

Report of Staff Recommendation

File No.: 6-A-22-TOB

Applicant: **BRAND PROPERTIES** Request: **BUILDING PERMIT**

Meeting Date: 6/22/2022

10209 Sherrill Blvd. Address:

Map/Parcel Number: 118 17716

Location: South end of Century Park Blvd., northeast side of Sherrill Blvd., west side of Mabry Hood Rd

Existing Zoning: C-G-3 (General Commercial) / TO (Technology Park Overlay)

Proposed Zoning:

Existing Land Use: Vacant land

Proposed Land Use: Apartment complex

Appx. Size of Tract: 23.65 acres

Accessibility: This property will have frontage on Sherrill Boulevard and Mabry Hood Road. Sherrill Boulevard

> is a major collector with a 47-ft pavement width with 2 travel lanes in each direction inside the Pellissippi Parkway right-of-way. Mabry Hood Road is a minor collector with an 18-ft pavement width inside a 56-ft right-of-way. The southern end of Century Park Boulevard below the

roundabout is proposed for demolition and would not serve this property.

Surrounding Zoning

and Land Uses:

North: OP (Office Park) / TO-1 (Technology Park Overlay) - Office buildings, a church, and

vacant land

South: OP (Office Park) / TO-1 (Technology Park Overlay) - University of Phoenix and vacant

East: AG (Agricultural) / TO-1 (Technology Park Overlay) - Single family houses and vacant

West: Pellissippi Parkway right-of-way

Comments:

1) The applicant is requesting approval of a multi-family development on 23.65 acres at the current terminus of Century Park Boulevard, generally west of Pellissippi Parkway and within City limits.

2) The property was rezoned from OP (Office Park) / TO-1 (Technology Park Overlay) to C-G-3 (General Commercial) / TO-1 (Technology Park Overlay) in 2021 (Case 10-H-21-RZ). Multifamily developments are a permitted use by right in the C-G-3 (General Commercial) zone, so the development does not require review and approval by the Planning Commission.

3) The development consists of 286 dwelling units distributed between 6 buildings. 286 dwelling units over 23.65 acres yields a density of 12.09 du/ac.

4) Apartment buildings are to be three and four stories and are clustered in the center and the western portion of the site surrounding the clubhouse and pool area. There will be 147 onebedroom units, 124 two-bedroom units, and 15 three-bedroom units. Amenities include a clubhouse and pool area with a pavilion, dog park, and a dog washing station. A dumpster enclosure is proposed on the west side of the site south of the westernmost building.

5) The property has frontage on Mabry Hood Road and on Sherrill Boulevard. It is located at the southern terminus of Century Park Boulevard, a private right-of-way. The applicant proposes to demolish the southern end of Century Park Boulevard up to the northernmost roundabout to have its own private, gated entry points off of Mabry Hood Road and Sherrill Boulevard.

- 6) Sherrill Boulevard is a major collector that connects to Dutchtown Road directly across from the southbound on-ramp to Pellissippi Parkway providing direct access to the Parkway. Mabry Hood Road is a minor collector that also connects to Dutchtown Road.
- 7) Canon & Canon prepared a Traffic Impact Study (TIS) for Sugarloaf Apartments, the last revision of which was on April 22, 2022. The following improvements are recommended to be implemented with the construction of this project:
- a. Install stop signs on the site entrance roadway approaches to Sherrill Boulevard and Mabry Hood Road.
- b. Maintain intersection corner sight distance at the proposed site entrance roadways by ensuring any site landscaping, grading, or site signage is properly placed such that sight distances along Sherrill Boulevard and Mabry Hood Road are not restricted.
- c. Consider installation of a traffic signal at the intersection of Dutchtown Road at Mabry Hood Road. The unsignalized intersection currently experiences poor levels of service and excessive vehicle delays. Under existing traffic conditions, the intersection meets the warrants for signalization as determined by the Manual on Uniform Traffic Control Devices for Streets and Highways (MUTCD).
- 8) A fourth improvement to install a southbound left turn lane on Sherrill Boulevard into the development was requested by the City of Knoxville Engineering Department.
- 9) The proposed parking for the development meets the requirements of both the TTCDA and the City of Knoxville Zoning Ordinance. The TTCDA Design Guidelines requires between 366 and 641 spaces, while the City of Knoxville Zoning Ordinance requires between 382 and 506 spaces. There are 405 surface parking spaces proposed.
- 10) An internal 4-ft fence is proposed around the pool and will be comprised of decorative aluminum.
- 11) The City of Knoxville typically requires sidewalks to be installed along road frontages when a property is developed or redeveloped. A sidewalk will be required along Sherrill Boulevard. The sidewalk requirement along Mabry Hood Road was waived, so sidewalks will not be required along that road frontage. Sidewalks are provided throughout the site and will connect to the new Sherrill Boulevard sidewalk.
- 12) The proposed Ground Area Coverage (GAC) and Impervious Area Ratio (IAR) meet the Design Guidelines. However, the 37% Floor Area Ratio (FAR) proposed exceeds the 30% maximum allowed and will require a waiver. The applicant has requested a waiver to allow up to 39.9% to provide flexibility. Staff supports this waiver since the site plans meet other intensity metrics and this metric tends to facilitate plans that build up versus out.
- 13) The apartment building materials will be a combination of brick veneer, simulated stacked stone veneer, and fiber cement stucco panels. The main structures will feature an asphalt shingle roof, and the smaller roofs will feature standing seam metal roofs to add architectural interest and variety. The color palette is neutral and bright; buildings are mostly cream and light gray with tan and dark gray accents.
- 14) The proposed landscape plan is in compliance with the Design Guidelines.
- 15) The proposed lighting includes 30-ft tall light poles at intervals along the perimeter of the parking areas.
- 16) Four waivers are being requested for the lighting plan, but only two are required (c and d):
- a. Increase the lighting levels within 20 feet of a residential zone from 0.2 fc to 1.2 fc along the eastern property line. However, the residential zone is across Mabry Hood Road, so the residential zoning is farther than 20 feet from this property and a waiver is not needed. The footcandles only exceed the maximum lighting level allowed in the driveway at the entry to the site at the intersection with Mabry Hood Road, and a waiver for that overage has been requested.
- b. Increase the lighting levels within 20 feet of a nonresidential zone from 0.5 fc to 1.2 fc along the eastern property line. The footcandles only exceed the maximum lighting level allowed in the driveway at the entry to the site at the intersection with Sherrill Boulevard, and a waiver for that overage has been requested. At the location on the site where the overage occurs, the nonresidential zoning is farther than 20 feet from the property and a waiver is not needed. All other areas of the site that border other nonresidential zoning are within the allowable lighting levels.
 - c. Increase the lighting levels within driveways and streets from 0.5 fc to 1.3 fc along the

driveway into the property. The overage occurs near the entry to the site at the intersections with Sherrill Boulevard and Mabry Hood Road. The overage is not expected to have any adverse impacts on surrounding properties since the lighting level is similar to the output of a street light.

- d. Increase the lighting levels along paths and sidewalks from 1.0 fc to 1.7 fc. Staff supports this waiver to minimize trip hazards and provide additional safety and security.
- 17) Signage is also proposed with this application. The package includes a variety of sign types including yard signs, building signs, wayfinding signage (interior and exterior), and parking area signs. Other than requiring a signage package design to be cohesive, the TTCDA Guidelines only have requirements for building signs and yard signs, so these are the signs that were reviewed in this package. All other signs will need to meet the City of Knoxville Zoning Ordinance pertaining to signs.
- a. A monument sign is proposed for Sherrill Boulevard and Mabry Hood Road at each entrance.
- i. The sign is to be 10'-10" tall and will feature a stone veneer base to match that of the buildings.
- ii. The main body of the sign will be an aluminum cabinet clad with fiber cement with smooth lap panels to match the buildings.
 - iii. The wording consists of painted channel letters with a frosted acrylic back-lit panel.
 - iv. The yard sign comprises 83.5 square feet in area.
- v. TTCDA Guidelines allow yard signage to be reviewed under the requirements for a subdivision, which allow a greater height than typical yard signs.
- 1. It allows one street sign per frontage up to 2. If two signs are used, a maximum total of 300 square feet is allowed for both signs.
- 2. Sign height maximum is 12 feet.
 - a. The yard sign meets the TTCDA Design Guidelines.
 - b. A building sign is also proposed for the clubhouse.
 - i. The sign comprises 98 square feet, which is within the 100 square foot maximum allowed.
- ii. The sign will consist of opaque channel letters with a frosted acrylic back-lit panel to match the yard sign.
 - iii. The building sign meets the TTCDA Design Guidelines.
- c. The remainder of the signs are consistent with the design of the building and yard signs, which is the only requirement the TTCDA has regarding a subdivision signage package.

Design Guideline Conformity:

With the recommended conditions and approval of the requested waivers, this request complies with the TTCDA Design Guidelines.

Waivers and Variances Requested:

- Waivers and Variances 1) Increase the maximum floor area ratio (FAR) allowed by 9.9% to allow a 39.9% FAR.
 - 2) Increase the lighting levels within 20 feet of a residential zone from 0.2 fc to 1.2 fc along the eastern property line.
 - 3) Increase the lighting levels within 20 feet of a nonresidential zone from 0.5 fc to 1.2 fc along the eastern property line.
 - 4) Increase the lighting levels within driveways and streets from 0.5 fc to 1.3 fc along the driveway into the property.
 - 5) Increase the lighting levels along paths and sidewalks from 1.0 fc to 1.7 fc.

Staff Recommendation:

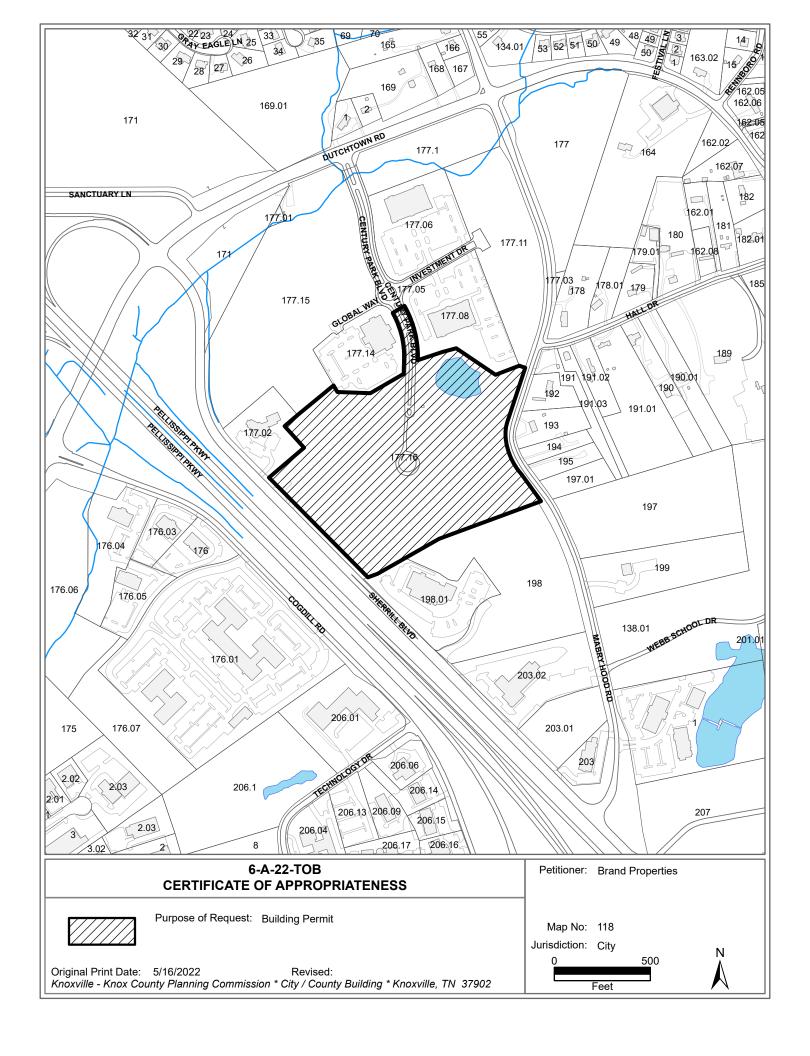
Staff recommends approval of the required waivers from the Design Guidelines:

- 1) Increase the maximum floor area ratio (FAR) allowed by 9.9% to allow a 39.9% FAR since the site plans meet other intensity metrics and this metric tends to facilitate plans that build up versus out.
- 2) Increase the lighting levels within 20 feet of a residential zone from 0.2 fc to 1.2 fc along the eastern property line to provide additional security and safety.
- 3) Increase the lighting levels within 20 feet of a nonresidential zone from 0.5 fc to 1.2 fc along the eastern property line to provide additional security and safety.
- 4) Increase the lighting levels within driveways and streets from 0.5 fc to 1.3 fc along the driveway into the property to increase safety for drivers and potential pedestrians.
- 5) Increase the lighting levels along paths and sidewalks from 1.0 fc to 1.7 fc to minimize trip hazards and provide

additional safety and security.

Staff recommends approval of this request for a Certificate of Appropriateness for a building permit, subject to seven conditions:

- 1) Implementation of the street and intersection improvements and recommendations outlined in the Traffic Impact Study prepared by Canon & Canon and approved by the City of Knoxville Engineering Department and Planning Commission staff. The design details and timing of the installation of the improvements shall be worked out with the City of Knoxville Engineering Department during the design plan stage for the subdivision.
- 2) Installation of all sidewalks as identified on the concept plan. Sidewalks shall meet all applicable requirements of the Americans with Disabilities Act (ADA) and the City of Knoxville Engineering Department. A bond shall be provided to the City of Knoxville Engineering Department by the developer in an amount sufficient to guarantee the installation of the sidewalks.
- 3) Connection of the development to sanitary sewer.
- 4) Provision of a street name that is consistent with the Uniform Street Naming and Addressing system Ordinance (Ord. 91-1-102).
- 5) Installation of all landscaping, as shown on the landscape plan, within six months of issuance of occupancy permits for the project, or posting a bond with the City of Knoxville Engineering Department, to guarantee such installation.
- 6) Meeting all applicable requirements of the City of Knoxville Engineering Department .
- 7) Meeting all applicable requirements of the City of Knoxville Zoning Ordinance.



ROBERT L. KAHN REGGIE E. KEATON DONALD D. HOWELL DEBRA L, FULTON MICHAEL W. EWELL JOHN M. LAWHORN JAMES E. WAGNER BEVERLY D. NELMS MARY ELIZABETH MADDOX BENJAMIN C. MULLINS RICHARD T. SCRUGHAM, IR. MATTHEW A. GROSSMAN KEVIN A. DEAN DANIEL P. ZYDEL SHARON H. KIM RICHARD E. GRAVES REBEKAH P. HARBIN



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April 22, 2022

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ARTHUR G. SEYMOUR, JR. (1945 - 2019)

Ms. Michelle Portier, AICP Knoxville/Knox County Planning 400 Main Street, Suite 403 Knoxville, TN 37902 Via Email michelle.portier@knoxplanning.com

Re:

Waiver Requested from TTCDA Design Guidelines 1.3.2

Dear Ms. Portier:

This letter is to formally request a waiver from section 1.3.2 of the Tennessee Technology Corridor Development Authority's Design Guidelines related to the allowable floor area ratios (FAR) for the proposed multifamily development at Century Park. Presently the gross lot area is 23.65 acres or approximately 1,030,377 square feet. The proposed apartment building layout yields a total gross floor area of 380,806 square feet or approximately 36.957% of the total gross lot area. Per the TTCDA Guidelines the FAR shall not exceed 30% without a waiver. The applicant is requesting a waiver to allowing the FAR to exceed the maximum allowance by up to 9.9%. The justification for this waiver is that the FAR restrictions in the TTCDA Guidelines do not adequately account for potential multifamily uses in the technology corridor overlay, although the project complies with all other development intensity guidelines and the height limitations in the technology overlay. The multiple floors required for a multifamily development have a disproportionate effect on the FAR versus the other development intensity guidelines.

Traditionally, staff has supported FAR waivers so long as they do not exceed 10% of the guidelines, especially considering the need for additional residential properties in the Knoxville/Knox County Area. The applicant is seeking additional leeway for up to 9.9% so that if plans change following the TTCDA approval, such as the need to modify the footprint of the clubhouse or other buildings, the applicant will not have to go through the waiver process again.

As additional justification, there are site-specific constraints to the property that limit where the buildings can be located, such as multiple sinkholes along the periphery of the property's boundaries, existing retention basins, and, per our geotechnical testing, areas of unsuitable fill. Per our engineer's calculations, approximately 45% of the site is unsuitable for construction.

With these considerations in mind, the applicant respectfully requests that staff support and the TTCDA approve a waiver of up to 9.9% increase of the FAR maximum allowance.

As always, please feel free to contact me with any questions. Thank you in advance for your assistance in this matter.

Sincerely,

Benjamin Q. Mullins

FRANTZ, McCONNELL & SEYMOUR, LLP

BCM:avl



TTCDA Waiver 6-A-22-TOB

1 message

Mon, May 23, 2022 at 1:38 PM

To: Michelle Portier <michelle.portier@knoxplanning.org>

Cc: Alan Grissom <agrissom@cannon-cannon.com>, Mara Neumann <mneumann@silverstudioarchitects.com>, Michael Silverman <msilverman@brandproperties.com>, Jack Ramoso <iramoso@silverstudioarchitects.com>

Ms. Michelle Portier, AICP

Via Email Only

Knoxville/Knox County Planning

michelle.portier@knoxplanning.com

400 Main Street, Suite 403

Knoxville, TN 37902

Re: Waiver Request from TTCDA Guidelines 1.8.5.

10209 Sherrill Blvd.; 6-A-22-TOB

Michelle,

This email is to request waivers from the strict application of the lighting intensity requirements of Section 1.8.5 of the TTCDA Guidelines.

a. Per Section 1.8.5.E. and F. of the TTCDA Design Guidelines, lighting intensity cannot exceed 0.2 fc. within 20 feet of a residential zone and 0.5 fc. within 20 feet of any other differing zone from the subject property.

East Property Line:

The average footcandle within 20 feet of the east property line, which is adjacent to an Agricultural zone, is 0.01 fc; however, there are maximum values of 1.2 fc near the depicted light poles. This is within the allowable light intensity within parking areas and is required for additional security and tenant safety as well to minimize trip hazards. Additionally, the adjacent property is separated from the east property line by Mabry Hood Rd. A waiver is requested from sections 1.8.5.E. to allow an increase the maximum footcandles from 0.2 to 1.2 fc along the east property line.

West Property Line:

The average footcandle within 20 feet of the west property line, which is adjacent to an Office Park zone, is 0.01 fc; however, there are maximum values of 1.3 fc near the depicted light poles. This is within the allowable light intensity within parking areas and is required for additional security and tenant safety as well to minimize trip hazards. A waiver is requested from sections 1.8.5.F. to allow an increase in maximum footcandles from 0.5 to 1.2 fc along the west property line.

b. Per Section 1.8.5.D of the TTCDA Guidelines, lighting intensity cannot exceed 0.5 fc in streets and driveways within developments.

The average footcandle within the driveways from Sherril Blvd. is 0.7 fc with a maximum of 1.3 fc. A waiver is requested to increase the allowable light intensity of these driveways to 1.3 fc to increase safety of drivers and potential pedestrians in the event of wildlife or pedestrian conflict. Although the lighting intensity within the driveways exceed the maximum allowable footcandles in some areas, these illumination values are comparable to local roadway standards.

c. Per Section 1.8.5.C. of the TTCDA Guidelines, lighting intensity cannot exceed 1.0 fc. along paths and sidewalks.

There will be both internal sidewalks and a required sidewalk along the property's frontage with Sherril Hill Blvd. The average lighting intensity along these sidewalks is 0.9 (within the allowable intensity) however there are a few areas where the values exceed 1 fc with a maximum value of 1.7 fc. A waiver is requested for the lighting intensity to allow up to 1.7 fc. The additional lighting intensity is needed for increased pedestrian security and safety and to minimize trip hazards along the sidewalks. Moreover, the internal sidewalks are contiguous to the parking lot area and these sidewalk light intensities fall within the allowable 2.5 fc of the adjacent parking areas.

There will be a separate filing with responses to the Review Comments from our engineers. Please let me know if you require any additional information.



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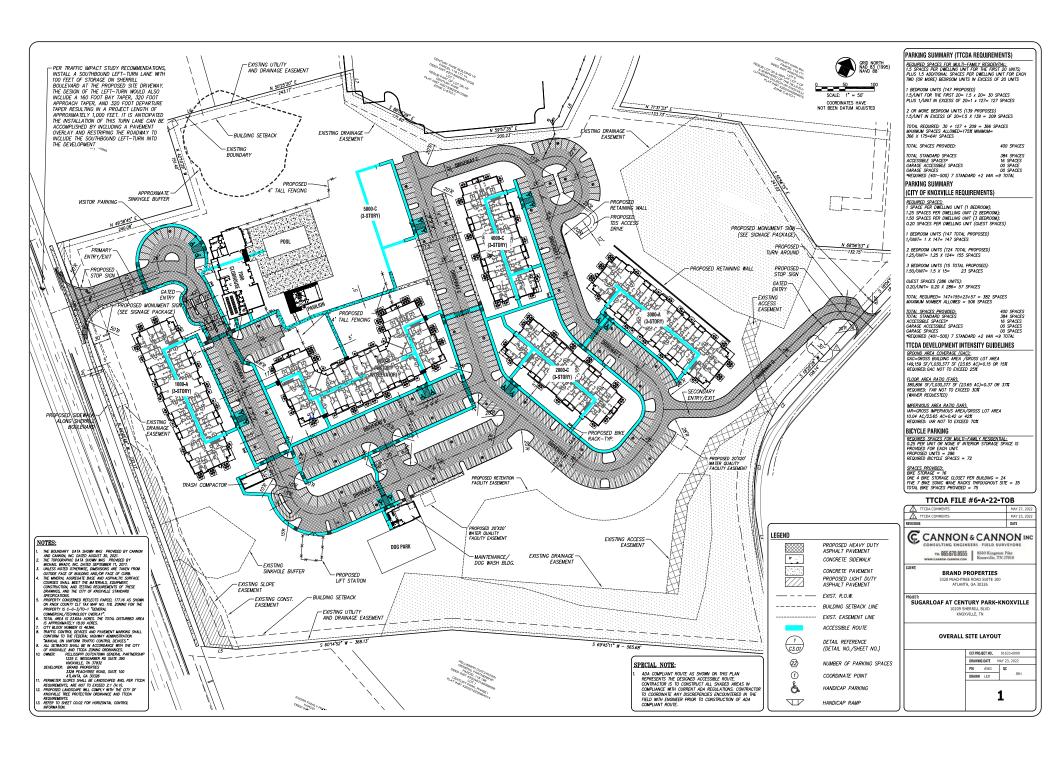


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For additional information about Frantz, McConnell & Seymour, LLP, including a list of attorneys, please visit our website at www.fmsllp.com

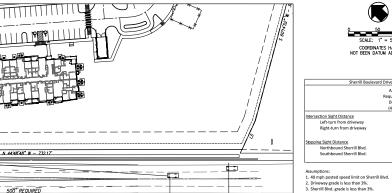
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Sugarloaf Century Park Knoxville TTCDA Site Lighting Sheet.pdf $4253\mbox{\ensuremath{\mbox{K}}}$





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Sherrill Boule	vard Driveway	
	AASHTO Required Sight Distance (40 mph)	Field Measured Sight Distance
Intersection Sight Distance		
Left-turn from driveway	500'	600' +
Right-turn from driveway	305'	600' +
Stopping Sight Distance		
Northbound Sherrill Blvd.	305'	600' +
Southbound Sherrill Blvd.	305'	600' +

DRIVEWAY D...... MABRY HOOD ROAD APPROX. ROW

500' REQUIRED

610' AVAILABLE

SHERRILL BOULEVARD

500 REQUIRED

600' AVAILABLE

Mabry Hood Road Driveway AASHTO Required Sight Field Measured Distance Sight Distance ntersection Sight Distance Left-turn from driveway Right-turn from driveway 340° 405° pping Sight Distance Northbound Mabry Hood Rd. Southbound Mabry Hood Rd.

- Assumptions:

 1. 30 mph posted speed limit on Mabry Hood Rd.

 2. Driveway grade is less than 3%.

 3. Mabry Hood Road grade is less than 6%.

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- Intersection sight distances comply with requiements of AASHTO "A policy on Geometric Design of Highways and Streets" (AASHTO Green Book, 7th Edition).
- 2. Intersection sight distance values are provided for passenger vehicles
- 3. Field measurements assumed a driver's eye height of 3.5° above the surface of the proposed driveway and located a minimum of 14.5° from the edge of travel way (white edge line). The assumed object height for intersection sight distance is 3.5.

TTCDA FILE #6-A-22-TOB

	TTCDA COMMENTS	MAY 23, 21
REVISIONS		DATE
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CLIENT:	BRAND PROPERTI 3328 PEACHTREE ROAD SUIT ATLANTA, GA 30326	

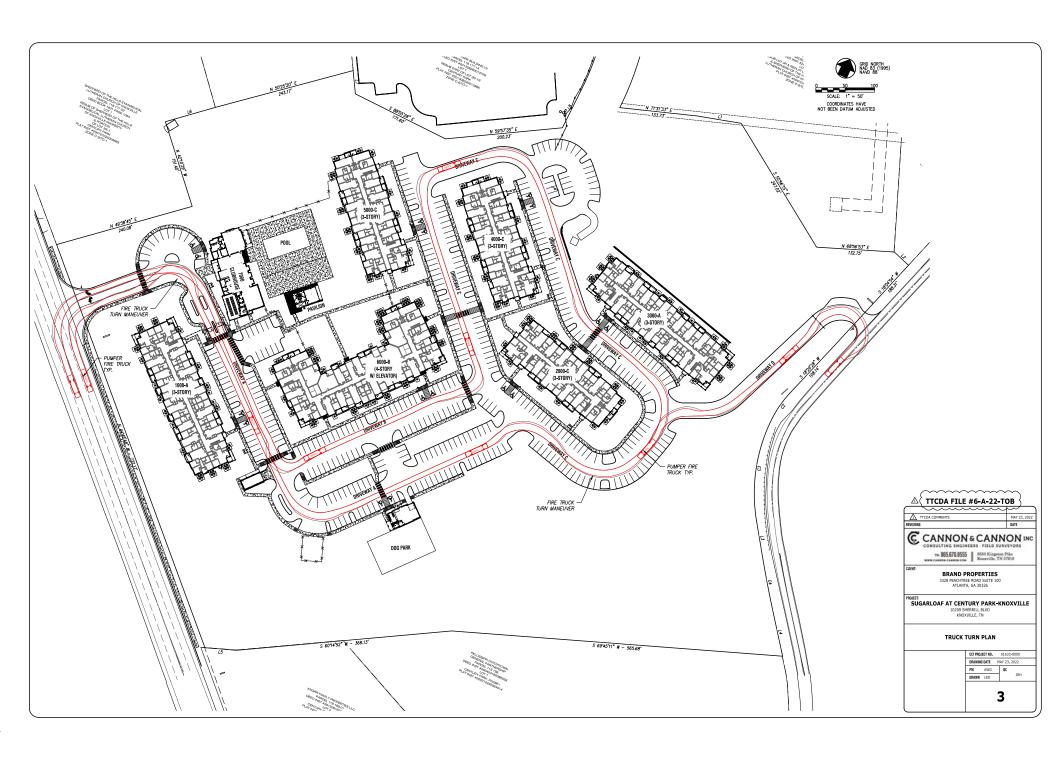
RUGET:
SUGARLOAF AT CENTURY PARK-KNOXVILLE 10209 SHERRILL BLVD KNOXVILLE, TN

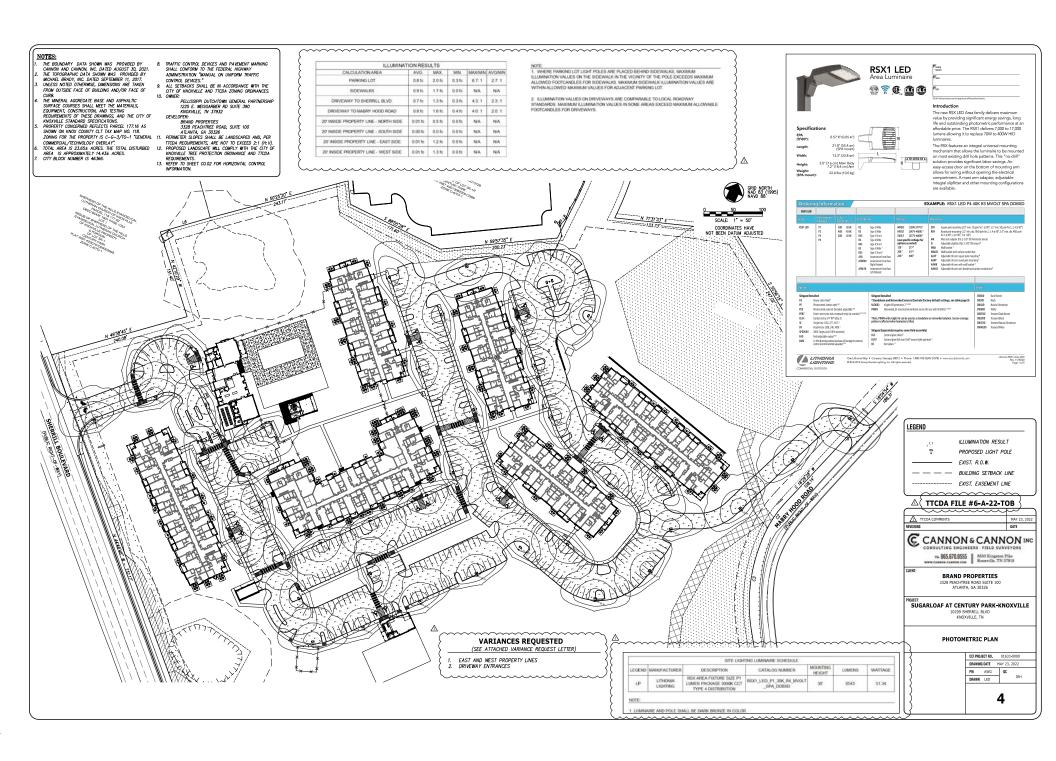
SIGHT TRIANGLES

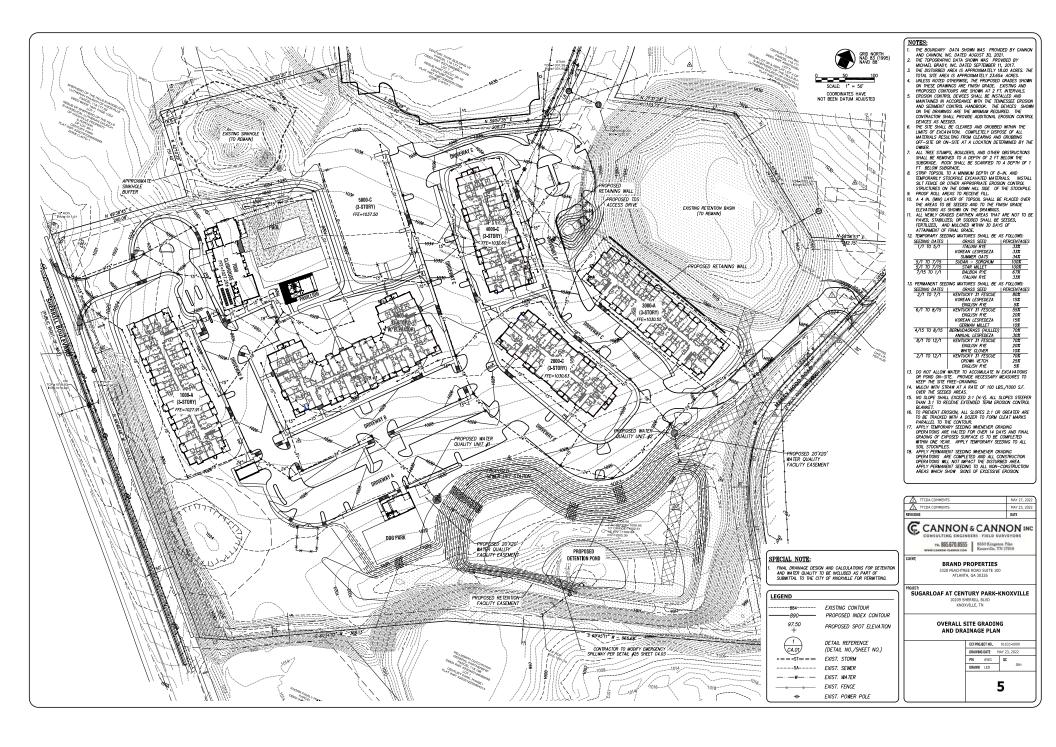


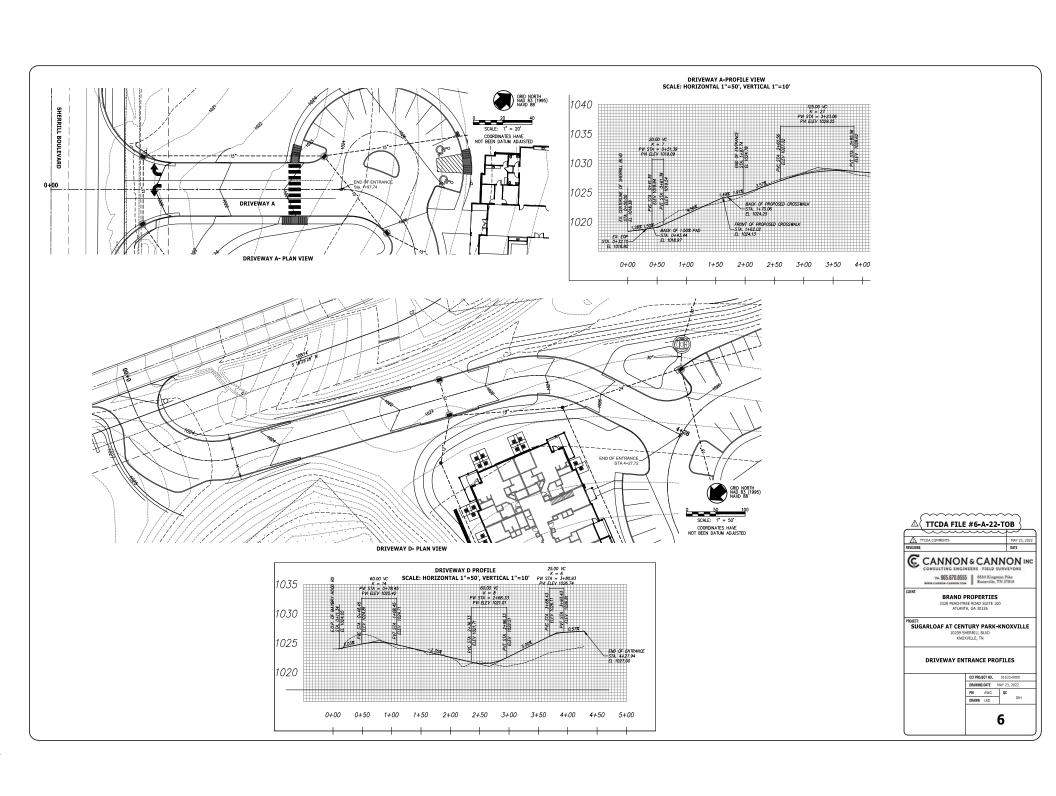
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ATLANTA, GA 30326 CONTACT: MICHAEL SILVERMAN PHONE: 678.427.7841

EMAIL: MSILVERMAN@BRANDPROPERTIES.COM

*CONTRACTOR

FLOURNOY CONSTRUCTION GROUP

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CONTACT: RANDY OSBORNE

RANDY.OSBORNE@FLOURNOYCONSTRUCTION.COM

ARCHITECT

SILVER STUDIO ARCHITECTS

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CONTACT: MARA NEUMANN PHONE: 404.260.5278 EXT 703 EMAIL: MNEUMANN@SILVERSTUDIOARCHITECTS.CON

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EMAIL:RYORK@M2STRUCTURAL.COM

MEP ENGINEER

PROFICIENT ENGINEERING

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CONTACT: ANDREW SMITH

PHONE: 404.330.9798 EMAIL: ASMITH@PROFICIENTENGINEERING.COM

*INTERIOR DESIGNER

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PHONE: 404.350.2181 EMAIL: RACHEL@FOCUSDESIGNINTERIORS.COM

*LANDSCAPE ARCHITECT

BARGE DESIGN SOLUTIONS 2839 PACES EERRY ROAD SE SUITE 850 ATLANTA, GA 30339

CONTACT: CLIF BUSSEY PHONE: 770.628.7632 EMAIL: CLIF.BUSSEY@BARGEDESIGN.COM

UNDER SEPARATE CONTRACT

CONSULTANTS DESIGNATED WITH AN ASTERISK (*), BUT NOT LIMITED TO THOSE WITH THIS DESIGNATION, ARE UNDER A SEPARTE CONTRACT WITH THE OWNER.

PROJECT SCOPE DESCRIPTION

PROJECT NAME IS A 286-UNIT, 380,806 GROSS SQUARE FOOTAGE MULTIFAMILIY DEVELOMPENT TO BE CONSTRUCTED ON 23.65 ACRES OF UNDEVELOPED LAND. THIS PROJECT CONSISTS OF (6) RESIDENTIAL BUILDINGS, (1) MIXED USE LEASING/AMENITY BUILDING (1) POOL PAVILION, & (1) MAINTENANCE/DOGSPA/BIKE STORAGE, PARKING IS ON GRADE IN AN OPEN PARKING LOT. AN ADDITIONAL TRASH ENCLOSURE IS PROVIDED.

PROJECT BUILDING INFORMATION

BUILDING TYPE 1000A: 3 STORY GARDEN STYLE; R-2 OCCUPANCY; CONSTRUCTION TYPE V-A
PROTECTED BY NPPA 13R SPRINKLER SYSTEM: ALLOWABLE HEIGHT IS 60-0" PER IBC 504.2 BUILDING TYPE 2000C: 3 STORY GARDEN STYLE; R-2 OCCUPANCY; CONSTRUCTION TYPE V-A PROTECTED BY NFPA 13R SPRINKLER SYSTEM; ALLOWABLE HEIGHT IS 60'-0" PER IBC 504.2

BUILDING TYPE 3000A: 3 STORY GARDEN STYLE; R-2 OCCUPANCY; CONSTRUCTION TYPE V-A PROTECTED BY NFPA 13R SPRINKLER SYSTEM; ALLOWABLE HEIGHT IS 60-0" PER IBC 504.2

BUILDING TYPE 4000C: 3 STORY GARDEN STYLE; R-2 OCCUPANCY; CONSTRUCTION TYPE V-A; PROTECTED BY NFPA 13R SPRINKLER SYSTEM; ALLOWABLE HEIGHT IS 60'-0" PER IBC 504.2

BUILDING TYPE 60008: 4 STORY GARDEN STYLE; R-2 OCCUPANCY; CONSTRUCTION TYPE V-A PROTECTED BY NPPA 13R SPRINKLER SYSTEM; ALLOWABLE HEIGHT IS 60-0" PER IBC 504.2

BUILDING 9000- MAITENANCE-DOG SPA: 5.2 OCCUPANCY MAINTENANCE SHED WITH DOG SPA AN BIKE STORAGE FOR RESIDENTS ONLY; CONSTRUCTION TYPE V-B; UNSPRINKLERED; 2-STORY

BUILDING CODE:

COUNTY CODE:

FIRE CODE:

APPLICABLE CODES

ICC INTERNATIONAL BUILDING CODE 2018 EDITION, WITH CITY OF KNOXVILLE AMENDMENTS ICC INTERNATIONAL FIRE CODE 2018 EDITION WITH LOCAL AMENDMENTS

MECHANICAL CODE:

FUEL CODE: ICC INTERNATIONAL FUEL GAS CODE 2018 EDITION

ICC INTERNATIONAL ENERGY CONSERVATION CODE 2018 ENERGY CODE:

ELECTRICAL CODE: NATIONAL ELECTRICAL CODE 2017 LIFE SAFETY CODE NFPA 101. LIFE SAFETY CODE 2012

ACCESSIBILITY PROVISIONS

AMERICANS WITH DISARII ITIES ACT. 2010 ADA STANDARDS FOR ACCESSIRI E DESIGN FAIR HOUSING ACT ACCESSIBILITY GUIDELINES

FIRE SUPPRESSION NOTE

"PROJECT LOCATION" FIRE MARSHAL'S OFFICE PRIOR TO INSTALLATION FOR COMPLIANCE WITH ASCE/SEI 7-10 SECTIONS 13.3.1, 13.3.2, AND NFPA 13.

CONSTRUCTION ADMINISTRATION

SILVER STUDIO HAS BEEN CONTRACTED TO MAKE MONTHLY VISITS TO THE PROJECT SITE TO REVIEW PROGRESS AND GENERAL CONFORMANCE WITH THE CONTRACT DOCUMENTS.

SPECIAL INSPECTIONS NOTE

SIGNAGE NOTE

SIGNAGE IS NOT IN THE SCOPE OF THIS SET OF DOCUMENTS. SEPARATE SIGNAGE

DEFERRED SUBMITTALS

RED SUBMITTALS TO INCLUDE: FIRE PROTECTION, FIRE ALARM, TRUSS DESIG TION, SITE RETAINING WALLS, BELOW GRADE POOL DESIGN, PREFAB STAIR PT SLABS, AND LOW VOLTTAGE DRAWINGS. LISTED ITEMS ARE NOT UNDER SILVER STUDIO CONTRACT AND SHALL BE SUBMITTED AS SHOP DRAWINGS STAMPED BY A PROFESSIONAL BYGINEER REGISTERED IN THE STATE IN WHICH THE PROJECT IS LOCATED.

SUGARLOAF AT CENTURY PARK-KNOXVILLE

10209 SHERRILL BLVD- KNOXVILLE, TENNESSEE



	AREA SCHEDULE - P	ROJECT GROSS SF	
BUILDING TYPE	BUILDING SF	BUILDING COUNT	BUILDING SF X BUILDING COUNT
UILDING TYPE-A			
CONDITIONED	46,518 SF	2	93,036 SF
INCONDITIONED	13,280 SF	2	26,379 SF
	59,798 SF		119,415 SF
BUILDING TYPE-B			
CONDITIONED	77,467 SF	1	77,467 SF
INCONDITIONED	30,178 SF	1	30,178 SF
	107,644 SF		107,644 SF
BUILDING TYPE-C			
CONDITIONED	36.303 SF	3	108.908 SF
INCONDITIONED	11.043 SF	3	32.820 SF
	47,346 SF		141,728 SF
CLUBHOUSE			
CONDITIONED	6,959 SF	1	6,959 SF
INCONDITIONED	1,751 SF	1	1,468 SF
	8,709 SF		8,427 SF
MAINTENANCE BUILDING CONDITIONED	1.259 SF	1	1.259 SF
INCONDITIONED	1,259 SF 194 SF	1	1,259 SF 194 SF
INCONDITIONED	194 SF 1,453 SF	1 1	194 SF 1.453 SF
	1,455 5F		1,433.3F
POOL BATH HOUSE			
CONDITIONED	1.136 SF	1	1.136 SF
INCONDITIONED	335 SF	1	335 SF
	1,471 SF		1,471 SF
TRASH ENCLOSURE			
INCONDITIONED	668 SF	1	668 SF
	668 SF		668 SF
SROSS SQUARE FOOTAGE GRAND TOTAL	227.089 SF		380,806 SF

FLOOR AREA RATIO

FAR= TOTAL GROSS FLOOR AREA/GROSS LOT AREA TOTAL GROSS FLOOR AREA= GROSS LOT AREA= 23.65 ACRES=

REQUIRED; FAR NOT TO EXCEED 30%

6-A-22-TOB)

' PARK-KNOXVILLE KVILLE, TENNESSEE

CENTURY BLVD- KNOX

JGARLOAF AT C 10209 SHERRILL I

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sen icrt # : 121006

DRAWN BY: Author

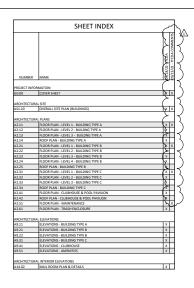
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DOCUMENT ISSUANCES REV# DATE /04/18/22 SCHEMATIC DESIGN 05/23/22 TTCDA COMMENTS

HEET TITLE

COVER SHEET

HEET NUMBER: G0.00



RCH NAME

PROJECT #: 121006

DRAWN BY: MN/JR/CL/AJ

CHECKED BY: MN

SILVER STUDIO

SILVER STUDIO ARCHITECTS 190 OTTLEY DRIVE NE SUITE J ATLANTA, GA 30324 T: 404.280.5278

No.		Date
A	TTCDA	04/18/22
1	TTCDA COMMENTS	05/23/22

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BRAND PROPERTIES

SUGARLOAF AT CENTURY PARK-KNOXVILLE 10209 SHERRILL BLVD- KNOXVILLE, TENNESSEE

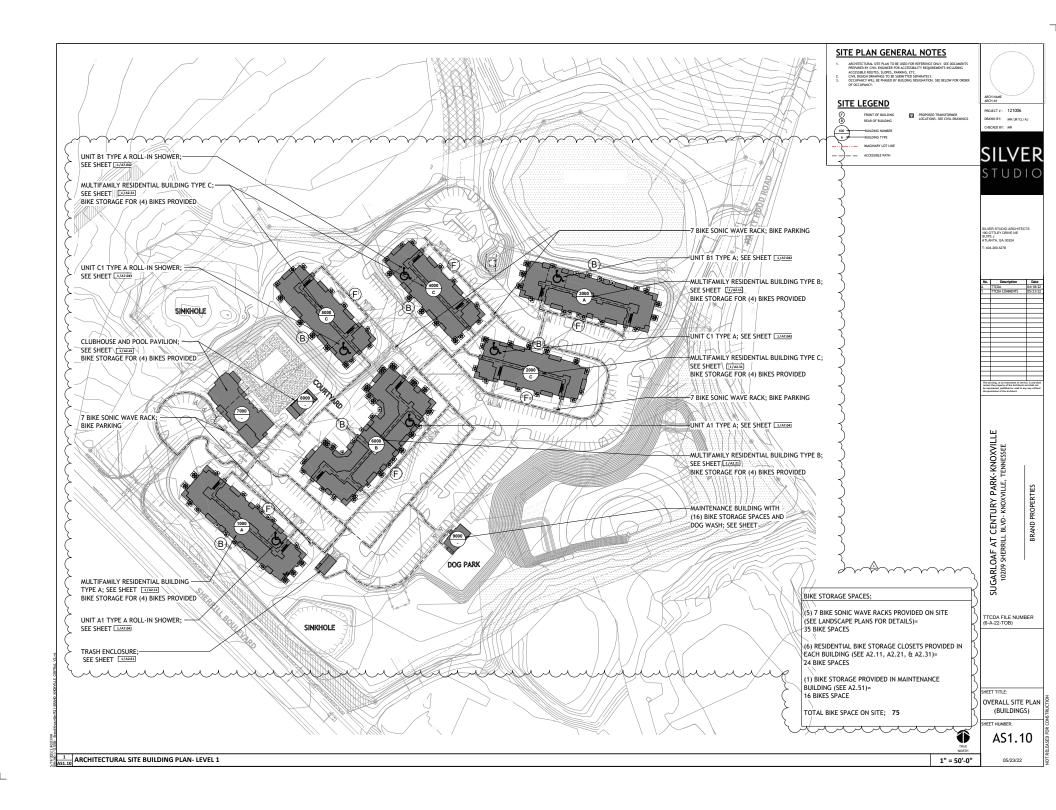
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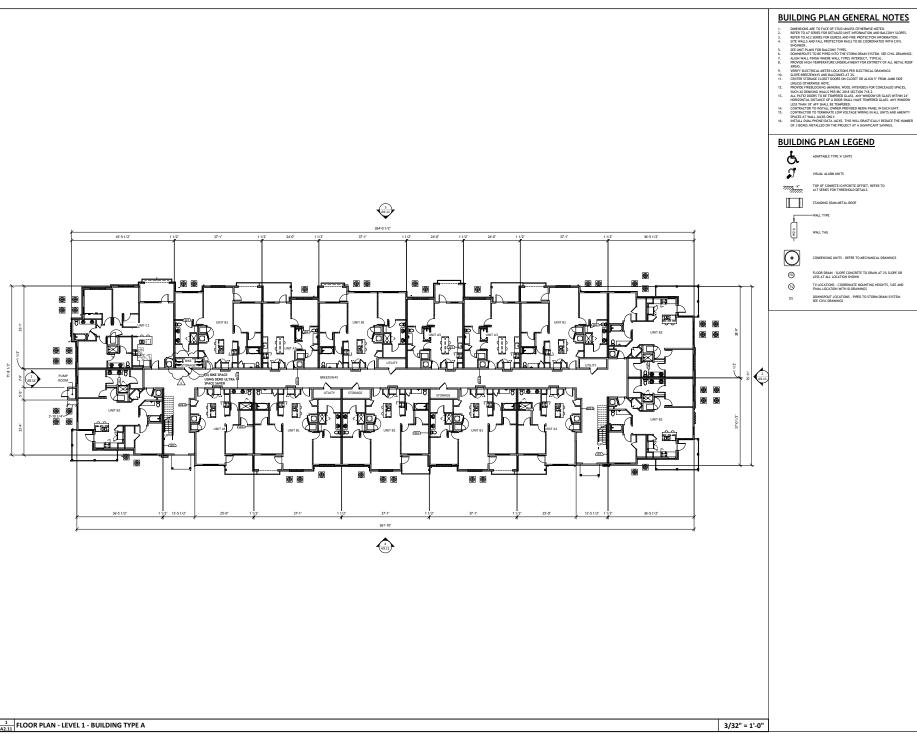
SHEET TITLE:

SHEET INDEX

SHEET NUMBER:

G0.01





BUILDING PLAN LEGEND

ADAPTABLE TYPE 'A' UNITS





DOWNSPOUT LOCATIONS - PIPED TO STORM DRAIN SYSTEM. SEE CIVIL DRAWINGS

No. Description
A TTCDA
1 TTCDA COMMENTS

PROJECT #: 121006 DRAWN BY: MN/JR/CL/AJ

STUDIO

SILVER STUDIO ARCHITECTS 190 OTTLEY DRIVE NE SUITE J ATLANTA, GA 30324

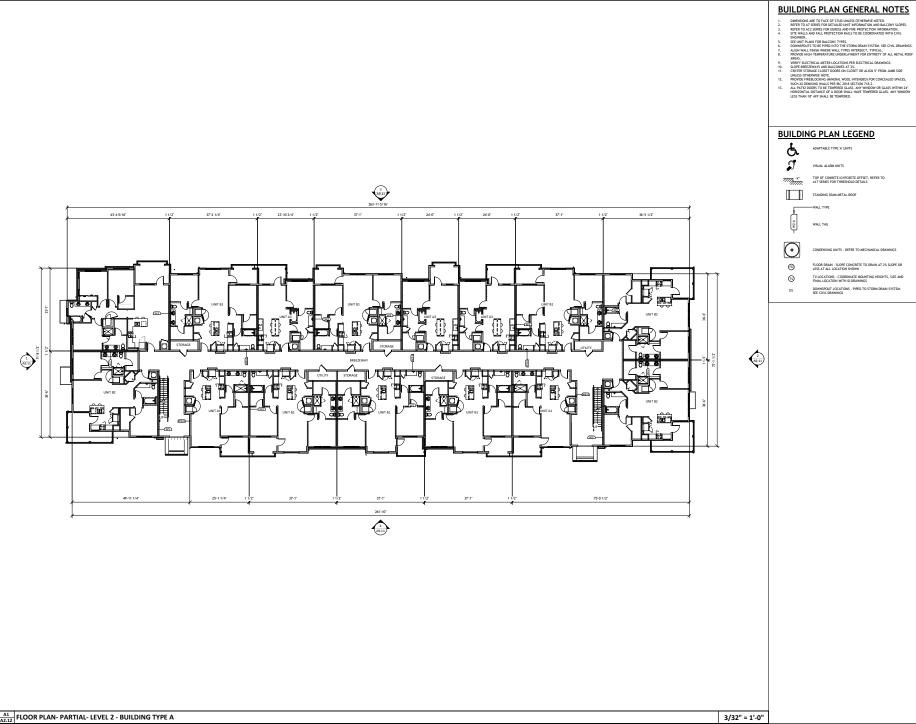
r: 404.260.5278

CENTURY PARK-KNOXVILLE L BLVD- KNOXVILLE, TENNESSEE SUGARLOAF AT C 10209 SHERRILL B



FLOOR PLAN -LEVEL 1 - BUILDING

SHEET NUMBER: A2.11





DRAWN BY: MN/JR/CL/AJ CHECKED BY: MN

BUILDING PLAN LEGEND

TOP OF CONRETE/GYPCRETE OFFSET, REFER TO A17 SERIES FOR THRESHOLD DETAILS



TV LOCATIONS - COORDINATE MOUNTING HEIGHTS, SIZE AND FINAL LOCATION WITH ID DRAWINGS

STUDIO

SILVER STUDIO ARCHITECTS 190 OTTLEY DRIVE NE SUITE J ATLANTA, GA 30324 r: 404.260.5278

No. Description Date A TTCDA 04/18/22

SUGARLOAF AT CENTURY PARK-KNOXVILLE 10209 SHERRILL BLVD- KNOXVILLE, TENNESSEE

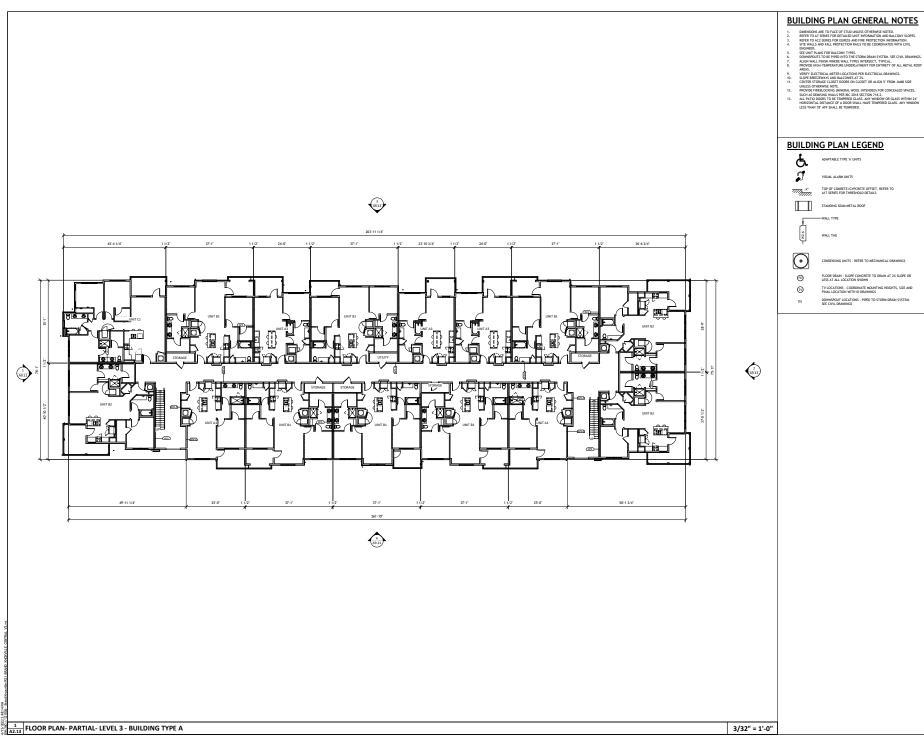
TTCDA FILE NUMBER (6-A-22-TOB)



FLOOR PLAN -LEVEL 2 - BUILDNG TYPE A

SHEET NUMBER:

A2.12





PROJECT #: 121006 DRAWN BY: MN/JR/CL/AJ CHECKED BY: MN

BUILDING PLAN LEGEND

TOP OF CONRETE/GYPCRETE OFFSET, REFER TO A17 SERIES FOR THRESHOLD DETAILS







DOWNSPOUT LOCATIONS - PIPED TO STORM DRAIN SYSTEM. SEE CIVIL DRAWINGS

STUDIO

SILVER STUDIO ARCHITECTS 190 OTTLEY DRIVE NE SUITE J ATLANTA, GA 30324 r: 404.260.5278

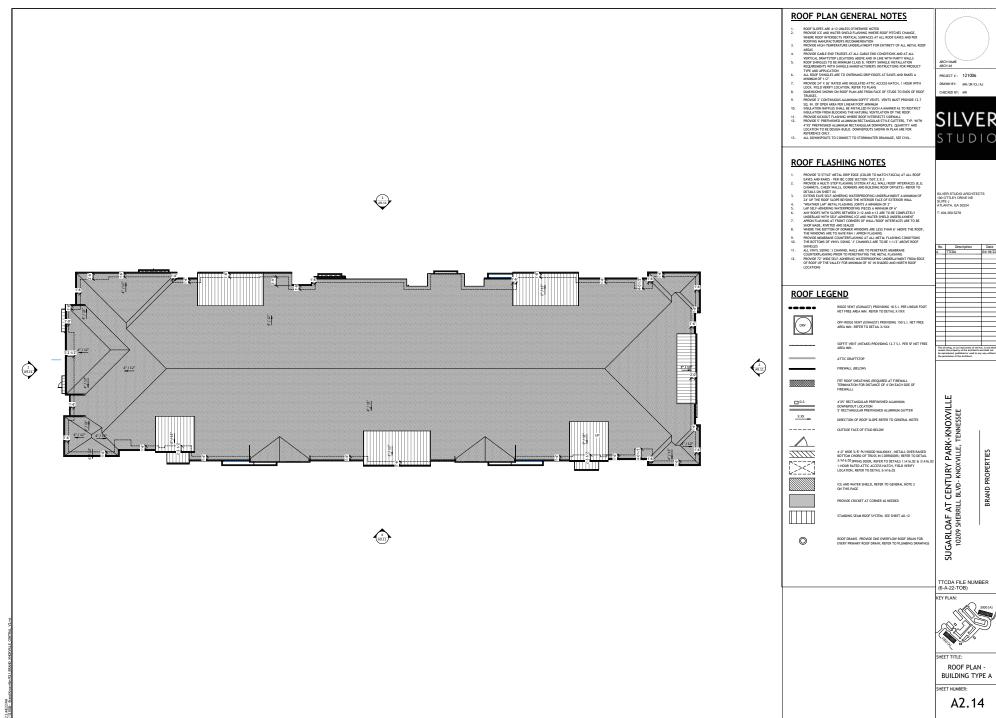
SUGARLOAF AT CENTURY PARK-KNOXVILLE 10209 SHERRILL BLVD- KNOXVILLE, TENNESSEE



FLOOR PLAN -LEVEL 3 - BUILDNG TYPE A

SHEET NUMBER:

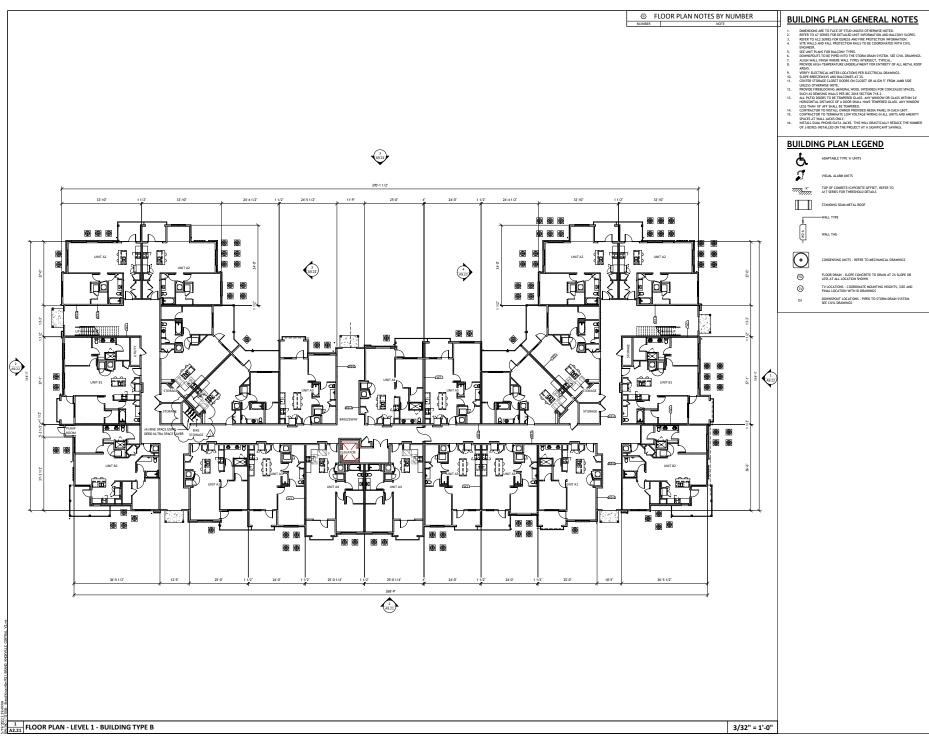
A2.13



OVERALL ROOF PLAN- OVERALL 1

04/18/22

3/32" = 1'-0"



ARCH NAME ARCH ST

PROJECT #: 121006

DRAWN BY: MN/JR/CL/AJ

CHECKED BY: MN

SILVER studio

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No. Description Date
1 TTCDA COMMENTS 05/23/22

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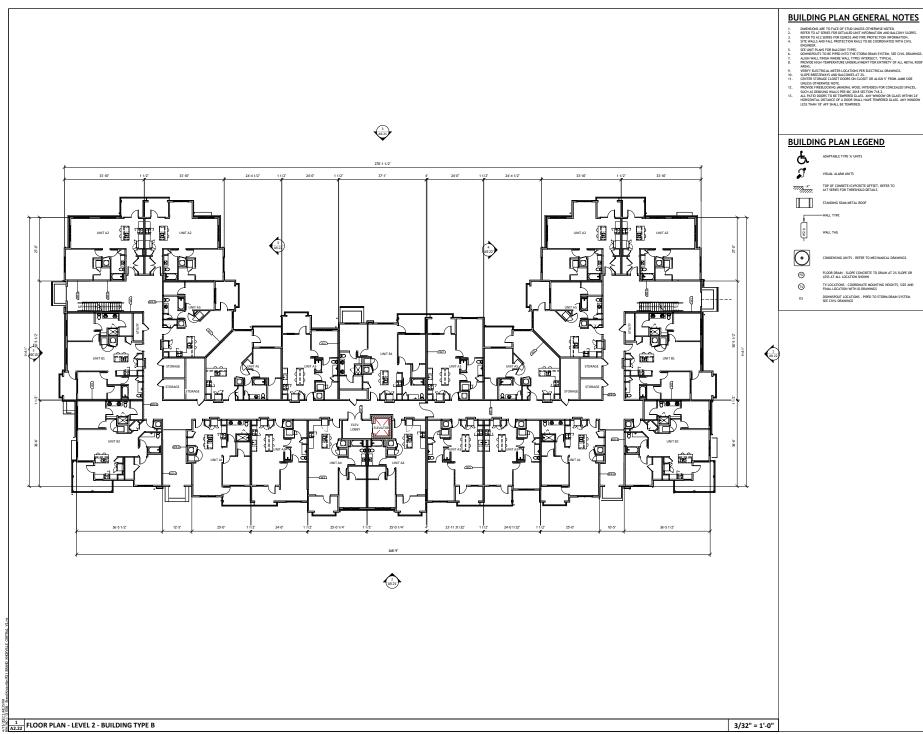
SUGARLOAF AT CENTURY PARK-KNOXVILLE
10209 SHERRIL BLVD-KNOXVILLE, TENNESSEE

TTCDA FILE NUMBER (6-A-22-TOB)



FLOOR PLAN -LEVEL 1 - BUILDING TYPE B

A2.21





PROJECT #: 121006 DRAWN BY: MN/JR/CL/AJ

STUDIO

BUILDING PLAN LEGEND

TOP OF CONRETE/GYPCRETE OFFSET, REFER TO A17 SERIES FOR THRESHOLD DETAILS







SILVER STUDIO ARCHITECTS 190 OTTLEY DRIVE NE SUITE J ATLANTA, GA 30324 r: 404.260.5278

CENTURY PARK-KNOXVILLE L BLVD- KNOXVILLE, TENNESSEE SUGARLOAF AT C 10209 SHERRILL B

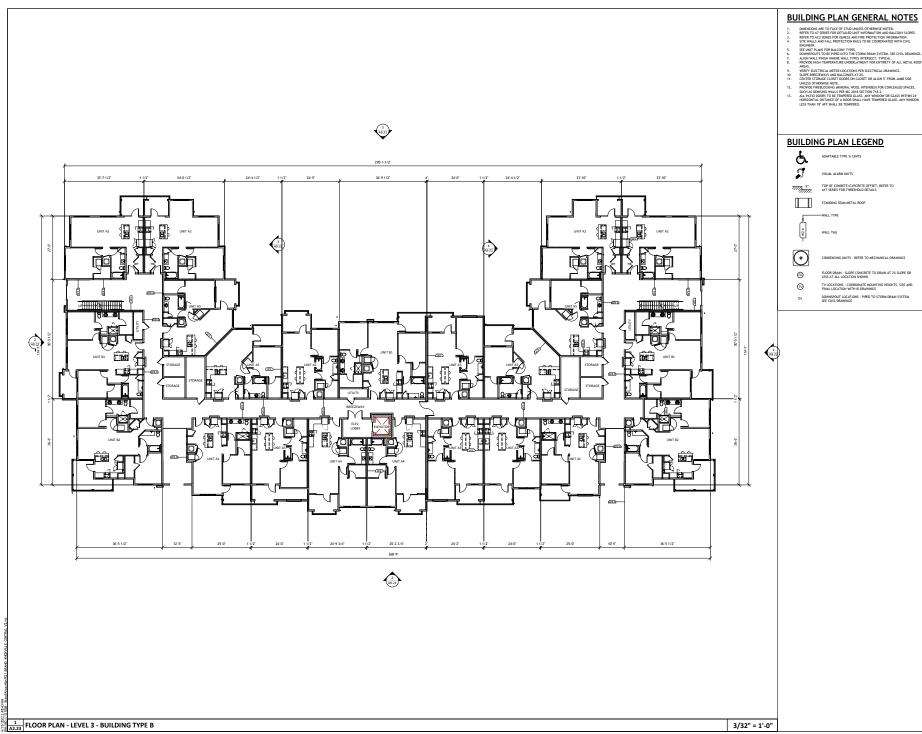
TTCDA FILE NUMBER (6-A-22-TOB)



FLOOR PLAN -LEVEL 2 - BUILDING TYPE B

SHEET NUMBER:

A2.22





PROJECT #: 121006 DRAWN BY: MN/JR/CL/AJ

STUDIO

BUILDING PLAN LEGEND

TOP OF CONRETE/GYPCRETE OFFSET, REFER TO A17 SERIES FOR THRESHOLD DETAILS





DOWNSPOUT LOCATIONS - PIPED TO STORM DRAIN SYSTEM. SEE CIVIL DRAWINGS

SILVER STUDIO ARCHITECTS 190 OTTLEY DRIVE NE SUITE J ATLANTA, GA 30324 r: 404.260.5278

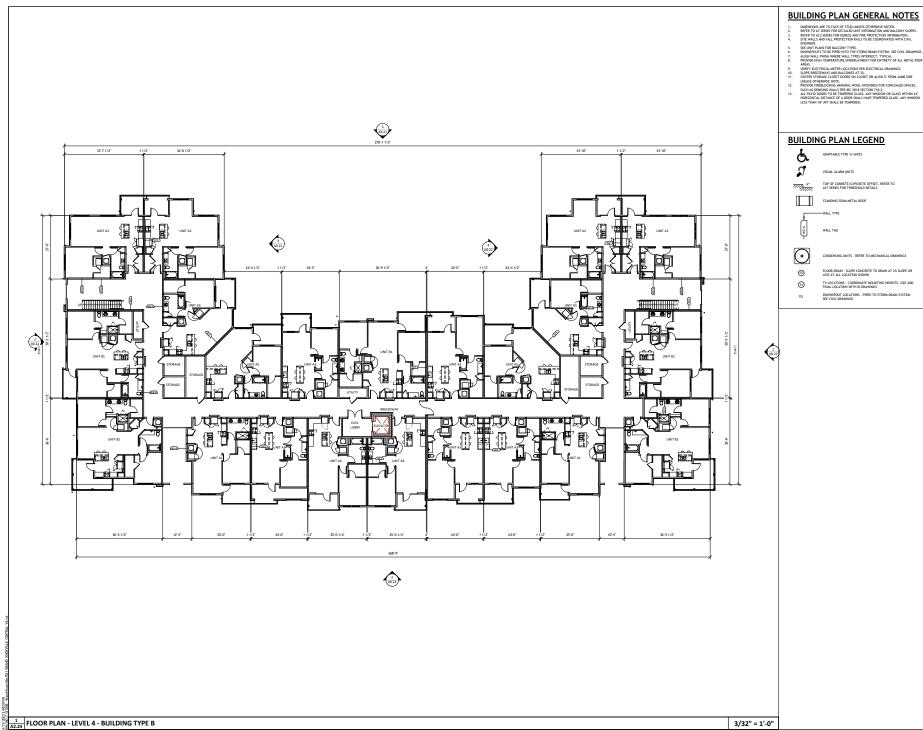
CENTURY PARK-KNOXVILLE L BLVD- KNOXVILLE, TENNESSEE SUGARLOAF AT C 10209 SHERRILL B

TTCDA FILE NUMBER (6-A-22-TOB)



FLOOR PLAN -LEVEL 3 - BUILDING

SHEET NUMBER: A2.23





PROJECT #: 121006 DRAWN BY: MN/JR/CL/AJ

STUDIO

BUILDING PLAN LEGEND

TOP OF CONRETE/GYPCRETE OFFSET, REFER TO A17 SERIES FOR THRESHOLD DETAILS





SILVER STUDIO ARCHITECTS 190 OTTLEY DRIVE NE SUITE J ATLANTA, GA 30324 1: 404.260.5278

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SUGARLOAF AT CENTURY PARK-KNOXVILLE 10209 SHERRILL BLVD- KNOXVILLE, TENNESSEE

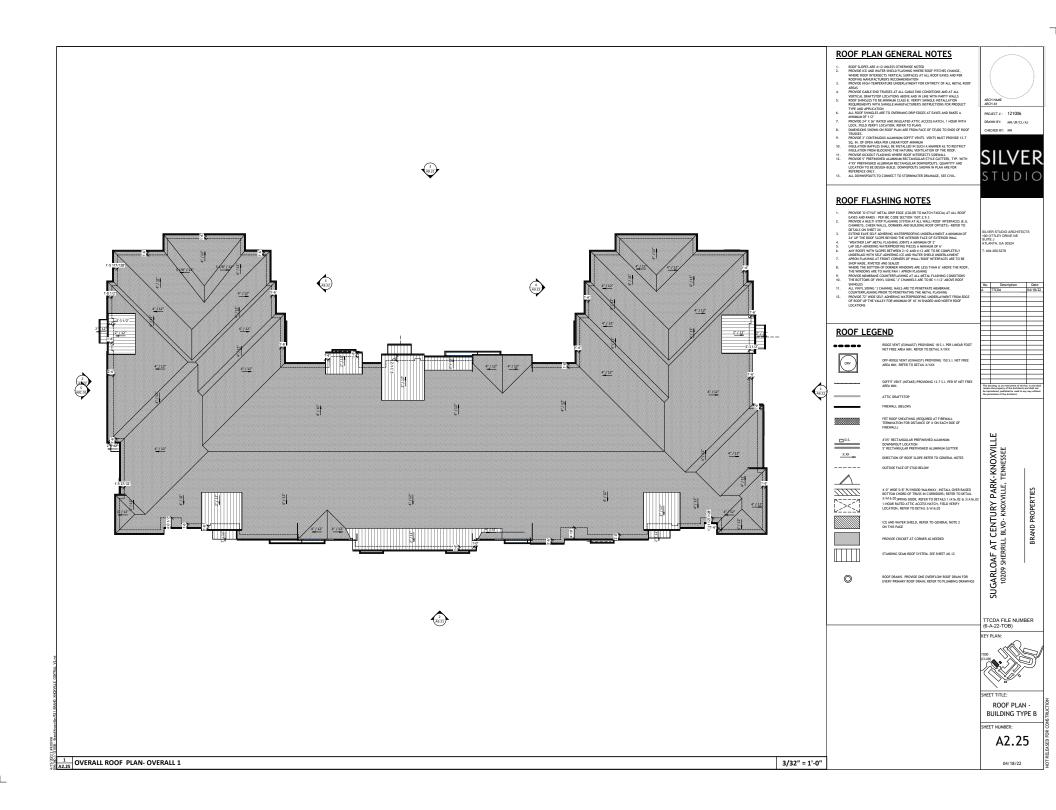
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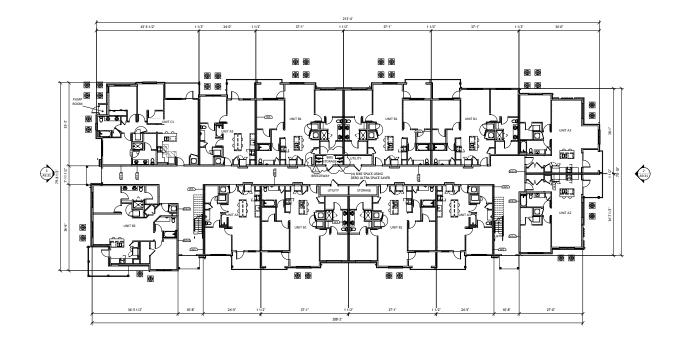


FLOOR PLAN -LEVEL 4 - BUILDING TYPE B

SHEET NUMBER:

A2.24





- DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
 REFER TO AS SERIES FOR DETAILED UNIT INFORMATION AND BALLONY SLOPES.
 REFER TO AS SERIES FOR EDERSS AND FER PROTECTION INFORMATION.
 SITE WALLS AND FALL PROTECTION HALS TO BE COORDINATED WITH CIVIL
 ENGINEER.
 SEE UNIT PLANS FOR BALLONY TYPES.
 DOWNSPOUTS TO BE PIPED INTO THE STORM DRAIN SYSTEM. SEE CIVIL DRAWINGS.

- 5. SEE CHIEF ALMS FOR BLACHON TYPES.

 5. SEE CHIEF ALMS FOR BLACHON TYPES.

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BUILDING PLAN LEGEND





TOP OF CONRETE/GYPCRETE OFFSET, REFER TO A17 SERIES FOR THRESHOLD DETAILS









TV LOCATIONS - COORDINATE MOUNTING HEIGHTS, SIZE AND FINAL LOCATION WITH ID DRAWINGS

DOWNSPOUT LOCATIONS - PIPED TO STORM DRAIN SYSTEM.
SEE CIVIL DRAWINGS



PROJECT #: 121006 DRAWN BY: MN/JR/CL/AJ

STUDIO

SILVER STUDIO ARCHITECTS 190 OTTLEY DRIVE NE SUITE J ATLANTA, GA 30324

1: 404.260.5278

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SUGARLOAF AT CENTURY PARK-KNOXVILLE 10209 SHERRILL BLVD- KNOXVILLE, TENNESSEE

TTCDA FILE NUMBER (6-A-22-TOB)



FLOOR PLAN -LEVEL 1 - BUILDING

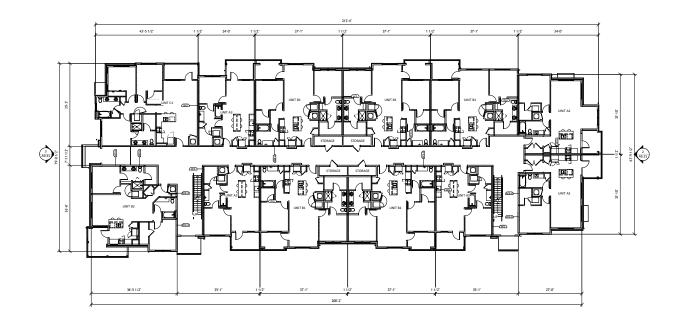
SHEET NUMBER:

A2.31

05/23/22

3/32" = 1'-0"

1 FLOOR PLAN - LEVEL 1 - BUILDING TYPE C



1 FLOOR PLAN - LEVEL 2 - BUILDING TYPE C

BUILDING PLAN GENERAL NOTES

- DOLLDING FLAN GENERAL NOTES

 1. RESET TO A TERRET FOR CHILD HER REPORTED AND EAST SHEET

 2. RESET TO A TERRET FOR THAT DIFFER REPORTED AND EAST SHEET

 2. RESET TO A TERRET FOR THAT DIFFER REPORTED AND EAST SHEET

 3. RESET TO A TERRET FOR THAT DIFFER REPORTED AND EAST SHEET

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 5. RESET SHEET

 6. RESET SHEET

 6.



PROJECT #: 121006 DRAWN BY: MN/JR/CL/AJ CHECKED BY: MN

STUDIO

BUILDING PLAN LEGEND





TOP OF CONRETE/GYPCRETE OFFSET, REFER TO A17 SERIES FOR THRESHOLD DETAILS







1

SILVER STUDIO ARCHITECTS 190 OTTLEY DRIVE NE SUITE J ATLANTA, GA 30324 r: 404.260.5278

SUGARLOAF AT CENTURY PARK-KNOXVILLE 10209 SHERRILL BLVD- KNOXVILLE, TENNESSEE

TTCDA FILE NUMBER (6-A-22-TOB)



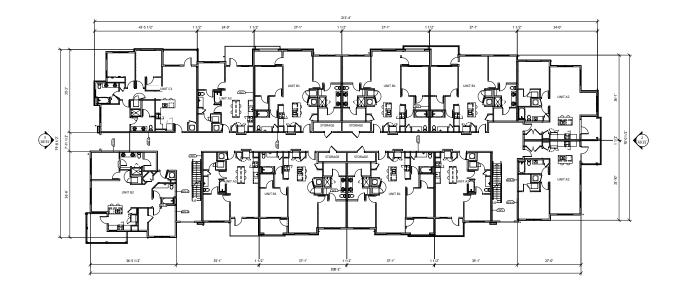
FLOOR PLAN -LEVEL 2 - BUILDING TYPE C

SHEET NUMBER:

A2.32

04/18/22

3/32" = 1'-0"



1 FLOOR PLAN - LEVEL 3 - BUILDING TYPE C

BUILDING PLAN GENERAL NOTES

- DOLLDING PLAN GENERAL NOTES

 . BREET TO A TERRET FOR CHILD HET REPORTED HAD BELDON LOPES.

 . BREET TO A TERRET FOR CHILD HET REPORTED HAD BELDON LOPES.

 . BREET TO A TERRET FOR CHILD HET REPORTED HAD BELDON LOPES.

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 . BUT MALKS FOR A PLAN FOR THE A TOPA HAD THE MAIN CHILD HAD THE MAIN CHIL



PROJECT #: 121006 DRAWN BY: MN/JR/CL/AJ CHECKED BY: MN

STUDIO

BUILDING PLAN LEGEND





TOP OF CONRETE/GYPCRETE OFFSET, REFER TO A17 SERIES FOR THRESHOLD DETAILS









DOWNSPOUT LOCATIONS - PIPED TO STORM DRAIN SYSTEM.
SEE CIVIL DRAWINGS

SILVER STUDIO ARCHITECTS 190 OTTLEY DRIVE NE SUITE J ATLANTA, GA 30324 r: 404.260.5278

SUGARLOAF AT CENTURY PARK-KNOXVILLE 10209 SHERRILL BLVD- KNOXVILLE, TENNESSEE

BRAND PROPERTIES

TTCDA FILE NUMBER (6-A-22-TOB)



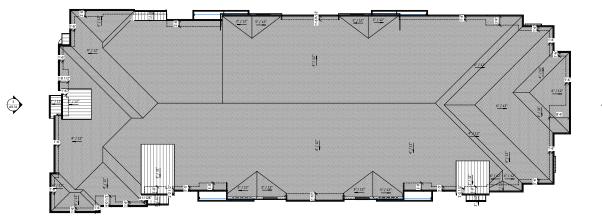
FLOOR PLAN -LEVEL 3 - BUILDING

SHEET NUMBER:

A2.33

04/18/22

3/32" = 1'-0"



ROOF PLAN GENERAL NOTES

- ROOF SLOPES ARE 4:12 UNLESS OTHERWISE NOTED PROVIDE LEE AND WATER SHELD FLASHING WHERE ROOF PITCHES CHANGE, WHERE ROOF INTERSECTS VERTICAL SUBFACES AT ALL ROOF EAVES AND PER ROOFING MANUFACTURERS RECOMMENDATION PROVIDE HIGH TEMPERATURE UNDERLAWBENT FOR DITTIETY OF ALL METAL ROOF PROVIDE HIGH TEMPERATURE UNDERLAWBENT FOR DITTIETY OF ALL METAL ROOF
- AREAS
 PROVIDE GABLE END TRUSSES AT ALL GABLE END CONDITIONS AND AT ALL
- MEDITION CALLE THE THRUSSE AT ALL CARLE THE CONSTRUCTION AND AT A TALL STRETCH, GREATING COLORITORS ADDRESS AND THAN SERVICE AND ATTENDED AND ATTENDED ATTEND

ROOF FLASHING NOTES

RIDGE VENT (EXHAUST) PROVIDING 18 S.I. PER LINEAR FOOT NET FREE AREA MIN. REFER TO DETAIL X/XXX

SOFFIT VENT (INTAKE) PROVIDING 12.7 S.I. PER SF NET FREE AREA MIN.

ATTIC DRAFTSTOP

FRT ROOF SHEATHING (REQUIRED AT FIREWALL TERMINATION FOR DISTANCE OF 4' ON EACH SIDE OF FIREWALL)

4'X5' RECTANGULAR PREFINISHED ALUWINUM DOWNSPOUT LOCATION
5" RECTANGULAR PREFINISHED ALUMINUM GUTTER

DIRECTION OF ROOF SLOPE-REFER TO GENERAL NOTES

4-0" WIDE 5/8" PLYWOOD WALKWAY, INSTALL OVER RAISED BOTTOM CHORD OF TRUSS IN CORRIDORS; REFER TO DETAIL 3/A16.02 JPPING DOOR, REFER TO DETAILS 1/A16.02 & 3/A16.0 1-HOUR RATED ATTIC ACCESS HATCH, FIELD VERIFY LOCATION, REFER TO DETAIL 5/A16.02

ICE AND WATER SHIELD, REFER TO GENERAL NOTE 2 ON THIS PAGE

TTCDA FILE NUMBER (6-A-22-TOB)

PROJECT #: 121006 DRAWN BY: MN/JR/CL/AJ CHECKED BY: MN

STUDIO

SILVER STUDIO ARCHITECTS 190 OTTLEY DRIVE NE SUITE J ATLANTA, GA 30324 404.260.5278



SHEET TITLE:

ROOF PLAN -BUILDING TYPE C

SHEET NUMBER:

3/32" = 1'-0"

OVERALL ROOF PLAN- OVERALL 1

ROOF LEGEND ORV FIREWALL (BELOW) хэх \triangle 0





STANDING SEAM ROOF SYSTEM, SEE SHEET A0.12

K-KNOXVILLE TENNESSEE

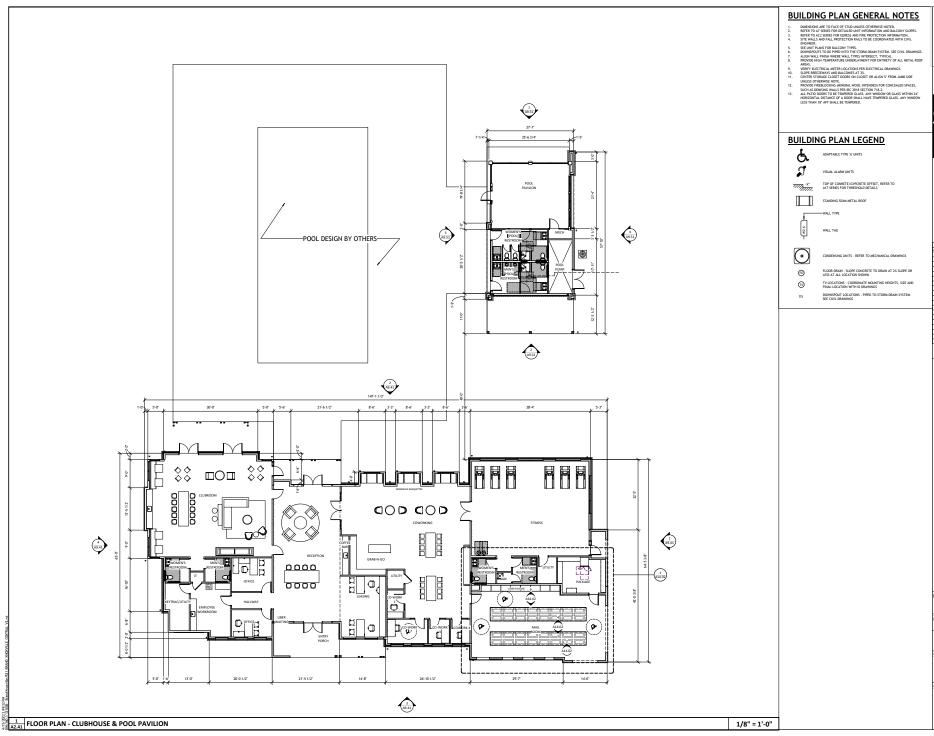
CENTURY PARK-K L BLVD- KNOXVILLE, TER

JGARLOAF AT C 10209 SHERRILL E

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BRAND PROPERTIES

A2.34





PROJECT #: 121006

DRAWN BY: MN/JR/CL/AJ

CHECKED BY: MN

SILVER STUDIO

SILVER STUDIO ARCHITECTS 190 OTTLEY DRIVE NE SUITE J ATLANTA, GA 30324 T: 404.280.5278

Description Date
TTCDA 04/18/22

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SUGARLOAF AT CENTURY PARK-KNOXVILLE 10209 SHERILL BLVO-KNOXVILLE, TENNESSEE

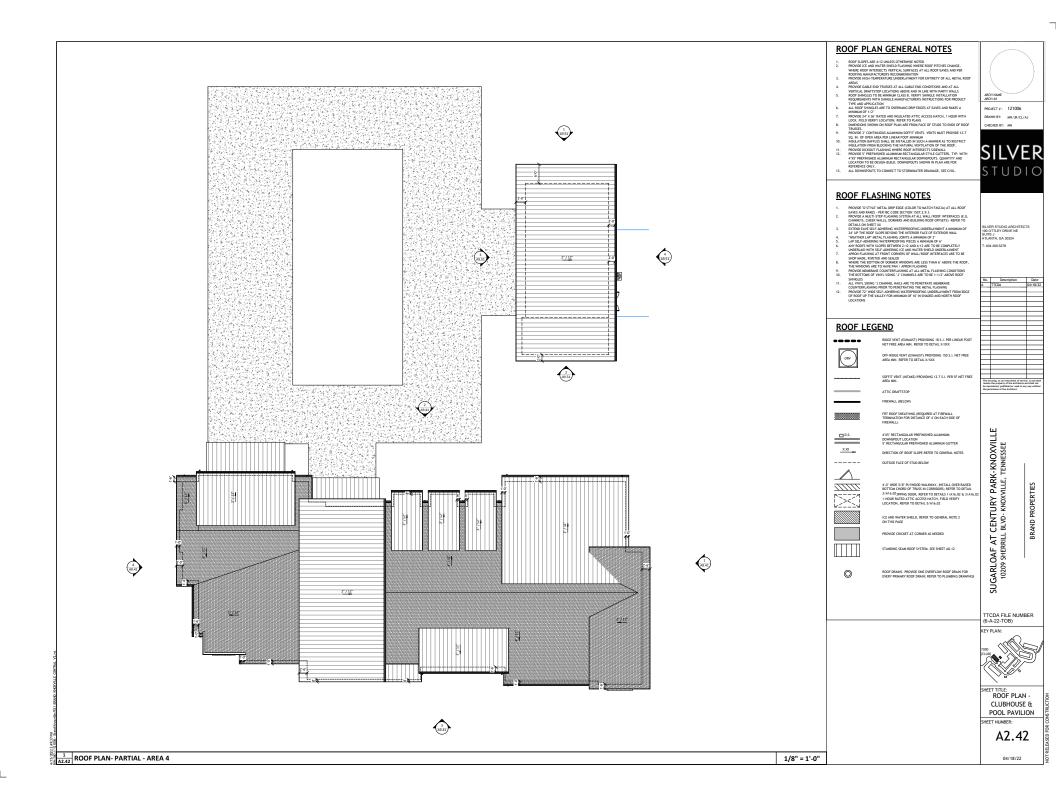
BRAND PROPERTIES

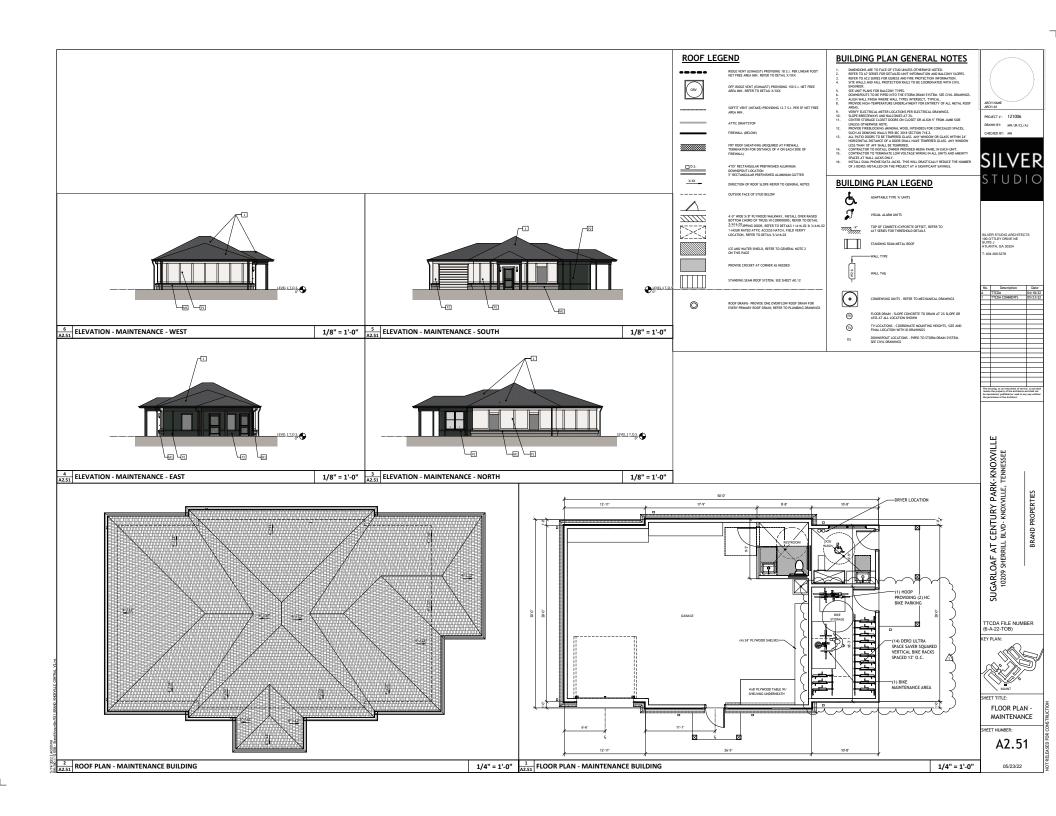
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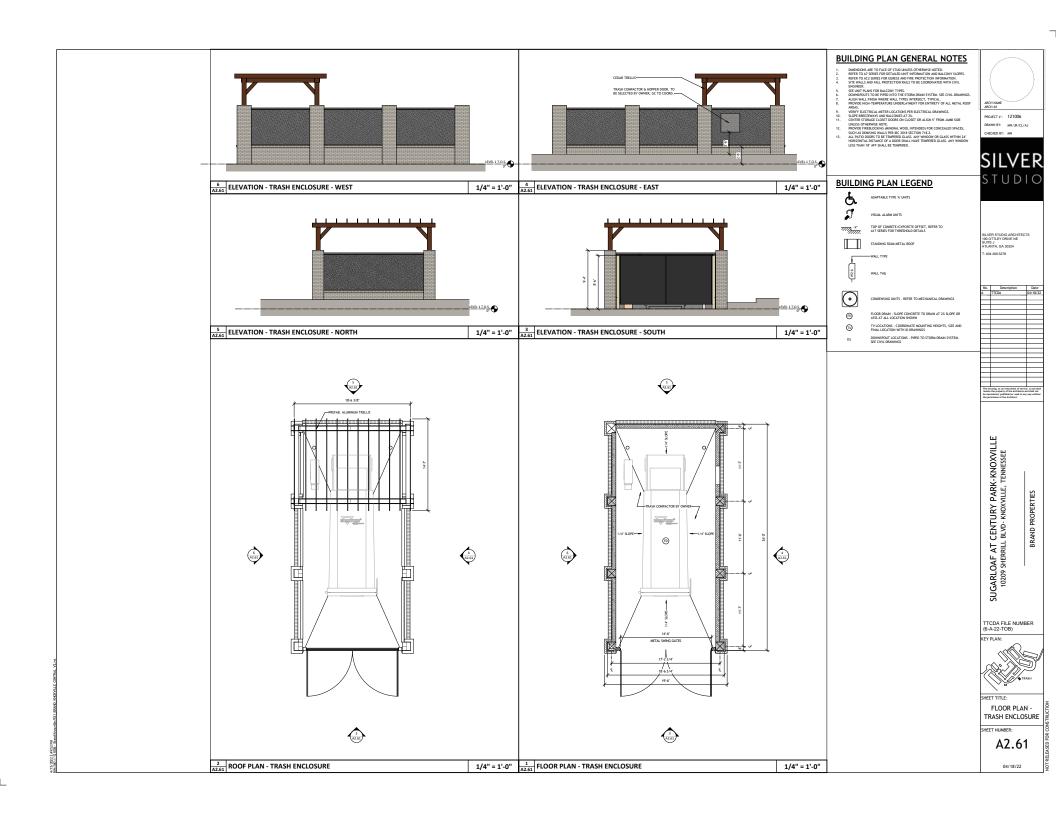


HEET TITLE:
FLOOR PLAN CLUBHOUSE &
POOL PAVILION
HEET NUMBER:

A2.41











PROJECT #: 121006 RAWN BY: MN/JR/CL/AJ

STUDIO

SILVER STUDIO ARCHITECTS 190 OTTLEY DRIVE NE BUITE J \TLANTA, GA 30324 404.260.5278

BRAND PROPERTIES

SUGARLOAF AT CENTURY PARK-KNOXVILLE 10209 SHERRILL BLVD- KNOXVILLE, TENNESSEE

TTCDA FILE NUMBER (6-A-22-TOB)



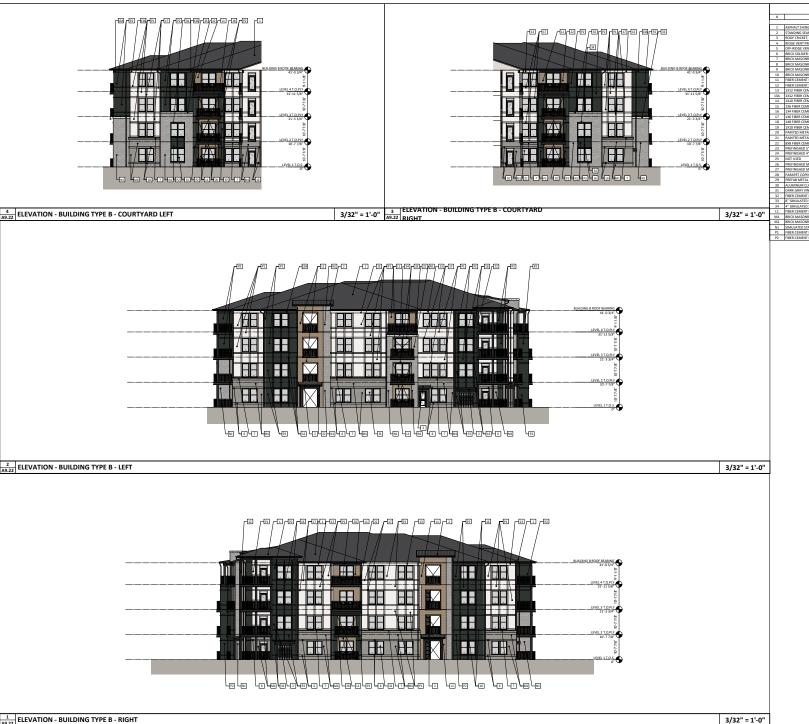
ELEVATIONS -

BUILDING TYPE B

SHEET NUMBER:

A9.21

04/18/22



STUDIO

SILVER STUDIO ARCHITECTS 190 OTTLEY DRIVE NE SUITE J ATLANTA, GA 30324

404.260.5278

PROJECT #: 121006

ORAWN BY: MN/JR/CL/AJ

SUGARLOAF AT CENTURY PARK-KNOXVILLE 10209 SHERRILL BLVD- KNOXVILLE, TENNESSEE

BRAND PROPERTIES

TTCDA FILE NUMBER (6-A-22-TOB)

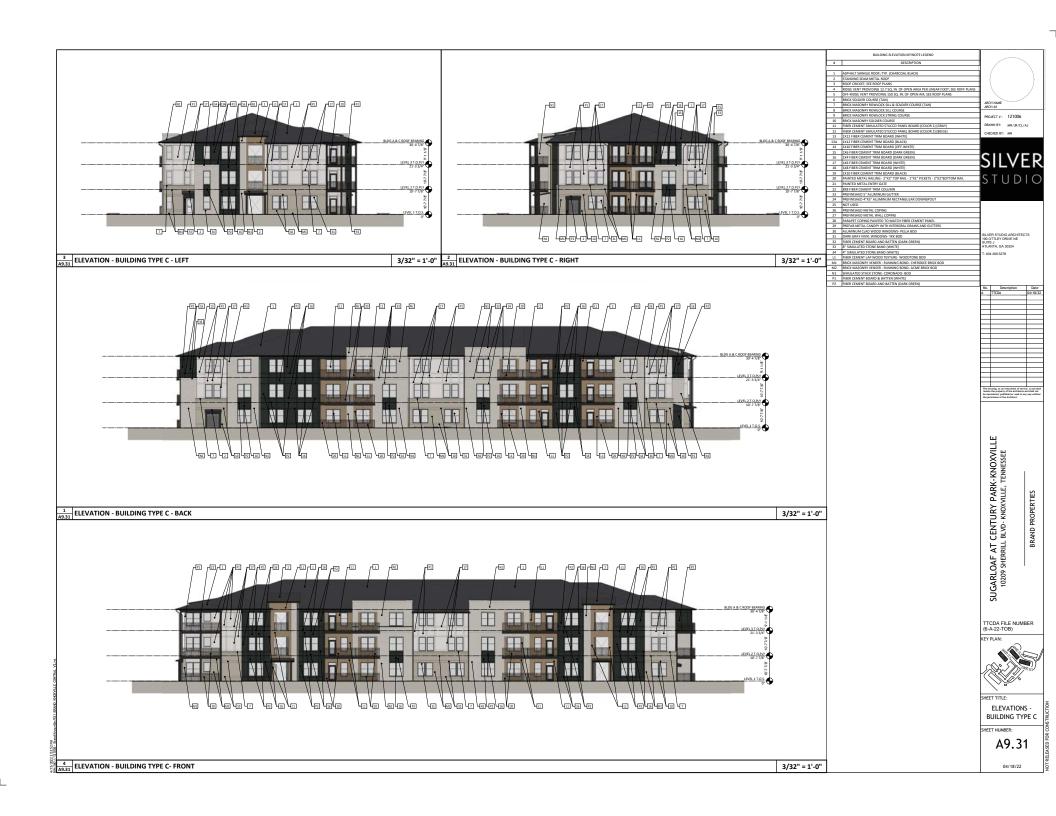


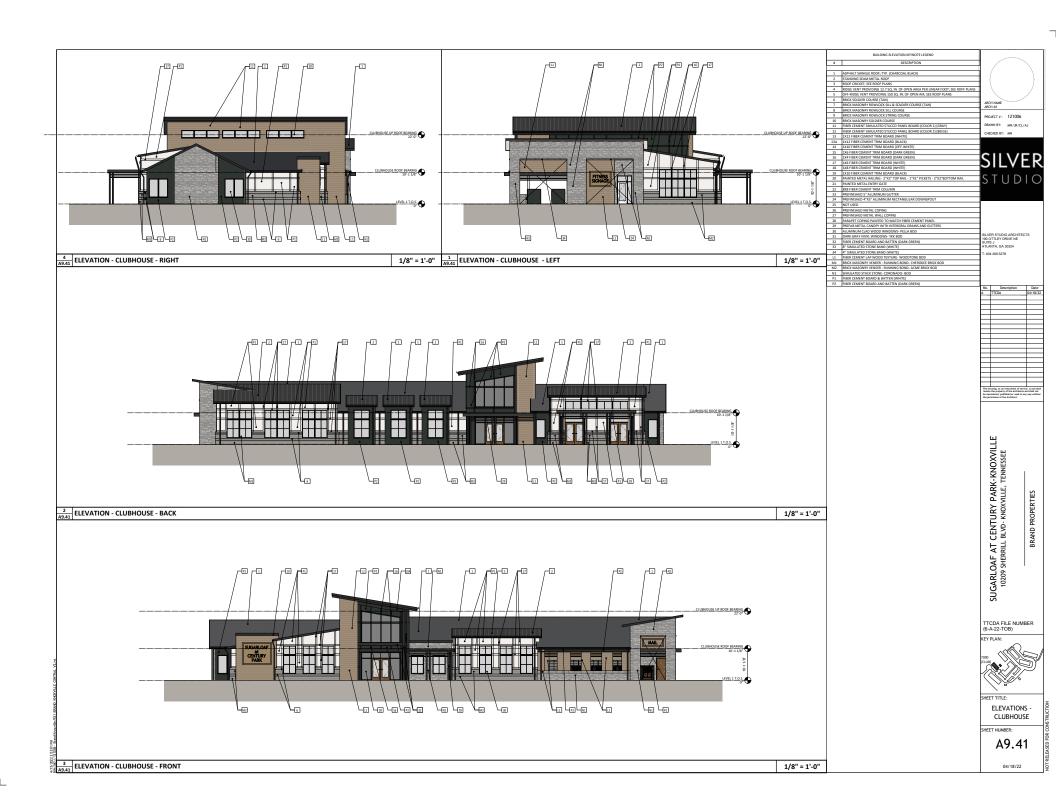
ELEVATIONS -BUILDING TYPE B

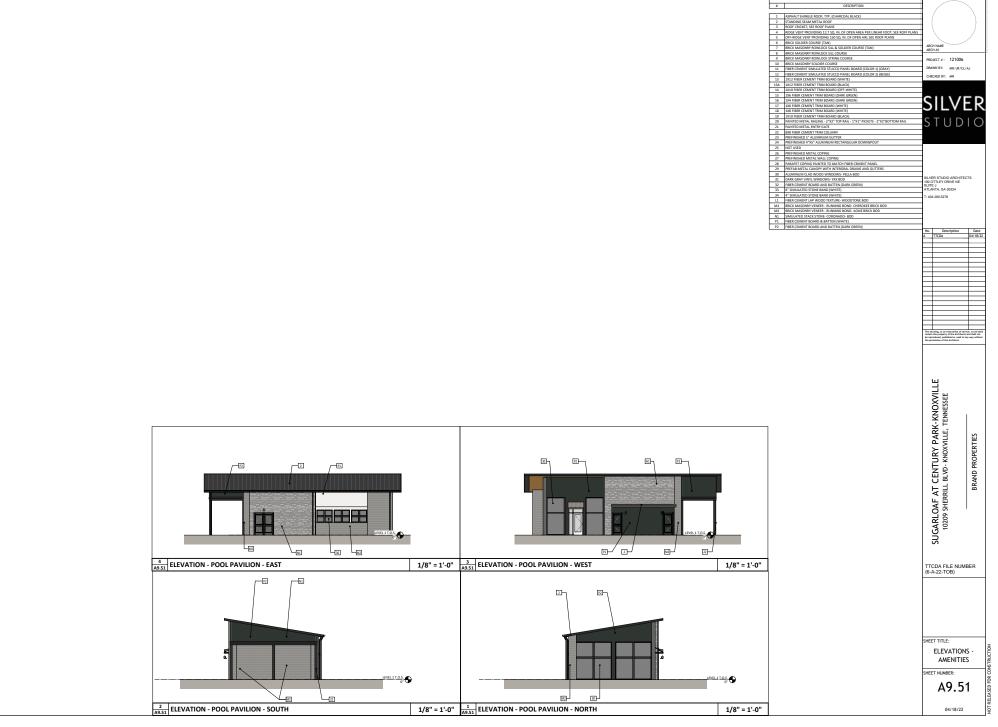
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A9.22

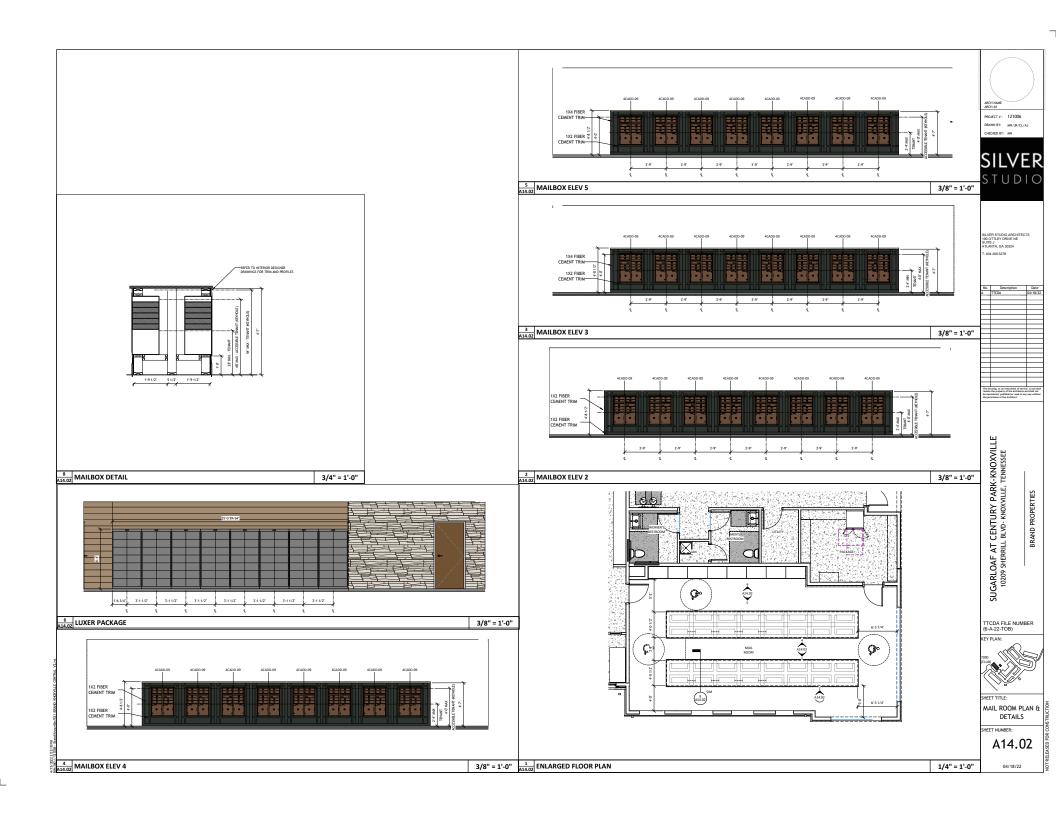
04/18/22

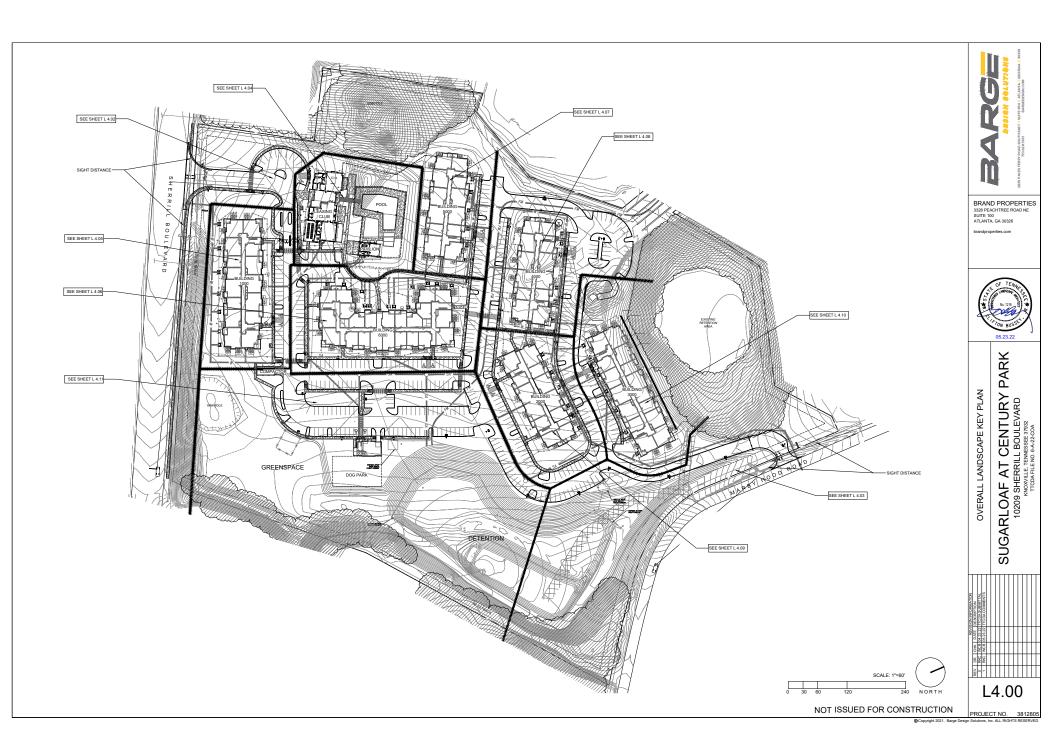


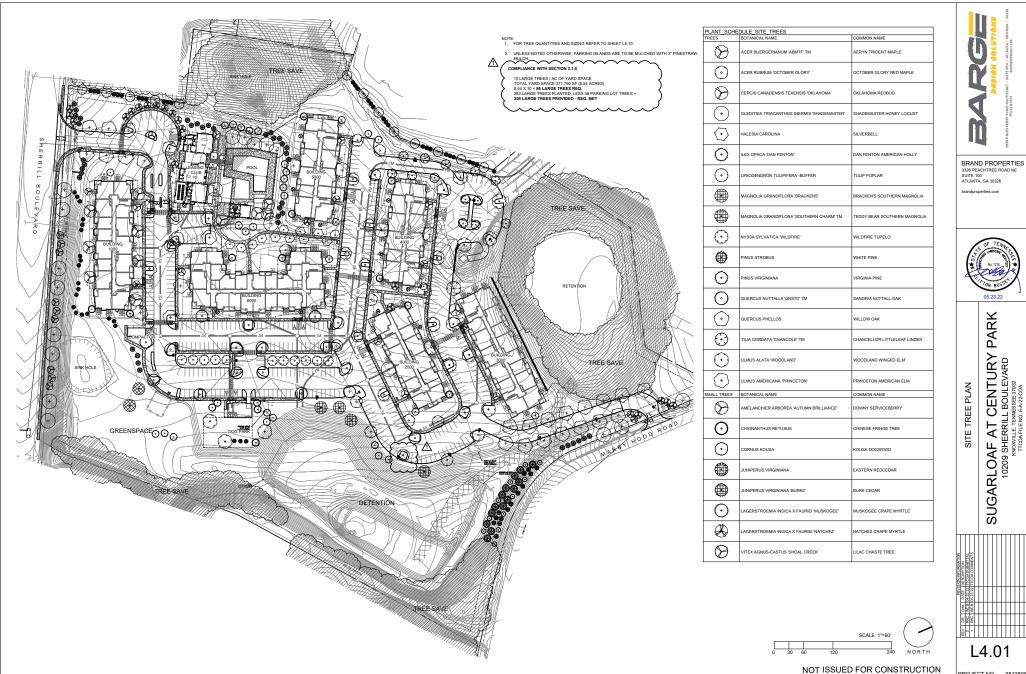




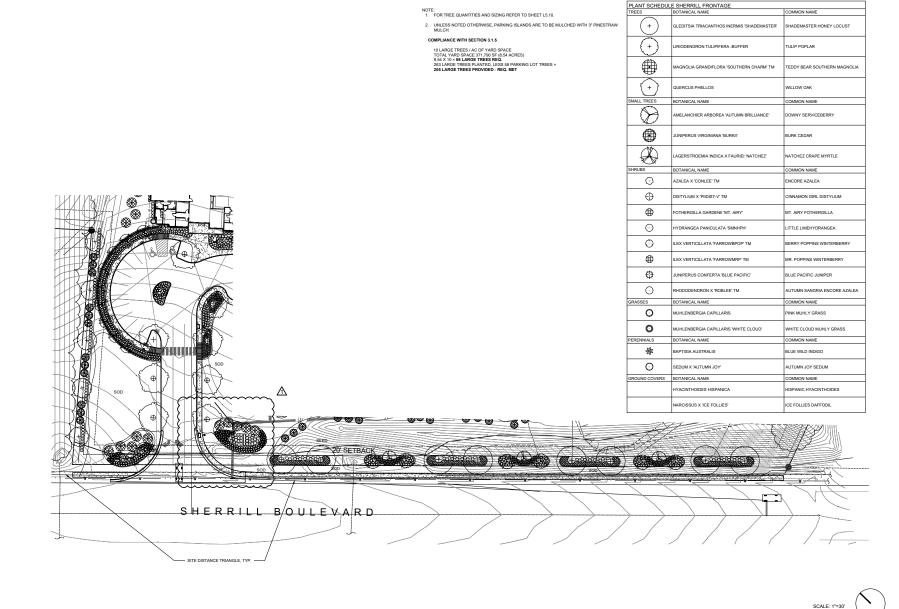
BUILDING ELEVATION KEYNOTE LEGEND DESCRIPTION







PROJECT NO. 3812805





BRAND PROPERTIES 3328 PEACHTREE ROAD NE SUITE 100 ATLANTA, GA 30326

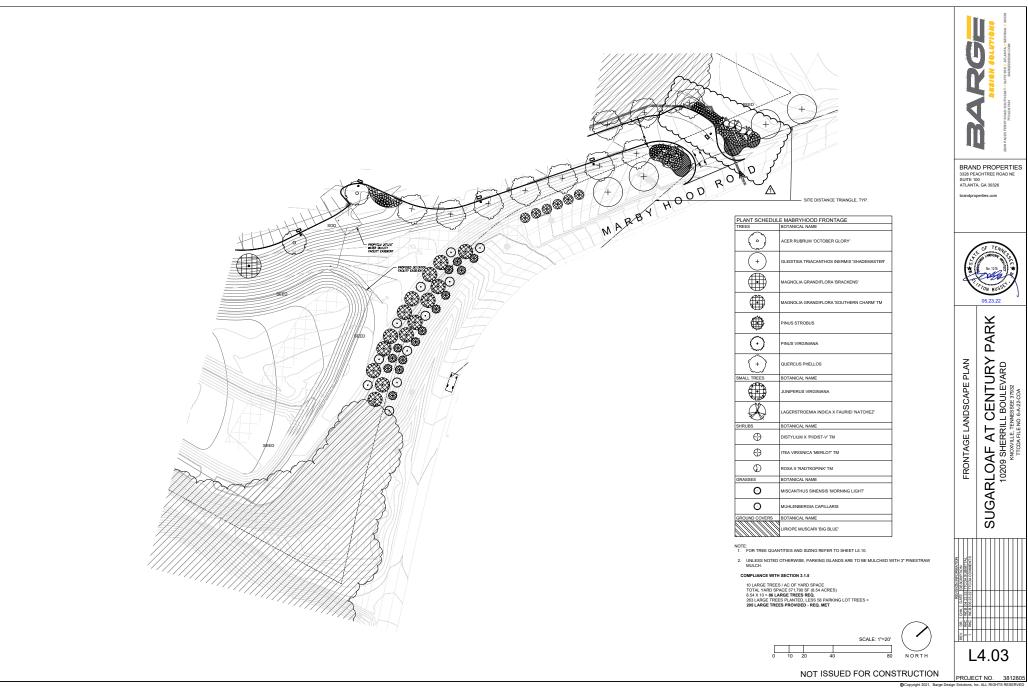


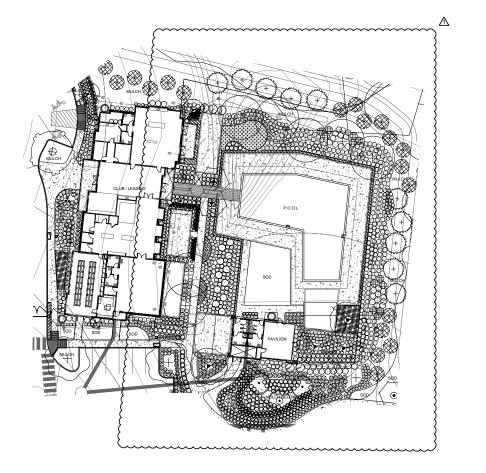
PARK

FRONTAGE LANDSCAPE PLAN

SUGARLOAF AT CENTURY 10209 SHERRILL BOULEVARD KNOMULE TEMESSEE 3782 TTOAK FILE NO. 64-22200A

NOT ISSUED FOR CONSTRUCTION PROJECT NO. 3812805





TREES	BOTANICAL NAME	COMMON NAME	[4		
\otimes	ACER BUERGERIANUM ABMTF TM	AERYN TRIDENT MAPLE	ŀ		
\odot	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'	SHADEMASTER HONEY LOCUST	ıŀ		
\bigcirc	HALESIA CAROLINA	SEVERBELL	ıŀ		
\odot	BLEX OPAGA TIAN FENTON	DAN FENTON AMERICAN HOLLY	Li		
-	MAGNOLIA GRANDIFLORA 'SOUTHERN CHARM' TM	TEDDY BEAR SOUTHERN MAGNOLIA	ıĖ		
\odot	QUERCUS PHELLOS	WILLOW OAK	PI		
$\overline{\odot}$	ULMUS AMERICANA PRINCETON	PRINCETON AMERICAN ELM			
SMALL TREES	BOTANICAL NAME	COMMON NAME	ш		
\otimes	AMELANCHER ARBOREA WITUMN BRILLIANCE	DOWNY SERVICEBERRY	ı		
\odot	LAGERSTROEMIA INDICA X FAURIEI MUSKOGEE	MUSKOGEE CRAPE MYRTLE			
₩	LAGERSTROEMIA INDICA X FAURIEI NATCHEZ	NATCHEZ CRAPE MYRTLE	CONSTRUCTION OF THE PROPERTY O		
⊗	VITEX AGNUS-CASTUS SHOAL CREEK	LILAC CHASTE TREE			
SHRUBS	BOTANICAL NAME	COMMON NAME			
0	ABELIA X GRANDIFLORA MINACARAT TM	FUNSHINE ABELIA			
0	ABELIA X GRANDIFLORA TRADIANCE	RADIANCE ABELIA	E		
	CAMELLIA SASANQUA PINK SNOW	PINK SNOW CAMELLIA			
0	CEPHALOTAXUS HARRINGTONIA PROSTRATA	PROSTRATE PLUM YEW			
0	CLETHRA ALNIFOLIA 'RUBY SPICE'	CLETHRA			
0	DISTYLIUM X PRIDIST-V TM	CINNAMON GIRL DISTYLIUM			
0	FORSYTHIA X INTERMEDIA MINDOR' TM	SHOW OFF FORSYTHIA			
•					
•	FOTHERGILIA GARDENI MT. AIRY MT. AIRY FOTHERGILIA HYDRANGEA PANICULATA PEEGEE IMPROVEDY PEEGEE HYDRANGEA				
0	HYDRANGEA PANICULATA SMINIPIF	LITTLE LIMENYORANGEA	1		
0	HYDRANGEA QUERCIFOLIA RUBY SLIPPERS'	RUBY SLIPPERS OAKLEAF HYDRANGEA	1		
ŏ	LEX CORNUTA BURFORDS NANA	DWARF BURFORD HOLLY	1		
o	LEX CRENATA 'SKY PENCL'	SKY PENGIL JAPANESE HOLLY	1		
0	LEX GLABRA SHAMROCK	SHAMROCK INKBERRY HOLLY	1		
0	BEX VERTICILLATA FARROWSPOP TM	BERRY POPPINS WINTERBERRY	1		
⊕	BEX VERTICILLATA FARROWMRP TM	MR. POPPINS WINTERBERRY	1		
•	LEX VOMITORIA NANA'	DWARF YALIPON HOLLY	Ì		
Ø	BEXX NELLIE R STEVENS	NELLIE R. STEVENS HOLLY	ı		
0	LEX X ATTENUATA FOSTER!	FOSTER'S HOLLY	1		
0	ELICIUM PARVIFLORUM	ANISE TREE	ı		
0	ITEA VIRGINICA MERLOT TM	MERLOT SWEETSPIRE	ı		
0	JUNIPERUS CHINENSIS 'SPARTAN'	SPARTAN JUNIPER	ı		
0	JUNPERUS CONFERTA BLUE PACIFIC* BLUE PACIFIC JUNPER				
0	LOROPETALUM CHINENSE RUSRUM PRICHI'TIM PURPLE DAYDREAM LOROPETALUM				
0					
0	PERIS JAPONICA LITTLE HEATH	LITTLE HEATH JAPANESE PIERIS	1		
8	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	ı		
Ø	RHODODENDRON INDICUM 'GEORGE L. TABER'	GEORGE TABER AZALEA	1		
0	RHODODENDRON KURUME 'CORAL BELLS'	KURUME AZALEA			
Ø	ROSA X TRADTKOPINK TM	DOUBLE PINK ROSE			

0

NOTE:
1. FOR TREE QUANTITIES AND SIZING REFER TO SHEET L5.10.

10 LARGE TREES / AC OF YARD SPACE
TOTAL YARD SPACE 371,790 SF (8.54 ACRES)
8.54 X 10 = 86 LARGE TREES REQ.
281 LARGE TREES PLANTEL LESS SP PARKING LOT TREES =
205 LARGE TREES PROVIDED - REQ. MET

COMPLIANCE WITH SECTION 3.1.5

UNLESS NOTED OTHERWISE, PARKING ISLANDS ARE TO BE MULCHED WITH 3" PINESTRAW MULCH.

GRASSES	BOTANICAL NAME	COMMON NAME
0	MISCANTHUS SINENSIS ADAGIO	ADAGIO MISCANTHUS
0	MISCANTHUS SINENSIS WORNING LIGHT	MORNING LIGHT MISCANTHUS
0	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS
0	MUHLENBERGIA CAPILLARIS WHITE CLOUD	WHITE CLOUD MUHLY GRASS
LOW GROWERS	BOTANICAL NAME	COMMON NAME
0	ASPIDISTRA ELATIOR	CAST IRON PLANT
*	DRYOPTERIS ERYTHROSORA BRILLIANCE	BRILLIANCE AUTUMN FERN
0	HYPERICUM CALYCINUM BRIGGADOON	CREEPING ST. JOHN'S WORT
PERENNALS	BOTANICAL NAME	COMMON NAME
*	BAPTISIA AUSTRALIS	BLUE WILD INDIGO
0	CARYOPTERIS X CLANDONENSIS 'CT-9-12' TM	BEYOND MENIGHT BLUEBEARD
0	SEDUM X 'AUTUMN JOY'	AUTUMN JOY SEDUM
GROUND COVERS	BOTANICAL NAME	COMMON NAME
	CAREX OSHIMENSIS EVERLLO'TM	EVERCOLOR EVERILLO JAPANESE SED
	HEMEROCALLIS X PURPLE DE ORO	PURPLE DE ORO DAYLILY
	LEYMUS ARENARIUS TILUE DUNE	BLUE DUNE LYME GRASS
	LIFEOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF
	OPHIOPOGON JAPONICUS NANUS	DWARF MONDO GRASS

BRAND PROPERTIES 3328 PEACHTREE ROAD NE SUITE 100 ATLANTA, GA 30326

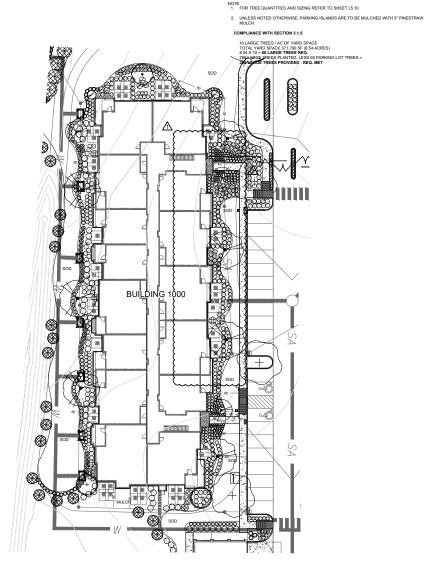


AMENITY / ENTRY LANDSCAPE PLAN

SUGARLOAF AT CENTURY PARK 10209 SHERRILL BOULEVARD RODANILE TENESSEE 37022 TRODA PLEND 6-4-22-COA

SCALE: 1"=20"

L4.04 NOT ISSUED FOR CONSTRUCTION



TREES	E BUILDING 1000 BOTANICAL NAME	COMMON NAME			
	ACER BUERGERIANUM 'ABMTF' TM	AERYN TRIDENT MAPLE			
	CERCIS CANADENSIS TEXENSIS 'OKLAHOMA'	OKLAHOMA REDBUD			
+	ULMUS AMERICANA 'PRINCETON'	PRINCETON AMERICAN ELM			
SMALL TREES	BOTANICAL NAME	COMMON NAME			
(+)	CHIONANTHUS RETUSUS	CHINESE FRINGE TREE			
\odot	CORNUS KOUSA	KOUSA DOGWOOD			
	JUNIPERUS VIRGINIANA 'BURKII'	BURK CEDAR			
SHRUBS	BOTANICAL NAME	COMMON NAME			
0	ABELIA X GRANDIFLORA 'MINACARA1' TM	FUNSHINE ABELIA			
0	AZALEA X 'CONLEE' TM	ENCORE AZALEA			
#	CAMELLIA SASANQUA 'PINK SNOW'	PINK SNOW CAMELLIA			
0	CEPHALOTAXUS HARRINGTONIA 'PROSTRATA'	PROSTRATE PLUM YEW			
0	DISTYLIUM X 'PIIDIST-V' TM	CINNAMON GIRL DISTYLIUM			
0	FORSYTHIA X INTERMEDIA 'MINDOR' TM	SHOW OFF FORSYTHIA			
#	FOTHERGILLA GARDENII 'MT. AIRY'	MT. AIRY FOTHERGILLA			
\oplus	HYDRANGEA PANICULATA 'SMNHPH'	LITTLE LIMEHYDRANGEA			
Ø	HYDRANGEA QUERCIFOLIA 'RUBY SLIPPERS'	RUBY SLIPPERS OAKLEAF HYDRANGE			
0	ILEX CORNUTA 'BURFORDII NANA'	DWARF BURFORD HOLLY			
0	ILEX VOMITORIA 'NANA'	DWARF YAUPON HOLLY			
0	ILEX X 'NELLIE R. STEVENS'	NELLIE R. STEVENS HOLLY			
\oplus	ITEA VIRGINICA 'MERLOT' TM	MERLOT SWEETSPIRE			
0	LOROPETALUM CHINENSE RUBRUM 'SHANG-HI' TM	PURPLE DIAMOND LOROPETALUM			
\bigcirc	RHODODENDRON INDICUM 'GEORGE L. TABER'	GEORGE TABER AZALEA			
0	RHODODENDRON KURUME 'CORAL BELLS'	KURUME AZALEA			
()	ROSA X 'RADTKOPINK' TM	DOUBLE PINK ROSE			
GRASSES	BOTANICAL NAME	COMMON NAME			
0	MISCANTHUS SINENSIS 'ADAGIO'	ADAGIO MISCANTHUS			
0	MISCANTHUS SINENSIS MORNING LIGHT	MORNING LIGHT MISCANTHUS			
0	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS			
OW GROWERS	BOTANICAL NAME	COMMON NAME			
0	ASPIDISTRA ELATIOR	CAST IRON PLANT			
0	MAHONIA EURYBRACTEATA 'SOFT CARESS'	SOFT CARESS MAHONIA			
PERENNIALS	BOTANICAL NAME	COMMON NAME			
0	CARYOPTERIS X CLANDONENSIS 'CT-9-12' TM	BEYOND MIDNIGHT BLUEBEARD			
<u> </u>	HELLEBORUS ORIENTALIS	LENTEN ROSE			
	HEUCHERA X WILDBERRY' TM	DOLCE WILDBERRY CORAL BELLS			
GROUND COVERS	BOTANICAL NAME	COMMON NAME			



NOT ISSUED FOR CONSTRUCTION

BRAND PROPERTIES 3328 PEACHTREE ROAD NE SUITE 100 ATLANTA, GA 30326



BUILDING 1000 LANDSCAPE PLAN

SUGARLOAF AT CENTURY PARK 10209 SHERRILL BOULEVARD RNOXVILE TENNESSEE 37922 TIODA PLE NO. 64-222-00A

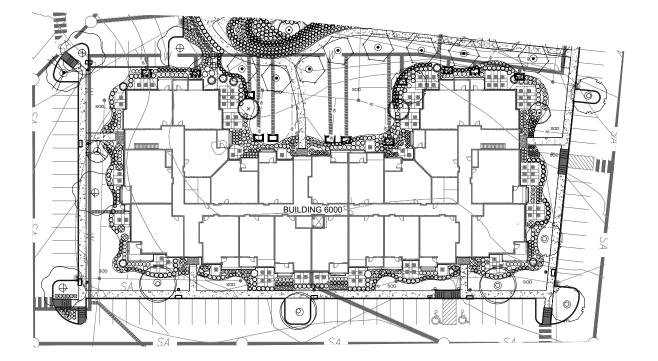
L4.05

NOTE: 1. FOR TREE QUANTITIES AND SIZING REFER TO SHEET L5.10.

2. UNLESS NOTED OTHERWISE, PARKING ISLANDS ARE TO BE MULCHED WITH 3" PINESTRAW MULCH.

COMPLIANCE WITH SECTION 3.1.5

10 LARGE TREES / AC OF YARD SPACE
TOTAL YARD SPACE 371,790 SF (8.54 ACRES)
8.54 X 10 = 86 LARGE TREES REQ.
283 LARGE TREES PLANTED. LESS S8 PARKING LOT TREES =
205 LARGE TREES PROVIDED - REQ. MET



PLANT SCHEDUL TREES	E BUILDING 6000 BOTANICAL NAME	COMMON NAME		
₩	ACER BUERGERIANUM 'ABMTF' TM	AERYN TRIDENT MAPLE		
\odot	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE		
\bigcirc	HALESIA CAROLINA	SEVERBELL		
oxdot	QUERCUS NUTTALLII 'QNSTD' TM	SANGRIA NUTTALL OAK		
\odot	ULMUS AMERICANA PRINCETON	PRINCETON AMERICAN ELM		
SMALL TREES	BOTANICAL NAME	COMMON NAME		
	AMELANCHIER ARBOREA 'AUTUMN BRILLIANCE'	DOWNY SERVICEBERRY		
$- \odot$	CHIONANTHUS RETUSUS	CHINESE FRINGE TREE		
\bigcirc	CORNAL KOUSA			
\Box	LAGERETROEMIA INDICA X FAURIEI MUSKOGEE	MUSTOGEE CRAPE MYRTLE		
⊗	VITEX GNUS-CASTUS SHOAL CREEK	LILAD CHASTE TREE		
SHRUBS	ABELIAX GRANDIFLORA MINACARA! TM	COMMON NAME FUNCTIONE ABELIA		
-	ABELIA X GRANDIFLORA TRADIANCE:	RADIANCE ABELIA		
	CAMELIA SASANQUA PINK SNOW	PINK INOW CAMELLIA		
	→	-		
⊕	DISTYLEM X PRIDIST-V TM	CINN MON GIFL DISTYLIUM		
₩	POTHENGELIA GARDENII MT. AIRY	MT. ARY FOTHERGILIA		
₩	HYDRANGEA ARBORESCENS WANABELLE	ANNOBELLE HYDRANGEA		
•	HYDRANGEA PANICULATA PEEGEE IMPROVED	PEEGEE HYDRANGEA		
0	HYDRANGEA PANICULATA SMINHPH	LITTLE LIMEHYDRANGEA		
_	-	—		
00	HYDRANGEA QUERCIFOLIA TRUEY SLIPPERS'	RUBYSLIPPERS CAKLEAF HYDRANGEA		
0	ILEX ON BUILTA BURFORDII NANA'	DWARF BURFORD HOLLY		
0	LEX GABRA SHAMROCK	SHAMROOK INKBERRY HOLLY		
0	ILEX VIMITORIA NANA	DWARF YALPON HOLLY		
0	ILEX X PTENUATA FOSTERF	FOSTERS HOLLY		
0	ELICIUM PARVIFLORUM	ANIS TREE		
0	ITEA VIEGINICA MERLOT TM	MERIOT SWEETSPIRE		
0	JUNIPORUS CHINENSIS 'SPARTAN'	SPAREAN JUNPER		
0	JUNIPERUS CONFERTA BLUE PACIFIC	BLUE PACIFIC JUNIPER		
0	LOROP TALUM CHINENSE RUBRUM PILC-IF TM	PURP LE DAYOREAM LOROPETALUM		
0	RHODOCENDRON INDICUM GEORGE L. TABER*	GEORGE TABER AZALEA		
0	RHODGENDRON INDICUM MRS. G.G. GERBING	G.G. CERBING AZALEA		
0	RHODOTENDRON KURUME 'CORAL BELLS'	KURUME AZALEA		
0	RHODO BENDRON X TROBLES TM	AUTUMN SANGRIA ENCORE AZALEA		
0	ROSA PRADTKOPINK TM	DOUBLE PINK ROSE		
GRASSES O	BOTANCAL NAME	COMMON NAME		
	MSCAN THO SALES AND	AGIO MISCANTHUS		
0	MISCANTHUS SINENSIS MORNING LIGHT	MORNING LIGHT MISCANTHUS		
0	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS		
O LOW GROWERS	MUHLENBERGIA CAPILLARIS WHITE CLOUD' BOTANICAL NAME	WHITE CLOUD MUHLY GRASS COMMON NAME		
O C	ASPIDISTRA ELATIOR	COMMON NAME CAST IRON PLANT		
- ŏ	MAHONA EURYBRACTEATA 'SOFT CARESS'	SOFT CARESS MAHONIA		
PERENNALS	MAHONIA EURYBRACTEATA SOFT CARESS' BOTANICAL NAME	SOFT CARESS MAHONIA COMMON NAME		
*	BAPTISIA AUSTRALIS	BLUE WILD INDIGO		
ō	CARYOPTERIS X CLANDONENSIS 'CT-9-12' TM	BEYOND MIDNIGHT BLUEBEARD		
0	HELLEBORUS ORIENTALIS	LENTEN ROSE		
- C	HELICHERA X WILDRERDY TM	DOLCE WILDBERRY CORAL BELLS		
0	SEDUM X AUTUMN JOY	AUTUMN JOY SEDUM		
GROUND COVERS	BOTANICAL NAME	COMMON NAME		
	HEMEROCALLIS X'STELLA DE ORO'	STELLA DE ORO DAYLILY		



NOT ISSUED FOR CONSTRUCTION

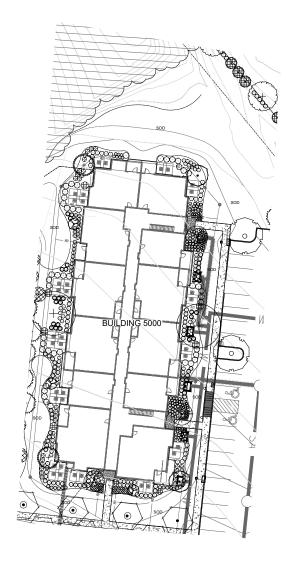
BRAND PROPERTIES 3328 PEACHTREE ROAD NE SUITE 100 ATLANTA, GA 30326



SUGARLOAF AT CENTURY PARK 10209 SHERRILL BOULEVARD RNOXVILE TENNESSEE 37922 TIODA PLE NO. 64-222-00A

BUILDING 6000 LANDSCAPE PLAN

L4.06



PLANT SCHEDU	LE BUILDING 5000	
TREES	BOTANICAL NAME	COMMON NAME
\bigcirc	CERCIS CANADENSIS TEXENSIS 'OKLAHOMA'	OKLAHOMA REDBUD
+	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'	SHADEMASTER HONEY LOCUST
\bigcirc	HALESIA CAROLINA	SILVERBELL
-	MAGNOLIA GRANDIFLORA 'SOUTHERN CHARM' TM	TEDDY BEAR SOUTHERN MAGN
SMALL TREES	BOTANICAL NAME	COMMON NAME
(+)	CHIONANTHUS RETUSUS	CHINESE FRINGE TREE
\odot	CORNUS KOUSA	KOUSA DOGWOOD
	LAGERSTROEMIA INDICA X FAURIEI 'NATCHEZ'	NATCHEZ CRAPE MYRTLE
\otimes	VITEX AGNUS-CASTUS 'SHOAL CREEK'	LILAC CHASTE TREE
SHRUBS	BOTANICAL NAME	COMMON NAME
#	CAMELLIA SASANQUA 'PINK SNOW'	PINK SNOW CAMELLIA
	CEPHALOTAXUS HARRINGTONIA 'PROSTRATA'	PROSTRATE PLUM YEW
0	DISTYLIUM X 'PIIDIST-V' TM	CINNAMON GIRL DISTYLIUM
#	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA
0	ILEX CORNUTA 'BURFORDII NANA'	DWARF BURFORD HOLLY
\oplus	ILEX VOMITORIA 'NANA'	DWARF YAUPON HOLLY
Ó	ILLICIUM PARVIFLORUM	ANISE TREE
0	ILLICIUM PARVIFLORUM 'FLORIDA SUNSHINE'	FLORIDA SUNSHINE ANISE
⊕	ITEA VIRGINICA 'MERLOT' TM	MERLOT SWEETSPIRE
Φ	LOROPETALUM CHINENSE RUBRUM 'SHANG-HI' TM	PURPLE DIAMOND LOROPETALL
∅	RHODODENDRON INDICUM 'GEORGE L. TABER'	GEORGE TABER AZALEA
0	RHODODENDRON INDICUM 'MRS. G.G. GERBING'	G.G. GERBING AZALEA
0	RHODODENDRON KURUME 'CORAL BELLS'	KURUME AZALEA
GRASSES	BOTANICAL NAME	COMMON NAME
0	MISCANTHUS SINENSIS 'ADAGIO'	ADAGIO MISCANTHUS
0	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT MISCANTHUS
LOW GROWERS	BOTANICAL NAME	COMMON NAME
0	ASPIDISTRA ELATIOR	CAST IRON PLANT
0	MAHONIA EURYBRACTEATA 'SOFT CARESS'	SOFT CARESS MAHONIA
PERENNIALS	BOTANICAL NAME	COMMON NAME
\circ	HELLEBORUS ORIENTALIS	LENTEN ROSE
		I
SROUND COVERS	HEUCHERA X 'WILDBERRY' TM BOTANICAL NAME	DOLCE WILDBERRY CORAL BELL COMMON NAME

NOTE:
1. FOR TREE QUANTITIES AND SIZING REFER TO SHEET L5.10.

UNLESS NOTED OTHERWISE, PARKING ISLANDS ARE TO BE MULCHED WITH 3" PINESTRAW MULCH.

COMPLIANCE WITH SECTION 3.1.5

10 LARGE TREES / AC OF YARD SPACE
TOTAL YARD SPACE 371,790 SF (8,54 ACRES)
8.54 X 10 * 86 LARGE TREES REO.
263 LARGE TREES PLANTED, LESS 59 PARKING LOT TREES =
205 LARGE TREES PROVIDED. REO. MET.



SCALE: 1"=20"

NOT ISSUED FOR CONSTRUCTION

BRAND PROPERTIES 3328 PEACHTREE ROAD NE SUITE 100 ATLANTA, GA 30326



PARK SUGARLOAF AT CENTURY 10209 SHERRILL BOULEVARD RNOWILLE TEMESSEE 3792 TTOAP FILE TO S. 44.2220A

BUILDING 5000 LANDSCAPE PLAN

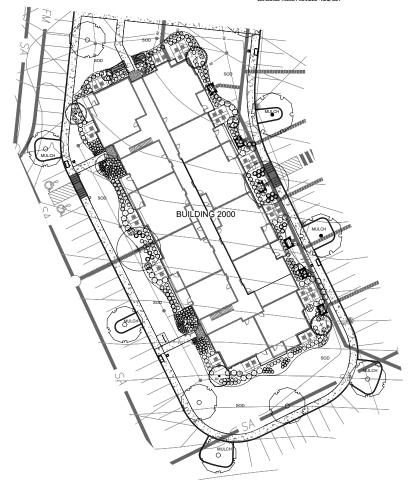
L4.07

NOTE:
1. FOR TREE QUANTITIES AND SIZING REFER TO SHEET L5.10.

UNLESS NOTED OTHERWISE, PARKING ISLANDS ARE TO BE MULCHED WITH 3* PINESTRAW MULCH.

COMPLIANCE WITH SECTION 3.1.5

TO LARGE TREES / AC OF YARD SPACE
TOTAL YARD SPACE 371,790 SF (8.54 ACRES)
8.54 X 10 = 86 LARGE TREES REQ.
285 LARGE TREES PLANTED, LESS SE PARKING LOT TREES =
205 LARGE TREES PROVIDED - REQ. MET



PLANT SCHEDUL TREES	BOTANICAL NAME	COMMON NAME		
\odot	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE		
\bigcirc	CERCIS CANADENSIS TEXENSIS 'OKLAHOMA'	OKLAHOMA REDBUD		
+	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'	SHADEMASTER HONEY LOCUST		
\odot	ULMUS ALATA 'WOODLAND'	WOODLAND WINGED ELM		
SMALL TREES	BOTANICAL NAME	COMMON NAME		
(+)	CHIONANTHUS RETUSUS	CHINESE FRINGE TREE		
\odot	CORNUS KOUSA	KOUSA DOGWOOD		
	LAGERSTROEMIA INDICA X FAURIEI 'NATCHEZ'	NATCHEZ CRAPE MYRTLE		
\otimes	VITEX AGNUS-CASTUS 'SHOAL CREEK'	LILAC CHASTE TREE		
SHRUBS	BOTANICAL NAME	COMMON NAME		
#	CAMELLIA SASANQUA 'PINK SNOW'	PINK SNOW CAMELLIA		
្	CEPHALOTAXUS HARRINGTONIA 'PROSTRATA'	PROSTRATE PLUM YEW		
0	DISTYLIUM X 'PIIDIST-V' TM	CINNAMON GIRL DISTYLIUM		
₩	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA		
0	ILEX CORNUTA 'BURFORDII NANA'	DWARF BURFORD HOLLY		
0	ILEX VOMITORIA 'NANA'	DWARF YAUPON HOLLY		
0	ILLICIUM PARVIFLORUM	ANISE TREE		
0	ILLICIUM PARVIFLORUM 'FLORIDA SUNSHINE'	FLORIDA SUNSHINE ANISE		
0	ITEA VIRGINICA 'MERLOT' TM	MERLOT SWEETSPIRE		
0	LOROPETALUM CHINENSE RUBRUM 'SHANG-HI' TM	PURPLE DIAMOND LOROPETALL		
0	RHODODENDRON INDICUM 'GEORGE L. TABER'	GEORGE TABER AZALEA		
<u> </u>	RHODODENDRON INDICUM 'MRS. G.G. GERBING'	G.G. GERBING AZALEA		
©	RHODODENDRON KURUME 'CORAL BELLS'	KURUME AZALEA		
GRASSES	BOTANICAL NAME MISCANTHUS SINENSIS 'ADAGIO'	ADAGIO MISCANTHUS		
0	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT MISCANTHUS		
LOW GROWERS	BOTANICAL NAME	COMMON NAME		
0	ASPIDISTRA ELATIOR	CAST IRON PLANT		
0	MAHONIA EURYBRACTEATA 'SOFT CARESS'	SOFT CARESS MAHONIA		
PERENNIALS	BOTANICAL NAME	COMMON NAME		
٥	HELLEBORUS ORIENTALIS	LENTEN ROSE		
#	HEUCHERA X 'WILDBERRY' TM	DOLCE WILDBERRY CORAL BELI		
GROUND COVERS	BOTANICAL NAME	COMMON NAME		



NOT ISSUED FOR CONSTRUCTION

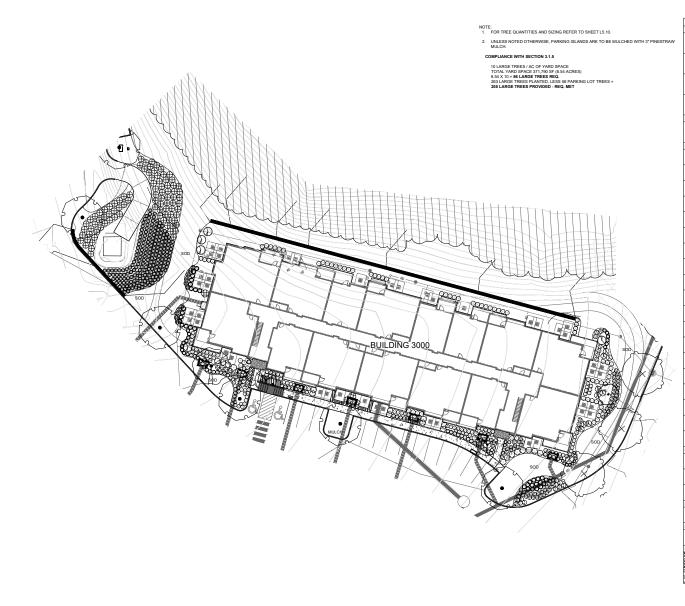
BRAND PROPERTIES 3328 PEACHTREE ROAD NE SUITE 100 ATLANTA, GA 30326



BUILDING 2000 LANDSCAPE KEY PLAN

SUGARLOAF AT CENTURY PARK 10209 SHERRILL BOULEVARD RNOXVILE TENNESSEE 37922 TIODA PLE NO. 64-222-00A

L4.09



PLANT SCHEDUL	E BUILDING 3000				
TREES	BOTANICAL NAME	COMMON NAME			
	ACER BUERGERIANUM 'ABMTF' TM	AERYN TRIDENT MAPLE			
\(\)	CERCIS CANADENSIS TEXENSIS 'OKLAHOMA'	OKLAHOMA REDBUD			
+	QUERCUS PHELLOS	WILLOW OAK			
\odot	ULMUS ALATA 'WOODLAND'	WOODLAND WINGED ELM			
SMALL TREES	BOTANICAL NAME	COMMON NAME			
\odot	CORNUS KOUSA	KOUSA DOGWOOD			
SHRUBS	BOTANICAL NAME	COMMON NAME			
0	ABELIA X GRANDIFLORA 'MINACARA1' TM	FUNSHINE ABELIA			
0	AZALEA X 'CONLEE' TM	ENCORE AZALEA			
#	CAMELLIA SASANQUA 'PINK SNOW'	PINK SNOW CAMELLIA			
٥	CEPHALOTAXUS HARRINGTONIA 'PROSTRATA'	PROSTRATE PLUM YEW			
9	DISTYLIUM X 'PIIDIST-V' TM	CINNAMON GIRL DISTYLIUM			
	FOTHERGILLA GARDENII 'MT. AIRY'	MT. AIRY FOTHERGILLA			
0	HYDRANGEA PANICULATA 'SMNHPH'	LITTLE LIMEHYDRANGEA			
Ø	HYDRANGEA QUERCIFOLIA 'RUBY SLIPPERS'	RUBY SLIPPERS OAKLEAF HYDRANGE/			
	ILEX CORNUTA 'BURFORDII NANA'	DWARF BURFORD HOLLY			
0	ILEX VOMITORIA 'NANA'	DWARF YAUPON HOLLY			
₩	ILEX X 'NELLIE R. STEVENS'	NELLIE R. STEVENS HOLLY			
0	ITEA VIRGINICA 'MERLOT' TM	MERLOT SWEETSPIRE			
0	JASMINUM NUDIFLORUM	WINTER JASMINE			
0	JUNIPERUS CONFERTA 'BLUE PACIFIC'	BLUE PACIFIC JUNIPER			
0	LOROPETALUM CHINENSE RUBRUM 'SHANG-HI' TM	PURPLE DIAMOND LOROPETALUM			
0	RHODODENDRON INDICUM 'GEORGE L. TABER'	GEORGE TABER AZALEA			
0	RHODODENDRON INDICUM 'MRS. G.G. GERBING'	G.G. GERBING AZALEA			
0	RHODODENDRON KURUME 'CORAL BELLS'	KURUME AZALEA			
0	ROSA X 'RADTKOPINK' TM	DOUBLE PINK ROSE			
GRASSES	BOTANICAL NAME MISCANTHUS SINENSIS 'ADAGIO'	COMMON NAME ADAGIO MISCANTHUS			
	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT MISCANTHUS			
0	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS			
OW GROWERS	BOTANICAL NAME	COMMON NAME			
(D)	MAHONIA EURYBRACTEATA 'SOFT CARESS'	SOFT CARESS MAHONIA			
PERENNIALS	BOTANICAL NAME	COMMON NAME			
0	CARYOPTERIS X CLANDONENSIS 'CT-9-12' TM	BEYOND MIDNIGHT BLUEBEARD			
GROUND COVERS	BOTANICAL NAME	COMMON NAME			
	HEMEROCALLIS X 'STELLA DE ORO'	STELLA DE ORO DAYLILY			
11111111111	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF			





NOT ISSUED FOR CONSTRUCTION

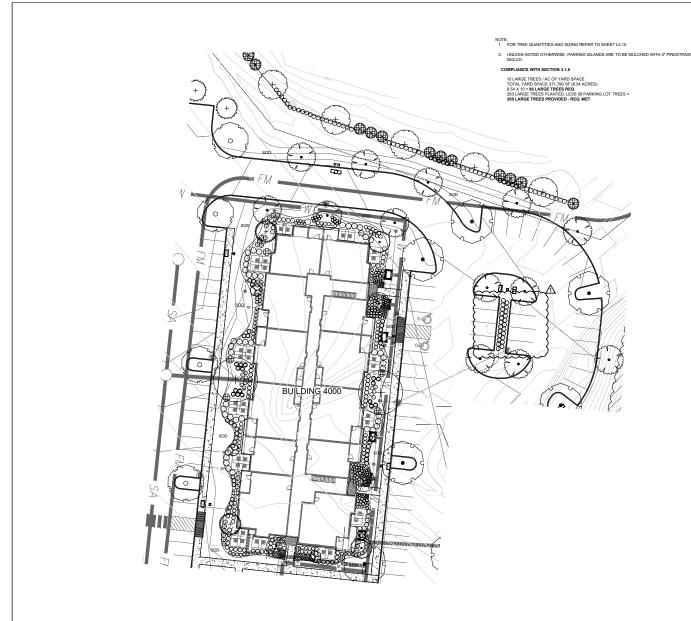
BRAND PROPERTIES 3328 PEACHTREE ROAD NE SUITE 100 ATLANTA, GA 30326



BUILDING 3000 LANDSCAPE PLAN

SUGARLOAF AT CENTURY PARK 10209 SHERRILL BOULEVARD RHONNILE TEMESSEE 3792 TTORATILE TONG SA-22200A

L4.10



PLANT SCHEDUL	E BUILDING 4000			
TREES	BOTANICAL NAME	COMMON NAME		
\odot	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE		
\bigcirc	CERCIS CANADENSIS TEXENSIS 'OKLAHOMA'	OKLAHOMA REDBUD		
+	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'	SHADEMASTER HONEY LOCUST		
()	TILIA CORDATA 'CHANCOLE' TM	CHANCELLOR LITTLELEAF LINDEN		
\odot	ULMUS ALATA WOODLAND	WOODLAND WINGED ELM		
SMALL TREES	BOTANICAL NAME	COMMON NAME		
(+)	CHIONANTHUS RETUSUS	CHINESE FRINGE TREE		
\odot	CORNUS KOUSA	KOUSA DOGWOOD		
	LAGERSTROEMIA INDICA X FAURIEI 'NATCHEZ'	NATCHEZ CRAPE MYRTLE		
\otimes	VITEX AGNUS-CASTUS 'SHOAL CREEK'	LILAC CHASTE TREE		
SHRUBS	BOTANICAL NAME	COMMON NAME		
#	CAMELLIA SASANQUA 'PINK SNOW'	PINK SNOW CAMELLIA		
0	CEPHALOTAXUS HARRINGTONIA 'PROSTRATA'	PROSTRATE PLUM YEW		
0	DISTYLIUM X 'PIIDIST-V' TM	CINNAMON GIRL DISTYLIUM		
₩	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA		
0	ILEX CORNUTA 'BURFORDII NANA'	DWARF BURFORD HOLLY		
0	ILEX VOMITORIA 'NANA'	DWARF YAUPON HOLLY		
0	ILLICIUM PARVIFLORUM	ANISE TREE		
0	ILLICIUM PARVIFLORUM FLORIDA SUNSHINE	FLORIDA SUNSHINE ANISE		
0	ITEA VIRGINICA 'MERLOT' TM	MERLOT SWEETSPIRE		
0	LOROPETALUM CHINENSE RUBRUM 'SHANG-HI' TM	PURPLE DIAMOND LOROPETALUM		
O	RHODODENDRON INDICUM 'GEORGE L. TABER'	GEORGE TABER AZALEA		
0	RHODODENDRON INDICUM 'MRS. G.G. GERBING'	G.G. GERBING AZALEA		
0	RHODODENDRON KURUME 'CORAL BELLS'	KURUME AZALEA		
GRASSES	BOTANICAL NAME	COMMON NAME		
0	MISCANTHUS SINENSIS 'ADAGIO'	ADAGIO MISCANTHUS		
0	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT MISCANTHUS		
OW GROWERS	BOTANICAL NAME	COMMON NAME		
0	ASPIDISTRA ELATIOR	CAST IRON PLANT		
0	MAHONIA EURYBRACTEATA 'SOFT CARESS'	SOFT CARESS MAHONIA		
PERENNIALS	BOTANICAL NAME	COMMON NAME		
0	HELLEBORUS ORIENTALIS	LENTEN ROSE		
£3	HEUCHERA X WILDBERRY'TM	DOLCE WILDBERRY CORAL BELLS		
GROUND COVERS	BOTANICAL NAME	COMMON NAME		
ELEKLEKA	HEMEROCALLIS X 'PURPLE DE ORO'	PURPLE DE ORO DAYLILY		



NOT ISSUED FOR CONSTRUCTION

BRAND PROPERTIES 3328 PEACHTREE ROAD NE SUITE 100 ATLANTA, GA 30326



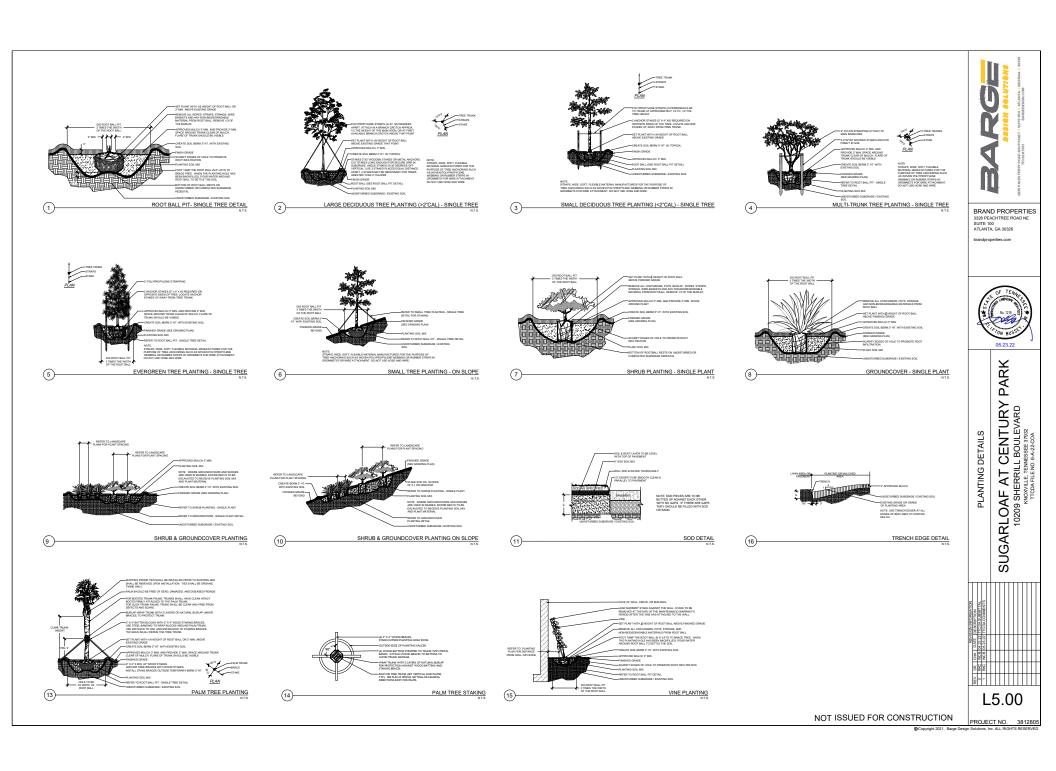
SUGARLOAF AT CENTURY PARK 10209 SHERRILL BOULEVARD RNOXVILE TENNESSEE 37922 TIODA PLE NO. 64-222-00A

BUILDING 4000 LANDSCAPE PLAN

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SION INFORMATION	DESCRIPTION	TTCDASUBMITAL	TTCDACOMMENTS										
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	DR.	RMC	RMC	Г	Г	Г	Г	Γ	Γ	Γ	Γ	Г	Γ
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L4.08

PROJECT NO. 3812805



GENERAL PLANTING NOTES:

- THE DUMNTINGS INDICATED ON THE MATERIAL SCHEDULE ARE PROVIDED FOR THE BORNTANCH THE CONTRACTOR, BUT SKINDLI NOT BE ASSUMED TO ALIWAYS BE CORRECT. IN THE EVENT OF A DISCREPANCY, THE PLANTING PLAN WILL TAKE PRECEDENCE OVER THE THE METERIAL SCHEDULE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY CALULATIONS AND THE LIBBLITY PETAINING TO THOSE QUANTITIE CALCULATIONS AND THE LIABILITY PERTAINING TO THOSE QUANTITIES AND ANY OTHER RELATED CONTRACT DOCUMENTS AND/OR PRICE QUOTATIONS.
- THE CONTRACTOR SHALL NOT CHANGE OR SUBSTITUTE PLANT VARIETIES OR SPECIES WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.
- 3. ALL LANDSCAPE MATERIAL INSTALLATION SHALL CONFORM TO THE CURRENT STANDARDS OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014) AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, AND THE REPAIR OF ANY DAMAGE INCURRED DURING THE EXECUTION OF THE WORK.
- 5. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL LOCAL, STATE, AND FEDERAL CONSTRUCTION CODES AND SECURING ALL NECESSARY PERMITS.
- 6. THE CONTRACTOR SHALL MAKE PERIODIC INSPECTIONS OF THE PROJECT . THE CONTRACTOR SHALL IMAGE PERIODIC INSPECTIONS OF THE PROJECT O AND ALL REPLACEMENTS.
- 7 REFER TO THE GRADING PLAN FOR POLICH GRADES OF PLANTING BEDS FINAL GRADES ARE SUBJECT TO APPROVAL BY LANDSCAPE ARCHITECT
- 8. PLANT MATERIAL TO BE PLACED AS SHOWN ON THE PLANTING PLANS. ALL PLANT MATERIAL SHALL BE SUBJECTED TO APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO BACKFILLING AND MULCHING.
- 9 DO NOT SCALE FROM DRAWING
- 10.NEW SHRUB PLANTING IS TO BE A MINIMUM OF 24" AWAY FROM EXISTING TREES.
- 11.PLANTING PLAN IS FOR THE LOCATION AND IDENTIFICATION OF VEGETATION ONLY. NO OTHER WORK IS TO BE PERFORMED BASED ON THIS PLAN.
- 12.CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE OF ALL PLANTING PITS AND PLANT BEDS PRIOR TO INSTALLATION.
- 13. THE PLANTING SOIL MIX SHALL CONSIST OF THE FOLLOWING:

FOR TREES, SHRUB, AND GROUNDCOVERS

50% TOPSOIL 50% PREPARED ADDITIVES (BY VOLUME AS FOLLOWS):

3 PARTS - ORGANIC SOIL CONDITIONER (NATURE'S HELPER OR EQUAL) 1 PART - STERILIZED COW MANURE 1 PART - STERILIZED COW MANURE
COMMERCIALLY AVAILABLE STARTER FERTILIZER @ RATES
SPECIFIED BY MANUFACTURER
LIME (AS RECOMMENDED IN SOIL ANALYSIS)

14.IF TOPSOIL FOR LANDSCAPE WORK IS NOT AVAILABLE ON-SITE THEN TOPSOIL MUST BE FURNISHED AS SPECIFIED.

PROVIDE NEW TOPSOIL THAT IS FERTILE, FRIABLE, NATURAL LOAM, SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, STONES, LARGER THAN 2 NICHES IN ANY DIMENSION, AND OTHER EXTRANEOUS ON TOXIC MATTER HARMFUL TO PLANT GROWTH.

OBTAIN TOPSOIL FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT PROJECT SITE. OBTAIN TOPSOIL ONLY FROM NATURALLY, WELL DRAINED SITES WHERE TOPSOIL OCCURS IN A DEPTH OF NOT LESS THAN 4 INCHES. DO NOT OBTAIN REVOM BOGS OR MARSHES.

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MITT							>	DECIDUOUS	
	HOTANISAL HAME	COMMON HAME	NOME:	SALIFER	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	REMARKS	NOT TO AL	EVEROREEH ID OR EI	
0	ACCOMPLICATION AND ADDRESS TO	ARRYN TRIDENT MAPLE	BAR / 00HT.	10 10	10.12	STRAIGHT DOMBANT LEADER, FULL, WELL BRANCHED	0.00%	0	
	ACIR RUBRUM DETOBER BLORY BLEDTER PRACAPTROS PERMIS UNADEMARTER	DOTOBER GLORY RED MAPLE EHADEMARTER HONEY LOCURY	BAB / CORT.	84 VF	19-14	STRAIGHT COMMANT LEADER FULL WELL BRANCHED STRAIGHT COMMANT LEADER FULL WELL BRANCHED STRAIGHT COMMANT LEADER FULL WELL BRANCHED	8.610	ii ii	
	CLEDITOR THREATHER HERMS SHADEMARTER HALEDIA CAROLINA	SHADEMARTER HOMEY LOCUST	BAR / CONT.	88.1/2	10.15	STRAIGHT DOMINANT LEADER, FULL, WELL BRANCHED	0.07%	0	
	BEX OPAGA DAN FRATON	DAN FENTON AMERICAN HOLLY	BAR / CONT.	14 10	8.10	FULL TO ORIGINO, DENIEL WELL BRANCHED		- 1	1.00%
	LIBODENDRON TOLFIFERA -BUFFER	TULE FORLAR	BAR / CONT.	84 VF	18-14	STRAIGHT DOMBANT LEADER, FULL, WELL BRANCHED	1 11111	ii ii	
	LES OPAGE SAN PENTON' LINGGERINGOU THE EPRITA - BUFFER MAGNELIA GRANDFLORA BRACKERE' MAGNELIA GRANDFLORA SOUTHERN GRARLF TM	TOUR FOR LAR BRACKER'S SOUTHERN MACHICLA TEDDY BEAR SOUTHERN MACHICLA	BAR / CONT.		8.10	STRAIGHT DOMBART LEAGUR FULL WELL BRANCHED FULL TO GROUND, DENSE, WELL BRANCHED FULL TO GROUND, DENSE, WELL BRANCHED	1.009		1.88%
	MAGNOLIA GRANDIFLORA BOUTHERN CHARRY TH	WLDFRE TUPELD	BAR / CONT.	22.1/2	8:107		1117	- 6	8.07%
	PRUS STROBUS	WHITE PIECE	BAB / BOHT	8.8 1/8	8-10	FULL TO BROWN, DENSE, WELL BRANCHED	1111	- 1	1.00%
	PRUB VERBIANA	WHITE FREE VINDELS PREE SANORIA HUTTALL DAR	BAB / CONT.		8/10	FULL TO GROUND, DENSE, WELL BRANCHED	7.519	i i	2.53%
	QUEROUS NUTTALLE GREETLY TM SURROUS PUBLICIS	RABORIA HUTTALL DAR WILLOW BAR	BAR / CONT.	84 VF	12.14	FULL TO GROUND, DERRE WELL BRANCHED FULL TO GROUND, DEPUE, WELL BRANCHED STRAIGHT DOMBART LEADER, FULL, WELL BRANCHED STRAIGHT DOMBART LEADER, FULL, WELL BRANCHED	1111		
1	TILIA CORDATA CHANCOLE: TM	CHARGELLOS LITTLELEAF LEIDER	BAB / CONT	24 10	10.11	BTHAIRMT DOLLMANT LEADER FULL WELL BRANCHED	1 1111	ii ii	
	ULMUR ALATA WERELAME	WOODLAND WHOSE ELM PRINCETON AMERICAN ELM	BAH / CONT	84 VF	18.18	ETRACHIT COMMANT LEADER, PULL, WELL BRANCHED STRAIGHT DOMMANT LEADER, FULL, WELL BRANCHED	1.00%	0	
	ULMUS AMERICANA TRACETOR	PRINCETOR AMERICAN BLM	BAB / GOHT	14.05	19-14	ETRAIGHT DOMINANT LEADER, FULL, WELL BRANCHED	8.075		
	SMALL TREES	County Company					7	- 9	
	AMELANGHER ARROREA AUTUMI BRELIANCE	DOWNY BERVEEBERRY ORLAHOMA REDBUD	BAR OR CONT.	M VF	10.12	BYRAUSTY DEMONANT LEADER, FULL, WELL BRANCHED	1,000	- 1	
	CERCIA CANADENSIA TEXENSIA CALAHGMA CHIENASTRUS RETURUS	COMMENT PRODUCTION	BAR OR COST	BA VE	10.10	ETRABUIT DOMINANT LEADER, FULL, WELL BRANCHED STRAIGHT DOMINANT LEADER, FULL, WELL BRANCHED STRAIGHT DOMINANT LEADER, FULL, WELL BRANCHED	1,419	0	
		KOURA DOGWOOD	BAR OR CONT	14 17	10:17		9.07%	Ü	
	AMPERUS VESTIANA	EARTERN REDGEBAR	BAR OR COST		8/10	PULL TO GROUND, DENSE, WELL BRANCHED	1.22%	0	or con-
	AMPERIUS VESSIARA AMPERIUS VESSIARA BURGE LAGERSTROEMA SUSIA SPAUREI MUSICOSEE LAGERSTROEMA ROMA XFAUREI MATCHES	BURK GEDAR MUSICOIDES GRAPE MYRYLS	BAR OR COST	12 VF	10.10	PULL TO DRIGHTO, DEFINE, WELL BRAZINGHID FULL TO GROUND DEFINE, WELL BRAZINGHID MALT-TRURK, MIST LA DARGE, FULL, WELL BRAZINGHID	1.000	-	13.18%
	LAGERETROEMA BOKA X FAUREL HATCHES	RATCHEZ GRAPE MYRTLE	BAR OR CONT	84 1/8	10:17	MULTI-TRUNK, MIN. LO CANER, FULL, WELL BRANCHED	0.315	0	
	ALLER VORD'S CURLOR AND ST CHEEK.	LEAU UHABTE THEE	BAB OR CONT	24 VE	10.12	MULTI-THURK, MIR. 1-8 CANES, PULL, WELL BRANCHED	2.00%	0	
						TOTAL TREE	- 111	EVERGREEN S	33,10%
	ABILIA X DRANDIFLORA MBIACARAT TM ABILIA X DRANDIFLORA MADIANDE	FURNISHE ANNUA	- 22		16-18"	PALL DENSE. WELL ROOTED IN POT	8.88%		\sim
	APALEA E COMMENTAL	RADIANCE ABELIA ENCORE AFALEA	- 11		18:10"	FULL DERSE, WELL ROOTED IN POT FULL DERSE, WELL ROOTED IN FOT	1.80% 3.61%		
	AZALEA R CONLER TM CAMELLA GAGANGUA PRIK SNOW CEPHALOTARIS HARRISHOTORIA TROSTRATA	PINS BROW SAMELLIA	BAR OR CONT		8.0	FULL TO OPERATED, DEVISE, WELL BRANCHED	0.01%		
	CEPHALOTARIS HARRINGTONIA PROSTRATA	PRIS BROW SAMELIA PROBTRATE PLUM YEW	#1		18-16"	FULL TO GROUND, DENSE, WELL BRANCHED FULL DENSE, WELL ROOTED IN POT	4 1855		
	CETTION AUTHORITON THE TOTAL THE TOT	SLETHRA CHINAMON GIRL DISTYLUM	#1		18.01	FULL DERSE, WELL ROOTED IN POT FULL DERSE, WILL ROOTED IN POT	2.11% 18.91%		
	FOREYTHIA A RITERIAGOA MINICOR TM	DIOW OFF FORSYTHA	- 11		18.81	FULL DERBE, WELL ROOTED IN POT FULL DERBE, WELL ROOTED IN POT	1.01%		
1	FOTHERON, A GARDENII WT. ARV	BHOW OFF FORSYTHIA MT_ARRY FOTHEROSLA	#1		18-61	FULL DEHME, WELL ROOTED IN POT	0.03%		
	HYOMAHUEA ARBOMERUENS ANNABELLE	ANNABELLE HYDRANGEA	#1		21 22	FULL DENSE, WELL ROOTED IN POT FULL DENSE, WELL ROOTED IN POT	0.03%		
	TYORANDIA ARIBODIA TA PRODUCTO TO TOTALINA TO TOTALINA TO TOTALINA TO TOTALINA TA SIMILIPI INTORANDIA PARISCILATA SIMILIPI PARISCILA	FEEDER HYDRAHORA LITTLE LIMERYBRAHORA	**		18.81	FULL DENSE, WELL ROOTED IN POT FULL DENSE, WELL ROOTED IN POT	0.70% 2.10%		
	HYDRAHORA QUEROFOLIA RUBY BLEFFERD	THE LIMITY OF THE STATE OF THE	- 61		81-64	FULL DENNE, WELL ROOTED IN FOT	0.60%		
1	ILEX DORRI/TA SURFORDI NANA:	DWARF BURFORD HOLLY	F1		18.01	FULL DERISE WELL ROOTED IN POT	1.61%		
	REX DIABRA SHARBOOK	BICY PERCE JAPANESE HOLLY	#7		18.01	FULL DERBE, WELL ROOTED IN POT FULL DERBE, WELL ROOTED IN POT	0.00% 4.18%		
	BUT VERTICIANTS TARROWSHOP THE BUT VERTICIANTS FARROWSHOP THE BUT VERTICIANTS FARROWSHOP THE BUT VERTICIANTS FARROWSHOP THE BUT VERTICIANTS FOR THE VERTICIANTS FOR THE BUT VERTICIANTS FOR THE VERTICIANTS FOR THE VERTICIAN	BERRY COFFED WRITERBERRY (FEMALE)	45		18-81	FULL DEBAR WILL ROOTED BLEDT	3.04%		
	BUS VERTICILLATA TARROWMRP IM	BERRY POPPER WINTERBERRY (FEMALE) MR. POPPER WINTERBERRY (MALE) DWARF YAUFON HOLLY	#1		18.81	FULL DENSE, WELL ROOTED IN POT FULL DENSE, WELL ROOTED IN POT	0.00%		
	ARK VONITORIA HAHA	DWARF YAUFON HOLLY NELLE B. STEVENS HOLLY	BAR OR CONT		19-18	FULL DENSE WELL ROOTED IN POT	0.98%		
	REX NATTURATA FORTERS	FORTERS HOLLY	BAR OR COST		8-10	FULL TO GROUND, DENSE, WELL BRANCHED FULL TO GROUND, DENSE, WELL BRANCHED	0.18%		
	ALIGUM PARVELORUM ALIGUM PARVELORUM FLORIDA BUHBHHE	ATIME TREE	#1		21.04	FULL DEFINE WELL ROOTED IN POT FULL DEFINE WELL ROOTED IN POT	0.02%		
,	A LICOM PARVELORUM FLORIDA BUMBHINE THA VIRIBRIA MERLUT TM	FLORIDA BURDINGE ARIBE MERLOT SWEETSPIRE	#1		18-01"	PULL DERBE, WELL ROOTED IN POT PULL DERBE, WELL ROOTED IN POT	0.98% 5.81%		
1	AND AND THE PARTY OF THE PARTY	WHITEH ACHIEVE	45		18-187	FULL DEBAR WELL ROOTED IN FOT	1.07%		
-	JANUARIA RIGELORUM ADPERUS CIRINDES SPARTAN ADPERUS CONFERTA BLUE PACEN LORGPETALIM CURINES BURRUM PRECIP YM	BLUE PACIFIC AMPER	BAR OR COM		0.0	FULL DEHBE, WELL ROOTED IN POT FULL TO GREENE, GENEE, WELL BRANCHED FULL DEHBE, WELL ROOTED IN POT	0.22%		
1	AMPERUS CONFERTA BLUE PACES	BLUE PACIFIC JUNIFER	61		0.15	FULL DEHBE, WELL ROOTED IN POT	10 77%		
,	LOROPETALIM CHREMES RUSHUM SHANGHE TM	PURPLE DAYOREAM LORGPETALUM PURPLE DIAMOND LORGPETALUM	**		18.81	PULL DENSE, WELL ROOTED IN POT PULL DENSE, WELL ROOTED IN POT	3.35%		
	PERIS APPRISA LITTLE HEATIF	LITTLE HEATH JAPANESE PIERIS	11		4.4	PULL DENSE, WILL ROOTED IN POT	8.11%		
	PERB JAPENDA LITLE HEATIF PRUNDS LAUROGERASUS OTTO LUYKEN BUSINERADRON ROBOM SECROE L. TABER	OTTO LUVIEN LAUREL DECROE TABLE AZALEA	#1		18-81	FULL DENNE, WELL ROOTED IN POT	0.94%		
	REGODERADRON NOROM NEDROS L. TABLET REGODERADRON NOROM NER. Q.O. GERSHO	GLO DERBHO AZALEA	Mil		18.21	PALL, BENDE, WILL REIGHER IN PUT	1,03%		
	RECOGNERORIES SURVINE CORAL BELLS	EURUME AZALEA	*1		18:18"	FULL DERHIE, WELL ROOTED IN POT FULL DERHIE, WELL ROOTED IN POT	2.00% 2.00%		
	REGEOERATION NUMBER TO THE RESEARCH X WORLDO THE THE RESEARCH X WORLDO THE THE RESEARCH THE RESE	BURUME AZALEA AUTUMN BANGRIA ENGORE AZALEA BOUBLE PRIS ROBE	#1		18:01	FULL DENSE, WELL ROOTED IN POT FULL DENSE, WELL ROOTED IN POT	1.47%		
	REBA E BAUTLUPER TM THUM OCCURNTALE BMARAGO	BOUBLE PER HOSE ENERALD OREEN ARBORVITAE	MAR OR CONT		18.81	FULL TO GROUND, DENNE, WELL BRANCHED	1.87% 0.03%		
					10	TOTAL SHAUS			
	ORANIER MISCANTINUS SPIENOIS ADAGIO	ADAGIO MISCANTHUS				FULL DENSE, WELL ROOTED IN POT			
	MISSANTHUS SPIENSIS MORKING LIGHT	MORNING LIGHT MISCAPHICS	#1			FULL DENSE, WELL ROOTED IN POT			
	ACHLEMBERGIA GAPILLARIO MUNICEMBERGIA GAPILLARIO WINTE GLOUD	PRICHARLY GRASS WIRTS SLEED MAINLY GRASS	#3			FULL DENSE, WELL ROOTED IN POT FULL DENSE, WELL ROOTED IN POT			
	LOW GROWERS								
	ADDIDITE DIATION	CAST FRON FLANT	#1			MULTIFLE CARED, FULL, DERBIE, WELL ROOTED IN POT			
	DRYOPTERIS ENVIDENCIA BRILLIANCE HYPERICUM CALYCHUM BRIGGADCON	BRILLIANCE AUTUMN FERM	#2 #3			FULL DENSE, WELL ROOTED IN POT FULL DENSE, WELL ROOTED IN POT			
	MARCHIA EURYBRADTEATA SUFT DARESS	CREEPING ST JOHNS WORT SUPT CARESS MALIGNA	21			PULL DERSE, WELL ROOTED IS POT			
	PERSONNALS								
1	BAPTISIA AUSTRALIS CARYUPTERIS A CLANOCRENSIS STIRLE TM	BLUE WILD WOOD BEYOND MERCHAT BLUEBEARD	81			FULL DERBE, WELL ROOTED IN POT FULL, DERBE, WELL RUSTED IN PUT			
i i	HELLEBORUS OREHTALS	LEHTEN ROBE	#1			FULL DEHBE, WELL ROOTED IN POT			
	HELLEBORUS ORENTALIS HEUDHIERA II VALISHERRY TA BEDUM X AUTUMH JOY	DOLER WEDBERRY SORAL BELLS AUTUMN JOY BEDUM	- 11			PULL DERBE, WELL ROOTED IN POT FULL DERBE, WELL ROOTED IN POT			
	OROUGE COLUMN	DATAMA SAT MANAM				TALL WITH THE PROPERTY OF THE			
	GROUND COVERS EARER ESSENCES SVERILLEY THE	EVEROBLOS EVERLAS APANESE REDGE	- 11			PULL DENSE, WELL ROOTED IS POT			
	HEMEROCALUB X FURPLE DE ORO	FURFLE DE ORO DAYLEY STISLA DE URB BAYLEY	#1			FULL DEHBE, WELL ROOTED IN POT			
4	HARRICALLIS X PURPLE OF ORO HEMEROSALLIS X PURPLE OF ORO HEMEROSALLIS X STELLA DE ORIG HYAGRITHODES HERANCA	BYBLLA DE ORIGINAVLLY	#1			FULL DENSE, WILL ROOMED IN POT			
ii.	LEVINUS ARBINATIOS BLUE BURE	HISPANIC HYACHTHORDES BLUE BUNE LYME SPARE	801.0			FULL DENSE, WELL ROOTED IN POT FULL DENSE, WELL ROOTED IN POT			
6	LINOPE MURCARI RIO BLUE BARCIBOUR A TER FOLLINO	BIG BLUE LEYTURF DE FOLLES BAFFORE	9059			FULL DENSE, WELL ROOTED IN POT			
1	NAMEDIAVE A VIET POLLEY	DE FOLLES BAFFOOL	BULB			PALL BERRIE WELL BUILTING BY PUT			
14	олногором, игоновы мания	DWARF MONDO GRASS ELITE TALL FEBOUE	800			PULL DEHBE, WELL ROOTED IN POT CERTIFIED PURE, DISEASE, PEST, WEED FREE			

3328 PEACHTREE ROAD NE SUITE 100 ATLANTA, GA 30326

PARK LANDSCAPE NOTES & PLANT SCHEDULE

SUGARLOAF AT CENTURY 10209 SHERRILL BOULEVARD KNOMULE TEMESSEE 3782 TTOAK FILE NO. 64-22200A

L5.10

NOT ISSUED FOR CONSTRUCTION

PROJECT NO. 3812805

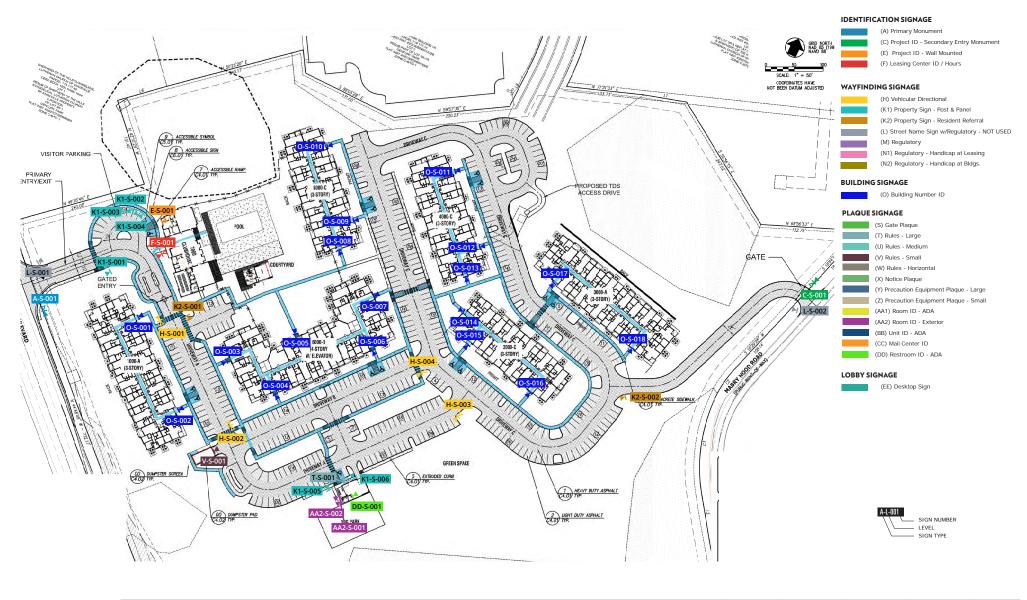
Sugarloaf at Century Park

BRAND PROPERTIES

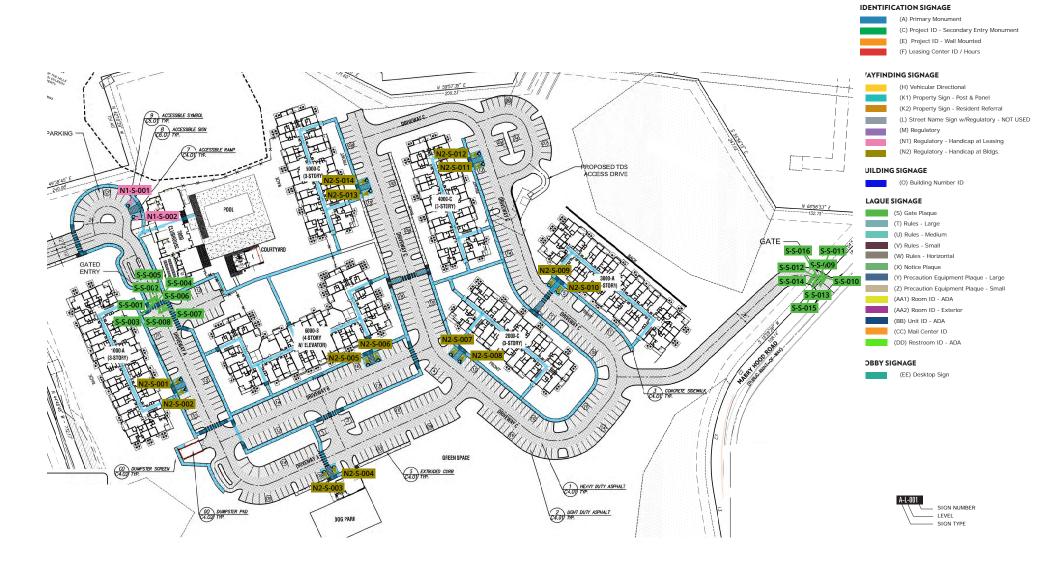
50% DESIGN DEVELOPMENT PACKAGE

May 19, 2022



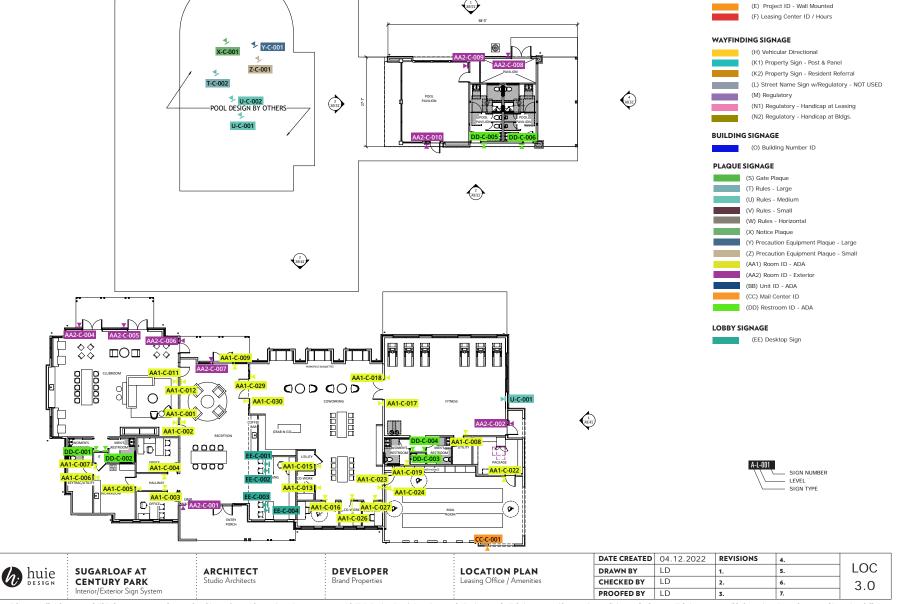


					DATE CREATED	04.14.2022	REVISIONS	4.	1.00
huie	SUGARLOAF AT	ARCHITECT	DEVELOPER	LOCATION PLAN	DRAWN BY	LD	1.	5.	LOC
W Hule	CENTURY PARK	Studio Architects	Brand Properties	Site Plan	CHECKED BY	LD	2.	6.	1.0
	Interior/Exterior Sign System				PROOFED BY	LD	3.	7.	1.0



huie	SUGARLOAF AT	ARCHITECT	DEVELOPER	LOCATION PLAN	DRAWN BY	LD	1.	5.	LOC
DESIGN	CENTURY PARK	Studio Architects	Brand Properties	Site Plan - Gate & Parking Signage	CHECKED BY	LD	2.	6.	2.0
	Interior/Exterior Sign System				PROOFED BY	LD	3.	7.	2.0
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DATE CREATED 04.12.2022 REVISIONS



W-C-001

IDENTIFICATION SIGNAGE

(A) Primary Monument

(C) Project ID - Secondary Entry Monument

COLOR PALETTE*











Paint to match Laurel Woods SW 7749



Matthews Paint Sherwin Williams White Wonder MP32071 Reserved White



Paint to match (P6) Sherwin Williams Nuance SW 7049









NOTE:

SW 7056

Owner to confirm architectural colors prior to fabrication.

VINYLS*



3M Scotchlite Opaque White







3M Scotchlite Translucent White 5650-20

MATERIALS















*Printed colors are for reference only and should not be matched from this page or any other pages in

*Typefaces and artwork are indicated for reference only and shall not be scanned from this page or any other pages in this document. Use only electronic art provided by the client or Huie Design. For typefaces use only computer generated fonts.

NOTE: All paint finishes to be matte/flat per City of Knoxville Technology Overlay

PROJECT TYPEFACE**

GOTHAM MEDIUM ABCDEFGHIJKLMNOPQRSTUVWXYZ 1234567890

GOTHAM BOOK ABCDEFGHIJKLMNOPQRSTUVWXYZ 1234567890

For noted exterior rules:

Futura Condensed Medium abcdefghijklm nop qr stuvw xyz**ABCDEFGHIJKLMNOPQRSTUVWXYZ &\$1234567890**

ARTWORK**







SUGARLOAF AT **CENTURY PARK** Interior / Exterior Sign System

Silver Studios

ARCHITECT

DEVELOPER Brand Properties

STANDARDS

04.12.2022 REVISIONS DATE ISSUED DRAWN BY SW 5. **CHECKED BY** SHC 6. PROOFED BY 3. 7.

Huie Design to provide initial code analysis. Sign fabricator to confirm and notify owner of all code compliance.

Sign fabricator responsible for supplying all electrical and blocking requirements.

CODE INFORMATION

SUBDIVISION SIGN

Per City of Knoxville Technology Overlay:

QUANTITY ALLOWED: 1 per frontage MAXIMUM HEIGHT ALLOWED: 12'-0" MAXIMUM SF ALLOWED: 200 sf SETBACK: 20'-0" from the public ROW

Calculated based on total road frontage of 731'-9 11/32"
1 sf per foot of frontage - max 200 sf; max combined 300 sf for all subdivision signs. **Both sides** of sign to be used to calculate total area. Area devoted to sign's message, excluding structure / decorative features.

MATERIALS: To be compatible with building. No more than three colors per sign. Finishes to be matte/flat. ILLUMINATION: Ground mounted or backlit.

Per City of Knoxville Sign Ordinance:

LANDSCAPE: one half the area of the sign around the base; mature height no more than 42"

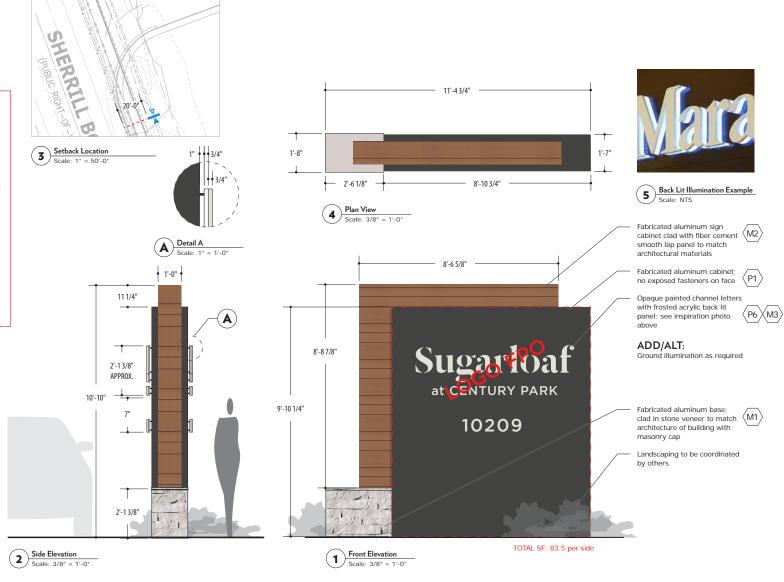
NOTE:

MEP contractor and GC are responsible for coordinating electrical requirements and power supply for sign locations. Fabricator is responsible for verifying electrical requirements and location of power supply with GC and MEP contractor prior to fabrication of signage; final electrical hookup by others.

Fabricator to confirm that sign will not exceed 120v single phase, 5 amp circuit provided; universal input driver (120/277v) required.

All sign locations to be coordinated with architecture, landscape and hardscape plans, traffic control boxes, transfer switch boxes, etc. to ensure there are no conflicts.

Custom fabricated construction - seams or welds to be sanded smooth and painted to coordinate with sign package and provide contrast for letters and logo. All fasteners should be hidden or not visible on sign face.





SUGARLOAF AT CENTURY PARK Interior / Exterior Sign System ARCHITECT Silver Studios **DEVELOPER**Brand Properties

PRIMARY ID MONUMENT
Subdivision Sign - Primary
Sign Type A

 DATE ISSUED
 04.12.2022
 REVISIONS
 4.

 DRAWN BY
 SW
 1.05.19.2022
 5.

 CHECKED BY
 SHC
 2.
 6.

 PROOFED BY
 LD
 3.
 7.

Huie Design to provide initial code analysis. Sign fabricator to confirm and notify owner of all code compliance.

Sign fabricator responsible for supplying all electrical and blocking requirements.

CODE INFORMATION

SUBDIVISION SIGN - SECONDARY

Per City of Knoxville Technology Overlay:

QUANTITY ALLOWED: 1 per frontage MAXIMUM HEIGHT ALLOWED: 12'-0" MAXIMUM SF ALLOWED: 100 sf SETBACK: 20'-0" from the public ROW

Calculated based on total road frontage of 731'-9 11/32" 1 sf per foot of frontage - max 200 sf; max combined 300 sf for all subdivision signs. **Both sides** of sign to be used to calculate total area. Area devoted to sign's message, excluding structure / decorative features.

MATERIALS: To be compatible with building. No more than three colors per sign. Finishes to be matte/flat. ILLUMINATION: Ground mounted or backlit.

Per City of Knoxville Sign Ordinance:

LANDSCAPE: one half the area of the sign around the base; mature height no more than 42"

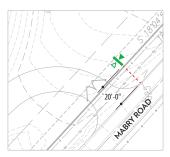
NOTE:

MEP contractor and GC are responsible for coordinating electrical requirements and power supply for sign locations. Fabricator is responsible for verifying electrical requirements and location of power supply with GC and MEP contractor prior to fabrication of signage; final electrical hookup by others.

Fabricator to confirm that sign will not exceed 120v single phase, 5 amp circuit provided; universal input driver (120/277v) required.

All sign locations to be coordinated with architecture, landscape and hardscape plans, traffic control boxes, transfer switch boxes, etc. to ensure there are no conflicts.

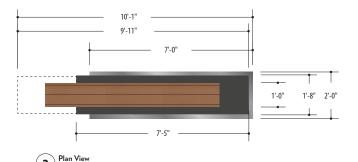
Custom fabricated construction - seams or welds to be sanded smooth and painted to coordinate with sign package and provide contrast for letters and logo. All fasteners should be hidden or not visible on sign face.



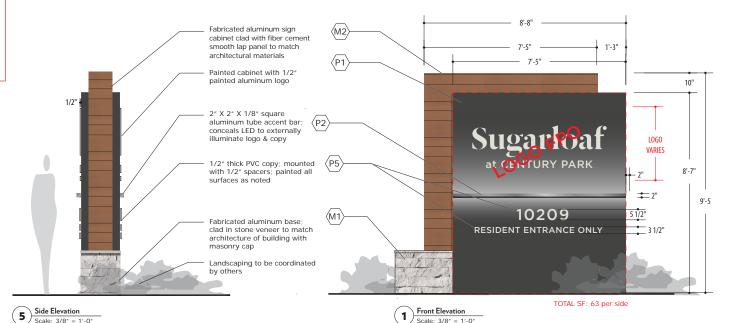








Scale: 3/8" = 1'-0"





SUGARLOAF AT CENTURY PARK Interior / Exterior Sign System

ARCHITECT Silver Studios **DEVELOPER**Brand Properties

SECONDARY ID MONUMENT Subdivision Sign - Secondary Sign Type C

2.0

Copyright 2022. All rights reserved. This document may not be reproduced in any form without prior written agreement with Huie Design, Inc. | Drawings are design intent only. Fabricator to verify mounting conditions and substrates. Fabricator responsible for engineering and structural integrity of all signs.

Huie Design to provide initial code analysis. Sign fabricator to confirm and notify owner of all code compliance.

Sign fabricator responsible for supplying all electrical and blocking requirements.

CODE INFORMATION

ATTACHED SIGN

Per TTCDA & City of Knoxville Sign Ordinance

QUANTITY ALLOWED: Not specified MAXIMUM HEIGHT: Not specified MAXIMUM SF ALLOWED: Maximum 1 sq ft of signage per linear ft of the building (147 sf max. 98 sf proposed)

NOTE:

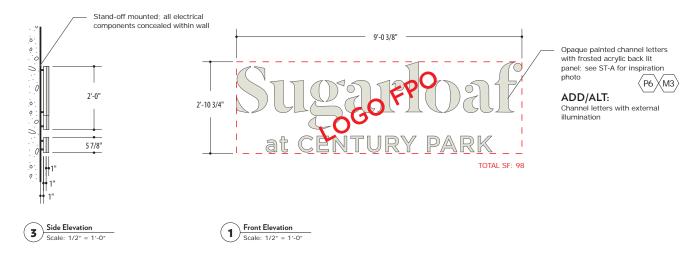
MEP contractor and GC are responsible for coordinating electrical requirements and power supply for sign locations. Fabricator is responsible for verifying electrical requirements and location of power supply with GC and MEP contractor prior to fabrication of signage; final electrical hookup by others.

Fabricator to confirm that sign will not exceed 120v single phase, 5 amp circuit provided; universal input driver (120/277v) required.

All sign locations to be coordinated with architecture, landscape and hardscape plans, traffic control boxes, transfer switch boxes, etc. to ensure there are no conflicts.

Custom fabricated construction - seams or welds to be sanded smooth and painted to coordinate with sign package and provide contrast for letters and logo. All fasteners should be hidden or not visible on sign face.







SUGARLOAF AT CENTURY PARK Interior / Exterior Sign System ARCHITECT Silver Studios

DEVELOPER Brand Properties

PROJECT ID WALL MOUNTED DRAWN BY Attached Sign Sign Type E

DATE ISSUED 04.12.2022 REVISIONS SW 5. 1.05.19.2022 CHECKED BY SHC PROOFED BY LD

Huie Design to provide initial code analysis. Sign fabricator to confirm and notify owner of all code compliance.

Sign fabricator responsible for supplying all electrical and blocking requirements.

CODE INFORMATION

INCIDENTAL SIGN

Per City of Knoxville Sign Ordinance: QUANTITY ALLOWED: TBD by City

MAXIMUM HEIGHT ALLOWED: 6'-0"
MAXIMUM SF ALLOWED: 16 sf (name logo may not exceed 20% of sign face)

SETBACK: 10'-0" from street ROW or 15'-0" from edge of pavement, whichever is greater

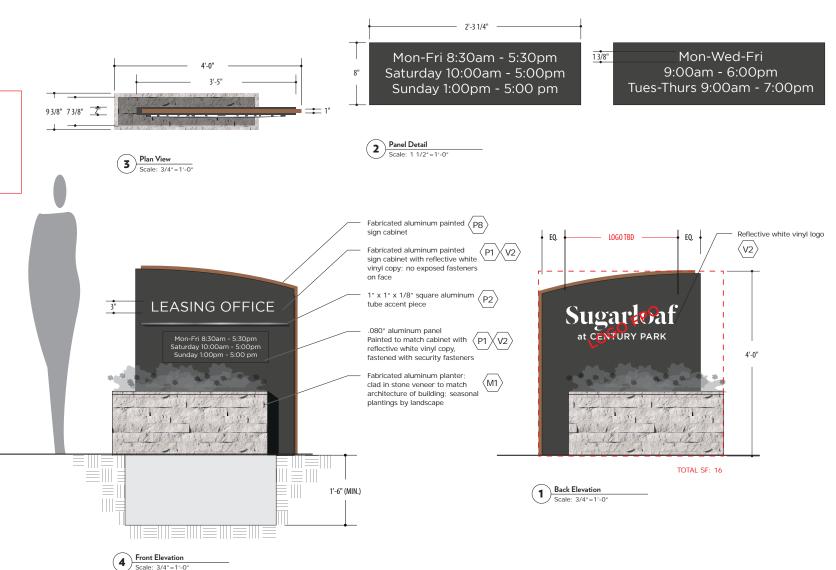
NOTE:

MEP contractor and GC are responsible for coordinating electrical requirements and power supply for sign locations. Fabricator is responsible for verifying electrical requirements and location of power supply with GC and MEP contractor prior to fabrication of signage; final electrical hookup by others.

Fabricator to confirm that sign will not exceed 120v single phase, 5 amp circuit provided; universal input driver (120/277v) required.

All sign locations to be coordinated with architecture, landscape and hardscape plans, traffic control boxes, transfer switch boxes, etc. to ensure there are no conflicts.

Custom fabricated construction - seams or welds to be sanded smooth and painted to coordinate with sign package and provide contrast for letters and logo. All fasteners should be hidden or not visible on sign face.





SUGARLOAF AT CENTURY PARK Interior / Exterior Sign System ARCHITECT Silver Studios **DEVELOPER**Brand Properties

LEASING CENTER IDIncidental Sign
Sign Type F

CODE INFORMATION

INCIDENTAL SIGN

Per City of Knoxville Sign Ordinance: QUANTITY ALLOWED: TBD by City

MAXIMUM HEIGHT ALLOWED: 6'-0"
MAXIMUM SF ALLOWED: 16 sf (name logo may not exceed 20% of sign face)

SETBACK: 10'-0" from street ROW or 15'-0" from edge of pavement, whichever is greater

NOTE:

Huie Design to provide initial code analysis. Sign fabricator to confirm and notify owner of all code compliance.

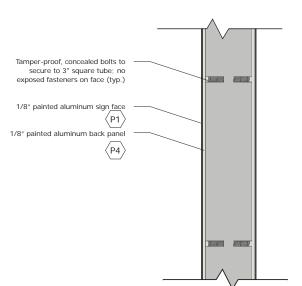
Sign fabricator responsible for supplying all electrical and blocking requirements.

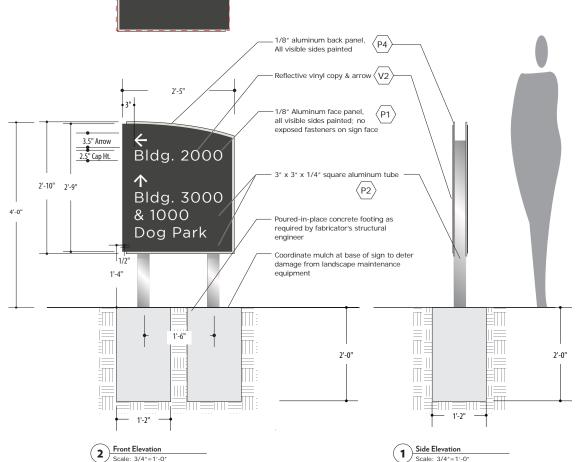
TOTAL SF: 6.6 per side

Bldg. 2000

Bldg. 6000

& 7000







SUGARLOAF AT CENTURY PARK Interior / Exterior Sign System

Section Scale: 3" = 1'-0"

> ARCHITECT Silver Studios

DEVELOPERBrand Properties

VEHICULAR DIRECTIONAL Incidental Sign Sign Type H
 DATE ISSUED
 04.12.2022
 REVISIONS
 4.

 DRAWN BY
 SW
 1.
 5.

 CHECKED BY
 SHC
 2.
 6.

 PROOFED BY
 LD
 3.
 7.

Huie Design to provide initial code analysis. Sign fabricator to confirm and notify owner of all code compliance.

Sign fabricator responsible for supplying all electrical and blocking requirements.

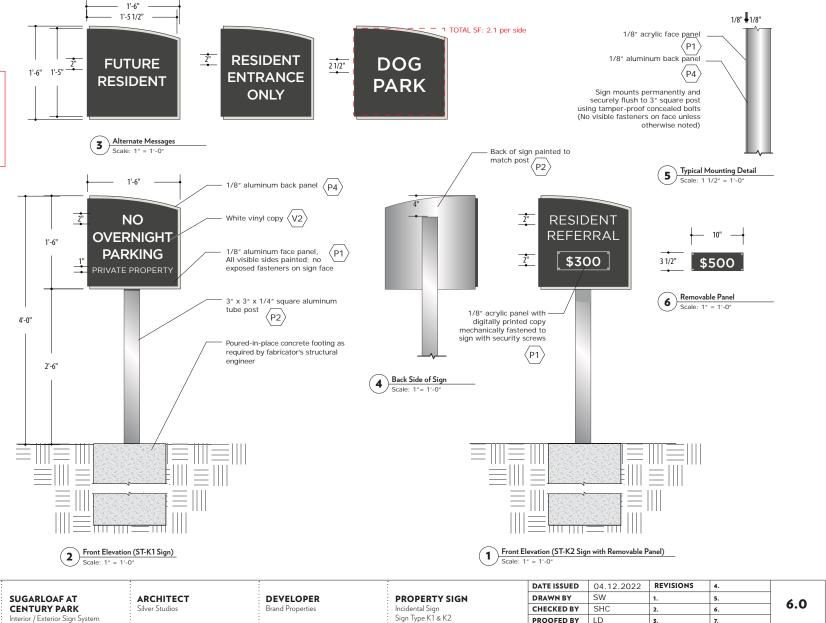
CODE INFORMATION

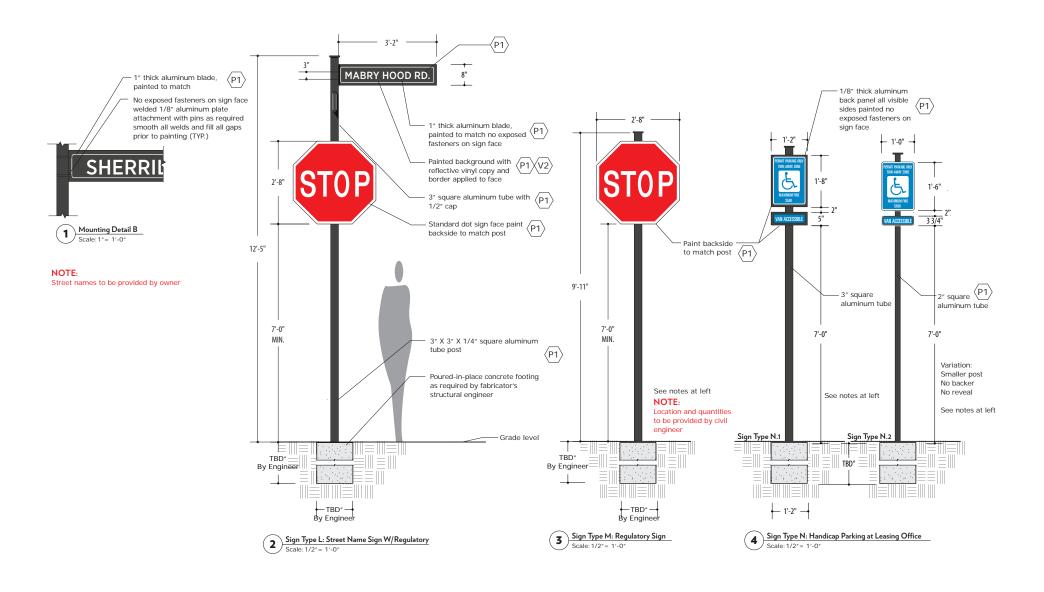
INCIDENTAL SIGN

QUANTITY ALLOWED: TBD by City
MAXIMUM HEIGHT ALLOWED: 6'-0"
MAXIMUM SF ALLOWED: 16 sf (name logo may not
exceed 20% of sign face)

SETBACK: 10'-0" from street ROW or 15'-0" from edge of pavement, whichever is greater

huie





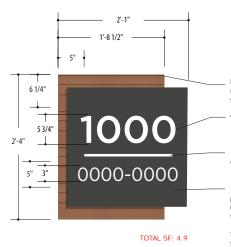
	huje SUGARLOAF AT	ARCHITECT	DEVELOPER	REGULATORY SIGNS	DRAWN BY	SW	1.	5.	7.0	
	DESIGN CENTURY PARK	Silver Studios	Brand Properties	Sign Type L, M & N	CHECKED BY	SHC	2.	6.	7.0	
	Interior / Exterior Sign System	:			PROOFED BY	LD	3.	7.	7	
-	Commission 2009 All violet manual This Domination and This Dominat									

DATE ISSUED 04.12.2022 REVISIONS

Sign fabricator responsible for obtaining final architectural elevations and showing sign locations in elevations.







Front Elevation
Scale: 1" = 1'-0"

Fiber cement smooth lap panel to match architectural materials; sides smoothed and painted M2

White vinyl copy $\left\langle V2 \right\rangle$

1/2" x 1/8" thick flush-mounted white acrylic bar; painted $\langle P5 \rangle$

1/8" aluminum face panel painted on all visible sides no exposed fasteners on sign face

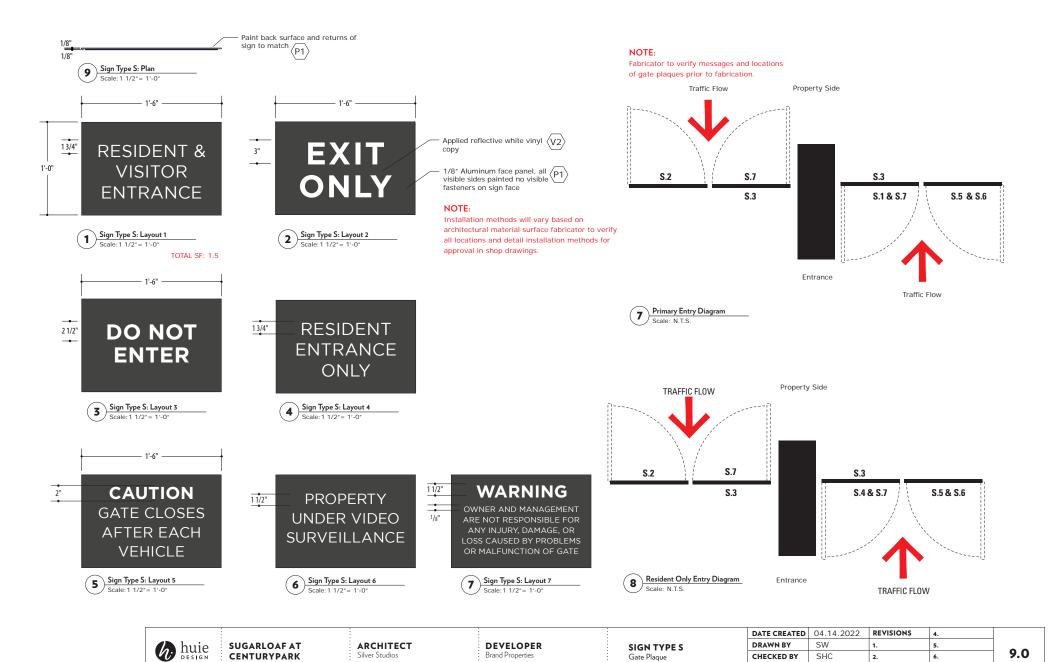
Sign mounts permanently and securely flush to wall surfaces using stud mounts with silicone and VHB adhesive

NOTE:

Fabricator to determine unit numbers listed on each plaque

Typical Location
Scale: 3/16" = 1'-0"

	:				DATE ISSUED	04.12.2022	REVISIONS	4.	
huie	SUGARLOAF AT	ARCHITECT	DEVELOPER	ATTACHED SIGN	DRAWN BY	SW	1.	5.	0.0
DESIGN	CENTURY PARK	Silver Studios	Brand Properties	BUILDING ADDRESS NOS.	CHECKED BY	SHC	2.	6.	8.0
	Interior / Exterior Sign System	:		Sign Type O	PROOFED BY	LD	3.	7.	

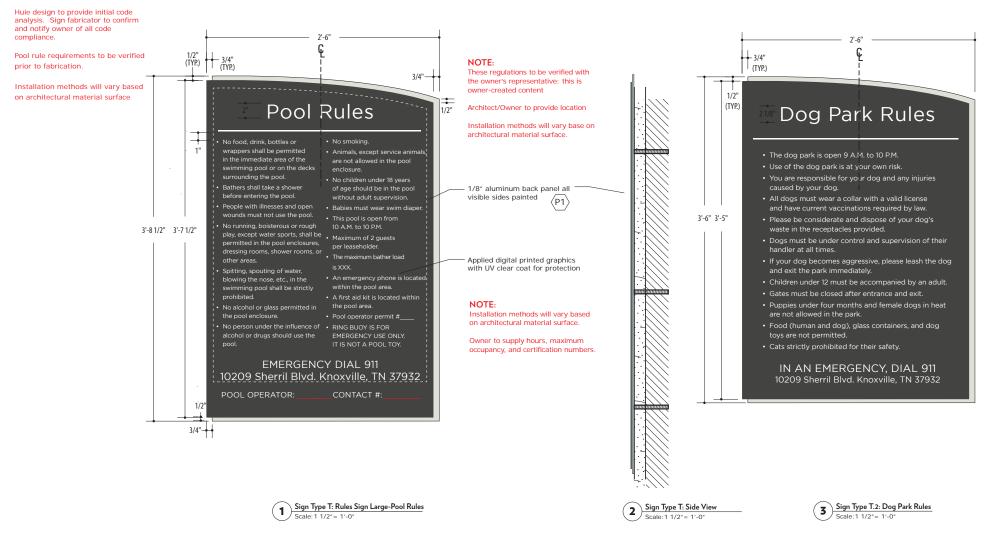


Interior/Exterior Sign System

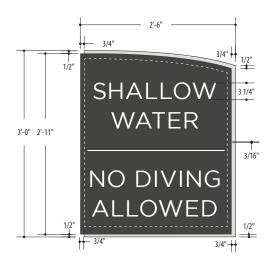
PROOFED BY

LD

Sign fabricator responsible for obtaining final architecture elevations and showing sign locations in elevations.



		· ·	:	DATE ISSUED	04.12.2022	REVISIONS	4.	
huje SUGARLOAF AT	ARCHITECT	DEVELOPER	RULES SIGN - LARGE	DRAWN BY	SW	1.	5.	10.0
DESIGN CENTURY PARK	Silver Studios	Brand Properties	Sign Type T	CHECKED BY	SHC	2.	6.	10.0
Interior / Exterior Sign System				PROOFED BY	LD	3.	7.	



No Diving Message

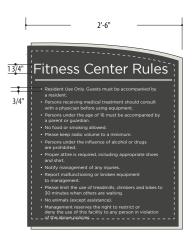


NOTE:

Sign fabricator responsible for obtaining final architecture elevations and showing sign locations in elevations.

Huie design to provide initial code analysis. Sign fabricator to confirm and notify owner of all code compliance.

Installation methods will vary based on architectural material surface



NOTE:

These regulations to be verified with the owner's representative; this is owner-created content.

Owner to provide hours of operation.

Architect/Owner to provide location.

Fitness Rules



Refer to sign type T for materials thickness, and finishes

Applied white vinyl copy & graphics

 $\langle V1 \rangle$

Clear coat for protection

Sign Type U.2 : No lifeguard on duty
Scale: 1"= 1'-0"



SUGARLOAF AT CENTURY PARK Interior / Exterior Sign System ARCHITECT Silver Studios **DEVELOPER**Brand Properties

RULES SIGN - MEDIUM Sign Type U

DATE ISSUED	04.12.2022	REVISIONS	4.
DRAWN BY	SW	1.	5.
CHECKED BY	SHC	2.	6.
PROOFED BY	LD	3.	7.

Sign fabricator responsible for obtaining final architecture elevations and showing sign locations in elevations.

Huie Design to provide initial code analysis. Sign fabricator to confirm and notify owner of all code compliance.

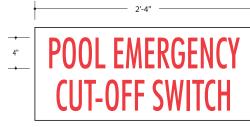
Installation methods will vary base on architectural material surface



NOTE:

These regulations to be verified with the owner's representative: this is owner-created content

Architect/Owner to provide location



FONT:

Futura Bt Medium Condensed: Letter color and size is codified

1/8" Thick painted aluminum panel with applied grade exterior digital printed graphics wrapped around all sides

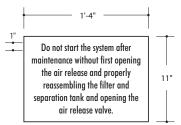
Locate at the pool pump shut off

1'-0"

NOTE (ST-Y&Z):

Confirm sizes per municipality's signage code





FONT:

Futura Bt Medium Condensed

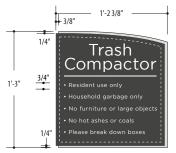
1/8" Thick painted aluminum panel with applied grade exterior digital printed graphics wrapped around all sides

Scale: 1 1/2" = 1'-0"

Locate at the air release

12.0

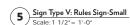
Sign Type Z: Precaution Equipment Plaque - Small

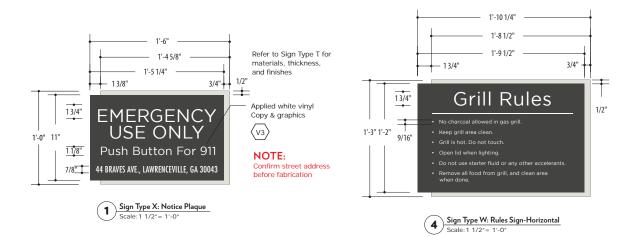


Refer to sign type T for materials thickness, and ⟨v1`

Applied white vinyl copy & graphics

Clear coat for protection







SUGARLOAF AT **CENTURY PARK** Interior / Exterior Sign System **ARCHITECT** Silver Studios

DEVELOPER Brand Properties

RULES SIGNS Sign Types V, W, X, Y, Z DATE ISSUED 04.12.2022 REVISIONS DRAWN BY SW 5. CHECKED BY SHC PROOFED BY LD 3.

Sign fabricator responsible for obtaining final architecture elevations and showing sign locations in elevations.

Huie Design to provide initial code analysis. Sign fabricator to confirm and notify owner of all code compliance.

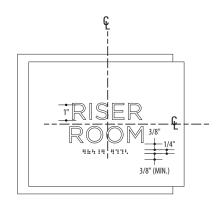
Installation methods will vary base on architectural material surface.

All plaque signage depicted mounts at 60" AFF to the top of the sign.

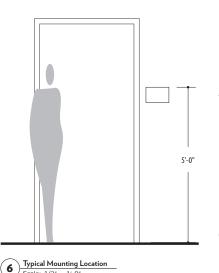
For locations where studs are not required, mount with VHB and silicone.







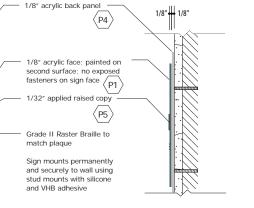
Sign Type AA.1 : Braille Detail (TYP.) Scale: 3"= 1'-0"

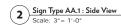


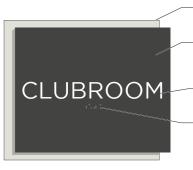
Scale: 1/2" = 1'-0"











Sign Type AA.2 : Amenity Room ID-EXT

(P4) 1/8" acrylic face; painted on second surface; no exposed fasteners on sign face 1/32" applied raised copy (P5) Grade II Raster Braille to match plaque

1/8" acrylic back panel

Sign mounts permanently and securely to wall using stud mounts with silicone and VHB adhesive

Use exterior grade materials and UV clear coat on all surfaces



SUGARLOAF AT **CENTURY PARK** Interior / Exterior Sign System

1/2"

ARCHITECT Silver Studios

DEVELOPER Brand Properties

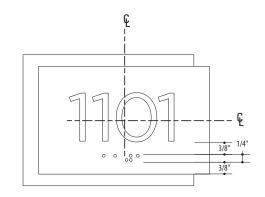
AMENITY ROOM ID Sign Type AA.1 & AA.2

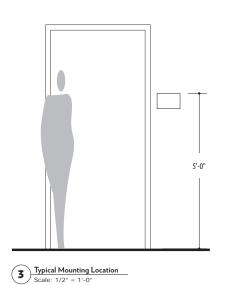
DATE ISSUED REVISIONS 04.12.2022 4. DRAWN BY SW 5. CHECKED BY SHC 2. 6. PROOFED BY LD 3. 7.

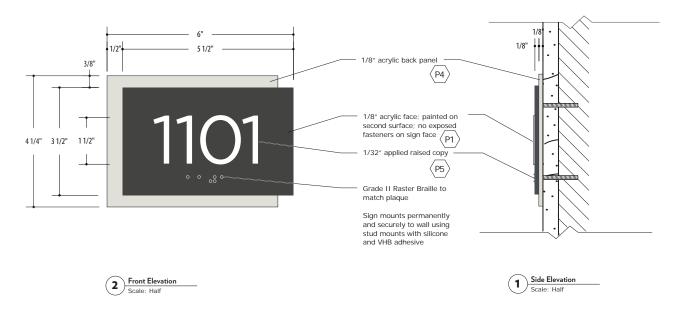
All plaque signage depicted mounts at 60" AFF to the top of the sign

Fabricator responsible for all unit numbers and locations

Installation methods will vary based on architectural material surface









SUGARLOAF AT CENTURY PARK Interior / Exterior Sign System ARCHITECT Silver Studios

DEVELOPER Brand Properties

UNIT ID - ADA Sign Type BB

DATE ISSUED 04.12.2022 REVISIONS 4. DRAWN BY SW 5. CHECKED BY SHC 6. PROOFED BY LD 3. 7.

Sign fabricator responsible for obtaining final architecture elevations and showing sign locations in elevations.

Huie Design to provide initial code analysis. Sign fabricator to confirm and notify owner of all code compliance.

Installation methods will vary base on architectural material surface.

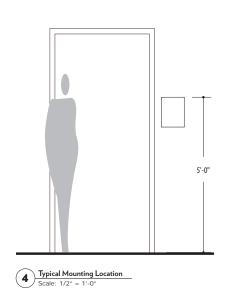
All plaque signage depicted mounts at 60" AFF to the top of the sign.

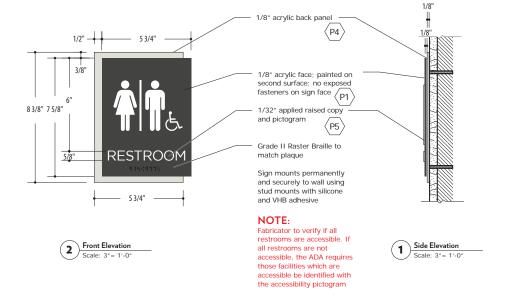
For locations where studs are not required, mount with VHB and silicone.









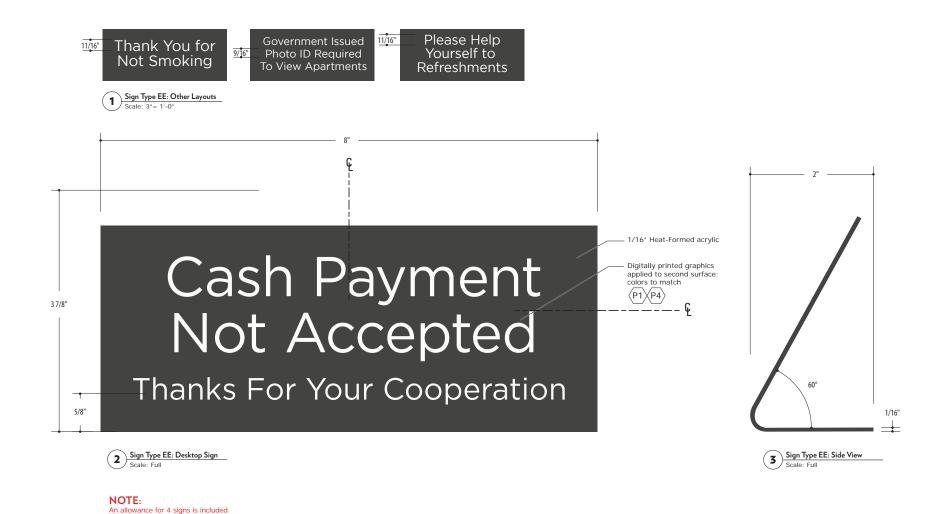




SUGARLOAF AT CENTURY PARK Interior / Exterior Sign System ARCHITECT Silver Studios **DEVELOPER**Brand Properties

RESTROOM ID - ADA Sign Type DD

DATE ISSUED	04.12.2022	REVISIONS	4.	
DRAWN BY	SW	1.	5.	
CHECKED BY	SHC	2.	6.	
PROOFED BY	LD	3.	7.	



				DATE ISSUED	04.12.2022	REVISIONS	4.	
huje SUGARLOAF AT	ARCHITECT	DEVELOPER	DESKTOP SIGNS	DRAWN BY	SW	1.	5.	16.0
nule SUGARLUAF AT	Silver Studios	Brand Properties	Sign Type EE	CHECKED BY	SHC	2.	6.	16.0
Interior / Exterior Sign System				PROOFED BY	LD	3.	7.	

in the estimate



TTCDA Review Request

 BUILDING PERMIT - NEW CONSTRUCTION BUILDING PERMIT - EXPANSION OR RENOVATION BUILDING PERMIT - GRADING PLAN 	V	☐ ADMINISTRATIVE REVIEW ☐ BOARD REVIEW
Sugarloaf at Century Park		
PUBLISHED APPLICANT NAME - no individuals on beha	lf of -	
April 22, 2022	June 6, 2022	6-A-22-TOB
DATE FILED	MEETING DATE (IF APPLICABLE)	FILE NUMBER
CORRESPONDENCE Correspondence related	to this application will be directed to the	e contact listed below.
☐ APPLICANT ☐ OWNER ■ OPTION HOLDER ☐ S	URVEYOR 🗌 ENGINEER 🗌 ARCHITEC	CT/LANDSCAPE ARCHITECT ATTORNEY
Brand Properties	Brand Properties	
NAME	COMPANY	
3328 Peachtree Rd NE, Suite 100	Atlanta	GA 30326
ADDRESS	CITY	STATE ZIP
678-427-7841	msilverman@brandpropert	ies.com
PHONE	EMAIL	
CURRENT PROPERTY INFO	WNERS / OPTION HOLDERS PART O	F PARCEL
Pellissippi Dutchtown General Partnership	1225 E Weisgarber Rd., Ste	390 ncazana@ciprop.com
OWNER NAME - if different -	OWNER ADDRESS	OWNER PHONE/EMAIL
10209 Sherrill Blvd.		
PROPERTY ADDRESS		
118 17716	N	+/- 23.65 acres
PARCEL ID(S)	PART OF PARCEL? (Y/N)	TRACT SIZE
STAFF USE ONLY		
S. end of Century Park Blvd., N.E. side of Sher	rill Blvd., W. side of Marby Hood	■ CITY □ COUNTY I Rd. 2nd
GENERAL LOCATION	y.	DISTRICT
C-G-3	MU-SD NWCO-2	
ZONING	SECTOR PLAN LAND USE CLASSIFICATION	
Northwest County	AgForVac	
PLANNING SECTOR	EXISTING LAND USE	

REQUEST				
BUILDING PERMIT NEW CONSTRUCTION EXPANSION OR RENOVATION GRADING PLAN WAIVERS OR VARIANCES REQUESTED? ADMINISTRATIVE REVIEW: LIGHTING			PLAN MATERIALS: DEVELOPMENT PLAN BUILDING ELEVATIONS FLOOR PLAN LANDSCAPE PLAN SIGNAGE PLAN OFF-STREET PARKING	□ OTHER:
RENOVATION OR EXPANSION		ZONING VARI	ANCE	
SUMMARY OF WORK TO BE PERFORMED: Construction of new apartment comp	olex	SUMMARY OF ZON	IING VARIANCE REQUEST:	
REZONING				
REZONE FROM:				
TO:				
SECTOR PLAN AMENDMENT FROM:				
TO:				
SIGNAGE See attached				
YARD SIGN AREA: HEIGHT: HEIGHT: FINISH: STAFF USE ONLY BUILDING SIGN AREA: HEIGHT: FINISH: STAFF USE ONLY	OTHER SIGNATED AREA: HEIGHT: TYPE:	GN -		-
☐ TTCDA Checklist	CODE	CODE	9	TOTAL
Property Owners/Option Holders	FEE	FEE	li	\$625.00
	801 \$450.00	802 \$175.00		7023.00
AUTHORIZATION By signing below	w You certify that	you are the property	owner and/or authorized repr	esentative.
Michael Silverman	Option Ho	older	04/22/2	022
APPLICATION AUTHORIZED BY	AFFILIATION		DATE	
678-427-7841	msilverm	an@brandprope	rties.com	
PHONE NUMBER	EMAIL	HEL SILVERA	1/2-	/22
STAFF SIGNATURE	PRINT NAME	rel VILVERA	DATE PAID	

4/25/2022 swm