

Applicant: TREY BENEFIELD
Request: BUILDING PERMIT
Meeting Date: 7/11/2022

Address: 10101 Global Way
Map/Parcel Number: 118 17715
Location: South side of Dutchtown Rd, west side of Century Park Blvd
Existing Zoning: OP (Office Park) / TO-1 (Technology Park Overlay)
Proposed Zoning: N/A
Existing Land Use: Vacant land
Proposed Land Use: Office building
Appx. Size of Tract: 15.7 acres
Accessibility: Access is proposed off of Global Way, a private right-of-way with a 27-ft pavement width inside a 50-ft right-of-way yet to be platted in its entirety.
Surrounding Zoning and Land Uses:

- North: A (Agricultural), BP (Business and Technology Park), OB (Office, Medical, and Related Services), and TO (Technology Overlay) in Knox County - An office, vacant land, and the Pellissippi Parkway interchange ramps
- South: OP (Office Park), C-G-3 (General Commercial), and TO-1 (Technology Overlay) in the City of Knoxville - An office building, a church, and vacant land just approved for an apartment complex
- East: OP (Office Park) and TO-1 (Technology Overlay) in the City of Knoxville - Office buildings and vacant land
- West: Pellissippi Parkway right-of-way

Comments:

- 1) The applicant is requesting approval of an office building with an area of approximately 58,972 sq ft.
- 2) The 15.7-acre site is just off the Dutchtown Road exit of Pellissippi Parkway and is zoned OP (Office Park) / TO (Technology Overlay), which allows this use by right.
- 3) Access is proposed off of Global Way, a private right-of-way that connects to Century Park Boulevard.
- 4) The building faces Global Way, so the side of the building facing Century Park, the main road entering into this office park area, is a side façade.
- 5) The proposed ground area coverage (GAC), Floor Area Ratio (FAR), and Impervious Area Ratio (IAR) are in compliance with the Design Guidelines.
- 6) Parking is proposed in the front of and to the side of the building. A 20-ft landscaped buffer consisting of a row of shrubs behind a row of trees is provided between the parking areas and the street.
- 7) There is a loading dock door on the west façade facing Pellissippi Parkway, which is a side façade. Landscaped areas containing trees are proposed along the paved areas and will help screen the door from Pellissippi Parkway and several planting areas between the building and the street will screen the door from Global Way. The plans show that a future subdivision is planned for the empty portion of the lot to the west. Future development in that location would further screen the doors from Pellissippi Parkway.

8) The landscape plan meets the landscaping requirements of the TTCDA Guidelines. The Plan proposes several rows of plantings between the building and the street and has foundation plantings along the front and side facades.

9) Building facades feature rectangular panels comprised of fiber cement, wood, or metal. The walls on the building façades that protrude the most feature composite wood panels applied vertically. Walls situated a little farther back feature the fiber cement panels applied horizontally, and these are the largest. The metal panels define multiple bays of windows on some of the facades, and the windows are also capped with spandrel panels. The building features a flat roof. The exterior loading dock door is a rolling garage door comprised of glass panels, but it will not be readily visible from the street.

10) A dumpster will be provided on-site, and the dumpster enclosure will be clad in brick with a gate for access. The gate will be metal roof decking with an inset panel of sheet metal featuring the apartment complex logo.

11) The proposed lighting includes seven light poles spread around the parking lot. The proposed light fixtures are full cut-off, utilize LED lighting, and meet the TTCDA Guidelines. Lighting levels likewise meet the TTCDA Guidelines.

12) No signage is proposed at this time. Should signage be desired in the future, it would need to be submitted in a separate application at a future time.

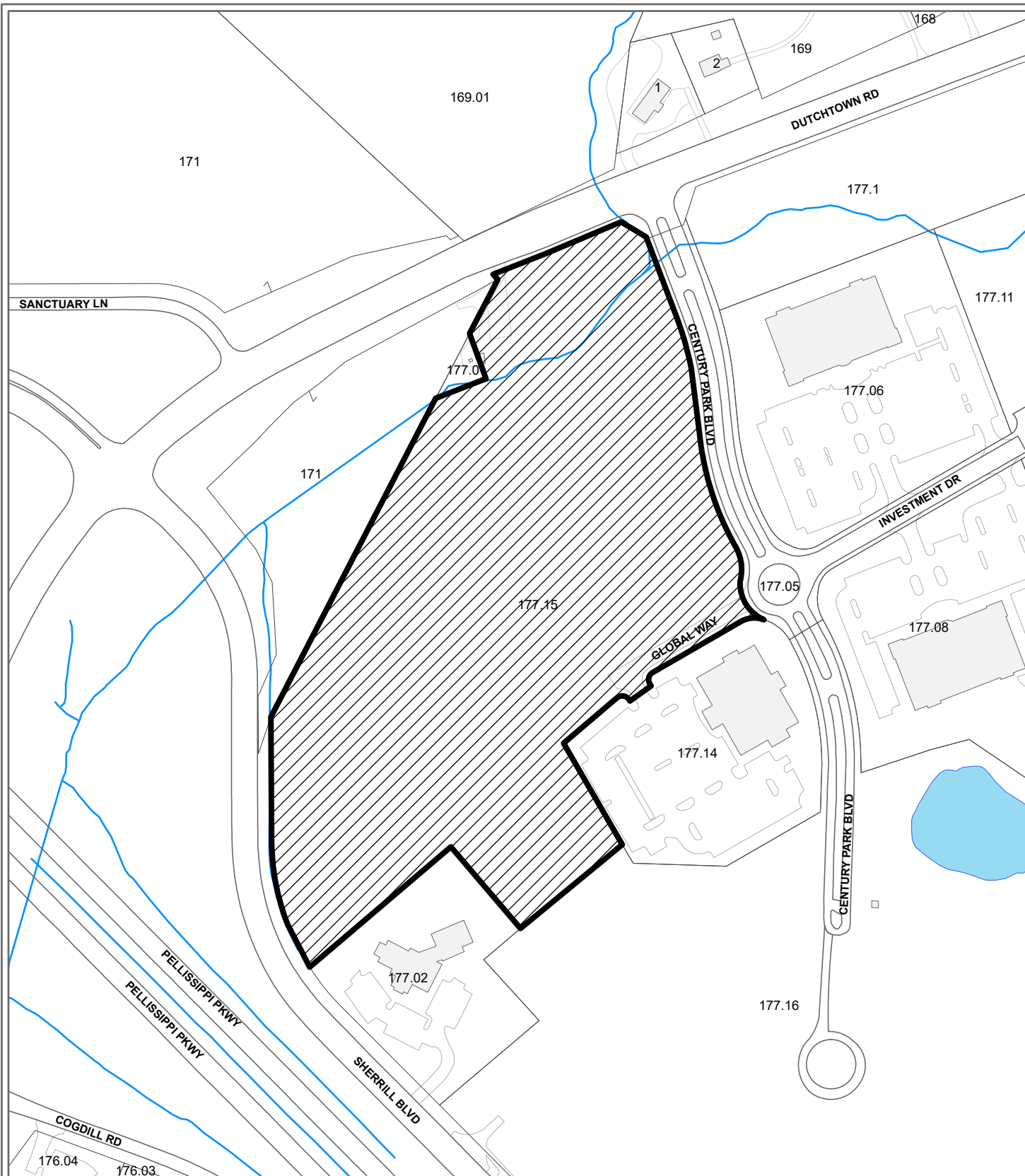
Design Guideline Conformity:	This request is in compliance with the Design Guidelines.
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Waivers and Variances Requested:	N/A
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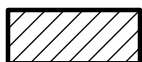
Staff Recommendation:

Staff recommends approval of this request for a Certificate of Appropriateness for a building permit, subject to four conditions:

- 1) Installation of all landscaping as shown on the development plan within six months of the issuance of an occupancy permit, or posting a bond with the City of Knoxville Engineering Department to guarantee such installation.
- 2) Meeting all applicable requirements of the City of Knoxville Engineering Department.
- 3) Meeting all applicable requirements of the City of Knoxville Zoning Ordinance.
- 4) Obtaining TTCDA approval of signage in a separate application if signage is desired in the future.



**7-A-22-TOB
CERTIFICATE OF APPROPRIATENESS**



Purpose of Request: Building Permit

Original Print Date: 6/13/2022
Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902

Revised:

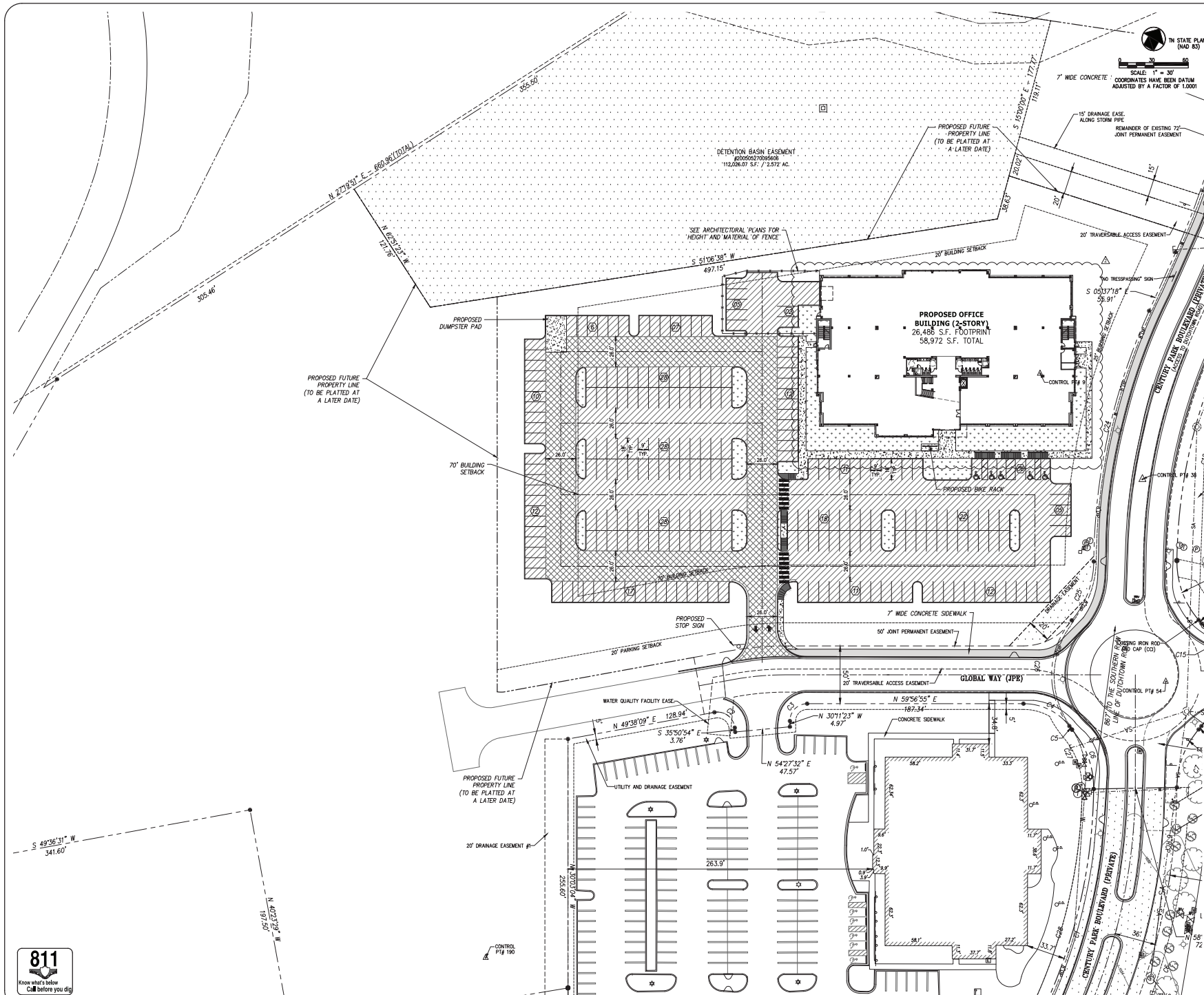
Petitioner: Trey Benefield

Map No: 118

Jurisdiction: City

0 250
Feet





- NOTES:**
1. THE BOUNDARY AND TOPOGRAPHIC DATA SHOWN WAS PROVIDED BY CANNON AND CANNON, INC.
 2. UNLESS NOTED OTHERWISE, DIMENSIONS ARE TAKEN FROM OUTSIDE FACE OF BUILDING AND/OR FACE OF CURB.
 3. THE MINIMAL AGGREGATE BASE AND ASPHALTIC SURFACE COURSES SHALL MEET THE MATERIALS, EQUIPMENT, CONSTRUCTION, AND TESTING REQUIREMENTS OF THESE DRAWINGS, AND THE CITY OF KNOXVILLE STANDARD SPECIFICATIONS.
 4. PROPERTY CONCERNED REFLECTS PARCEL 177.15 AS SHOWN ON KNOX COUNTY CLT TAX MAP NO. 118. ZONING FOR THE PROPERTY IS "OFFICE BUREAU".
 5. TOTAL AREA IS 15,704 ACRES. THE TOTAL DISTURBED AREA IS APPROXIMATELY 3.744 ACRES.
 6. CITY BLOCK NUMBER IS 46366. WARD IS 47.
 7. TRAFFIC CONTROL DEVICES AND PAVEMENT MARKING SHALL CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATION "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
 8. ALL SETBACKS SHALL BE IN ACCORDANCE WITH THE CITY OF KNOXVILLE AND TCDA ZONING ORDINANCES.
 9. OWNER: PELLISSIPPI DOWNTOWN GENERAL PARTNERSHIP 1225 E. HESGAREY RD SUITE 390 KNOXVILLE, TN 37932
 10. DEVELOPER: CPX, LLC
 11. PERMETER SLOPES SHALL BE LANDSCAPED AND PER TCDA REQUIREMENTS, ARE NOT TO EXCEED 2:1 (H:V).
 12. PROPOSED LANDSCAPE WILL COMPLY WITH THE CITY OF KNOXVILLE TREE PROTECTION ORDINANCE AND TCDA REQUIREMENTS.
 13. REFER TO SHEET C0.02 FOR HORIZONTAL CONTROL INFORMATION.

TCDA DEVELOPMENT INTENSITY GUIDELINES

GROUND AREA COVERAGE (GAC) - NOT TO EXCEED 22%

GAC = GROSS BUILDING AREA / GROSS LOT AREA

26,486 SF / 68,892 SF (15.70 AC) = 0.39 OR 3.9% (EXISTING)

26,486 SF / 194,832 SF (4.38 AC) = 0.13 OR 1.3% (PROPOSED)

FLOOR AREA RATIO (FAR) - NOT TO EXCEED 30%

FAR = GROSS FLOOR AREA / GROSS LOT AREA

58,972 SF / 68,892 SF (15.70 AC) = 0.86 OR 8.6% (EXISTING)

58,972 SF / 194,832 SF (4.38 AC) = 0.30 OR 3.0% (PROPOSED)

IMPERVIOUS AREA RATIO (IAR) - NOT TO EXCEED 70%

IAR = GROSS IMPERVIOUS AREA / GROSS LOT AREA

2.81 AC / 15.70 AC = 0.18 OR 18.0% (EXISTING)

2.81 AC / 4.38 AC = 0.60 OR 60% (PROPOSED)

PARKING SUMMARY

1. PARKING REQUIREMENTS			
A. PROPOSED FLOOR AREA			58,972 S.F.
B. CITY OF KNOX REQUIRED SPACES (3 SPACES/1,000 S.F. MAX)			(8 SPACES/1,000 S.F. MAX)
(1) STANDING SPACES (4 STD. 1 VAN)			172-467
(2) ACCESSIBLE SPACES (4 STD. 1 VAN)			172-467
(3) TOTAL REQUIRED SPACES			172-472
C. TCDA MINIMUM REQUIRED SPACES (3 PER 1,000 S.F.)			172
(1) STANDARD SPACES			172
(2) ACCESSIBLE SPACES (4 STD. 1 VAN)			5
(3) TOTAL MIN REQ. SPACES (58,972/1,000)(3)			177
D. TCDA MAXIMUM REQUIRED SPACES (4.5 PER 1,000 S.F.)			266
(1) STANDARD SPACES			261
(2) ACCESSIBLE SPACES (4 STD. 1 VAN)			5
(3) TOTAL MAX REQ. SPACES (58,972/1,000)(4.5)			266
2. SUMMARY			
A. COX MIN.	172	0	172
B. COX MAX.	467	0	472
C. TCDA MIN.	172	5	177
D. TCDA MAX.	261	5	266
E. PROPOSED	235	5	240

BICYCLE PARKING REQUIREMENTS

NON-RESIDENTIAL 101-500 MOTOR VEHICLE PARKING SPACES = 12 BICYCLE PARKING SPACES

PROVIDED:

12 BICYCLE PARKING SPACES PER ARTICLE V, SECTION 7, I. 4.

LEGEND

	PROPOSED HEAVY DUTY ASPHALT PAVEMENT
	CONCRETE SIDEWALK
	CONCRETE PAVEMENT
	PROPOSED LIGHT DUTY ASPHALT PAVEMENT
	PROPOSED LANDSCAPING
	EXIST. R.O.W.
	BUILDING SETBACK LINE
	EXIST. EASEMENT LINE
	NUMBER OF PARKING SPACES
	ACCESSIBLE PARKING
	ACCESSIBLE RAMP

TCDA FILE #7-A-22-TOB

REVISED PER TCDA COMMENTS	6/17/2022
REVISED PER TCDA COMMENTS	6/29/2022

REVISIONS	DATE
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CANNON & CANNON INC.
CONSULTING ENGINEERS - FIELD SURVEYORS
TEL: 855.670.8555 | 8550 Kingston Pike
KNOXVILLE, TN 37939

COMMERCIAL & INVESTMENT PROPERTIES CO.
1225 HESGAREY ROAD
SUITE SOUTH 390
KNOXVILLE, TN 37939
TEL: (615) 584-3967

PROJECT:
CENTURY PARK AT PELLISSIPPI
DOWNTOWN ROAD
KNOXVILLE, TENNESSEE

OVERALL SITE LAYOUT

CD PROJECT NO.	00344-0245-003
DRAWING DATE	MAY 25, 2022
FW -	AKS
DRAWN	LEW/SP

**PRELIMINARY
NOT FOR
CONSTRUCTION**

IN STATE PLANE
(NAD 83)

SCALE: 1" = 30'

COORDINATES HAVE BEEN DATUM
ADJUSTED BY A FACTOR OF 1.0001

**PROPOSED OFFICE
BUILDING (2-STORY)**
26,486 S.F. FOOTPRINT
58,972 S.F. TOTAL

CENTURY PARK BOULEVARD (PRIVATE)
(ACCESS TO DUTCOTOWN ROAD)

GLOBAL WAY (JPE)

INVESTMENT DRT
(ACCESS TO CENTURY P.)

SA, MH.
TC 1029.52
EI 1020.06

811
Know what's below
Call before you dig

TTCDA FILE #7-A-22-TOB

REVISION	DATE
REVISED PER TTCDA COMMENTS	6/17/2022
REVISED PER TTCDA COMMENTS	6/26/2022

CANNON & CANNON INC.
CONSULTING ENGINEERS - FIELD SURVEYORS
TEL: 865.670.8555 | 8550 Kingston Pike
KNOXVILLE, TN 37939
WWW.CANNON-AND-CANNON.COM

COMMERCIAL & INVESTMENT PROPERTIES CO.
1325 WISGAMER ROAD
SUITE SOUTH 300
KNOXVILLE, TN 37909
TEL. NO. (865) 584-3967

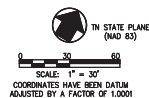
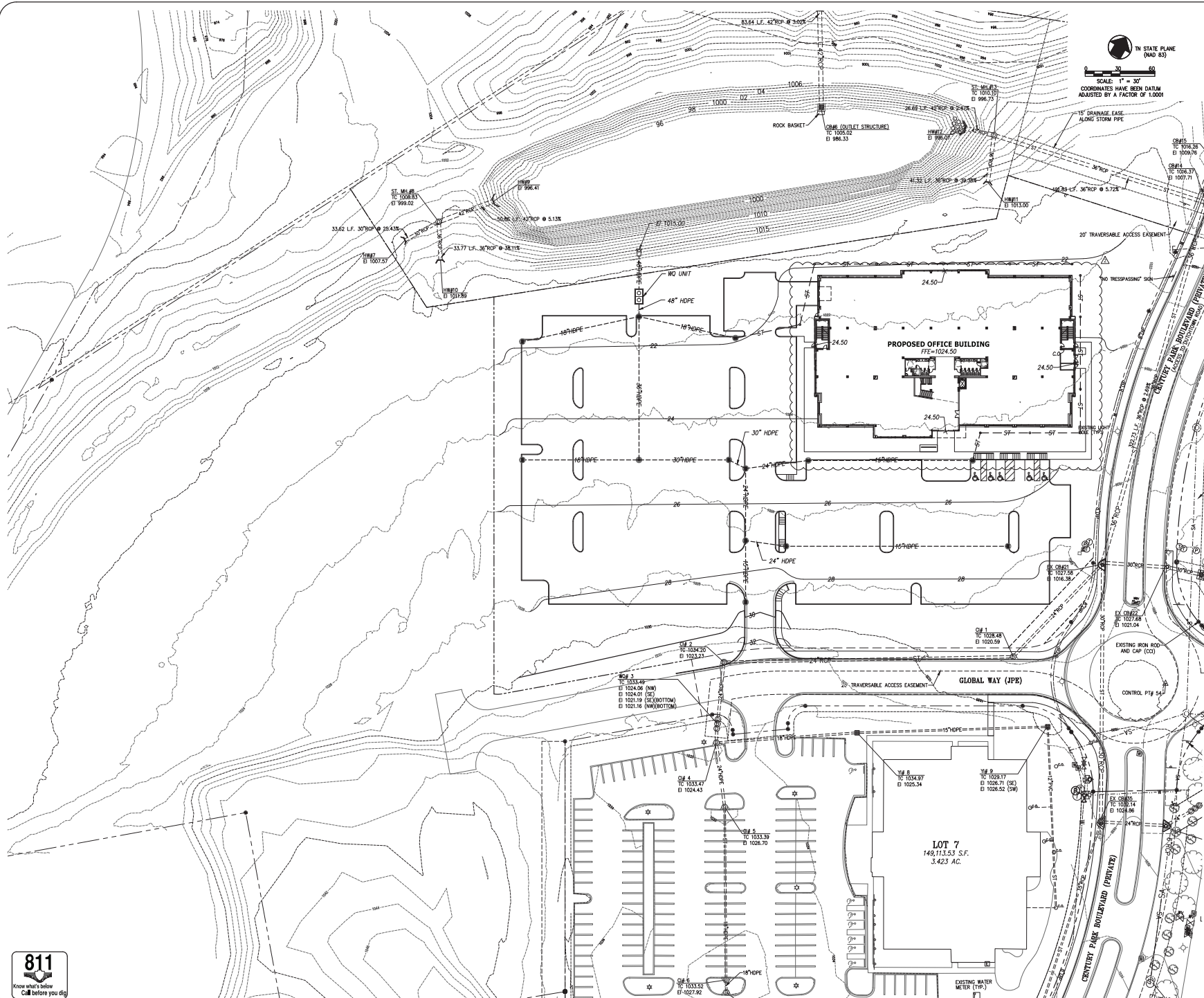
PROJECT:
CENTURY PARK AT PELLISSIPPI
DUTCOTOWN ROAD
KNOXVILLE, TENNESSEE

TRUCK TURN PLAN

**PRELIMINARY
NOT FOR
CONSTRUCTION**

SEE PROJECT NO. 00344-0245-003
DRAWING DATE MAY 25, 2022
DWG - REV.
DRAWN - LUCYSP

2



- NOTES:**
1. THE BOUNDARY AND TOPOGRAPHIC DATA SHOWN WAS PROVIDED BY CANNON & CANNON, INC. THE DISTURBED AREA IS APPROXIMATELY 15.704 ACRES. THE TOTAL SITE AREA IS APPROXIMATELY 3.744 ACRES. UNLESS NOTED OTHERWISE, THE PROPOSED GRADES SHOWN ON THESE DRAWINGS ARE FINISH GRADE. EXISTING AND PROPOSED CONTOURS ARE SHOWN AT 2 FT. INTERVALS.
 2. EROSION CONTROL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK. THE DEVICES SHOWN ON THE DRAWINGS ARE THE MINIMUM REQUIRED. THE CONTRACTOR SHALL PROVIDE ADDITIONAL EROSION CONTROL DEVICES AS NEEDED.
 3. THE SITE SHALL BE CLEARED AND GROUND WITHIN THE LIMITS OF EXCAVATION. COMPLETELY DISPOSE OF ALL MATERIALS RESULTING FROM CLEANING AND GRUBBING OFF-SITE OR ON-SITE AT A LOCATION DETERMINED BY THE OWNER.
 4. ALL TREE STUMPS, Boulders, AND OTHER OBSTRUCTIONS SHALL BE REMOVED TO A DEPTH OF 2 FT BELOW THE SURFACE. ROCK SHALL BE SCARIFIED TO A DEPTH OF 1 FT BELOW SURFACE.
 5. STRIP TOPSOIL TO A MINIMUM DEPTH OF 8-IN. AND TEMPORARILY STOCKPILE EXCAVATED MATERIALS. INSTALL Silt FENCE OR OTHER APPROPRIATE EROSION CONTROL STRUCTURES ON THE DOWN HILL SIDE OF THE STOCKPILE. PROOF ROLL AREAS TO RECEIVE FILL.
 6. A 4 IN. (MM) LAYER OF TOPSOIL SHALL BE PLACED OVER THE AREAS TO BE SEED AND TO THE FINISH GRADE ELEVATIONS AS SHOWN ON THE DRAWINGS.
 7. ALL NEWLY GRADED EXPOSED AREAS THAT ARE NOT TO BE PAVED, STABILIZED, OR SOILED SHALL BE SEED, FERTILIZED, AND MULCHED WITHIN 30 DAYS OF ATTAINMENT OF FINAL GRADE.
 8. TEMPORARY SEEDING MIXTURES SHALL BE AS FOLLOWS:
- | SEEDING DATES | GRASS SEED | PERCENTAGES |
|---------------|------------------|-------------|
| 2/1 TO 5/1 | ITALIAN RYE | 100% |
| 5/1 TO 7/15 | KOREAN LESPEDEZA | 100% |
| 7/15 TO 1/1 | SOYAB - SORGHUM | 100% |
| 1/1 TO 7/15 | SOYAB - SORGHUM | 100% |
| 7/15 TO 1/1 | BALDWIN RYE | 100% |
| 1/1 TO 7/15 | ITALIAN RYE | 100% |
9. PERMANENT SEEDING MIXTURES SHALL BE AS FOLLOWS:
- | SEEDING DATES | GRASS SEED | PERCENTAGES |
|---------------|--------------------|-------------|
| 2/1 TO 7/1 | KENTUCKY 31 FESCUE | 100% |
| 7/1 TO 8/15 | ENGLISH RYE | 100% |
| 8/15 TO 8/15 | KENTUCKY 31 FESCUE | 100% |
| 8/15 TO 12/1 | KENTUCKY 31 FESCUE | 100% |
| 12/1 TO 2/1 | KENTUCKY 31 FESCUE | 100% |
| 2/1 TO 7/1 | KENTUCKY 31 FESCUE | 100% |
| 7/1 TO 8/15 | ENGLISH RYE | 100% |
| 8/15 TO 12/1 | KENTUCKY 31 FESCUE | 100% |
| 12/1 TO 2/1 | KENTUCKY 31 FESCUE | 100% |
10. DO NOT ALLOW WATER TO ACCUMULATE IN EXCAVATIONS OR POND ON-SITE. PROVIDE NECESSARY MEASURES TO KEEP THE SITE FREE-DRAINING.
 11. MULCH WITH STRAW AT A RATE OF 100 LBS./1000 S.F. OVER THE SEED AREAS.
 12. NO SLOPE SHALL EXCEED 2:1 (H:V). ALL SLOPES STEEPER THAN 2:1 TO RECEIVE EXTENDED TERM EROSION CONTROL BLANKET.
 13. TO PREVENT EROSION, ALL SLOPES 2:1 OR GREATER ARE TO BE TRACED WITH A ROPE TO FORM CLAT MARKS PARALLEL TO THE CONTOUR.
 14. APPLY TEMPORARY SEEDING WHENEVER GRADING OPERATIONS ARE HALTED FOR OVER 14 DAYS AND FINAL GRADING OF EXPOSED SURFACE IS TO BE COMPLETED WITHIN ONE YEAR. APPLY TEMPORARY SEEDING TO ALL SOIL STOCKPILES.
 15. APPLY PERMANENT SEEDING WHENEVER GRADING OPERATIONS ARE COMPLETED AND ALL CONSTRUCTION OPERATIONS WILL NOT IMPACT THE DISTURBED AREA. APPLY PERMANENT SEEDING TO ALL NON-CONSTRUCTION AREAS WHICH SHOW SIGNS OF EXCESSIVE EROSION.

- SPECIAL NOTE:**
1. FINAL DRAINAGE DESIGN AND CALCULATIONS FOR DETENTION AND WATER QUALITY TO BE INCLUDED AS PART OF SUBMITTAL TO THE CITY OF KNOXVILLE FOR PERMITTING.

LEGEND

---	EXISTING CONTOUR
- - - -	PROPOSED INDEX CONTOUR
97.50	PROPOSED SPOT ELEVATION
(4.0)	DETAIL REFERENCE (DETAIL NO./SHEET NO.)
---	EXIST. STORM
---	EXIST. SEWER
---	EXIST. WATER
---	EXIST. FENCE
---	EXIST. POWER POLE

TTCTDA FILE #7-A-22-TOB

REVISIONS	DATE
1. REVISED PER TTCTDA COMMENTS	6/17/2022
2. REVISED PER TTCTDA COMMENTS	6/26/2022

CANNON & CANNON, INC.
CONSULTING ENGINEERS - FIELD SURVEYORS
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WWW.CANNON-AND-CANNON.COM | KNOXVILLE, TN 37939

COMMERCIAL & INVESTMENT PROPERTIES CO.
1325 WINGHAM ROAD
SUITE SOUTH 300
KNOXVILLE, TN 37939
TEL: (603) 584-3967

PROJECT: CENTURY PARK AT PELLISSIPPI
OUTCOUNTRY ROAD
KNOXVILLE, TENNESSEE

OVERALL SITE GRADING & DRAINAGE PLAN

SCHEMATIC NO.	00344-0415-001
DRAWING DATE	MAY 25, 2022
BY	AKS
CHECKED BY	AKS
APPROVED BY	AKS
DRAWN	LEU/SP

**PRELIMINARY
NOT FOR
CONSTRUCTION**

3





2240 Sutherland Ave., Suite 105
Knoxville, TN 37919
615.671.1845
john@john.com



A New Office Building for
CENTURY PARK - TTODA FILE NO. 7-A-22-TOB
Global Way
Knoxville, Tennessee

GENERAL

REVISIONS:
2022-06-17 REV 1

DATE: 6/1/22
FILE NAME: XXXXXXXX
PROJECT NO: 223025

E1

SPECIFICATIONS

GENERAL

CONTRACTOR SHALL REFER TO ALL RELATED DOCUMENTS, ARCHITECTURAL, STRUCTURAL, CIVIL AND MEP DRAWINGS, AND FULLY UNDERSTAND THE SCOPE OF WORK AND CONDITION OF CONSTRUCTION.

THE WORK UNDER THIS SPECIFICATIONS AND DRAWINGS SHALL INCLUDE ALL LABOR.

ALL INSTALLATION OF DEVICES AND CONNECTION OF CONDUCTORS SHALL BE PERFORMED BY LICENSED AND SKILLED ELECTRICIAN OR JOURNEYMEN.

ALL WORK SHALL BE COMPLETED TO THE SATISFACTION OF THE OWNER. IF ANY PORTION OF THE WORK IS FOUND UNSATISFACTORY BY THE OWNER, IT SHALL BE REMOVED AND REINSTALLED WITHOUT DELAY AT NO COST TO THE OWNER.

THE WORK INCLUDES, BUT NOT LIMITED TO:
THE COMPLETE ELECTRICAL DISTRIBUTION SYSTEM.
ROUGH-IN AND FINAL CONNECTIONS TO ALL DEVICES REQUIRING ELECTRICAL POWER, INCLUDING OWNER PROVIDED EQUIPMENT.
LIGHTING CONTROL.
LIGHTING FIXTURES.

EACH CONTRACTOR SHALL OBTAIN ALL PERMITS AND INSPECTIONS REQUIRED BY THE REGULATORY AUTHORITIES. ALL FEES RELATED TO OBTAINING PERMITS AND INSPECTION SHALL BE PAID FOR BY EACH CONTRACTOR IN ITS TRADE.

ALL MATERIALS AND WORKMANSHIP SHALL COMPLY WITH LOCAL, COUNTY, STATE, AND NATIONAL ELECTRICAL CODE 2020, SPECIFICATIONS, UTILITY COMPANY REQUIREMENTS AND ALL INDUSTRY STANDARDS.

ANY DIFFERENCES IN ABOVE MENTIONED REQUIREMENTS, THE MOST STRICT SHALL OVERRULE ALL OTHERS.

IN ADDITION TO ABOVE MENTIONED CODES AND SPECIFICATIONS, THE FOLLOWING INDUSTRY STANDARDS SHALL BE COMPLIED IF THEY ARE MORE STRINGENT.

IEEE
IEEE 302.8
ANSI/NFPA 80-1
NFPA
UL
ADA

THE MANUFACTURERS PUBLISHED DIRECTIONS SHALL BE FOLLOWED IN THE DELIVERY, STORAGE, PROTECTION, INSTALLATION AND WIRING OF ALL EQUIPMENT AND MATERIAL.

THE DRAWINGS SHOW DIAGRAMMATICALLY THE LOCATIONS OF THE VARIOUS LINES, CONDUITS, FITTINGS, AND EQUIPMENT AND THE METHOD OF CONNECTING AND CONTROLLING THEM. IF IT IS NOT INTENDED TO SHOW EVERY CONNECTION IN DETAIL AND ALL FITTINGS REQUIRED FOR A COMPLETE SYSTEM, THE SYSTEMS SHALL INCLUDE, BUT ARE NOT LIMITED TO THE ITEMS SHOWN ON THE DRAWINGS. EXACT LOCATIONS OF THESE ITEMS SHALL BE DETERMINED BY REFERENCE TO THE GENERAL PLANS AND MEASUREMENTS AT THE BUILDING AND IN CONFORMANCE WITH THE OTHER SUBCONTRACTORS. AND IN ALL CASES, SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER. THE OWNER RESERVES THE RIGHT TO MAKE ANY REASONABLE CHANGE IN THE LOCATION OF ANY PART OF THIS WORK WITHOUT ADDITIONAL COST TO THE OWNER.

CONTRACTOR SHALL SEEK APPROVAL FROM THE OWNER FOR ANY CHANGES TO THE SPECIFICATIONS OR CONTRACT DOCUMENTS.

ANY EXCEPTIONS, MODIFICATIONS AND COMMENTS IN CONTRACT DOCUMENTS, SPECIFICATIONS AND CONTRACT DOCUMENTS BY OTHER TRADE SHALL BE BROUGHT TO ATTENTION TO THE OWNER PRIOR TO BID.

CONTRACTOR SHALL COORDINATE AND VERIFY THE WORK WITH EXISTING CONDITIONS AND THE WORK OF OTHER TRADE PRIOR TO ANY FABRICATIONS OR INSTALLATION. IF THE LAYOUT OF THE DEVICES ON DRAWINGS ARE IMPRACTICAL TO THE CONDITION IN FIELD, CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY PRIOR TO ANY FABRICATION OR INSTALLATION.

ELECTRICAL DEVICES ARE INDICATED ON DRAWINGS AT APPROXIMATE LOCATIONS. THE OWNER RESERVE THE RIGHT TO MAKE REASONABLE CHANGES IN LOCATIONS WITHOUT ADDITIONAL COSTS.

THE LINES INDICATING BRANCH CIRCUITS DO NOT REPRESENT THE ROUTING OF ELECTRICAL CONDUITS. THEY INDICATE THE LAYOUT AND CONTROL OF CIRCUITS.

PRODUCTS AND WORK

MATERIALS FURNISHED SHALL BE NEW AND BY STANDARD MANUFACTURERS AND MUST CONFORM TO THE NATIONAL BOARD OF FIRE UNDERWRITERS REQUIREMENTS AND BEAR THE UNDERWRITERS LABORATORIES SEAL OF APPROVAL.

LISTED MANUFACTURERS, MODELS OR CATALOGUE NUMBERS IN PART OR ALL SHALL BE USED TO INCLUDE THE PUBLISHED MANUFACTURERS DESCRIPTION AND SPECIFICATION.

CONTRACTOR SHALL NOT INTERPRET THAT THE LISTED MANUFACTURERS IN SPECIFICATIONS OR DRAWINGS TO EXCLUDE ALL OTHER MANUFACTURERS.

CONTRACTOR SHALL MAKE CERTAIN THAT ALL EQUIPMENT FIT IN THE SPACE DESIGNATED AND DESIGNED FOR THE SUBSURROUNDING IT OCCUPIES.

ALL HORIZONTAL RUNS OF CONDUITS SHALL BE SUPPORTED BY MEANS OF APPROVED HANGER FROM THE STRUCTURAL CEILING.

COORDINATE THE WORK UNDER THIS SECTION WITH ALL OTHER TRADES.

CONDUITS AND RACEWAYS

MANUFACTURERS: SQUARE D, B-Line, ALLIED TUBE 4 CONDUIT, HOPMANN, CARLON, ELECTRICAL, WIREMOLD.

OUTDOORS EXPOSED: RIGID STEEL.

OUTDOORS CONCEALED ABOVE GROUND: RIGID STEEL.

OUTDOORS UNDERGROUND: TYPE EPC-40-PVC.

OUTDOORS CONNECTION TO VIBRATING EQUIPMENT INCLUDING TRANSFORMERS AND MOTOR DRIVEN EQUIPMENTS: UPVC.

BOXES AND ENCLOSURES ABOVE GROUND: NEMA 3K UNLESS NOTED OTHERWISE ON PLANS.

INDOORS EXPOSED NOT SUBJECT TO PHYSICAL DAMAGE: DMT.

INDOORS EXPOSED SUBJECT TO SEVERE PHYSICAL DAMAGE: RIGID STEEL.

INDOORS CONCEALED IN CEILING AND INTERIOR WALLS AND PARTITIONS: DMT.

INDOORS CONCEALED IN WET LOCATIONS: PVC, EXCEPT USE UPVC IN DRY OR WET LOCATIONS.

INDOORS CONCEALED IN WET LOCATIONS: PVC, EXCEPT USE UPVC IN DRY OR WET LOCATIONS.

INDOORS LOW-VOLTAGE CABLES: DMT.

CONDUCTORS

COPPER CONDUCTORS #10 AND SMALLER, LABELED PER UL 83, TYPE THIRTYTHREE, SOLID COPPER 600 VOLT INSULATION, UNIFORM COLOR CODED JACKET WITH JACKET DATA.

METAL CLAD TYPE MC CABLE WHERE INSTALLED IN ACCORDANCE WITH NEC ARTICLE 330.

COPPER CONDUCTORS #8 OR LARGER, LABELED PER UL 83, TYPE THIRTYTHREE, STRANDED COPPER, 6000VOLT INSULATION UNIFORM COLOR CODED JACKET WITH JACKET DATA.

ACCEPTABLE MANUFACTURERS OF CONDUCTORS:

PRELITE
SOUTHWIRE
AT&T
REPUBLIC
ATC
ENCORE WIRE
KENT

CONTRACTOR MAY USE ALUMINUM CONDUCTORS FOR #4 AWG OR LARGER IN THE PLACE OF COPPER CONDUCTORS. CONTRACTOR SHALL REFER TO NEC TABLE 310.15 (A) FOR EQUIVALENT AMPACITY AND SHALL COMPENSATE FOR VOLTAGE DROP.

CONTRACTOR SHALL MAKE ADEQUATE ADJUSTMENT TO CONDUIT SIZES INDICATED SHOULD ALTERNATIVE CONDUCTOR INSULATION OR MATERIAL BE UTILIZED.

SPECIFICATIONS

MOULDED CASE CIRCUIT BREAKERS

INCLUDE SCHEDULE OF ALL TYPES, RATINGS, TIME COORDINATION DATA, MANUFACTURERS STANDARD DATA AND TIME-CURRENT CURVES. ALL DATA SHALL BE BASED ON TEST OF STANDARD PRODUCTS.

APPROVED MANUFACTURERS

CENTRAL ELECTRIC
CUTLER-HAMMER
SQUARE D
SIEMENS

THERMAL MAGNETIC BOLT-IN TYPE CIRCUIT BREAKERS WITH QUICK-MAKE, QUICK-BREAK, CONTACTS, TRIP-FREE OPERATION WITH OVER-CENTER TOGGLE HANDLE OR NON-REMOVABLE MONOLITHIC TIE-HANDLE.

MULTI-POLE BREAKERS SHALL HAVE INTERNAL COMMON TRIP AND COMMON RESET WITH A SINGLE TOGGLE HANDLE OR NON-REMOVABLE MONOLITHIC TIE-HANDLE.

TRIP RATINGS SHALL BE MOULDED ON THE HANDLE OR FACE OF BREAKER.

BREAKER TERMINALS SHALL BE RATED TO ACCOMMODATE A MINIMUM OF 75 DEGREE C. CONDUCTORS.

BREAKER SHALL BE RATED FOR MOUNTING AND OPERATION IN ANY POSITION; SHALL ACCOMMODATE AND MATCH THE TYPE OF TERMINATIONS REQUIRED.

SINGLE POLE BREAKERS RATED 15 AND 20 AMPERES SHALL BE LABELED AS "SWITCHING BREAKERS" AT THE APPLIED CIRCUIT VOLTAGE.

MULTI-POLE BREAKERS RATED 100 AMPERES AND LARGER SHALL BE MOULDED CASE THERMAL-MAGNETIC BOLT-IN TYPE BREAKER WITH ADJUSTABLE INSTANTANEOUS TRIP.

LIGHTING FIXTURE

SUBMITTAL

SCHEDULE BY TYPE DESIGNATION ALL LIGHTING FIXTURES, EACH COMPLETE WITH DATA SHEET WITH COMPLETE PHYSICAL, ELECTRICAL AND LIGHTING CHARACTERISTICS, LAMP TYPE AND LAMP DATA.

REFER TO THE "LIGHTING FIXTURE SCHEDULE" IN THE DRAWINGS FOR INDIVIDUAL FIXTURE DESCRIPTIONS AND MANUFACTURER TYPES.

PROVIDE LAMPS FOR EACH FIXTURE OF QUALITY, TYPE AND COLOR AS LISTED IN LIGHTING FIXTURE SCHEDULE. (2). SILVANIA OR PHILIPS ARE ACCEPTABLE.

EACH LIGHTING FIXTURE SHALL BE UL LABELED FOR PROPER OPERATION IN THE TYPE OF CEILING CONSTRUCTION AND FOR THE MOUNTING ARRANGEMENT OWN WHICH IT IS INSTALLED.

FIELD VERIFY ACTUAL CEILING SIZE FOR FIXTURES INSTALLED IN SAME AND ACTUAL FIELD DIMENSIONS AND ANGLES OF CONSTRUCTION FOR ANY FIXTURE CONFORMING THE SHAPE AND LENGTH OF SHAPE, FOR COORDINATION OF FIXTURE CONSTRUCTION.

PANELBOARDS

SUBMITTAL

INCLUDE SCHEDULE OF EACH PANELBOARD WITH ALL DEVICES AND COMPLETE WITH PHYSICAL AND ELECTRICAL DATA AND WITH RATINGS FOR EACH COMPONENT INCLUDING BREAKER/USE OVERLAY CURVES.

LABELED PER UL 4CT AND 450, CONFORM WITH NEMA #250 AND F81, NFPA #70-384 AND 70-373.

ALL JUNCTION BOXES SHALL BE LABELED WITH PANEL AND CIRCUIT DESIGNATION.

PROVIDE TYPED CIRCUIT DIRECTORY WITH EACH CIRCUIT SERVING DEVICES AND AREA ITS SERVING.

APPROVED MANUFACTURERS

CUTLER-HAMMER
OUTLER-HAMMER
SQUARE D
SIEMENS

LIGHTING CONTROL

TIME SWITCHES

SOLID STATE, PROGRAMMABLE, WITH ALPHANUMERIC DISPLAY, COMPLYING WITH UL 917, 20-A BALLAST LOAD, 1200-240VAC.

TWO ON-OFF SET POINTS ON A 24-HOUR SCHEDULE AND ANNUAL HOLIDAY SCHEDULE THAT OVERIDES THE WEEKLY OPERATION ON HOLIDAYS.

ALLOW CONNECTION OF A PHOTOELECTRIC RELAY AS SUBSTITUTE FOR ON-OFF FUNCTION OF A PROGRAM.

BATTERY BACKUP FOR NOT LESS THAN SEVEN DAYS RESERVE TO MAINTAIN SCHEDULES AND THE CLOCK.

INDOOR OCCUPANCY SENSORS: WALL OR CEILING MOUNTED SOLID-STATE INDOOR OCCUPANCY SENSORS WITH A SEPARATE POWER PACE.

ADJUSTABLE TIME-DELAY OVER A RANGE OF 1 TO 30 MINUTES.

SENSOR OUTPUT: CONTRACTS RATED TO OPERATE THE CONNECTED RELAY, COMPLYING WITH UL773A. SENSOR IS POWERED FROM POWER PACE.

POWER PACE: 120V CONTRACTS RATED FOR 20-A BALLAST LOAD AT 125 OR 277 VAC; AUTOMATIC LIGHT-LEVEL SENSOR; ADJUSTABLE FROM 2 TO 200 FC (2 1/2 TO 2 1/2 LUX); TURN LIGHTS OFF WHEN SELECTED LIGHTING LEVEL IS PRESENT.

DUAL SENSORS: TYPE: DIRECT OCCUPANCY AREA USING PIR (PASSIVE INFRARED) AND ULTRASONIC DETECTION METHOD.

GROUNDING AND BONDING

ALL GROUNDING AND BONDING SHALL CONFORM TO NEC ARTICLE 250.

COPPER WIRE OR CABLE INSULATED FOR 600V UNLESS REQUIRED BY APPLICABLE CODE OR AUTHORITIES HAVING JURISDICTION.

INSTALL SOLID CONDUCTOR FOR #8 AWG AND SMALLER AND STRANDED CONDUCTORS FOR #6 OR LARGER.

INSTALL INSULATED EQUIPMENT GROUNDING CONDUCTORS FOR ALL EQUIPMENT.

LOW VOLTAGE TRANSFORMERS

SUBMITTAL

PROVIDE PRODUCT DATA FOR EACH TRANSFORMER, INDICATE DIMENSIONS AND WEIGHTS.

PROVIDE CERTIFICATION THAT TRANSFORMERS, ACCESSORIES, AND COMPONENTS WILL WITHSTAND SEISMIC FORCES.

MANUFACTURERS: CUTLER-HAMMER, SIEMENS, GE AND SQUARE D.

INSULATION CLASS: 250 DEG C. UL COMPONENT RECOGNIZED INSULATION SYSTEM WITH MINIMUM OF 150 DEG C. RISE ABOVE 40 DEG C. AMBIENT TEMPERATURE.

COMPLY WITH NEMA TP1, CLASS 1 EFFICIENCY LEVELS AND TESTED ACCORDING TO NEMA TP2.

TESTING AND INSPECTION: PERFORM VISUAL AND MECHANICAL INSPECTION AND ELECTRICAL TEST STATED IN NEW ACCEPTANCE TESTING SPECIFICATION. CERTIFY COMPLIANCE WITH TEST PARAMETERS.

PERFORM AN INPHASE SCAL OF TRANSFORMER CONNECTIONS TWO MONTHS AFTER SUBSTANTIAL COMPLETION, PLUS 2 FOLLOW UP SCANS, ONE AT 4 MONTHS AND THE OTHER AT 1 MONTHS. PROVIDE CERTIFIED REPORT.

ELECTRICAL GENERAL NOTES

THE DESIGN OF THIS SET OF DOCUMENT IS BASED ON NEC 2017.

ELECTRICAL CONTRACTOR SHALL REFER TO ALL OTHER DESIGN DRAWINGS PRIOR TO BID AND RETAIN FULL UNDERSTANDING OF THE SCOPE OF WORK.

FIXTURE TYPE INDICATED BY UPPER CASE CHARACTERS, SWITCHING AND GROUPING DESIGNATED BY LOWER CASE LETTERS AND CIRCUIT BY NUMBER (WHERE APPLICABLE).

REFER TO THE ARCHITECTURAL/INTERIORS REFLECTED CEILING PLANS FOR EXACT FIXTURE PLACEMENT AND DIMENSIONS.

REFER TO THE ARCHITECTURAL/INTERIORS DOCUMENTS FOR ACTUAL DEVICE LOCATIONS AND DIMENSIONS.

COORDINATE THE INSTALLATION OF ALL CEILING MOUNTED DEVICES (PIR ALARM SYSTEM DEVICES AND SPEAKERS, SOUND SYSTEM SPEAKER, ETC.) TO BE SYMMETRICAL ABOUT LIGHT FIXTURES AND SPRINKLER HEADS. REFER TO THE ARCHITECTURAL REFLECTED CEILING PLAN TYPICAL.

ALL MOUNTING OF EQUIPMENT IS AS SHOWN UNLESS OTHERWISE NOTED. COORDINATE WITH ARCHITECT THE COORDINATES OF ALL ELECTRICAL DEVICES, OUTLETS, COVERPLATES AND TRIM.

EMERGENCY BATTERY PACKS AND EXIT SIGNS SHALL BE CONNECTED AHEAD OF ANY SWITCHING DEVICES.

REFER TO MECHANICAL DRAWINGS FOR DUCT SMOKE DETECTOR LOCATIONS AND QUANTITIES OPERATION SHALL INCLUDE DUAL CONTACT BASE WITH LOCAL EQUIPMENT SHUTDOWN AND THE ALARM SIGNAL INITIATION.

WHEN CONDUCTOR OR CONDUIT SIZE IS INDICATED FOR BRANCH CIRCUIT HOME RUN, THE CONDUCTOR AND CONDUIT SIZE INDICATED SHALL BE USED FOR THE COMPLETE CIRCUIT.

REFER TO THE APPROPRIATE DRAWINGS FOR THE EXACT LOCATION AND REQUIREMENTS OF EQUIPMENT INSTALLED UNLESS OTHER DIVISIONS OF THE DOCUMENTS, WHICH REQUIRE ELECTRICAL SERVICE.

EQUIPMENT GROUNDING CONDUCTORS SHALL BE INSTALLED IN ALL RACEWAYS.

WALL SWITCHES CONTROLLING CIRCUITS OF OPPOSITE PHASES SHALL NOT BE INSTALLED IN COMMON BOX UNLESS PERMANENT BARRIER IS PROVIDED.

ALL HOME RUNS SHALL RUN PARALLEL TO STRUCTURE AS MUCH AS POSSIBLE WHERE CEILING IS EXPOSED.

ALL RACEWAY AND EQUIPMENT SUPPORTS AND HANGERS SHALL BE FULLY COORDINATED WITH STRUCTURAL DRAWINGS TO INSURE LOCATION OF SAME OCCURS WITHIN FOUR (4) INCHES OF PANEL POINT ON BAK JOISTS.

COORDINATE LOCATION OF ALL FLOOR MOUNTED MECHANICAL AND PLUMBING EQUIPMENT IN ORDER TO VERIFY POWER CONDUIT, RACEWAY CONCEALED IN SLABS TERMINATED AT PROPER LOCATION.

DISCONNECT SWITCHES, MOTOR STARTERS AND OTHER ELECTRICAL EQUIPMENT INSTALLED ABOVE ACCESSIBLE CEILINGS, AND REQUIRING ACCESS FOR MAINTENANCE, SHALL BE INSTALLED WITH BOTTOM OF DEVICE ONE (1) FOOT ABOVE CEILING TO PROVIDE READY ACCESSIBILITY.

MECHANICAL, PLUMBING, FIRE PROTECTION AND OTHER EQUIPMENT ARE SHOWN ON FLOOR PLANS IN APPROPRIATE LOCATION, COORDINATE WITH M, P, AND CONTRACT DRAWINGS/SUBMITTALS FOR EXACT LOCATION OF EQUIPMENT.

GENERAL DIAGRAMMATIC RACEWAY INTERCONNECTIONS OF EQUIPMENT, FIXTURES AND DEVICES ARE INDICATED ON FLOOR AND REFLECTED CEILING PLANS. REFER TO STRUCTURAL AND ARCHITECTURAL PLANS FOR ELEVATION CHANGES AND RACEWAY ROUTES.

RACEWAY FOR EXTERIOR LIGHTING MAY BE INDICATED OUTSIDE OF BUILDING FOOTPRINT FOR CLARITY. ROUTE ALL EXTERIOR LIGHTING RACEWAY WITHIN BUILDING STRUCTURE.

POWER AND COMMUNICATIONS DATA CONDUITS CAN CROSS AT 90°, BUT WHERE PARALLEL, SHALL BE A MINIMUM OF 8" APART.

TELEVISION AND RADIO ANTENNAS CABLES SHALL HAVE SURGE PROTECTION, GROUND ALL MASTS.

PROVIDE SURGE PROTECTION FOR ELECTRICAL AND TELEPHONE SERVICES.

FIELD COORDINATE MECHANICAL AND PLUMBING EQUIPMENT ELECTRICAL CHARACTERISTICS WITH DIV. 15 CONTRACTOR PRIOR TO ROUGH-IN. ADJUST ELECTRICAL CONNECTIONS IF NECESSARY TO MATCH ACTUAL EQUIPMENT IN FIELD. FOR EXAMPLE, COORDINATE THE NAMEPLATE EQUIPMENT PROTECTION DEVICE RATING OF MECHANICAL EQUIPMENT AMONG MECHANICAL AND ELECTRICAL SUBCONTRACTORS. ADJUST CIRCUIT BREAKER TO MATCH NAMEPLATE RATING OF EQUIPMENT AT NO ADDITIONAL COST.

FIELD COORDINATE MECHANICAL AND PLUMBING EQUIPMENT REQUIREMENTS FOR ANY SUPPLEMENTAL POWER REQUIREMENTS, INCLUDING BUT NOT LIMITED TO CONTROL CIRCUITS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING ALL EQUIPMENT TO ITS INTENDED OPERATIONAL STATUS.

REFER TO FIRE PROTECTION DRAWINGS FOR LOCATIONS OF FLOW AND TAMPER SWITCHES.

EACH PENETRATION OF A FIRE RESISTANT RATED ASSEMBLY BY A PIPE, TUBE, WIRE OR CONDUIT SHALL BE PROTECTED BY A THROUGH PENETRATION FIRE STOP SYSTEM THAT HAS BEEN TESTED ACCORDING TO ASTM E-814 OR E-199.

ELECTRIC RECEPTACLES, SWITCHES, OUTLETS, ETC. SHALL NOT BE INSTALLED BACK TO BACK, ON FIRE RESISTANCE RATED WALLS. THEY SHALL BE AT LEAST 24-INCHES APART.

LIGHT SWITCHES AND ELECTRICAL OUTLETS, LOCATED IN ROOMS ACCESSIBLE TO THE DISABLED SHALL BE LOCATED NO HIGHER THAN 48 INCHES AND NO LOWER THAN 15 INCHES ABOVE THE FINISHED FLOOR SURFACE. IF THE REACH OR THE CONTROL IS OVER AN OBSTRUCTION, THE MINIMUM HEIGHT SHALL BE REDUCED TO 44 INCHES FOR A FORWARD APPROACH OR 42 INCHES FOR A SIDE APPROACH.

REFER TO LOW VOLTAGE CONSULTANTS DRAWINGS FOR VOICE, DATA AND CATV OUTLET LOCATIONS. REFER TO US CONSULTANTS DRAWINGS FOR ANY ADDITIONAL INFORMATION.

CONNECT ALL EXIT SIGNS TO NEAREST UNWITHEDED PORTION OF THE LIGHTING CIRCUIT IN THE AREA.

ELECTRICAL BOXES INSTALLED IN FIRE RATED WALLS SHALL MAINTAIN THE INTEGRITY OF THE RATED WALL.

SUPPORT ALL VERTICAL RACEWAY PER NEC TABLE 300.1 (9A).

COORDINATE WITH OUTRETS OF ALL EQUIPMENT TO BE INSTALLED AND PROVIDE ADDITIONAL CIRCUITS FOR CONTRAITS # REQUIRED BY MANUFACTURER.

PANEL COLOR, FINISH AND OTHER AESTHETIC PORTIONS OF ALL DEVICES SHALL BE COORDINATED WITH ARCHITECT OR OWNER'S REPRESENTATIVE. THIS SET OF DRAWINGS DOES NOT SUPPLEMENT ARCHITECTURAL OR INTERIOR DOCUMENTS.

ALL EXPOSED HORIZONTAL RUNS OF CONDUITS SHALL BE EITHER PARALLEL OR PERPENDICULAR TO EXTERIOR WALLS.

PROVIDE PENULIN RATED CABLES IF THE CABLES ARE EXPOSED AND ROUTED THROUGH PENULIN.

LEGEND

XX	HOME RUN WITH WIRE TIGS: XX - PHASE DESIGNATION, # - CIRCUIT DESIGNATION, WIRE TIGS - (1) NEUTRAL, (2) HOT, (3) GROUND.
----	---

ABBREVIATIONS

AC	2" ABOVE COUNTER SPACE OR 4" AT	IG	ISOLATED GROUND
AF	AMP FUSE	ISC	SHORT CIRCUIT CURRENT
APP	ABOVE FINISHED FLOOR	LTC	LIGHTING
AL	ALUMINUM	MTD	MOUNTED
BFC	BELOW FINISHED CEILING	N	NEUTRAL
BKR	BREAKER	NL	NIGHT LIGHT
CND	CONDUIT	NEC	NATIONAL ELECTRICAL CODE
CON	CONNECTED OR CONNECTION	PNL	PANEL
CTB	CABLE TV TERMINAL (BACKWARD)	RCPT	RECEPTACLE
CU	COPPER	TTL	TELEPHONE
DN	DOWN	TTB	TELEPHONE TERMINAL BOARD
EC	EMPTY CONDUIT	TV	TELEVISION
ELCC	ELECTRICAL	TVSS	TRANSIENT VOLTAGE SURGE SUPPRESSOR
FACP	FIRE ALARM CONTROL PANEL	TYP	TYPICAL
FPA	FIRE ALARM INITIATOR	TRF	TRANSFORMER
G-OR GND	GROUND	UG	UNDERGROUND
GFC OR GF	GROUND FAULT CIRCUIT INTERRUPTER	WF	WEATHERPROOF

NOT SCALE: 1"=1'-0"

SITE LUMINAIRE SCHEDULE					
CALLOUT	SYMBOL	LAMP	DESCRIPTION	ACCESS	POLE
SA		(1) 240W LED	LED POLE MOUNTED SITE LIGHT - 25' MOUNTING HEIGHT	SIGNIFY GARDCO ECP-1-80L-1A-NW-G2-SW - BRONZE FINISH	SIGNIFY GARDCO 205-CB-4-1-1-25-D1-DTS-BZ-4" POLES
SB		(1) 135W LED	LED POLE MOUNTED SITE LIGHT - 25' MOUNTING HEIGHT	SIGNIFY GARDCO ECP-1-80L-1A-NW-G2-SW - BRONZE FINISH	SIGNIFY GARDCO 205-CB-4-1-1-25-D1-DTS-BZ-4" POLES

GENERAL NOTES	
ALL EXTERIOR LIGHTING TO BE CONTROLLED VIA PHOTOCELL OR TIME CLOCK. COORDINATE PROGRAMMING WITH OWNER AND ARCHITECT.	
KEYNOTES	
○ LIGHTING FIXTURES TO BE POWERED BY FUTURE HOUSE PANS IN BUILDING. STUDY AND CAP CONSULT IN FUTURE ELECTRICAL ROOM. COORDINATE EXACT LOCATION WITH OWNER AND ARCHITECT BUILDING PLANS. PROVIDE (UPC, 1/4 IN, #10), #10G, #10G.	

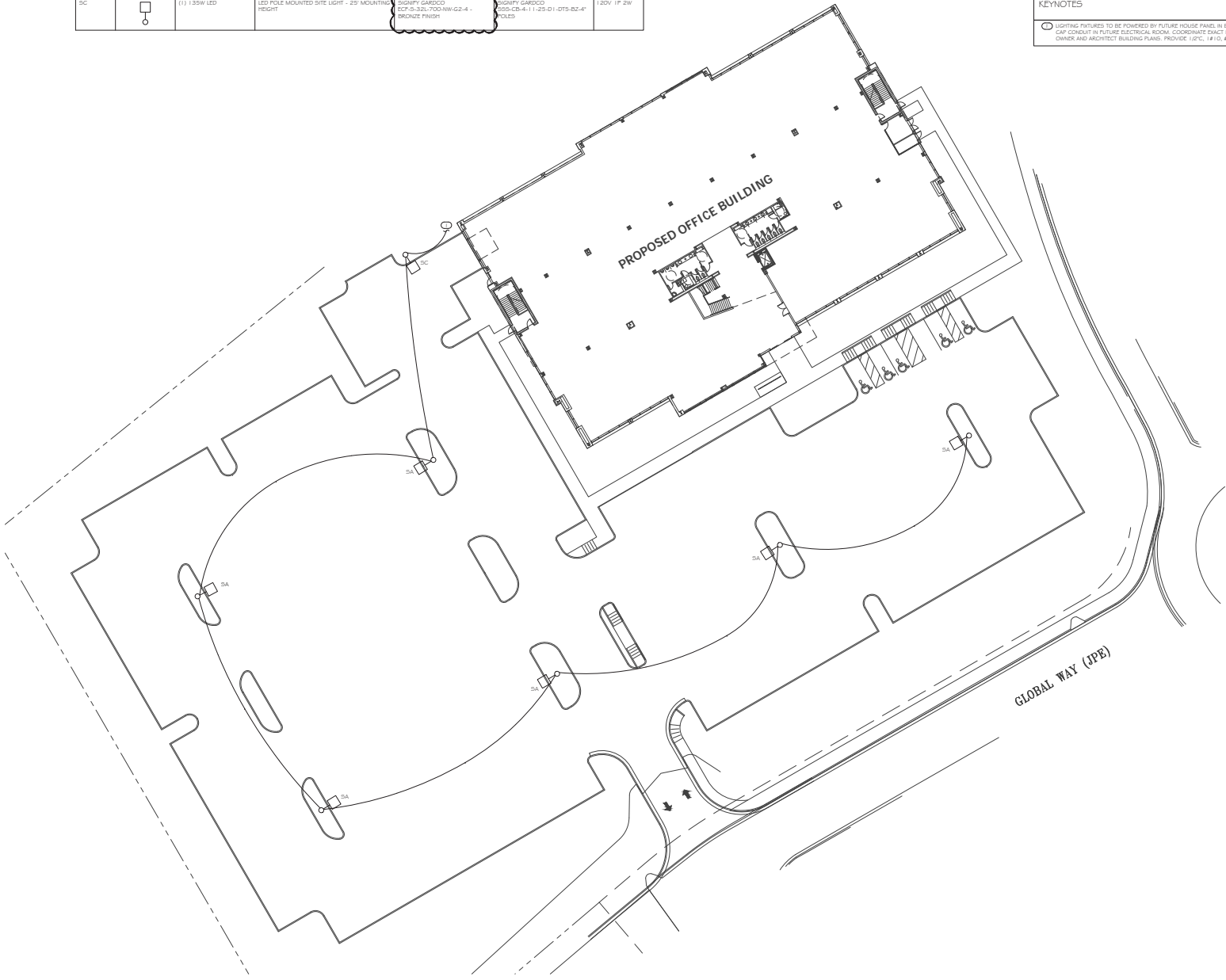


A New Office Building for:
CENTURY PARK - TTCD FILE NO. 7-A-22-TOB
Global Way
Knoxville, Tennessee

SITE PLAN	
REVISIONS:	
△	2022-06-17 REV 1
△	2022-06-29 REV 2
DATE:	6/13/22
FILE NAME:	XXXXXXXXXX
PROJECT NO:	223025

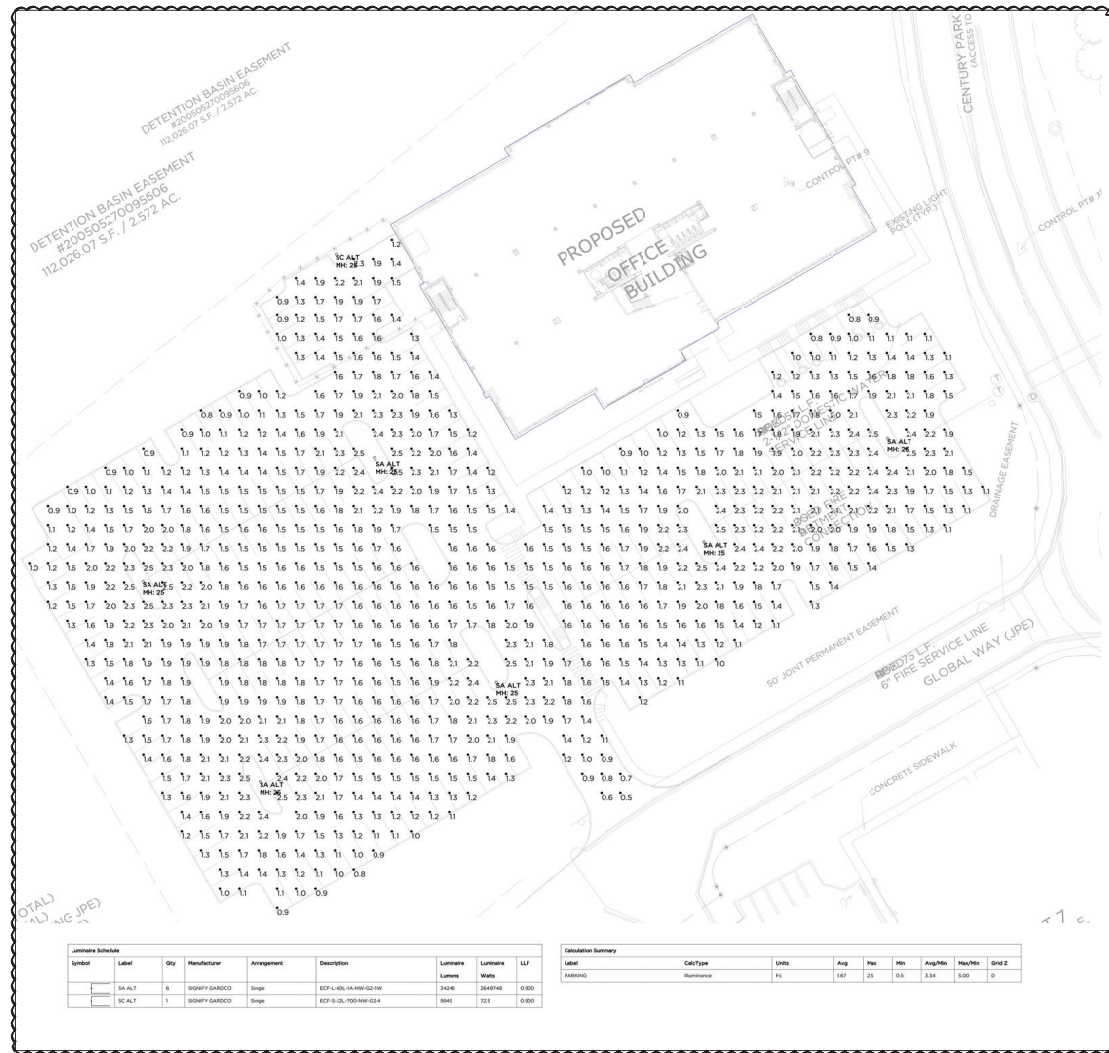
E2

ROT SCALE: 1"=1'-0"



1 SITE PLAN
1"=20'-0"

PHOT SCALE: 1"=1'-0"



PHOTOMETRIC PLAN
N.T.S.



A New Office Building for:
CENTURY PARK - TTCDA FILE NO. 7-A-22-TOB
Global Way
Knoxville, Tennessee

PHOTOMETRIC
PLAN

REVISIONS:
2022-06-17 REV 1
2022-06-29 REV 2

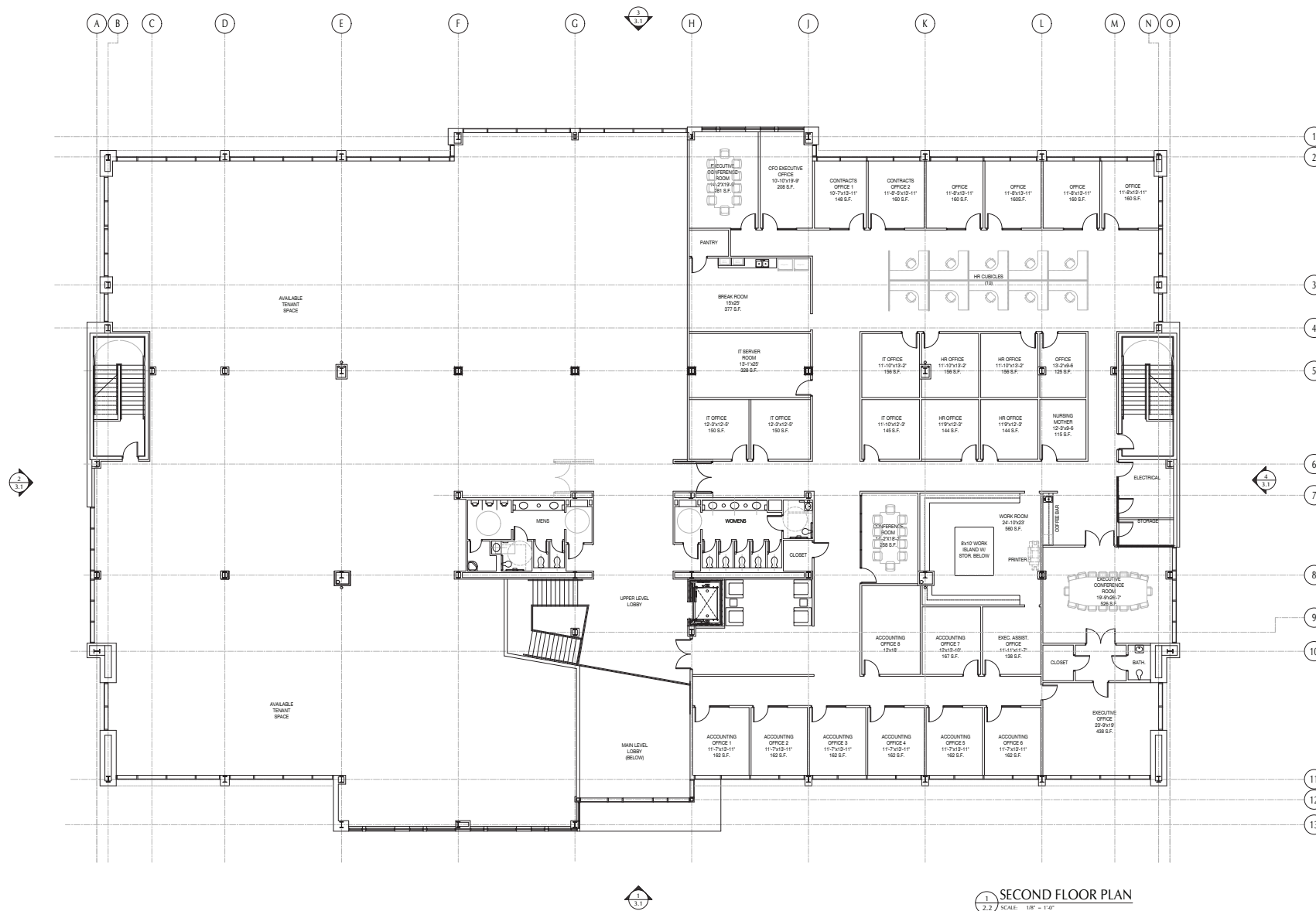
DATE: 6/13/22
FILE NAME: XXXXXXXX
PROJECT NO: 223025

E3

PLT SCALE: 1" = 1'-0"



1 FIRST FLOOR PLAN
2.1 SCALE: 1/8" = 1'-0"

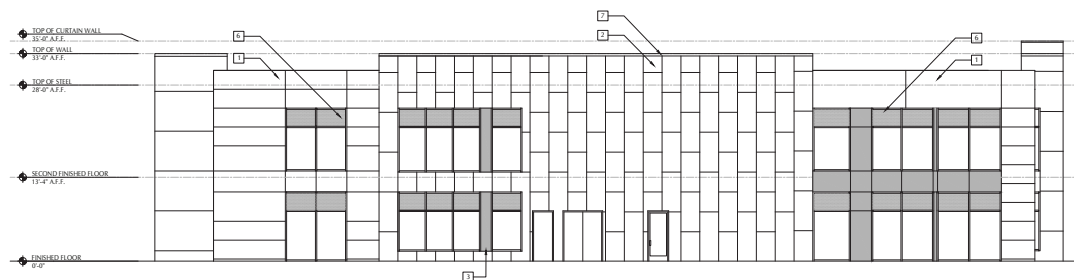




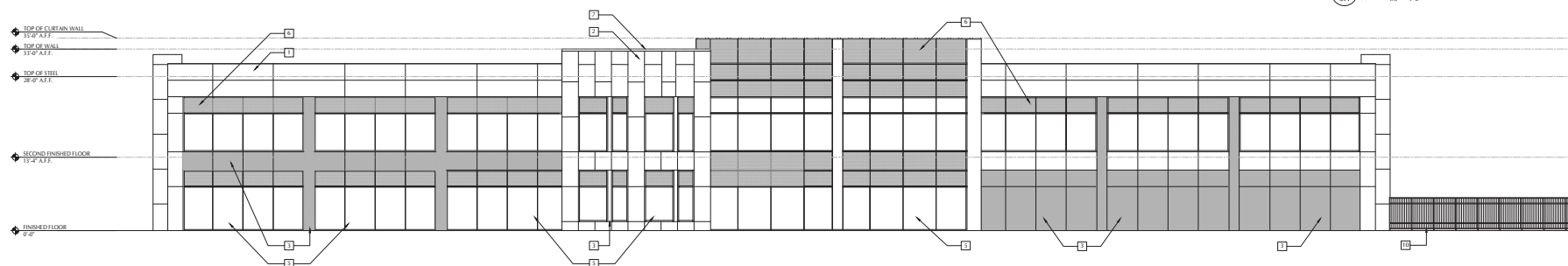
Johnson
Architecture

2240 Sutherland Ave., Suite 105
Knoxville, TN 37919
865.671.9060
john.com

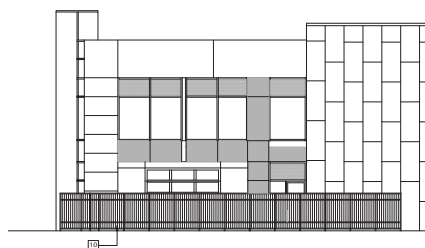
EXTERIOR MATERIAL KEY	
1	FIBER CEMENT PANEL, MANUFACTURER: EQUITONE, OR EQUAL
2	COMPOSITE WOOD PANEL, MANUFACTURER: PABLEX, OR EQUAL
3	METAL PANEL, MANUFACTURER: ALPOK, OR EQUAL
4	METAL SOFFIT, MANUFACTURER: LONGBOARD, OR EQUAL
5	WINDOW SYSTEM, CLEAR ANODIZED FRAME, BUTT-GLAZED VERTICAL MULLIONS, INTEGRATED HORIZONTAL TYP. SHADING MULLION
6	SPANDREL PANEL
7	PREFINISHED METAL COPING
8	PREFINISHED METAL CANOPY WITH METAL SOFFIT (KEY REFERENCE #4)
9	12"W x 10"H ALUMINUM AND GLASS OVERHEAD GARAGE DOOR
10	6" SQUARE TUBE PREFINISHED ALUMINUM RAIL FENCING, FINISH: BLACK



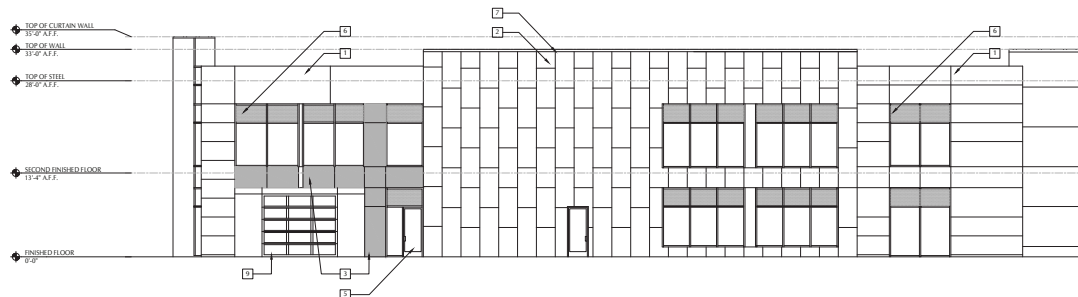
4
3.1
EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



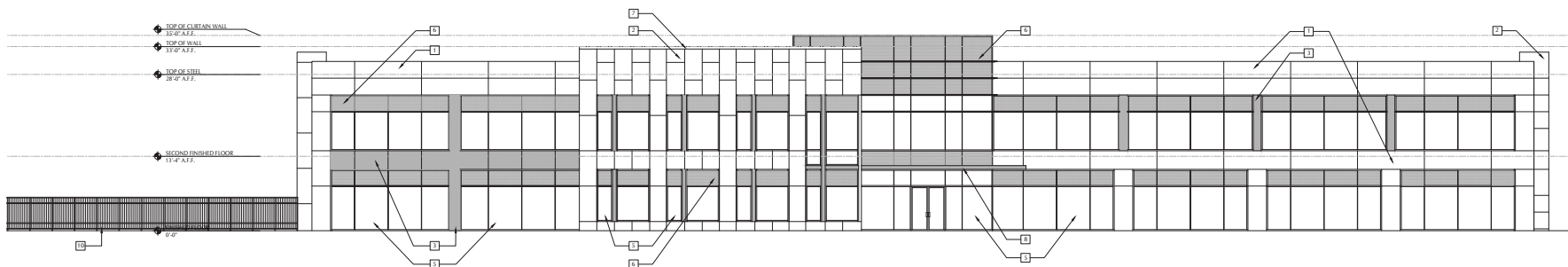
3
3.1
EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



3
3.1
EXTERIOR ELEVATION W/FENCING SHOWN
SCALE: 1/8" = 1'-0"



2
3.1
EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



1
3.1
EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

A New Office Building for:
CENTURY PARK - TTCDA FILE NO. 7-A-22-TOB
Global Way
Knoxville, Tennessee

EXTERIOR ELEVATIONS

REVISIONS:

DATE: 6/13/22
FILE NAME: 3.1.DWG
PROJECT NO: 223025

3.1

PLOT SCALE: 1" = 1'-0"



Johnson
Architecture

2240 Sutherland Ave., Suite 105
Knoxville, TN 37919
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johnson.com

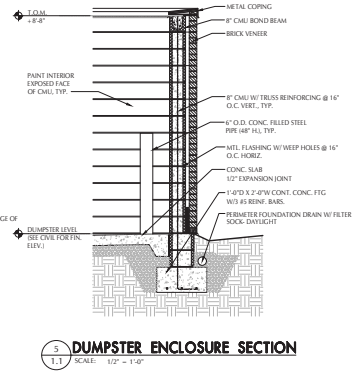
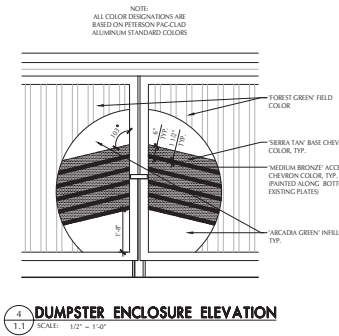
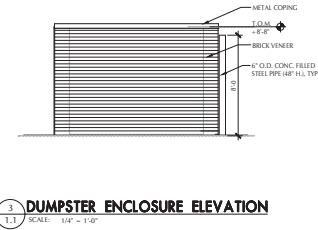
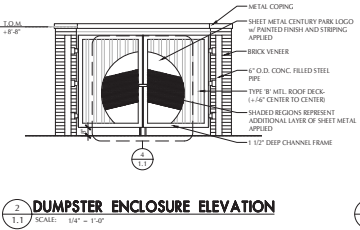
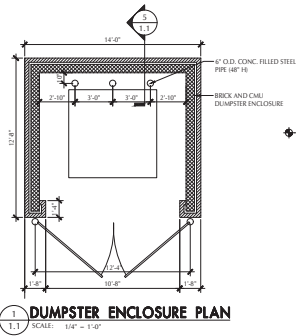


A New Office Building for:
CENTURY PARK - TTCDA FILE NO. 7-A-22-TOB
Global Way
Knoxville, Tennessee

DUMPSTER PLAN,
ELEVATIONS AND
DETAILS

REVISIONS:

DATE: 6/29/22
FILE NAME: CPV1 11.dwg
PROJECT NO: 223025





- | | | |
|--|--|--|
| <input checked="" type="checkbox"/> BUILDING PERMIT - NEW CONSTRUCTION | <input type="checkbox"/> REZONING | <input type="checkbox"/> ADMINISTRATIVE REVIEW |
| <input type="checkbox"/> BUILDING PERMIT - EXPANSION OR RENOVATION | <input type="checkbox"/> SIGNAGE | <input type="checkbox"/> BOARD REVIEW |
| <input checked="" type="checkbox"/> BUILDING PERMIT - GRADING PLAN | <input type="checkbox"/> ZONING VARIANCE | |

CP VI

PUBLISHED APPLICANT NAME - no individuals on behalf of -

May 31, 2022

July 11, 2022

7-A-22-TOB

DATE FILED

MEETING DATE (IF APPLICABLE)

FILE NUMBER

CORRESPONDENCE

Correspondence related to this application will be directed to the contact listed below.

- ☐ APPLICANT ☒ OWNER ☐ OPTION HOLDER ☐ SURVEYOR ☐ ENGINEER ☐ ARCHITECT/LANDSCAPE ARCHITECT ☐ ATTORNEY

Trey Benefield

Commercial & Investment Properties Co.

NAME

COMPANY

1225 Weisgarber Road

Knoxville

TN

37909

ADDRESS

CITY

STATE

ZIP

865-584-3967

tbenefield@ciprop.com

PHONE

EMAIL

CURRENT PROPERTY INFO

- ☐ MULTIPLE OWNERS / OPTION HOLDERS ☐ PART OF PARCEL

Pellissippi Dutchtown General Partnership

1225 E Weisgarber Road, Ste 390

OWNER NAME - if different -

OWNER ADDRESS

OWNER PHONE/EMAIL

10150 Global Way, Knoxville, TN 37932

PROPERTY ADDRESS

CLT Map 118 Parcel 177.15

15.70

PARCEL ID(S)

PART OF PARCEL? (Y/N)

TRACT SIZE

STAFF USE ONLY

- ☒ CITY ☐ COUNTY

South side of Dutchtown Rd, west side of Century Park Blvd

2nd District

GENERAL LOCATION

DISTRICT

OP/TO

MU-SD, NWCO-2

ZONING

SECTOR PLAN
LAND USE CLASSIFICATION

Northwest County

Vacant land

PLANNING SECTOR

EXISTING LAND USE

REQUEST

BUILDING PERMIT

- ☒ NEW CONSTRUCTION
☐ EXPANSION OR RENOVATION
☒ GRADING PLAN

- ☐ REZONING
☐ SIGNAGE
☐ ZONING VARIANCE

WAIVERS OR VARIANCES REQUESTED? ☐ YES ☒ NO

ADMINISTRATIVE REVIEW: ☒ LIGHTING ☒ LANDSCAPING PLAN

PLAN MATERIALS:

- ☒ DEVELOPMENT PLAN
☒ BUILDING ELEVATIONS
☒ FLOOR PLAN
☒ LANDSCAPE PLAN
☐ SIGNAGE PLAN
☒ OFF-STREET PARKING

☐ OTHER:

RENOVATION OR EXPANSION

SUMMARY OF WORK TO BE PERFORMED:

Construction of new 2-story office building

ZONING VARIANCE

SUMMARY OF ZONING VARIANCE REQUEST:

REZONING

REZONE FROM: _____

TO: _____

SECTOR PLAN AMENDMENT FROM: _____

TO: _____

SIGNAGE

- ☐ YARD SIGN
AREA: _____
HEIGHT: _____
FINISH: _____
- ☐ BUILDING SIGN
AREA: _____
HEIGHT: _____
FINISH: _____
- ☐ OTHER SIGN
AREA: _____
HEIGHT: _____
TYPE: _____

STAFF USE ONLY

- ☐ TTCDA Checklist
☐ Property Owners/Option Holders

CODE

FEE

801 | \$450.00

CODE

FEE

TOTAL

\$450.00

AUTHORIZATION

By signing below

You certify that you are the property owner and/or authorized representative.

Trey Benefield *Trey Benefield*

Owner Rep.

05-24-2022

APPLICATION AUTHORIZED BY

AFFILIATION

DATE

865-584-3967

tbenefield@ciprop.com

PHONE NUMBER

EMAIL

Michelle Portier

Michelle Portier

05/26/2022

STAFF SIGNATURE

PRINT NAME

DATE PAID