

Applicant: IMMANUEL CHURCH**Request:** BUILDING PERMIT**Meeting Date:** 3/8/2021**Address:** 0 Valley Vista Rd.**Map/Parcel Number:** 103 12011**Location:** East side of Valley Vista Rd. south of Hardin Valley Dr. and west of Pellissippi Pkwy.**Existing Zoning:** PC (Planned Commercial) / TO (Technology Overlay)**Proposed Zoning:** N/A**Existing Land Use:** Undeveloped land**Proposed Land Use:** Church**Appx. Size of Tract:** 10.55 acres**Accessibility:** Valley Vista Rd. is a local road with a 43.8-ft pavement width inside a 50-ft right-of-way**Surrounding Zoning and Land Uses:** North: PC (Planned Commercial) / TO (Technology Overlay) - Office building and vacant land

South: BP (Business and Technology Park) - Office/warehouse building

East: Pellissippi Parkway

West: OB (Office, Medical and Related Services) / TO (Technology Overlay)

Comments:

- 1) The applicant is requesting approval of a small church complex on a 10.55 acre tract.
- 2) The site is located on the east side of Valley Vista Road south of its intersection with Hardin Valley Road. Access to the site will be shared with the neighboring parcel to the south via the existing driveway off of Valley Vista Road.
- 3) The development will also require review and approval by the Planning Commission, and is scheduled to be heard on the March 11, 2021 Planning Commission agenda.
- 4) The development will be built in 2 phases, with the church constructed in phase 1 and a second building constructed in phase 2. The proposed buildings will be located on the east side of the site abutting Pellissippi Parkway. Both buildings will be one story with a total of 36,422 square feet between the 2 buildings.
- 5) The site is accessed off of Valley Vista Road, a minor collector, via a shared driveway. There is steep topography leading from the right-of-way down into a flat portion of the site where the buildings will be located. Because of this, installing sidewalks inside the site to connect those at the entry to those along the right-of-way will be challenging and likely would not meet ADA requirements. The County's Engineering Department has agreed to work through this issue with the applicant during the permitting phase.
- 6) The site is in the Hillside and Ridgetop Protection Area, though the steep slope area is concentrated to the perimeter of the site. The slope analysis recommended a maximum land disturbance area of 5.13 acres. 5.48 acres of the site was graded and a detention pond added in 2007, but the property was not developed further. Though the site exceeds the maximum land disturbance area, the grading is already done. The only further grading that will occur is for the driveway leading down the site from the right-of-way, though much of this work has already been completed, as well.
- 7) The Ground Area Coverage (GAC) after Phase II would exceed the amount allowed in HP

areas, which caps development at 5,000 square feet per 2 acres. The site is 10.55 acres, which would allow a 26,375 square foot building footprint. The church would be built in Phase I and comprises 22,722 square feet. The Phase 2 building would add an additional 14,000 square feet, and would require a waiver to exceed the GAC in Hillside and Ridgetop Protection Areas by 10,347 square feet. The general GAC requirement (in non-hillside areas) is 25%, which results in an allowable area of 59,677 square feet. Upon phase 2 completion, the proposed buildings would comprise 36,722 square feet, which yields a GAC of 8%. The site has a previously disturbed area of 5.48 acres that resulted in a flat terrain where development will occur. No development will occur in slopes above 15% except for the driveway, which cross over a sloped area to access the site. Staff recommends approval of this waiver because the land is already disturbed and the portion of the site being developed is not in the areas with significant slope.

8) The Impervious Area Ratio (IAR) and Floor Area Ratio (FAR) calculations comply with the Design Guidelines.

9) Proposed parking will exceed the maximum allowed by the TTCDA Guidelines but will be in compliance with the parking requirements of the Knox County Zoning Ordinance. The applicant is requesting a waiver from this requirement.

10) The proposed landscape plan is in compliance with the Design Guidelines.

11) Building materials will be manufactured stone veneer, a fiber cement siding resembling wood, insulated metal panels, and a smooth finished exterior insulation and finish system (EIFS).

12) No signage is proposed at this time. Should signage be desired, it should be submitted in a separate application at a future time.

13) No exterior lighting is proposed at this time. Should exterior lighting be desired in the future, it should be submitted in a separate application at a future time.

Design Guideline Conformity:	With the recommended conditions and approval of the requested waivers, this request complies with the TTCDA Design Guidelines.
Waivers and Variances Requested:	1) Waiver to exceed the maximum number of parking spaces allowed to comply with the parking standards in Knox County Zoning Ordinance. 2) Waiver to exceed the GAC allowed in HP areas and allow a total building area of approximately 36,722 square feet.

Staff Recommendation:

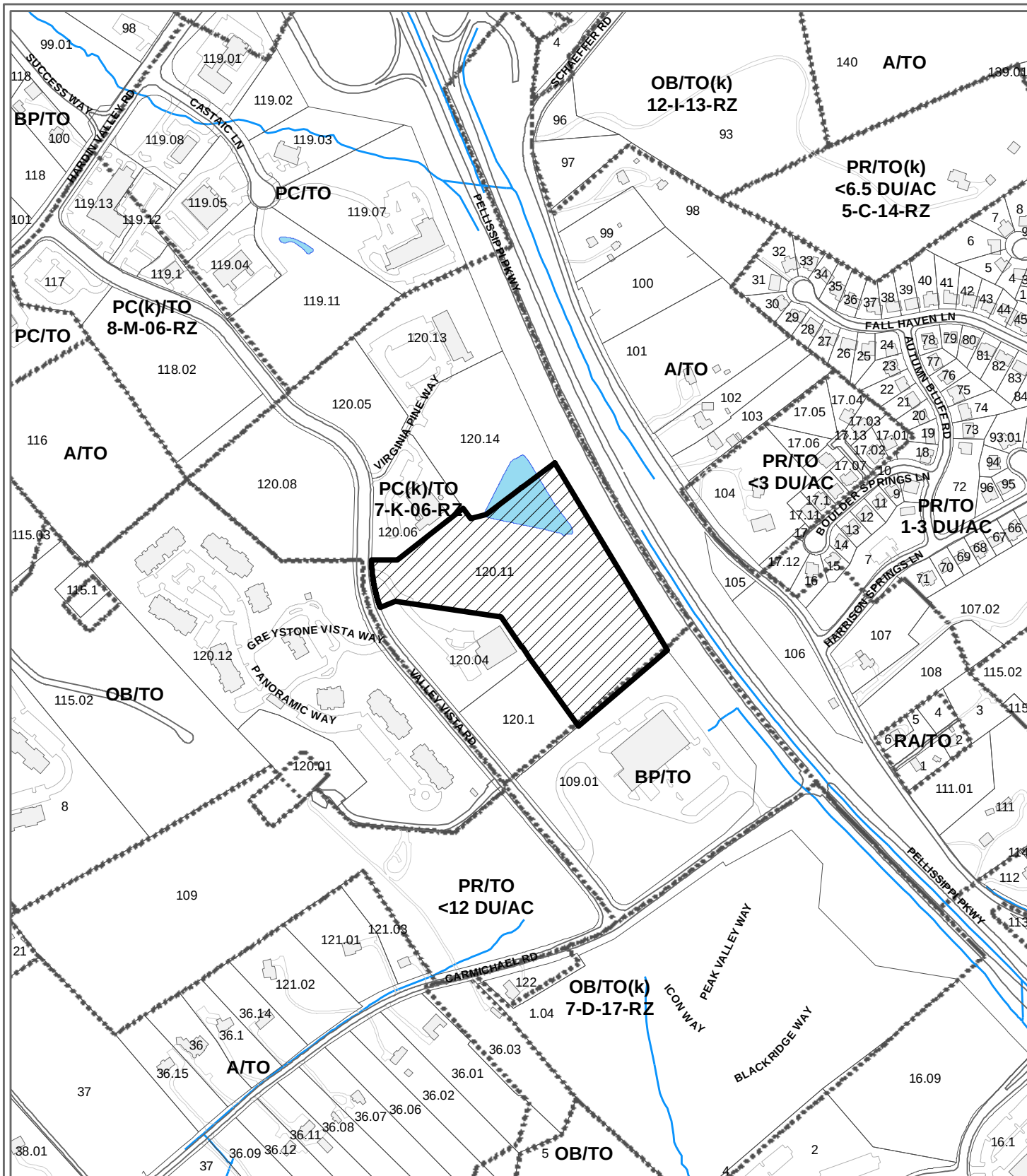
Based on the application and plans as submitted and revised, Staff recommends the following actions on the required waivers from the Design Guidelines:

- 1) Approve the waiver to exceed the maximum number of parking spaces allowed to comply with the parking standards in Knox County Zoning Ordinance.
- 2) Approve the waiver to exceed the maximum ground area coverage (GAC) in the Hillside and Ridgetop Protection Area by 10,347 square feet since the land was previously disturbed in 2007 and development occurs outside of significant slopes.

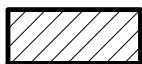
Based on the application and plans as submitted and revised, Staff recommends APPROVAL of this request for a Certificate of Appropriateness for a building permit, subject to the following conditions:

- 1) Obtaining use on review approval from the Planning Commission for the proposed development; this request is on the March 11, 2021 Planning Commission Agenda.
- 2) Connection to sanitary sewer and meeting any other relevant requirements of the utility provider.
- 3) Installation of all landscaping as shown on development plan within six months of the issuance of an occupancy permit, or posting a bond with the Knox County Department of Engineering and Public Works to guarantee such installation.
- 4) Installation of all sidewalks as identified on the concept plan. Sidewalks shall meet all applicable requirements of the Americans with Disabilities Act (ADA) and the Knox County Department of Engineering and Public Works. Sidewalks connecting those along the right-of-way with those at the church entry may be required by the Knox County Engineering Department during the permitting review stage and would be coordinated at that time. Knox County Engineering reserves the right to waive the sidewalks due to the steep topography if found to be unreasonable to install.
- 5) Meeting all other applicable requirements of the Knox County Department of Engineering and Public Works.

- 6) Meeting all applicable requirements of the Knox County Zoning Ordinance.
- 7) Meeting all applicable requirements of the Knox County Fire Marshall's office.
- 8) Meeting all applicable requirements and obtaining all required permits from the Tennessee Department of Health.
- 9) Signage is depicted on the buildings but is not part of this request. A signage package would need to be submitted at a future time and would be required to meet all applicable requirements of the TTCDA.



**3-C-21-TOB
CERTIFICATE OF APPROPRIATENESS**

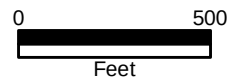


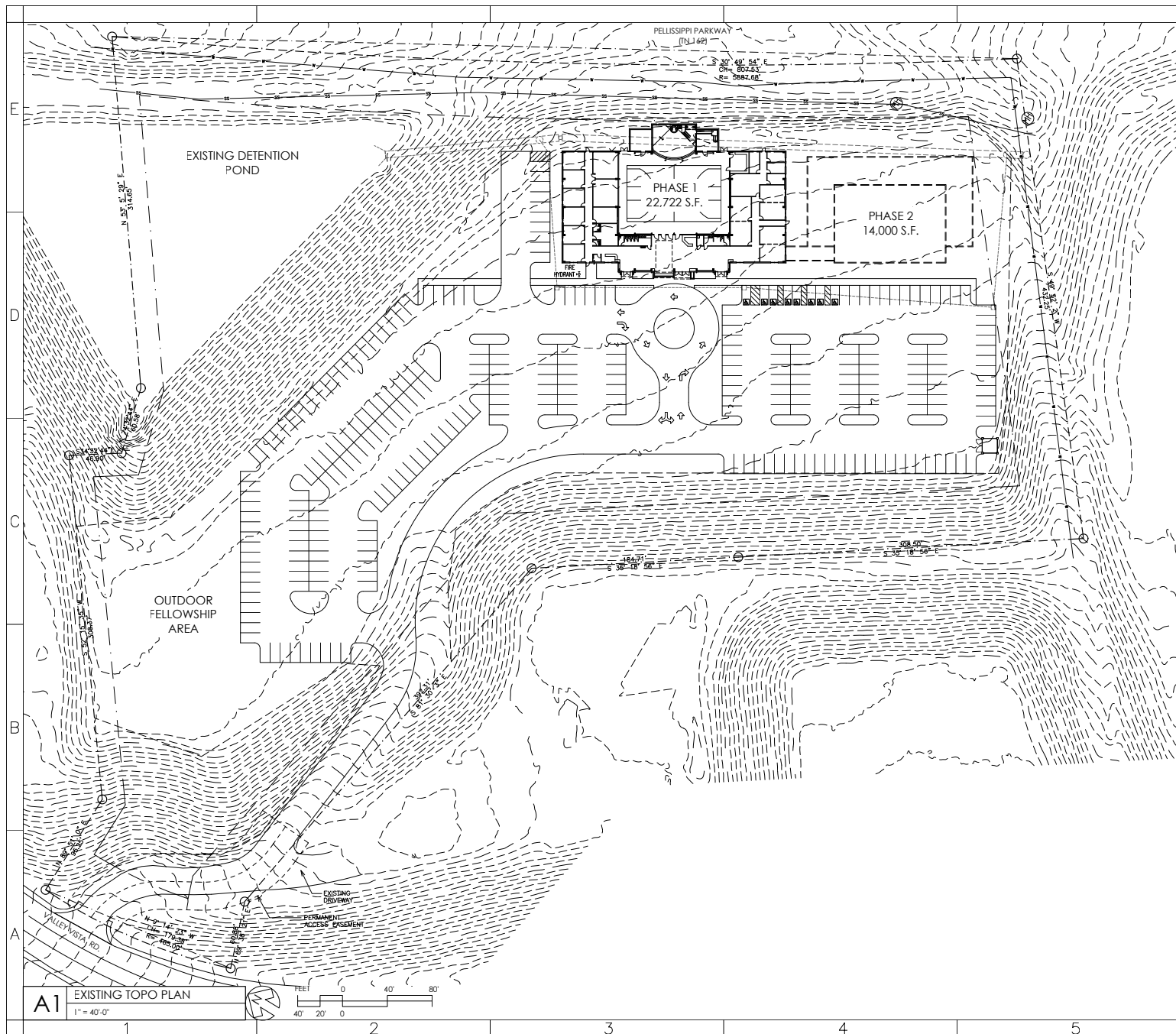
Purpose of Request: Building Permit - New Construction, Building Permit - Grading Plan

Original Print Date: 2/19/2021
Revised:
Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902

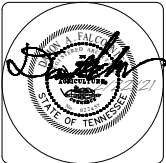
Petitioner: Immanuel Church

Map No: 103
Jurisdiction: County





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TTGDA CASE # 3-C-21-TOB
TENNESSEE TECHNOLOGY
CORRIDOR DEVELOPMENT
AUTHORITY &
VISTA DEL MONTE DESIGN
DEVELOPMENT GUIDELINES

WORSHIP CENTER

IMMANUEL CHURCH
VALLEY VISTA ROAD
KNOXVILLE, TN 37932

EXISTING
TOPOGRAPHICAL
PLAN

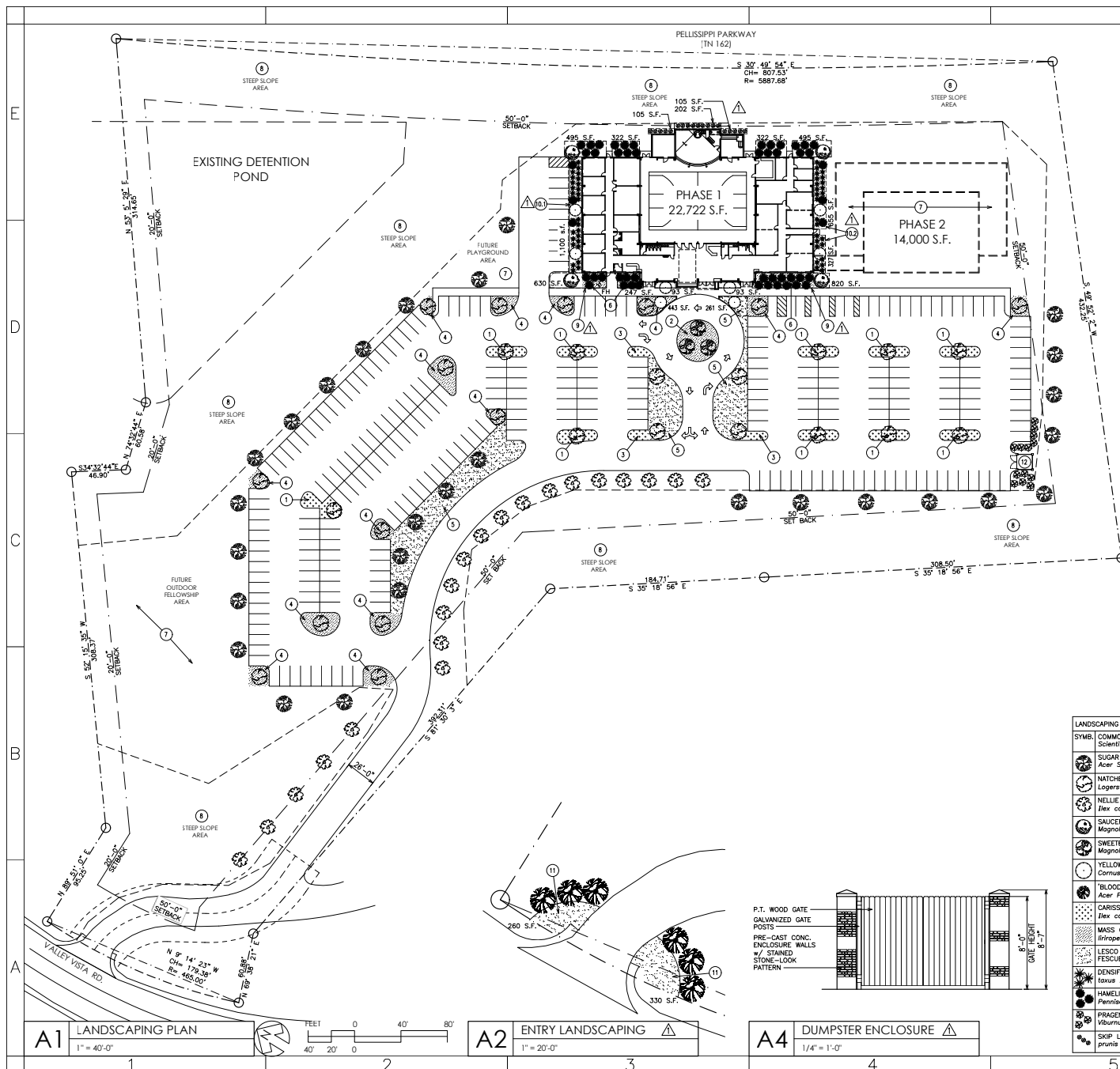
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CHECKED BY: DAF
ISSUED: 02/01/21
REVISION(S):
02/22/21

FILE: 2021-001

TOPOGRAPHY PREPARED BY:
RULGIUM-MACINDOE & ASSOCIATES, INC.
10330 HARDIN VALLEY ROAD - KNOXVILLE, TN - 37932
865-693-6419

C-105



LANDSCAPE PLAN NOTES:

1. TYPICAL ISLAND LANDSCAPING: 11 CARISSA HOLLY, TREES AS INDICATED.
2. "CIRCLE" WITH LIRIOPE, ±100, 4"
3. PARTIAL ISLAND, 8 CARISSA HOLLY.
4. LANDSCAPED PENINSULAS: LIRIOPE, 4" MATCH DENSITY OF "CIRCLE" SEE NOTE 2 ABOVE.
5. GRASS AREAS.
6. BEDS AT BUILDING: LIRIOPE, 4", MATCH DENSITY OF CIRCLE, SEE NOTES 2 ABOVE.
7. SEED AND STRAW "PHASE 2" AREA, "OUTDOOR FELLOWSHIP AREA" AND "FUTURE PLAYGROUND AREA" TO ACHIEVE UNIFORM DENSE LAWN.
8. STEEP SLOPE AREAS ARE EXISTING TO REMAIN. CLEAN OUT ANY UNDERSIRABLE WEED PLANTS AND STABILIZE AS REQUIRED.
9. FRONT ELEVATIONS HAVE 4,308 S.F. x 0.5 = 2,199 S.F. OF LANDSCAPING BEDS PROVIDED. FRONT: 2,587 > 2,199
10. SIDE ELEVATIONS HAVE 1,477 S.F. x 0.5 = 1,934
- 10.1. NORTH SIDE: 1100 > 739
- 10.2. SOUTH SIDE: 982 > 739
11. ENTRY AREAS WITH LIRIOPE, 4", MATCH DENSITY OF "CIRCLE" SEE NOTE 2 ABOVE.
12. PRE-CAST CONCRETE STONE-LOOK DUMPSTER ENCLOSURE w/ WOOD GATE. SEE A4 THIS SHEET.
13. PARKING AREA PLANTINGS:
- 13.1. PARKING AREA TOTAL: 123,719 S.F.
- 13.2. 5% OF PARKING AREA: 6,186 S.F.
- 13.3. TOTAL LANDSCAPING PLANTING BED AREAS:
- 13.3.1. BUILDING AREAS: 4,808
- 13.3.2. ENTRANCE AREAS: 590
- 13.3.3. PARKING AREAS: 15,602

LANDSCAPING GENERAL NOTES:

1. PROPERTY LINES ARE BASED ON SURVEY PROVIDED BY OWNER. SEE CIVIL DRAWINGS FOR METES AND BOUNDS.
2. TOTAL SITE AREA IS 10.55 ACRES.
3. SITE IS GOVERNED BY THREE OVERLAPPING SETS OF GUIDELINES. THE MOST STRINGENT IN EACH CASE SHALL GOVERN:
- 3.1. KNOX COUNTY ZONING ORDINANCE
- 3.2. TENNESSEE TECHNOLOGY CORRIDOR DEVELOPMENT AUTHORITY
- 3.3. VISTA DEL MONTE DEVELOPMENT GUIDELINES
4. DEVELOPED AREA SHALL HAVE LANDSCAPING TO CONFORM TO ALL APPLICABLE CODES AND STANDARDS.
5. TREE AND PLANT SCHEDULES ARE INCLUDED IN THE LANDSCAPING DESIGN.
6. THERE ARE NO ENVIRONMENTALLY SENSITIVE AREAS WITHIN THE LIMITS OF DEVELOPMENT IN THIS SITE.
7. THERE IS TO BE NO CLEARING WITHIN THE REQUIRED LANDSCAPE BUFFER AREA. EXISTING TREES ARE NUMEROUS AND ARE ADEQUATE TO MEET LANDSCAPING BUFFER.
8. DETENTION POND MAINTENANCE PLAN:
- 8.1. AS DIRECTED BY DEVELOPMENT COVENANTS AND RESTRICTIONS, OTHERWISE:
- 8.1.1. BI-WEEKLY MOWING AND/OR TRIMMING WITH A STRING-LINE TRIMMER.
- 8.1.2. PRUNING AND SHAPING OF DECORATIVE PLANTS ON A MONTHLY BASIS OR AS PER ACCEPTED HORTICULTURAL PRACTICES.
9. WHERE REQUIRED: SLOPE STABILIZATION FOR SLOPES GREATER THAN 2 1/2:1, INCLUDING SEED MIX APPLICATION, GROUND SURFACE PREPARATION AND ANY REPEAT APPLICATIONS (IF NEEDED) MUST BE INSTALLED BY A PROFESSIONAL WHO IS FAMILIAR WITH THE PROPER MANNER IN WHICH THIS MUST BE COMPLETED IN ORDER TO PROVIDE THE BEST CHANGE OF SUCCESS.
10. FOR SLOPES STEEPER THAN 2 1/2:1 SLOPE STABILIZATION WILL BE REQUIRED TO BE INSTALLED IMMEDIATELY ONCE FINISHED GRADES ARE ACHIEVED.
11. PROVIDE DARK DARK MULCH AROUND PLANTS AS REQUIRED.

LANDSCAPING SCHEDULE & LEGEND

SYMB.	COMMON NAME Scientific Name	QUANTITY (APPROX)	HEIGHT AT MATURITY	EVERGREEN/ DECIDUOUS	REMARKS:
	SUGAR MAPLE <i>Acer Saccharum</i>	27	40'-50' LARGE	DECIDUOUS	
	NATCHEZ CREPE MYRTLE <i>Lagerstroemia indica 'Natchez'</i>	28	15'-20' MEDIUM	DECIDUOUS	
	NELLIE R. STEVENS HOLLY <i>Ilex cornuta 'Nellie R Stevens'</i>	20	20'-25' LARGE	EVERGREEN	
	SALICOID MAGNOLIA <i>Magnolia x soulangeana</i>	4	12'-15' SMALL	DECIDUOUS	
	SWEETBAY MAGNOLIA <i>Magnolia virginiana</i>	3	12'-15' MEDIUM	DECIDUOUS	
	YELLOW TWIG DOGWOOD <i>Cornus sericea 'Flaviramea'</i>	8	8'-10' SMALL	DECIDUOUS	
	"BLOODGOOD" JAPANESE MAPLE <i>Acer 'Palmatum' 'Bloodgood'</i>	6	8'-10' SMALL	DECIDUOUS	
	CARISSA HOLLY <i>Ilex cornuta 'carissa'</i>	±115	N/A	EVERGREEN	EXACT QUANTITY DETERMINED IN FIELD. SEE LANDSCAPE NOTE 1
	MASS OF LIRIOPE: 4" <i>Liriope muscarifolia 'Big Blue'</i>	AS REQ'D	N/A	EVERGREEN	EXACT QUANTITY DETERMINED IN FIELD. SEE LANDSCAPE PLAN NOTE 2.
	LESCO "TRANSITION BEND" TALL FESCUE <i>Festuca arundinacea</i>	5 lbs/ 1000 S.F.	N/A	N/A	SEE LANDSCAPE PLAN NOTE 7.
	DENSIFORMIS YEW <i>Taxus x media 'densiformis'</i>	66	N/A	EVERGREEN	
	HA MELIN DWARF FOUNTAIN GRASS <i>Pennisetum alopecuroides 'Hamelin'</i>	62	N/A	DECIDUOUS	
	PRAGNENSE VIBURNUM <i>Viburnum x pragnense</i>	13	N/A	EVERGREEN	
	SKIP LAUREL <i>Prunella laurocerasus</i>	19	N/A	EVERGREEN	

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TENNESSEE TECHNOLOGY
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KNOX PLANNING
3-E-21-UR Immanuel
Church

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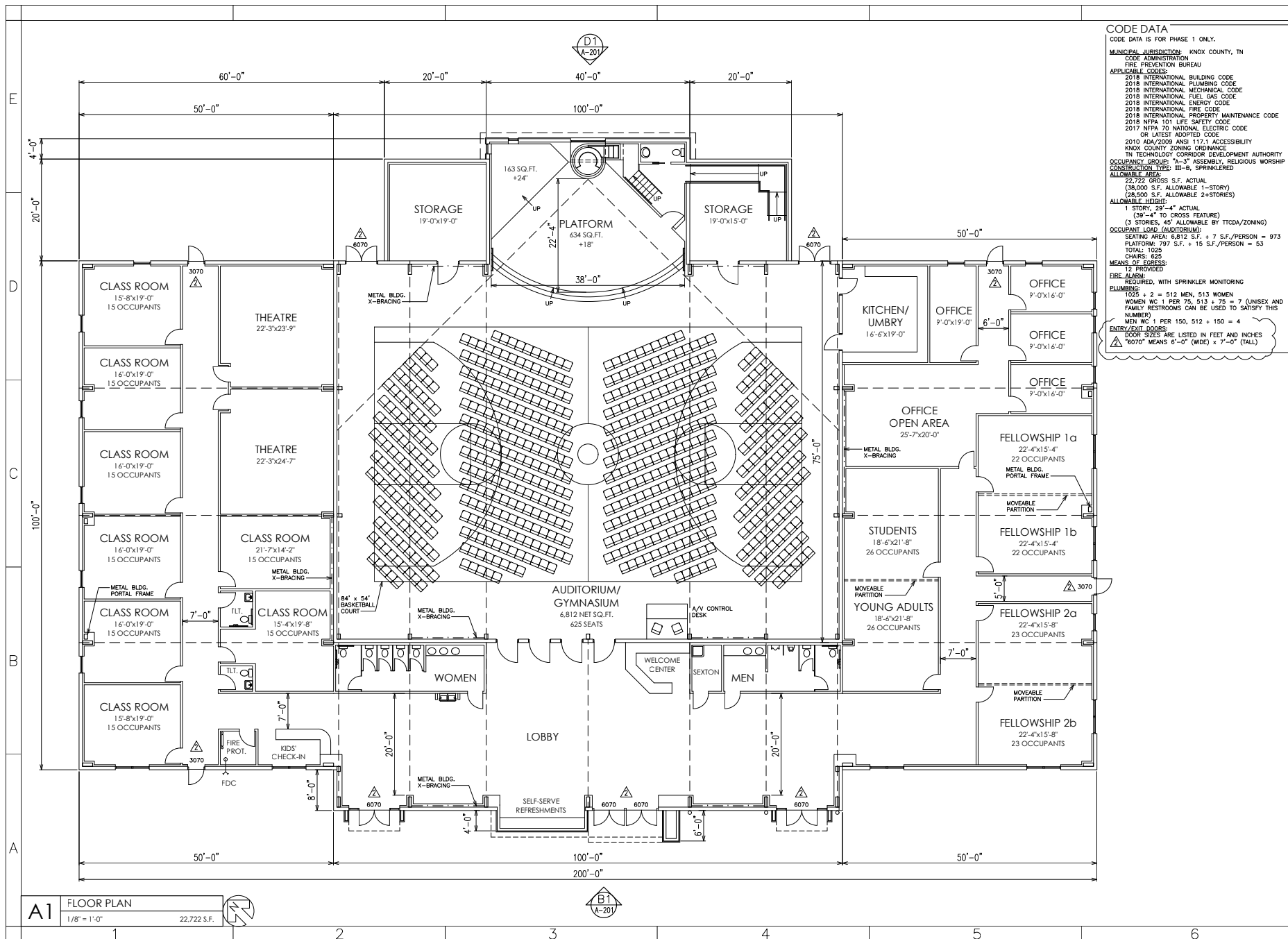
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LANDSCAPING
PLAN

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FILE:	2021-001

C-110



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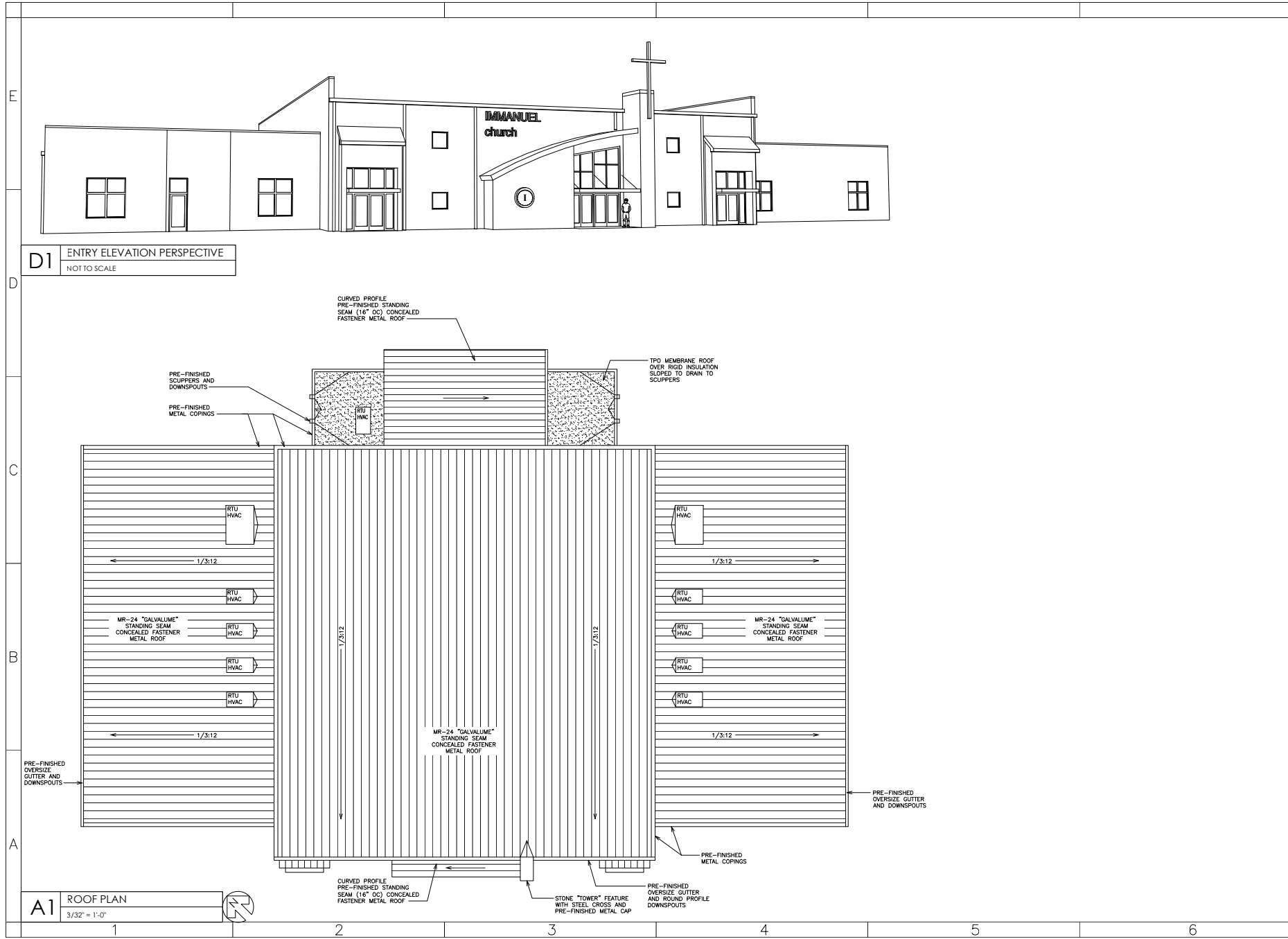
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PHASE 1
 FLOOR PLAN

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A-101



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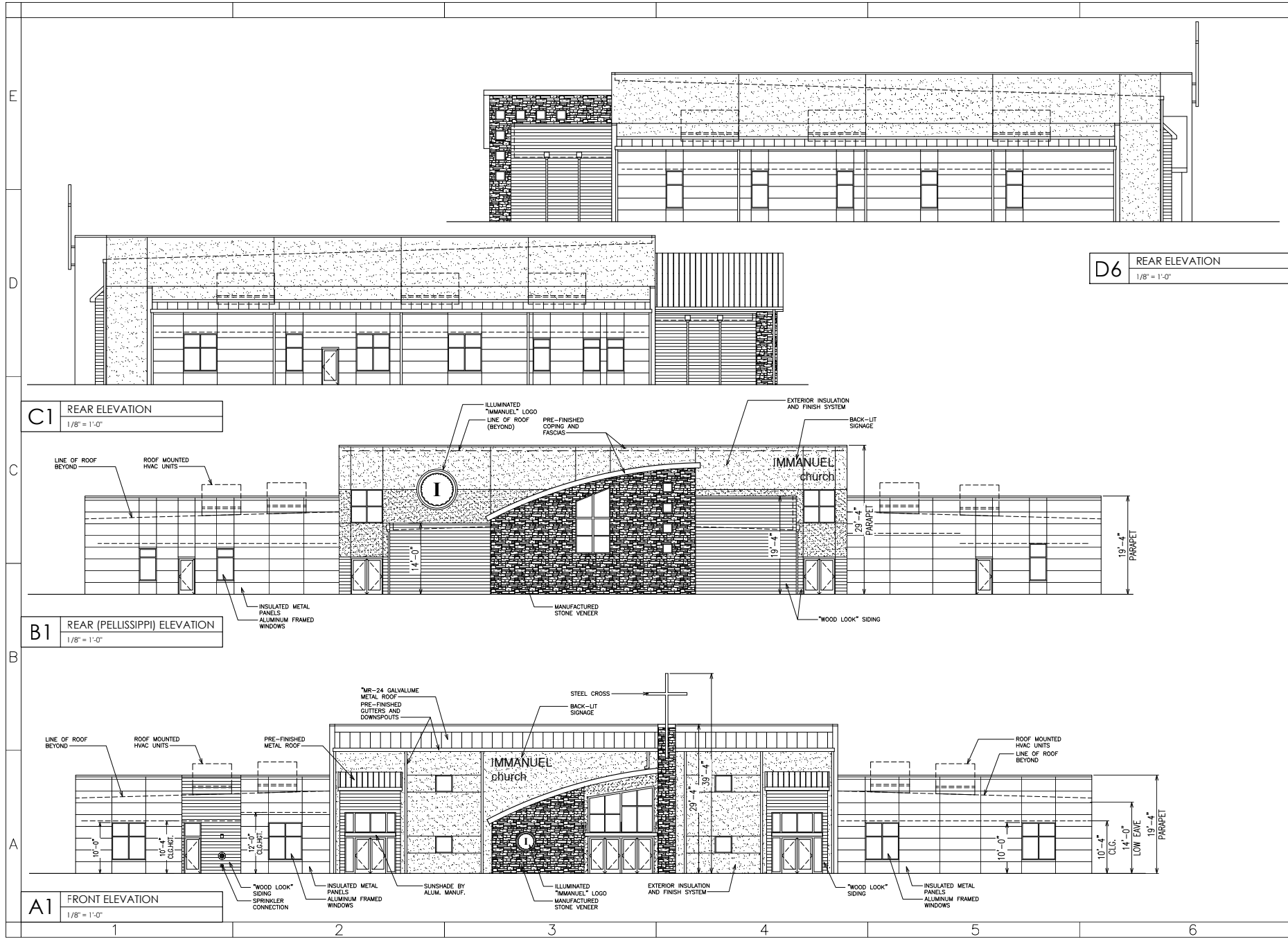
**PHASE 1
PERSPECTIVE &
ROOF PLAN**

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A-102



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STATE OF TENNESSEE

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PHASE 1
ELEVATIONS

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FILE:	2021-001

A-201



CERTIFICATE OF APPROPRIATENESS

Name of Applicant: Falconnier Design Co.

Date Filed: 02/01/21 Fee Paid: \$400 File Number: 3-C-21-TOB

Map Number: 103 12011 Zoning District: PC/TO

Jurisdiction: ☐ City _____ Councilmanic District ☒ County 6 Commission District

PROPERTY INFORMATION

ADDRESS: Valley Vista Road (street number not yet assigned)

STREET NUMBER AND NAME

GENERAL LOCATION: Halfway between Hardin Valley Rd. and Carmichael Rd, across from Greystone Apartments

PARCEL NUMBER(S): 103 12011

SIZE OF TRACT: 10.55 ☒ ACRES ☐ SQUARE FEET

PURPOSE OF REQUEST

☒ BUILDING PERMIT — New Construction

☐ BUILDING PERMIT — Expansion or Renovation

☒ BUILDING PERMIT — Grading Plan

☐ REZONING

From: _____

To: _____

☐ SIGNAGE

☐ ZONING VARIANCE — (Describe and give reason)

NOTE: Four (4) copies of all plan materials are required to process the application. Please check all that apply:

☒ DEVELOPMENT PLAN

☒ BUILDING ELEVATIONS

☒ FLOOR PLAN

☒ LANDSCAPE PLAN WITH SCHEDULE

☐ SIGNAGE PLAN

☒ OFF-STREET PARKING PLAN

☐ OTHER:

APPLICATION CORRESPONDENCE — All correspondence relating to this application should be sent to:

PLEASE PRINT

Name: Falconnier Design Co. Phone: 865-584-7868 Fax: 865-584-3139

Mailing Address: 4622 Chambliss Avenue - Knoxville, TN - 37919

APPLICATION AUTHORIZATION — I hereby certify that I am the authorized applicant, representing ALL property owners involved in this request or holders of option on same, whose signatures are included on the back of this form.

Signature: _____

PLEASE PRINT

Name: Damon A. Falconnier, NCARB Phone: 865-584-7868 Fax: 865-584-3139

Mailing Address: 4622 Chambliss Avenue - Knoxville, TN - 37919

APPLICATION ACCEPTANCE — Staff Member who accepted this application:

SIGNATURES OF ALL PROPERTY OWNERS INVOLVED OR HOLDERS OF OPTION ON SAME MUST BE LISTED BELOW:

(Please sign in black or blue ink)

NAME

Complete Mailing Address

Owner Option


JARED RABY

1701 WAISIDE RD KNOXVILLE, TN 37931