 1 LED AREA LUMINAIRE	100W	1000	1000	THE POLE MOUNTED LIGHT TYPE 7	
SE	LITHONIA D-SERIES SIZE 1 LED AREA LUMINAIRE	100W	1000	1000	THE POLE MOUNTED LIGHT TYPE 8	
SE	LITHONIA D-SERIES SIZE 1 LED AREA LUMINAIRE	100W	1000	1000	THE POLE MOUNTED LIGHT TYPE 9	
SE	LITHONIA D-SERIES SIZE 1 LED AREA LUMINAIRE	100W	1000	1000	THE POLE MOUNTED LIGHT TYPE 10	

D-Series Size 0 LED Area Luminaire

Specifications

- SKU: D0S0
- Length: 16.16"
- Width: 10.16"
- Height H1: 1.58"
- Height H2: 23.17"
- Weight: 16.16 lbs

Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficiency, long-life luminaire.

The photometric performance results in sites with sensitive aesthetics, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65%, and expected service life of over 100,000 hours.

EXAMPLE: D5X0 LED P6 40K ZDCR T3M MVOLT SPA NPARZR PIR-IN DOBXD

SYMBOL	DESCRIPTION	WATTAGE	FEET PER HOUR	PERFORMANCE	DESCRIPTION	NOTES
SA	LITHONIA D-SERIES SIZE 1 LED AREA LUMINAIRE	100W	1000	1000	THE POLE MOUNTED LIGHT TYPE 1	
SB	LITHONIA D-SERIES SIZE 0 LED AREA LUMINAIRE	100W	1000	1000	THE POLE MOUNTED LIGHT TYPE 2	
SC	LITHONIA D-SERIES SIZE 1 LED AREA LUMINAIRE	100W	1000	1000	THE POLE MOUNTED LIGHT TYPE 3	
SD	LITHONIA D-SERIES SIZE 1 LED AREA LUMINAIRE	100W	1000	1000	THE POLE MOUNTED LIGHT TYPE 4	
SE	LITHONIA D-SERIES SIZE 1 LED AREA LUMINAIRE	100W	1000	1000	THE POLE MOUNTED LIGHT TYPE 5	
SE	LITHONIA D-SERIES SIZE 1 LED AREA LUMINAIRE	100W	1000	1000	THE POLE MOUNTED LIGHT TYPE 6	
SE	LITHONIA D-SERIES SIZE 1 LED AREA LUMINAIRE	100W	1000	1000	THE POLE MOUNTED LIGHT TYPE 7	
SE	LITHONIA D-SERIES SIZE 1 LED AREA LUMINAIRE	100W	1000	1000	THE POLE MOUNTED LIGHT TYPE 8	
SE	LITHONIA D-SERIES SIZE 1 LED AREA LUMINAIRE	100W	1000	1000	THE POLE MOUNTED LIGHT TYPE 9	
SE	LITHONIA D-SERIES SIZE 1 LED AREA LUMINAIRE	100W	1000	1000	THE POLE MOUNTED LIGHT TYPE 10	

KBR8 LED LED Specification Bollard

Specifications

- SKU: KBR8
- Length: 21.17"
- Width: 10.16"
- Height H1: 1.58"
- Height H2: 23.17"
- Weight: 16.16 lbs

Introduction

The KBR8 Bollard is a stylish, fully integrated LED solution for walkways. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 70% in energy usage over comparable 100W metal halide luminaires, the KBR8 Bollard is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

EXAMPLE: KBR8 LED P6C 700 40K SYM MVOLT DOBXD

SYMBOL	DESCRIPTION	WATTAGE	FEET PER HOUR	PERFORMANCE	DESCRIPTION	NOTES
SA	LITHONIA D-SERIES SIZE 1 LED AREA LUMINAIRE	100W	1000	1000	THE POLE MOUNTED LIGHT TYPE 1	
SB	LITHONIA D-SERIES SIZE 0 LED AREA LUMINAIRE	100W	1000	1000	THE POLE MOUNTED LIGHT TYPE 2	
SC	LITHONIA D-SERIES SIZE 1 LED AREA LUMINAIRE	100W	1000	1000	THE POLE MOUNTED LIGHT TYPE 3	
SD	LITHONIA D-SERIES SIZE 1 LED AREA LUMINAIRE	100W	1000	1000	THE POLE MOUNTED LIGHT TYPE 4	
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SE	LITHONIA D-SERIES SIZE 1 LED AREA LUMINAIRE	100W	1000	1000	THE POLE MOUNTED LIGHT TYPE 6	
SE	LITHONIA D-SERIES SIZE 1 LED AREA LUMINAIRE	100W	1000	1000	THE POLE MOUNTED LIGHT TYPE 7	
SE	LITHONIA D-SERIES SIZE 1 LED AREA LUMINAIRE	100W	1000	1000	THE POLE MOUNTED LIGHT TYPE 8	
SE	LITHONIA D-SERIES SIZE 1 LED AREA LUMINAIRE	100W	1000	1000	THE POLE MOUNTED LIGHT TYPE 9	
SE	LITHONIA D-SERIES SIZE 1 LED AREA LUMINAIRE	100W	1000	1000	THE POLE MOUNTED LIGHT TYPE 10	

TYPE SA, SC, SD

TYPE SB

TYPE SE

TTCCA #3-A-23-T08



FACILITY SYSTEMS CONSULTANTS, LLC
713 S. Central Street
Suite 101
Knoxville, Tennessee 37902
ph: (865) 246-0184
fx: (865) 246-1084

By using drawings and the design data on this project, the user agrees to be responsible, under penalty of law, for any errors in design or in field construction. The user agrees to be responsible for any errors in design or in field construction. The user agrees to be responsible for any errors in design or in field construction.



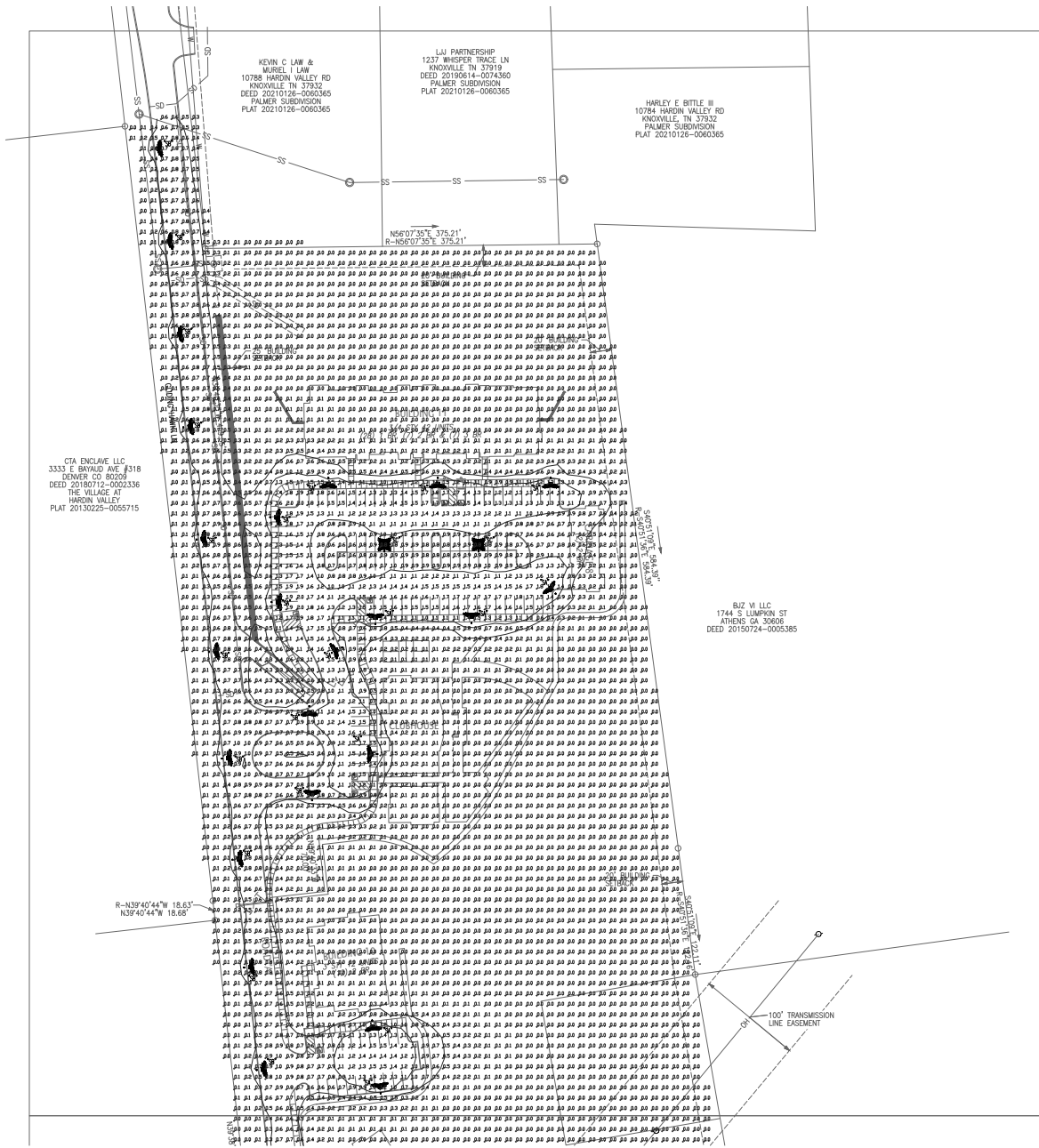
Division: 1 - TTCCA COMMENTS - 2/13/23

SILVER CREEK AT HARDIN VALLEY
GLIDING HAWK LANE
KNOX COUNTY, TN 37932
TTCCA SITE PLAN

Job No: WSDA
Date: 1/20/23
Designed by: SAKULIA
Drawn by: LJA

Sheet Title: SECTION ELECTRICAL PHOTOMETRIC PLAN

Scale:
SHEET
EPO.1



**FACILITY
SYSTEMS
CONSULTANTS, LLC**
713 S. Central Street
Suite 101
Knoxville, Tennessee 37902
ph: (865) 246-0164
fx: (865) 246-1094

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Revisions:
1 - TTCCA COMMENTS - 2/13/23

SILVER CREEK AT HARDIN VALLEY
GLIDING HAWK LANE
KNOX COUNTY, TN 37932
TTCCA SITE PLAN

Job No: WSDA
Date: 1/20/23
Designed by: SAKULIK
Drawn by: LUK

Sheet Title:
SECTION A ELECTRICAL
PHOTOMETRIC PLAN

Scale:

SHEET
EP1.1



CTA ENCLAVE LLC
 3333 E BAYLAUD AVE #318
 DENVER CO 80239
 DEED 20180712-002335
 THE VILLAGE AT
 HARDIN VALLEY
 PLAT 20130225-0055715

GREYSTONE VISTA LLC
 7200 SCHOMBURG RD
 COLUMBUS, GA 31909
 GREYSTONE VISTA
 PLAT 20131118-003835

SECTION B PHOTOMETRIC PLAN
 SCALE: 1" = 50'

SITE LIGHTING POLES HAVE BEEN AMASSED THROUGHOUT SITE.

TTCA #3-A-23-T08



**FACILITY
 SYSTEMS
 CONSULTANTS, LLC**
 Suite 101
 713 S. Central Street
 Knoxville, Tennessee 37902
 ph: (865) 246-0164
 fx: (865) 246-1084

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Revisions:
 1 - TDCA COMMENTS - 2/13/23

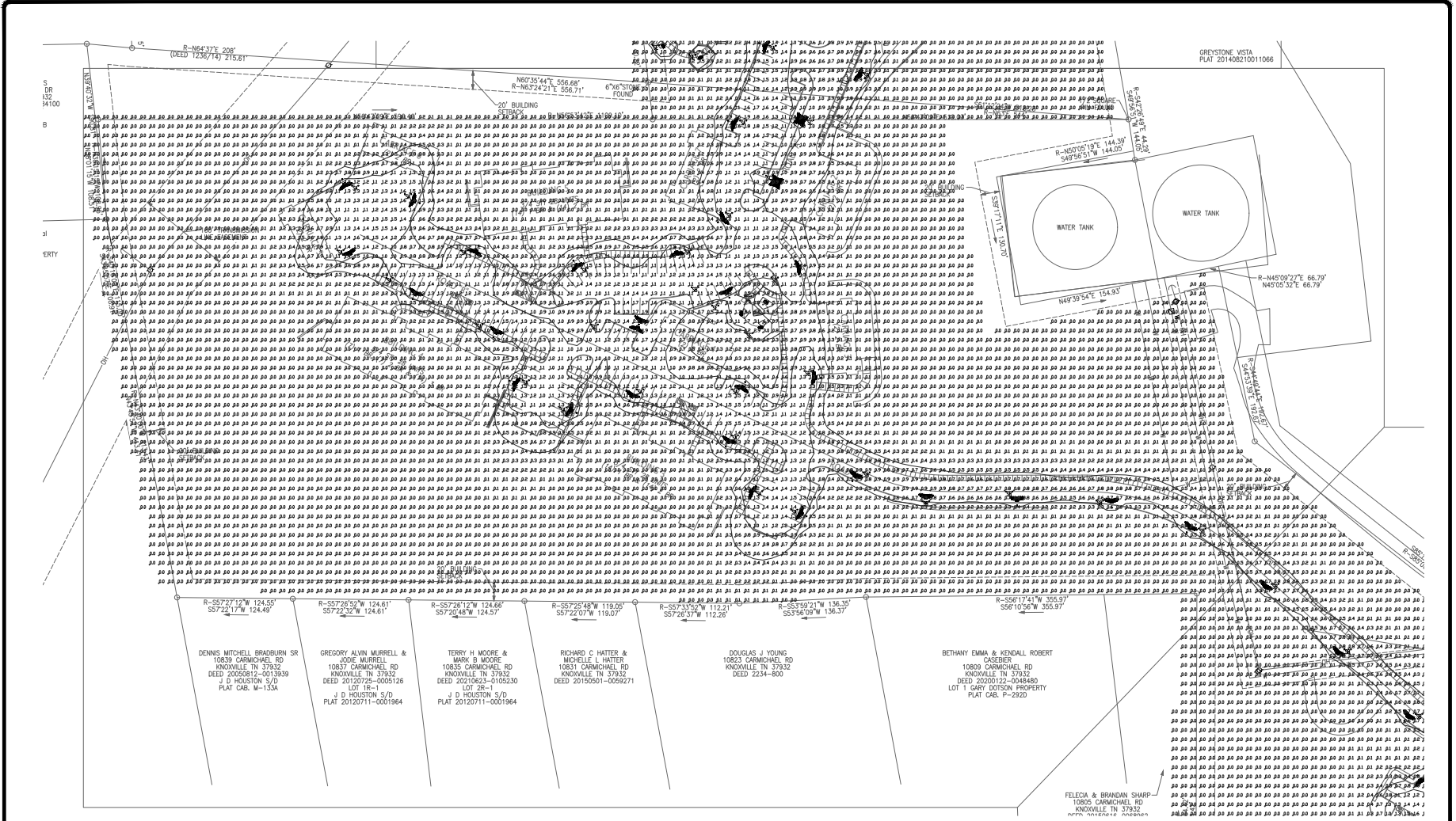
SILVER CREEK AT HARDIN VALLEY
 GLIDING HAWK LANE
 KNOX COUNTY, TN 37932
 TTCA SITE PLAN

Job No: WSDA
 Date: 1/20/23
 Designed by: SAM,LLK
 Drawn by: LJK

Sheet Title:
 SECTION B ELECTRICAL
 PHOTOMETRIC PLAN

Scale:

SHEET
 EP.1.2



DENNIS MITCHELL BARBOUR SR
10831 CARMICHAEL RD
KNOXVILLE TN 37932
DEED 20120725-005139
J D HOUSTON S/D
PLAT C&B - 153A

GREGORY ALVIN MURRELL &
COLE MURRELL
10833 CARMICHAEL RD
KNOXVILLE TN 37932
DEED 20210623-005126
LOT 18-1
J D HOUSTON S/D
PLAT 20120711-0001964

TERRY H MOORE &
MARK B MOORE
10835 CARMICHAEL RD
KNOXVILLE TN 37932
DEED 20210623-005230
LOT 18-1
J D HOUSTON S/D
PLAT 20120711-0001964

RICHARD C HATTER &
MICHELLE L HATTER
10831 CARMICHAEL RD
KNOXVILLE TN 37932
DEED 20150501-0059271

DOUGLAS A YOUNG
10826 CARMICHAEL RD
KNOXVILLE TN 37932
DEED 2234-000

BETHANY EMMA & KENDALL ROBERT
KEESER
10803 CARMICHAEL RD
KNOXVILLE TN 37932
DEED 20200122-004880
LOT 1 GARY DODSON PROPERTY
PLAT C&B P-2920

FELICIA & BRANDAN SHARP
TERRI CARMICHAEL RD
KNOXVILLE TN 37932
DEED 20200122-004880

SECTION C PHOTOMETRIC PLAN
SCALE 1" = 50'



FACILITY
SYSTEMS
CONSULTANTS, LLC
713 S. Central Street
Suite 101
Knoxville, Tennessee 37902
ph: (865) 246-0164
fx: (865) 246-1084

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Revisions:
1 - TITCAD COMMENTS - 2/13/23

SILVER CREEK AT HARDIN VALLEY
GLIDING HAWK LANE
KNOX COUNTY, TN 37932
TTCDA SITE PLAN

Job No: W504
Date: 1/20/23
Designed by: SAM/LJA
Drawn by: LJA

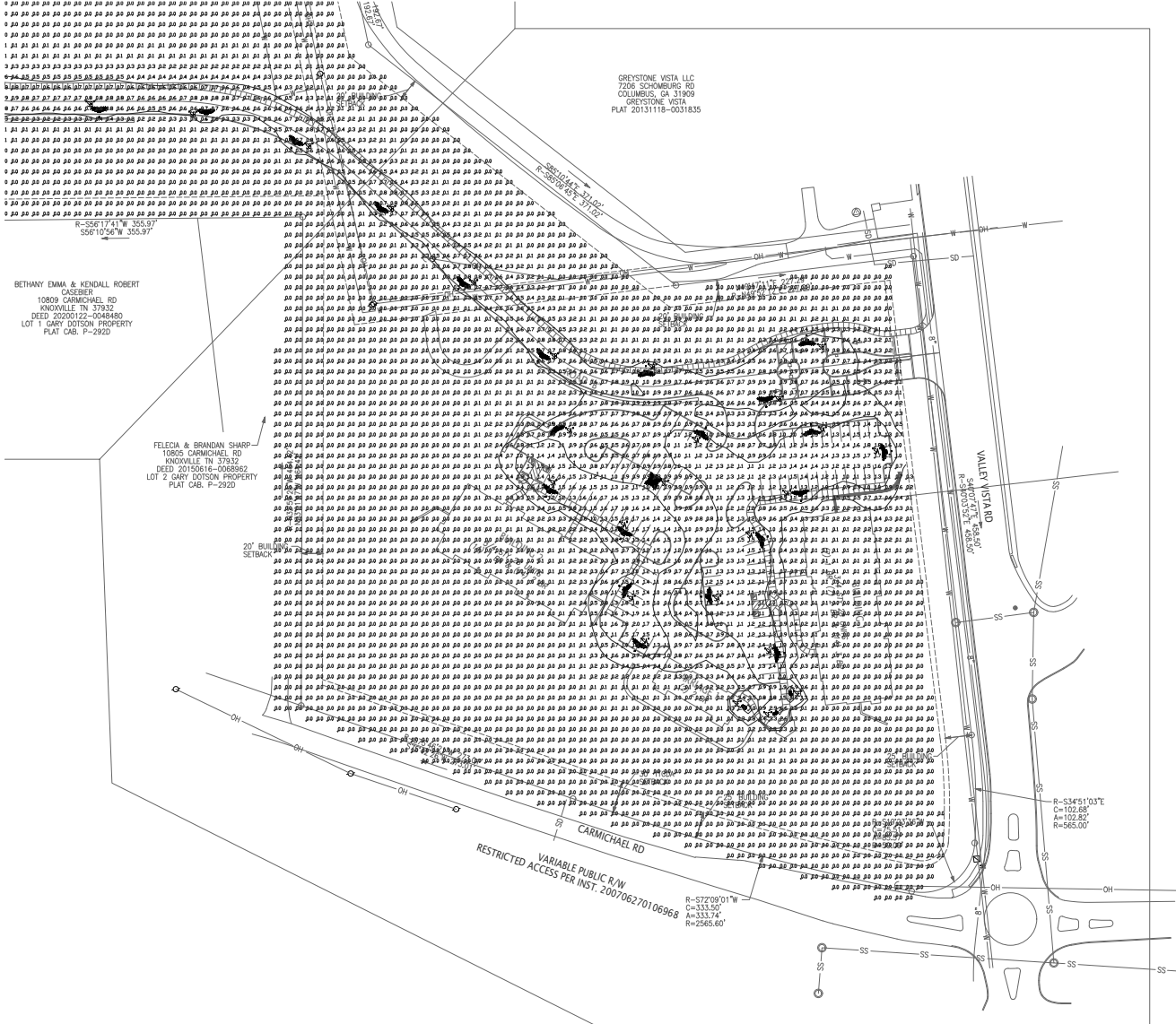
Sheet Title:
SECTION C ELECTRICAL
PHOTOMETRIC PLAN

Scale:

SHEET
EP1.3

SITE LIGHTING POLES HAVE BEEN AWARDED THROUGHOUT SITE

TTCDA #3-A-23-T08



SECTION D PHOTOMETRIC PLAN
SCALE: 1" = 50'

SEE LIGHTING POLES HAVE BEEN ALIGNED THROUGHOUT SITE

TTCCA #3-A-23-T08



FACILITY SYSTEMS CONSULTANTS, LLC
713 S. Central Street
Suite 101
Knoxville, Tennessee 37902
ph: (865) 246-0164
fx: (865) 246-1084

By Flow Modeling and the Design Team we warrant that the information, which is contained herein, is true to the best of our knowledge and belief and that it was prepared only for the project and site identified and not for reliance upon repeat.



Revisions:
1 - TTCCA COMMENTS - 2/13/23

SILVER CREEK AT HARDIN VALLEY
GLIDING HAWK LANE
KNOX COUNTY, TN 37932
TTCCA SITE PLAN

Job No: W504
Date: 1/23/23
Designed by: SAM,LLK
Drawn by: LJK

Sheet Title:
SECTION D. ELECTRICAL PHOTOMETRIC PLAN

Scale:

SHEET
EP1.4

- | | | |
|--|---|--|
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| <input type="checkbox"/> BUILDING PERMIT - EXPANSION OR RENOVATION | <input type="checkbox"/> SIGNAGE | <input type="checkbox"/> BOARD REVIEW |
| <input checked="" type="checkbox"/> BUILDING PERMIT - GRADING PLAN | <input checked="" type="checkbox"/> ZONING VARIANCE | |

Brookstone Partners

PUBLISHED APPLICANT NAME - no individuals on behalf of -

01/23/2023	03/06/2023	3-A-23-TOB
DATE FILED	MEETING DATE (IF APPLICABLE)	FILE NUMBER

CORRESPONDENCE

Correspondence related to this application will be directed to the contact listed below.

- APPLICANT OWNER OPTION HOLDER SURVEYOR ENGINEER ARCHITECT/LANDSCAPE ARCHITECT ATTORNEY

Mike Brinegar

Brookstone Partners

NAME	COMPANY		
2601 South Bayshore Dr. STE 725	Coconut Grove	FL	33133
ADDRESS	CITY	STATE	ZIP
407.701.0517	mike.brinegar@cornerstonegrp.com		
PHONE	EMAIL		

CURRENT PROPERTY INFO

- MULTIPLE OWNERS / OPTION HOLDERS PART OF PARCEL

OWNER NAME - if different -	OWNER ADDRESS	OWNER PHONE/EMAIL
0 Gliding Hawk Lane Knoxville, TN 37932	& 0 Carmichael Rd	
PROPERTY ADDRESS		
10311503, 10311502, 104109	NO	39.24 AC
PARCEL ID(S)	PART OF PARCEL? (Y/N)	TRACT SIZE

STAFF USE ONLY

	<input type="checkbox"/> CITY <input checked="" type="checkbox"/> COUNTY
East side of Gliding Hawk Ln between Hardin Valley Rd and Carmichael Rd	
GENERAL LOCATION	DISTRICT
OB/TO	MU-SD, NWCO-5 (Mixed Use-Special District) / HP (Hillside Protection)
ZONING	SECTOR PLAN LAND USE CLASSIFICATION
Northwest County	Vacant land
PLANNING SECTOR	EXISTING LAND USE

REQUEST

BUILDING PERMIT

- NEW CONSTRUCTION
 EXPANSION OR RENOVATION
 GRADING PLAN

- REZONING
 SIGNAGE
 ZONING VARIANCE

PLAN MATERIALS:

- DEVELOPMENT PLAN
 BUILDING ELEVATIONS
 FLOOR PLAN
 LANDSCAPE PLAN
 SIGNAGE PLAN
 OFF-STREET PARKING

OTHER:

WAIVERS OR VARIANCES REQUESTED? YES NO

ADMINISTRATIVE REVIEW: LIGHTING LANDSCAPING PLAN

RENOVATION OR EXPANSION

SUMMARY OF WORK TO BE PERFORMED:

New multifamily development containing 274 dwelling units (a density of 6.98 du/ac)

ZONING VARIANCE

SUMMARY OF ZONING VARIANCE REQUEST:

Reduce TTCDA Front Setback from 30' to 25'

REZONING

REZONE FROM: _____

TO: _____

SECTOR PLAN AMENDMENT FROM: _____

TO: _____

SIGNAGE

- YARD SIGN BUILDING SIGN OTHER SIGN
- AREA: _____ AREA: _____ AREA: _____
HEIGHT: _____ HEIGHT: _____ HEIGHT: _____
FINISH: _____ FINISH: _____ TYPE: _____

STAFF USE ONLY

- TTCDA Checklist
 Property Owners/Option Holders

CODE	CODE
FEE	FEE
1102 / \$450.00	

TOTAL

\$450.00

AUTHORIZATION

By signing below

You certify that you are the property owner and/or authorized representative.


APPLICATION AUTHORIZED BY

Development Partner

01/20/2023

AFFILIATION

DATE

(407) 701-0517

Mike.Bringar@CornerstoneGrp.com

PHONE NUMBER

EMAIL

Michelle Portier

STAFF SIGNATURE

PRINT NAME

DATE PAID