

Applicant: 875 CORNERSTONE MULTIFAMILY DEVELOPMENT**Request:** BUILDING PERMIT**Meeting Date:** 3/8/2021**Address:** 875 Cornerstone Dr.**Map/Parcel Number:** 131 069**Location:** West of Pellissippi Parkway on the northeast side of Cornerstone Road, the northwest side of Murdock Drive, and the east side of Lovell Road**Existing Zoning:** OB (Office, Medical, and Related Services) / TO (Technology Overlay)**Proposed Zoning:** N/A**Existing Land Use:** Soccer fields and vacant land**Proposed Land Use:** Apartment complex**Appx. Size of Tract:** 12.35 acres**Accessibility:** Access would be off of Murdock Dr., a minor arterial with a pavement width of 43.5 feet within a right-of-way width of 88 feet, or off of Cornerstone Dr., a local street with a pavement width of 39.2 feet within a right-of-way width of 50 feet.**Surrounding Zoning and Land Uses:** North: Soccer fields - OB (Office, Medical, and Related Services) / TO (Technology Overlay)

South: Undeveloped land - CB (Business and Manufacturing) / TO (Technology Overlay)

East: Office building - PC (Planned Commercial) / TO (Technology Overlay)

West: Office building - CB (Business and Manufacturing) / TO (Technology Overlay)

Comments:

- 1) The applicant is requesting approval of a multi-family development on 12.35 acres of an approximately 23-acre tract located on the north side of Cornerstone Drive between Lovell Road and Murdock Drive, generally west of Pellissippi Parkway. The site is currently home to US Cellular soccer fields, but the apartment complex is proposed for the southeast half of the site.
- 2) The development consists of 216 dwelling units distributed between 9 buildings. 216 dwelling units over 12.35 acres yields a density of 17.49 du/ac.
- 3) Apartment buildings are to be three stories and will be located around the perimeter of the site and in the middle surrounding the clubhouse and pool area. There will be a total of 72 one-bedroom units and 144 two- or three-bedroom units. An amenity area including a clubhouse and pool area is centrally located within the complex. A dog park is proposed for the northwest corner of the site next to the soccer fields. A dumpster enclosure is proposed on the west side of the site.
- 4) The development will also require review and approval by the Planning Commission, and is scheduled to be heard on the March 11, 2021 Planning Commission agenda.
- 5) The property was rezoned to OB (Office, Medical, and Related Services) / TO (Technology Overlay) by Knox County Commission on December 21, 2020. The OB zoning district allows multi-dwelling development with a density less than 24 du/ac as a use on review.
- 6) The property has frontage on Cornerstone Drive and Murdock Drive, and has access from both roads. Murdock Drive is a minor arterial that becomes Dutchtown Road and has direct access to Pellissippi Parkway approximately ¾ mile to the northeast.
- 7) Canon & Canon prepared a Traffic Impact Study (TIS) for Cornerstone Apartments, the last revision of which was on February 24, 2021. The following improvements are recommended to

be implemented with the construction of this project:

- a. Install stop signs on site at the access approaches to Cornerstone Drive and Murdock Drive.
 - b. At the intersection of Cornerstone Drive at Murdock Drive, shorten the existing westbound right-turn lane storage from 250' to 150' and shorten the existing right-turn lane taper from 200' to 150' to allow for the proposed site access along Murdock Drive to be installed outside of the existing right-turn lane taper.
 - c. Maintain intersection corner sight distances on the site driveways by ensuring that new site signage and landscaping is appropriately located.
- 8) The proposed parking for the development falls within the minimum and maximum number of spaces allowed by the Design Guidelines and those required by Knox County. The parking contains 329 surface parking spaces including 21 garage spaces.
- 9) Sidewalks are provided throughout the site and will connect with the existing sidewalk along Cornerstone Drive. The existing sidewalk along Murdock Drive will be replaced with a new sidewalk that parallels the street and allows the curb cut at the entry.
- 10) Ground Area Coverage (GAC), Impervious Area Ratio (IAR), and Floor Area Ratio (FAR) calculations comply with the Design Guidelines.
- 11) The proposed lighting includes 30-ft tall light poles at intervals along the interior sidewalks and near building entries.
- 12) Two waivers are being requested for the lighting plan:
- a. Waiver of Section 1.8.5(c) requirements to allow 1.5 footcandles (fc) along sidewalks to minimize trip hazards and provide additional security versus the 1.0 fc allowed by the TTCDA Guidelines.
 - b. A waiver of Section 1.8.5(c) requirements to allow 1.7 fc at both the Cornerstone Drive and Murdock Drive entrances to increase safety and security versus the 0.5 fc allowed by the TTCDA Guidelines for driveways and streets within developments.
- 13) The apartment building materials will be a combination of cultured stone veneer and fiber cement vertical siding. The main structures will feature an asphalt shingle roof, and the smaller roofs will feature standing seam metal roofs to add architectural interest and variety. Windows in the stone veneer will have a stone header. The final colors have not been selected yet. There are two options shown in the plans, and both are subdued.
- 14) Sidewalks are provided throughout the site and will connect with the existing sidewalk along Cornerstone Drive. The existing sidewalk along Murdock Drive will be replaced with a new sidewalk that parallels the street and allows the curb cut at the entry.
- 15) The proposed landscape plan is in compliance with the Design Guidelines.
- 16) No signage is proposed at this time. Should signage be desired, it should be submitted in a separate application at a future time.

Design Guideline Conformity:	With the recommended conditions and approval of the requested waivers, this request complies with the TTCDA Design Guidelines
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Waivers and Variances Requested:	1) Waiver to allow 1.5 footcandles (fc) along sidewalks. 2) Waiver to allow 1.7 fc at both the Cornerstone Drive and Murdock Drive entrances.
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Staff Recommendation:

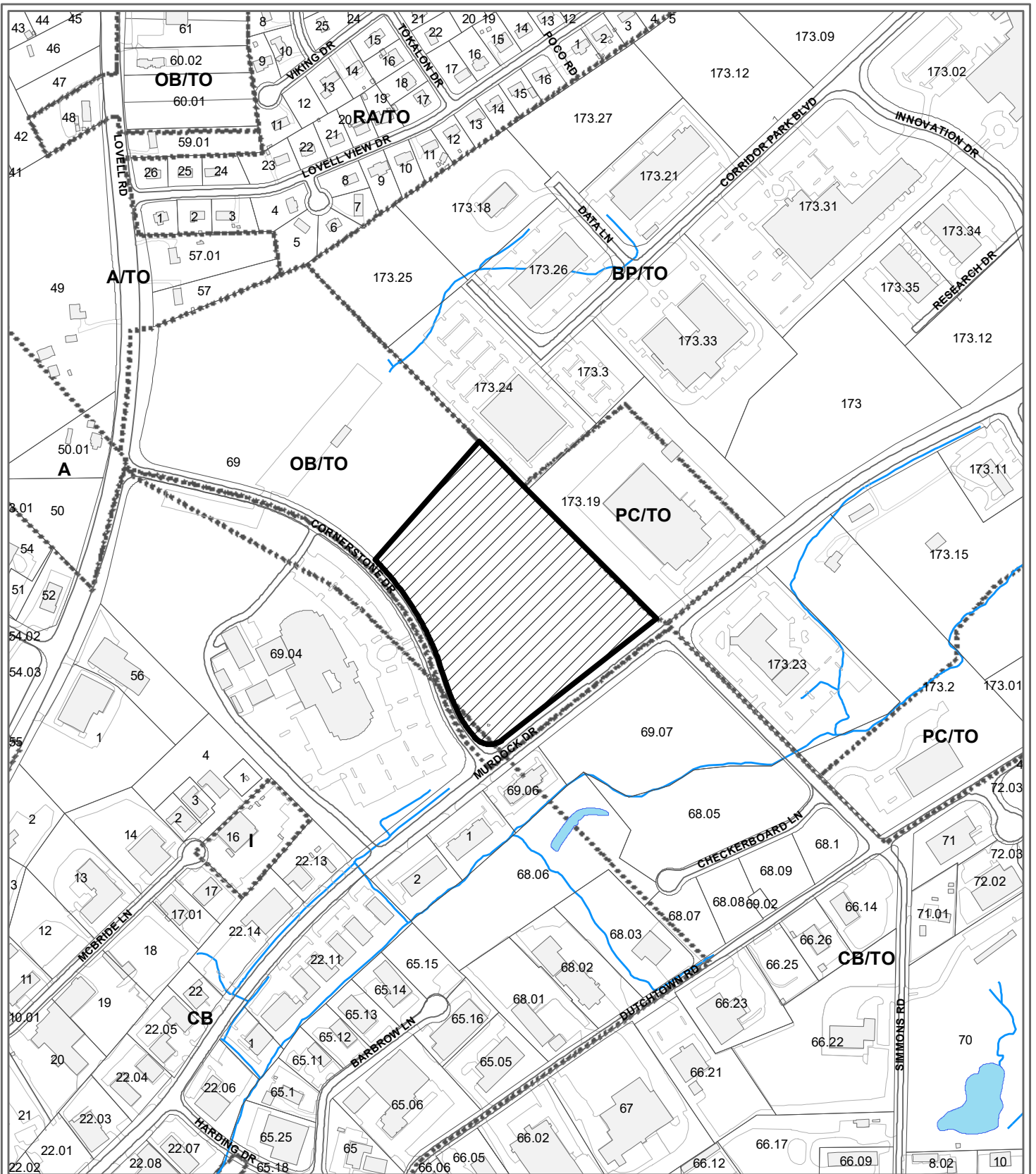
Based on the application and plans as submitted and revised, Staff recommends the following actions on the required waivers from the Design Guidelines:

- 1) Approve the waiver for to allow 1.5 footcandles (fc) along sidewalks to minimize trip hazards and provide additional security.
- 2) Approve the waiver for lighting to allow 1.7 fc at both the Cornerstone Drive entrance and Murdock Drive entrance to provide additional security and safety.

Based on the application and plans as submitted and revised, Staff recommends APPROVAL of this request for a Certificate of Appropriateness for a building permit, subject to the following conditions:

- 1) Obtaining approval from the Planning Commission for the proposed development as a use on review.

- 2) Connecting the development to sanitary sewer, as well as meeting other applicable requirements of the Knox County Health Department.
- 3) Provision of street names which are consistent with the Uniform Street Naming and Addressing system Ordinance (Ord. 91-1-102).
- 4) Installing all landscaping, as shown on the landscape plan, within six months of issuance of occupancy permits for the project, or posting a bond with the Knox County Department of Engineering and Public Works, to guarantee such installation.
- 5) Implementation of the street and intersection improvements and recommendations outlined in the Traffic Impact Study prepared by Canon & Canon and approved by the Knox County Department of Engineering and Public Works and Planning staff. The design details and timing of the installation of the improvements shall be worked out with the Knox County Department of Engineering and Public Works during the design plan stage for the subdivision.
- 6) Installation of all sidewalks as identified on the concept plan or posting a bond with the Knox County Department of Engineering and Public Works in an amount sufficient to guarantee such installation. Sidewalks shall meet all applicable requirements of the Americans with Disabilities Act (ADA) and the Knox County Department of Engineering and Public Works.
- 7) Meeting all applicable requirements of the Knox County Department of Engineering and Public Works.
- 8) Meeting all applicable requirements of the Knox County Zoning Ordinance.
- 9) Review and approval by the Knox County Fire Marshal's Office.



**3-A-21-TOB
CERTIFICATE OF APPROPRIATENESS**



Purpose of Request: Building Permit - New Construction, Building Permit
- Grading Plan, Signage

Original Print Date: 2/19/2021 Revised:
Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902

Petitioner: 875 Cornerstone Multifamily
Development

Map No: 131
Jurisdiction: County





Michelle Portier <michelle.portier@knoxplanning.org>

TTCDA 875 Cornerstone Drive Site Lighting Waiver Request

Alan Grissom <agrissom@cannon-cannon.com>
To: Michelle Portier <michelle.portier@knoxplanning.org>

Fri, Jan 29, 2021 at 11:53 AM

Mrs. Portier,

Site Lighting: A waiver is requested for Section 1.8.5(c), maximum intensity of lighting for paths and sidewalks. Due to the placement of parking lot light poles, the resulting maximum lighting intensity on portions of sidewalks near each parking lot light is 1.5 footcandles. The maximum intensity of lighting allowed by TTCDA for paths and sidewalks is 1.0 footcandles. The increase in lighting to these areas will provide additional light on pedestrian pathways to minimize trip hazards as well as additional security.

Thank you for considering the request. Let me know if you have any questions or comments.

Regards,

ALAN GRISSOM, P.E.
PROJECT MANAGER



MAIN 865.670.8555
DIRECT 865.770.4009
EMAIL agrissom@cannon-cannon.com

Cannon & Cannon, Inc.
[8550 Kingston Pike](#)
Knoxville, Tennessee 37919
www.cannon-cannon.com
enhancing community life by design



Michelle Portier <michelle.portier@knoxplanning.org>

TTCDA 875 Cornerstone Drive Site Lighting Waiver Request - Driveway entrances

Alan Grissom <agrissom@cannon-cannon.com>
To: Michelle Portier <michelle.portier@knoxplanning.org>

Mon, Feb 22, 2021 at 11:31 AM

Mrs. Portier,

Site Lighting: A waiver is requested for Section 1.8.5(c), for the lighting to exceed 0.5 fc at the entry driveways into the site. I request the maximum to be 1.7 fc max at both the Cornerstone Drive entrance and Murdock Drive entrance.

Thank you for considering the request. Let me know if you have any questions or comments.

Regards,

ALAN GRISSOM, P.E.
PROJECT MANAGER



MAIN 865.670.8555
DIRECT 865.770.4009
EMAIL agrissom@cannon-cannon.com

Cannon & Cannon, Inc.
[8550 Kingston Pike](#)
Knoxville, Tennessee 37919
www.cannon-cannon.com
enhancing community life by design

CORRIDOR PARK
#200403101676
1101 KNOXVILLE REALTY
#201508170010547

PROPOSED
PAVILION

PROPOSED
RETAINING WALL
WITH RAIL ON TOP

EF KNOXVILLE, LLC
#200712170047275

GRID NORTH
NAD 83 (1995)
NAVD 88

SCALE: 1" = 40'
COORDINATES HAVE BEEN DATUM
ADJUSTED BY A SCALE FACTOR 1.0001

PROPOSED DEVELOPMENT

MULTI-FAMILY RESIDENTIAL:
TOTAL UNITS 216 UNITS
TOTAL ACREAGE 12.35 AC.
UNITS PER ACRE 17.5 UNITS/AC.

PARKING TABLE

REQUIRED:
1 1/2 SPACES/UNIT FOR THE FIRST 20 UNITS
1 BEDROOM UNITS: 72 UNITS
1 1/2 SPACES/UNIT FOR THE FIRST 20 UNITS
1 1/2 x 20 UNITS = 30 SPACES
PLUS 1 SPACE/UNIT IN EXCESS OF 20 UNITS
1 x 52 UNITS = 52 SPACES
2 OR MORE BEDROOM UNITS: 144 UNITS
1 1/2 SPACES/UNIT IN EXCESS OF 20 UNITS
1 1/2 x 144 = 216 SPACES
TOTAL SPACES REQUIRED:
30 + 52 + 216 = 298
TOTAL SPACES PROVIDED:
329 SPACES
TOTAL STANDARD SPACES 298 SPACES
TOTAL ACCESSIBLE SPACES 20 SPACES
REQUIRED (301-400) 6 STANDARD + 2 VAN = 8 TOTAL
GARAGE SPACES 21 SPACES
TTODA MAXIMUM SPACES ALLOWED: 521 SPACES
175% MINIMUM REQUIRED SPACES

TTODA DEVELOPMENT INTENSITY GUIDELINES

GROUND AREA COVERAGE (GAC): 20%
GAC=GROSS BUILDING AREA / GROSS LOT AREA
2.48 AC/12.35 AC=0.20
REQUIRED: GAC NOT TO EXCEED 25%
FLOOR AREA RATIO (FAR): 55%
FAR=GROSS FLOOR AREA / GROSS LOT AREA
6.81 AC/12.35 AC=0.56
REQUIRED: FAR NOT TO EXCEED 30%
IMPERVIOUS AREA RATIO (IAR): 52%
IAR=GROSS IMPERVIOUS AREA / GROSS LOT AREA
6.41 AC/12.35 AC=0.52
REQUIRED: IAR NOT TO EXCEED 70%

PROPOSED TRAFFIC IMPROVEMENTS

1. INSTALL STOP SIGNS AT THE SITE ACCESS LOCATIONS ON THE SITE ACCESS APPROACHES TO CORNERSTONE DRIVE AND MURDOCK DRIVE.
2. AT THE INTERSECTION OF CORNERSTONE DRIVE AT MURDOCK DRIVE, SHORTEN THE EXISTING WESTBOUND RIGHT-TURN LANE STORAGE FROM 250' TO 150' AND SHORTEN THE EXISTING RIGHT-TURN LANE TAPER FROM 200' TO 150' TO ALLOW FOR THE PROPOSED SITE ACCESS ALONG MURDOCK DRIVE TO BE INSTALLED OUTSIDE OF THE EXISTING RIGHT-TURN LANE TAPER.

MURDOCK PC
BUSINESS PJ
#2005082101028
FORT PROPERTIES
#2017072500052

NOTES:

1. THE BOUNDARY AND TOPOGRAPHIC DATA SHOWN WAS PROVIDED BY CANNON & CANNON, INC. DATED 10/26/2020.
2. UNLESS NOTED OTHERWISE, DIMENSIONS ARE TAKEN FROM OUTSIDE FACE OF BUILDING AND/OR FACE OF CURB.
3. THE MINERAL AGGREGATE BASE AND ASPHALTIC SURFACE COURSES SHALL MEET THE MATERIALS, EQUIPMENT, CONSTRUCTION, AND TESTING REQUIREMENTS OF THESE DRAWINGS AND KNOX COUNTY STANDARD SPECIFICATIONS. PROPERTY CONCERNED REFLECTS PARCEL 69 AS SHOWN ON KNOX COUNTY CLT TAX MAP NO. 131, ZONING FOR THE PROPERTY IS OH/170 "OFFICE, MEDICAL, AND RELATED SERVICES ZONE/TECHNOLOGY OVERLAY ZONE". TOTAL AREA IS 12.354 ACRES. THE TOTAL DISTURBED AREA IS APPROXIMATELY 12.8 ACRES.
5. TRAFFIC CONTROL DEVICES AND PAVEMENT MARKING SHALL CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATION "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
6. ALL SETBACKS SHALL BE IN ACCORDANCE WITH THE KNOX COUNTY ZONING ORDINANCE.
7. OWNER: USDC REAL ESTATE CORP. - UNITED STATES CELLULAR CORPORATION, ATTN: DAVID BRIGGS
P.O. BOX 31068, CHICAGO, IL 60631
8. FEMTER SLOPES SHALL BE LANDSCAPED AND ARE NOT TO EXCEED 2:1 (H:V) UNLESS PROPER STABILIZATION IS PROPOSED BY A GEOTECHNICAL ENGINEER.
9. PROPOSED LANDSCAPE SHALL COMPLY WITH KNOX COUNTY STANDARDS.

LEGEND

- PROPOSED ASPHALT PAVEMENT
PROPOSED CONCRETE SIDEWALK
PROPOSED CONCRETE PAVEMENT
EXIST. R.O.W.
BUILDING SETBACK LINE
EXIST. EASEMENT LINE
DETAIL REFERENCE (DETAIL NO./SHEET NO.)
NUMBER OF PARKING SPACES
COORDINATE POINT
ACCESSIBLE PARKING
ACCESSIBLE RAMP

UOR AND TTODA COMMENTS	02-22-2021	
UOR AND TTODA COMMENTS	02-25-2021	
REVISIONS	DATE	
CLIENT:	BERKLEY HALL COMPANIES 500 D STREET GREENSBORO, NORTH CAROLINA 27405 (336)551 9413	
PROJECT:	875 CORNERSTONE MULTI-FAMILY 875 CORNERSTONE DRIVE KNOXVILLE, TENNESSEE 37932	
SITE LAYOUT PLAN		
CGI PROJECT NO.	01554-0000	
DRAWING DATE	FEBRUARY 25, 2021	
PH	AWG	PC
DRAWN	CHK	CHECKED
UOR1.01		

NOT FOR CONSTRUCTION

CORRIDOR PARK
#200408310018676
1101 KNOXVILLE REALTY
#201508170010547

EF KNOXVILLE, LLC
#200712170047275

GRID NORTH
NAD 83 (1995)
NAD 88
SCALE: 1" = 40'
COORDINATES HAVE BEEN DATUM
ADJUSTED BY A SCALE FACTOR 1.0001

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3. THE MINERAL AGGREGATE BASE AND ASPHALTIC SURFACE COURSES SHALL MEET THE MATERIALS, EQUIPMENT, CONSTRUCTION, AND TESTING REQUIREMENTS OF THESE DRAWINGS AND KNOX COUNTY STANDARD SPECIFICATIONS. PROPERTY CONCERNED REFLECTS PARCEL 69 AS SHOWN ON KNOX COUNTY CLT TAX MAP NO. 131, ZONING FOR THE PROPERTY IS CM/TO "OFFICE, MEDICAL, AND RELATED SERVICES ZONE/TECHNOLOGY OVERLAY ZONE". TOTAL AREA IS 12.354 ACRES. THE TOTAL DISTURBED AREA IS APPROXIMATELY 124 ACRES.
4. TRAFFIC CONTROL DEVICES AND PAVEMENT MARKING SHALL CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATION "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
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7. FEMTER SLOPES SHALL BE LANDSCAPED AND ARE NOT TO EXCEED 2:1 (H:V) UNLESS PROPER STABILIZATION IS PROPOSED BY A GEOTECHNICAL ENGINEER.
8. PROPOSED LANDSCAPE SHALL COMPLY WITH KNOX COUNTY STANDARDS.
9. REFER TO SHEET C0.02 FOR HORIZONTAL CONTROL INFORMATION.

LEGEND

- PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE SIDEWALK
- CONCRETE PAVEMENT
- PROPOSED LIGHT DUTY ASPHALT PAVEMENT
- EXIST. R.O.W.
- BUILDING SETBACK LINE
- EXIST. EASEMENT LINE
- DETAIL REFERENCE (DETAIL NO./SHEET NO.)
- NUMBER OF PARKING SPACES
- COORDINATE POINT
- ACCESSIBLE PARKING
- ACCESSIBLE RAMP

MURDOCK ROAD BUSINESS PARK
BUSH JENNINGS PROPERTIES, GP
#201905240002889

MURDOCK DRIVE
(62' PUBLIC R/W)

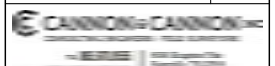
FIRE TRUCK TURN
MANEUVER
FIRE TRUCK TYP.

CORNERSTONE DRIVE
(60' PUBLIC R/W)

MURDOCK ROAD
BUSINESS PARK
#200506210102889
FORT PROPERTIES V, LLC
#201707250005505

UOR AND TCEA COMMENTS	02-22-2021
UOR AND TCEA COMMENTS	02-25-2021


REVISIONS DATE



CLIENT: **BERKLEY HALL COMPANIES**
500 D STREET
GREENSBORO, NORTH CAROLINA 27405
(336)511 9413

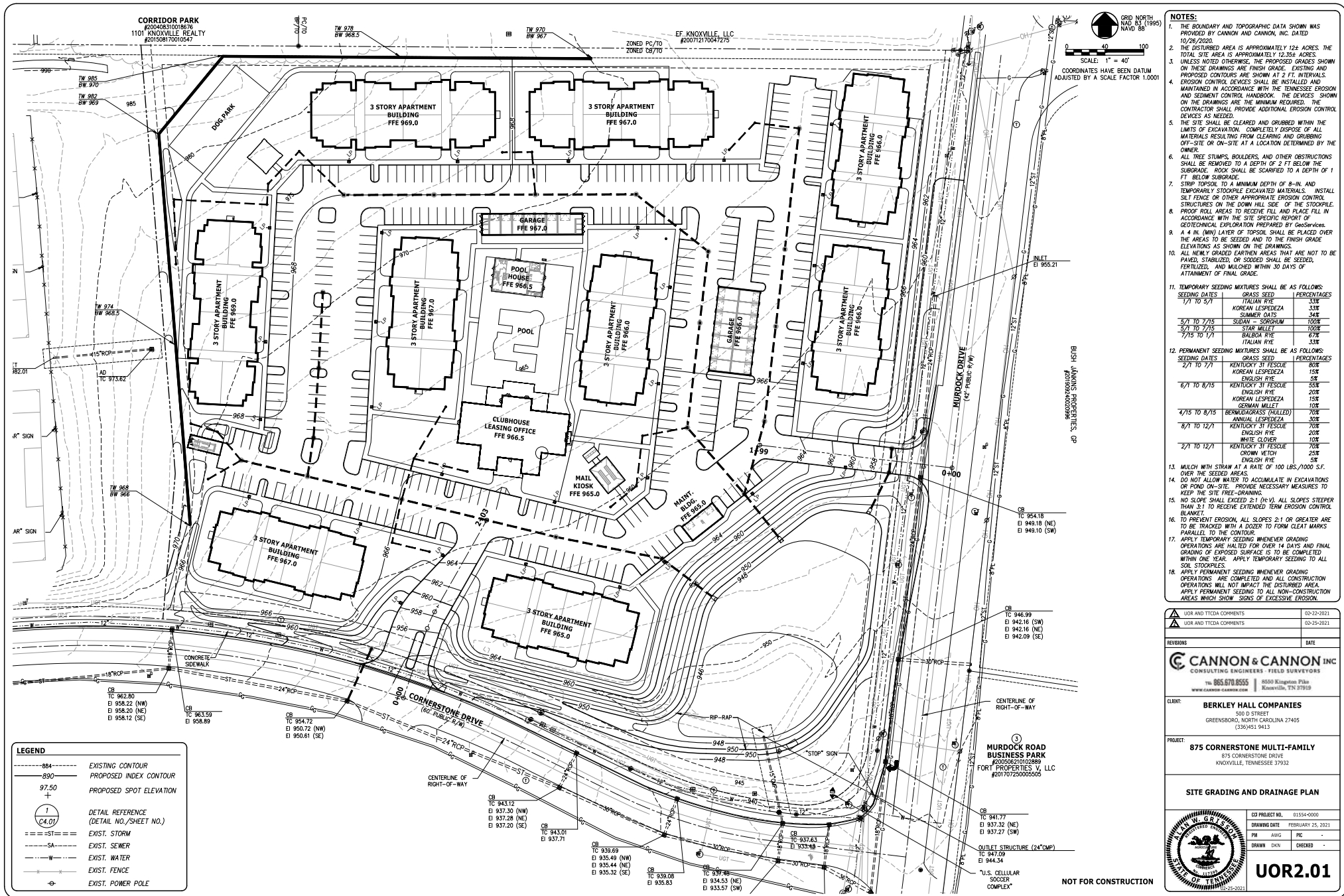
PROJECT: **875 CORNERSTONE MULTI-FAMILY**
875 CORNERSTONE DRIVE
KNOXVILLE, TENNESSEE 37932

TRUCK TURN PLAN

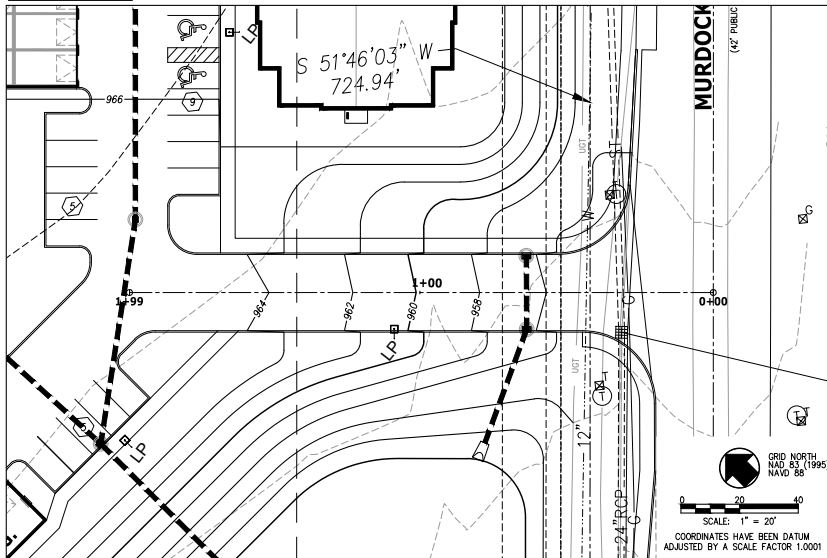
 ALAN W. GRISOM REGISTERED ENGINEER AMERICAN CONSULTING NO. 517259 STATE OF TENNESSEE 25-2021	CGI PROJECT NO. 01554-0000			
	DRAWING DATE FEBRUARY 25, 2021			
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	DRAWN	DKN	CHECKED	-
	UOR1.02			

UOR1.02

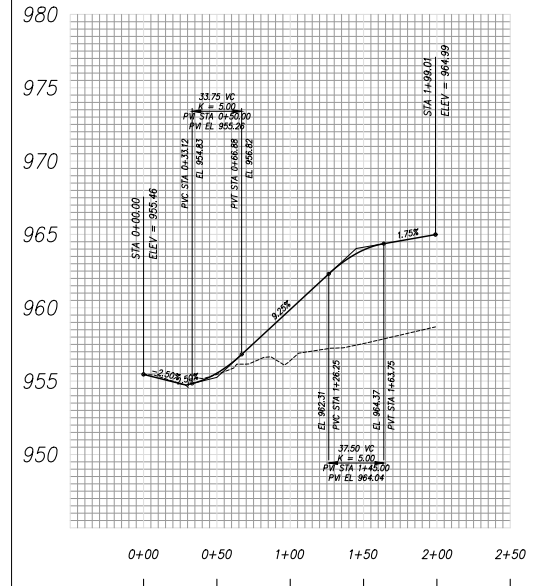
NOT FOR CONSTRUCTION



DRIVEWAY OFF MURDOCK DRIVE

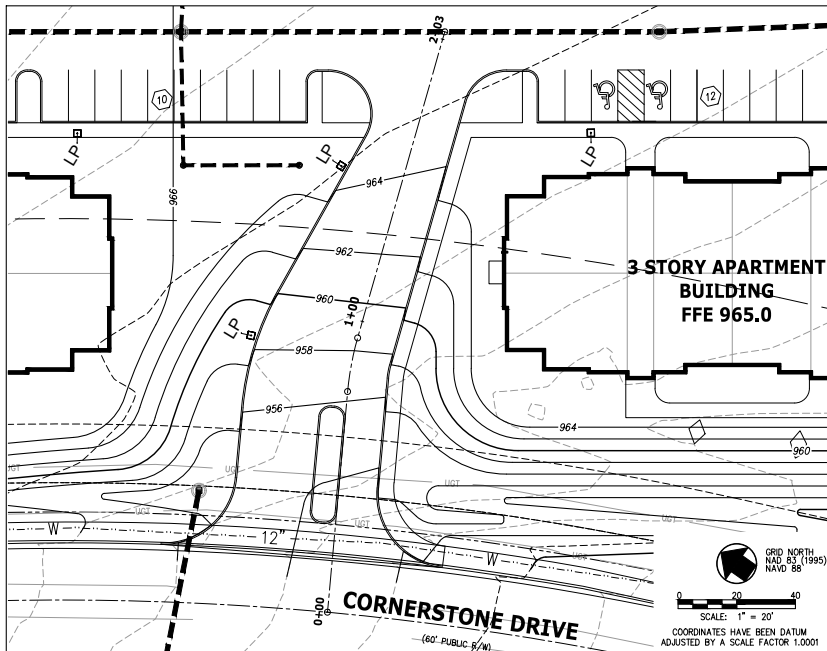


MURDOCK DRIVE CONNECTOR PROFILE

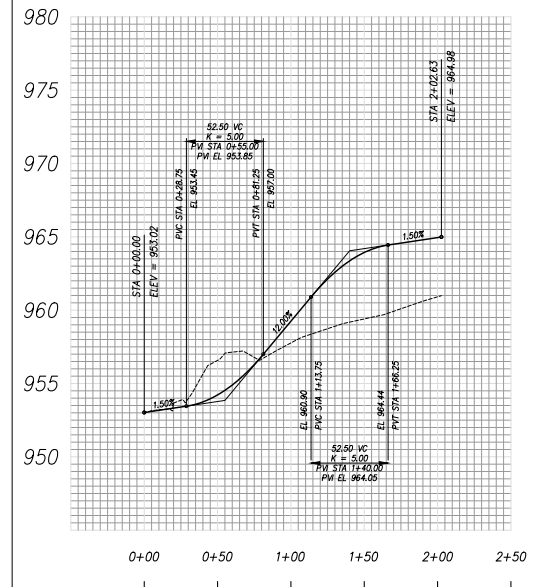


NOTES:
1. REFER TO SHEET C2.01 FOR GENERAL NOTES AND GRADING PLAN.

DRIVEWAY OFF CORNERSTONE DRIVE



CORNERSTONE DRIVE CONNECTOR PROFILE



UOR AND TDCOA COMMENTS		02-22-2021	
UOR AND TDCOA COMMENTS		02-25-2021	
REVISIONS		DATE	
CLIENT:	BERKLEY HALL COMPANIES 500 D STREET GREENSBORO, NORTH CAROLINA 27405 (336)551 9413		
PROJECT:	875 CORNERSTONE MULTI-FAMILY 875 CORNERSTONE DRIVE KNOXVILLE, TENNESSEE 37932		
DRIVEWAY PROFILES			
	CD PROJECT NO.	01554-0000	
	DRAWING DATE	FEBRUARY 25, 2021	
	PH	AWG	PC
	DRAWN	CHKD	CHECKED
<p>UOR3.01</p> <p>02-25-2021</p>			

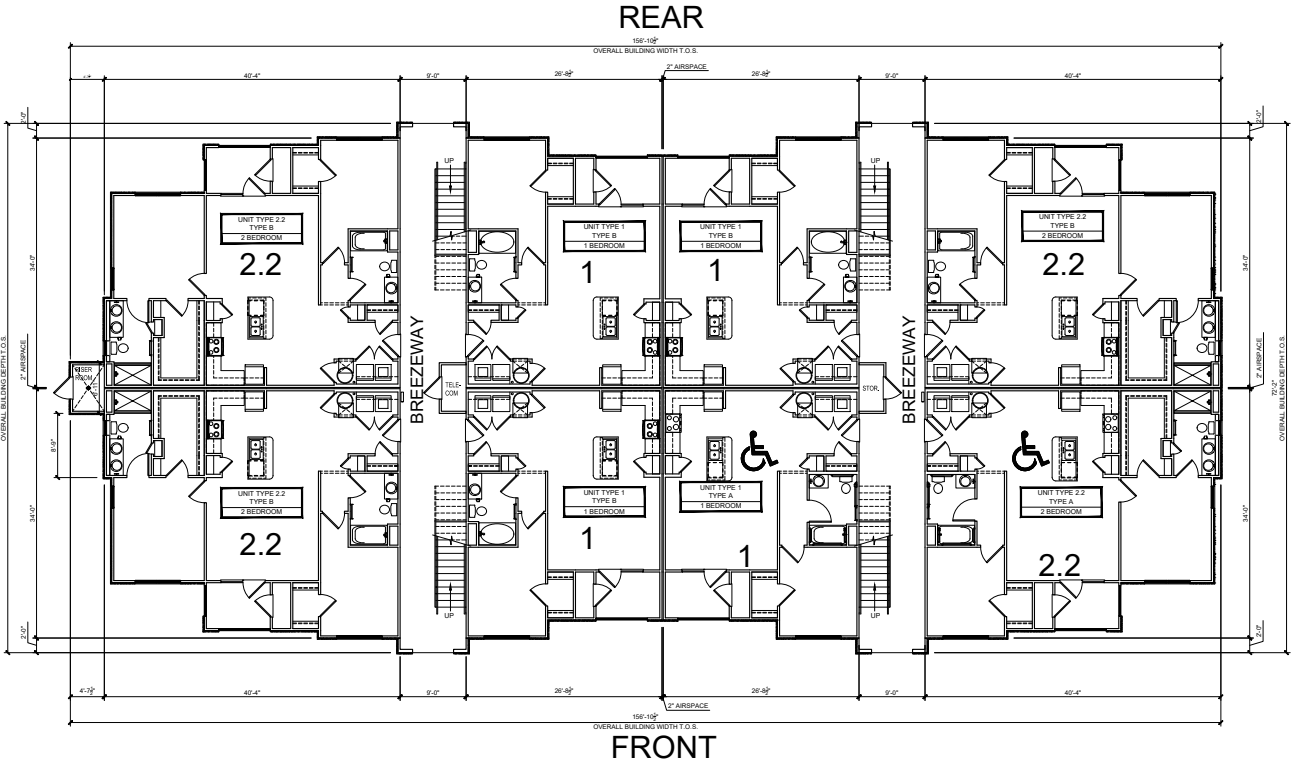
NOT FOR CONSTRUCTION

MURDOCK DR APARTMENTS

Knoxville, Tennessee



= FULLY ACCESSIBLE
TYPE A DWELLING UNIT



1 BUILDING TYPE 1 - FIRST FLOOR PLAN
Scale: 1/8" = 1'-0"

1. All drawings are to be coordinated with all site information by owner and contractor, and applicable codes. 2. Planworx Architecture, P.A. is not responsible for constructed variations from the information depicted. 3. Contractor is to notify architect immediately of conditions or items varying from depicted information. 4. Planworx Architecture, P.A. will not assume any liability for expenses associated with errors and omissions on these drawings unless offset by verified construction savings as a result of Planworx Architecture, P.A. Design. 5. Planworx Architecture, P.A. retains ownership of all of designs depicted and implied herein. 6. Planworx Architecture, P.A. is not responsible for estimating, maintaining, or regulating construction costs associated with these plans. © Copyright 2021 - PLANWORX ARCHITECTURE, P.A. All rights reserved. Reproduction of this sheet, in whole or in part, is strictly prohibited. Plans may be used once by client. Unauthorized use strictly prohibited. PLANS NOT VALID FOR CONSTRUCTION W/O APPROPRIATE PROFESSIONAL SEALS.

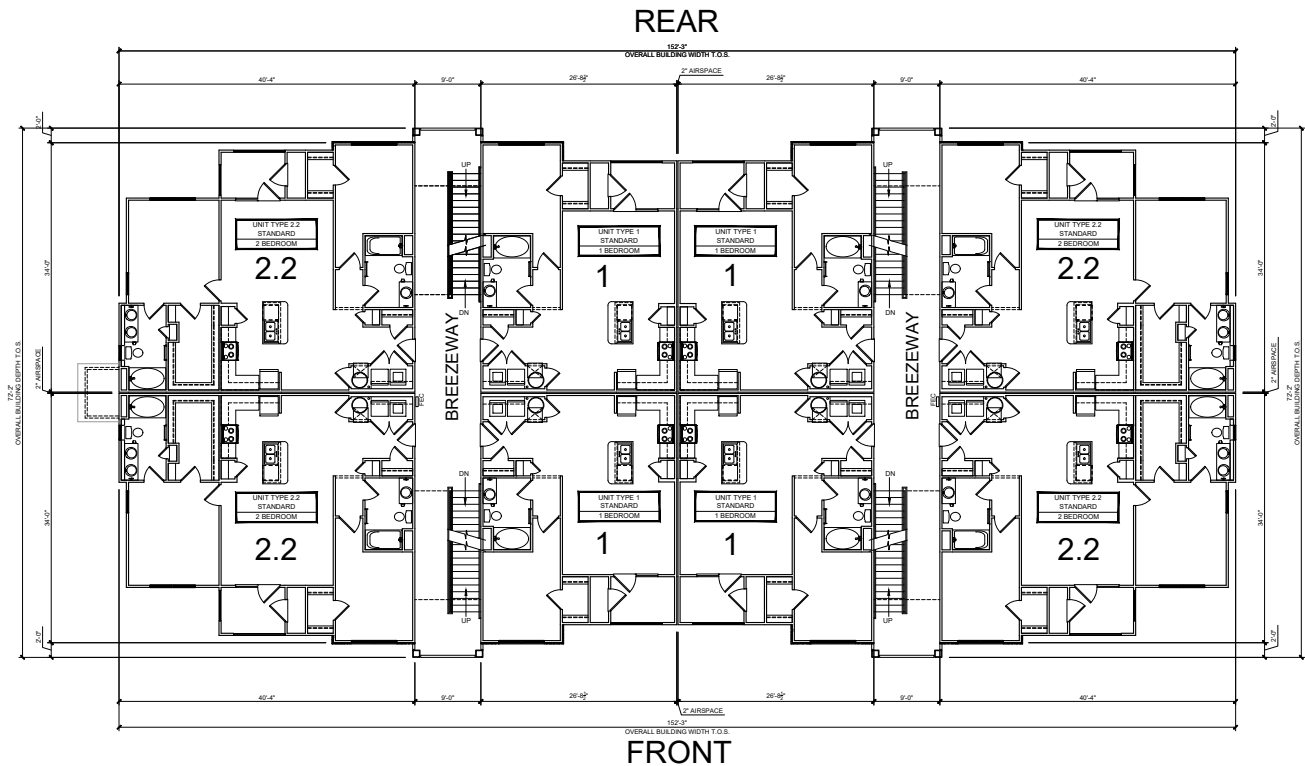
SHEET TITLE:
Building Type 1 -
First Floor Plan

SHEET NUMBER:

A1.10

MURDOCK DR APARTMENTS

Knoxville, Tennessee

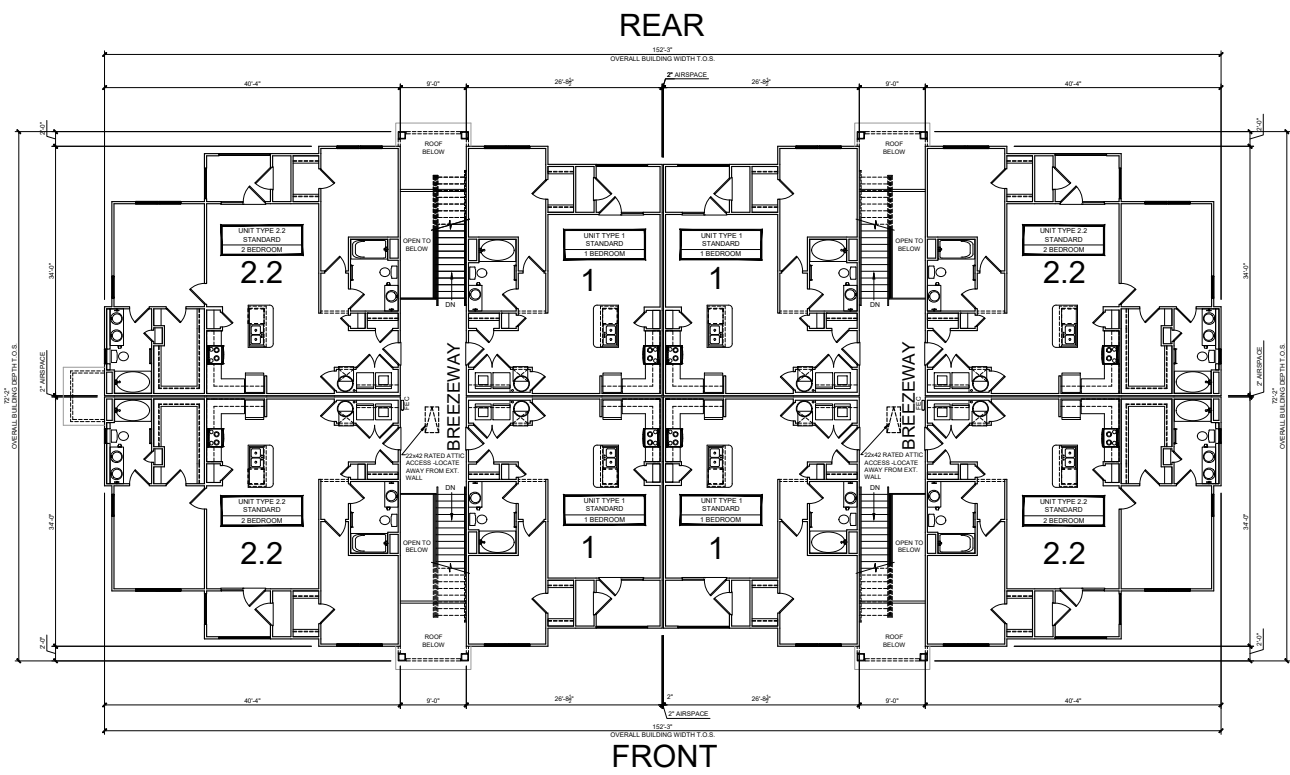


1	BUILDING TYPE 1 - SECOND FLOOR PLAN Scale: 1/8" = 1'-0"	SHEET TITLE: Building Type 1 - Second Floor Plan SHEET NUMBER: A1.11
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MURDOCK DR APARTMENTS

Knoxville, Tennessee



1	BUILDING TYPE 1 - THIRD FLOOR PLAN		SHEET TITLE: Building Type 1 - Third Floor Plan	
	Scale: 1/8" = 1'-0"		SHEET NUMBER:	
	1. All drawings are to be coordinated with all site information by owner and contractor, and applicable codes. 3. Planworx Architecture, P.A. is not responsible for constructed variations from the information depicted. 5. Planworx Architecture, P.A. retains ownership of all of designs depicted and implied herein.		A1.12	

2. Contractor is to notify architect immediately of conditions or items varying from depicted information. 4. Planworx Architecture, P.A. will not assume any liability for expenses associated with errors and omissions on these drawings unless offset by verified construction savings as a result of Planworx Architecture, P.A. Design. 6. Planworx Architecture, P.A. is not responsible for estimating, maintaining, or regulating construction costs associated with these plans. © Copyright 2021 - PLANWORX ARCHITECTURE, P.A. All rights reserved. Reproduction of this sheet, in whole or in part, is strictly prohibited. Plans may be used once by client. Unauthorized use strictly prohibited. PLANS NOT VALID FOR CONSTRUCTION W/O APPROPRIATE PROFESSIONAL SEALS.

MURDOCK DR APARTMENTS

Knoxville, Tennessee



1 BUILDING TYPE 1 - FRONT/REAR ELEVATION
Scale: 1/8" = 1'-0"



2 BUILDING TYPE 1 - LEFT SIDE ELEVATION
Scale: 1/8" = 1'-0"



3 BUILDING TYPE 1 - RIGHT SIDE ELEVATION
Scale: 1/8" = 1'-0"

ARCHITECTURAL PLANS
EXTERIOR MATERIALS

= ASPHALT SHINGLE ROOF

= STANDING SEAM METAL ROOF

= FIBER CEMENT SIDING

= FIBER CEMENT VERTICAL SIDING
PANELS W/ FIBER CEMENT BATTENS

= CULTURED STONE VENEER

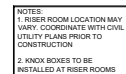
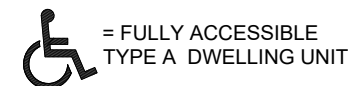
= STONE HEADER

SHEET TITLE:
Building Type 1 -
Exterior Elevations

SHEET NUMBER:
A1.15

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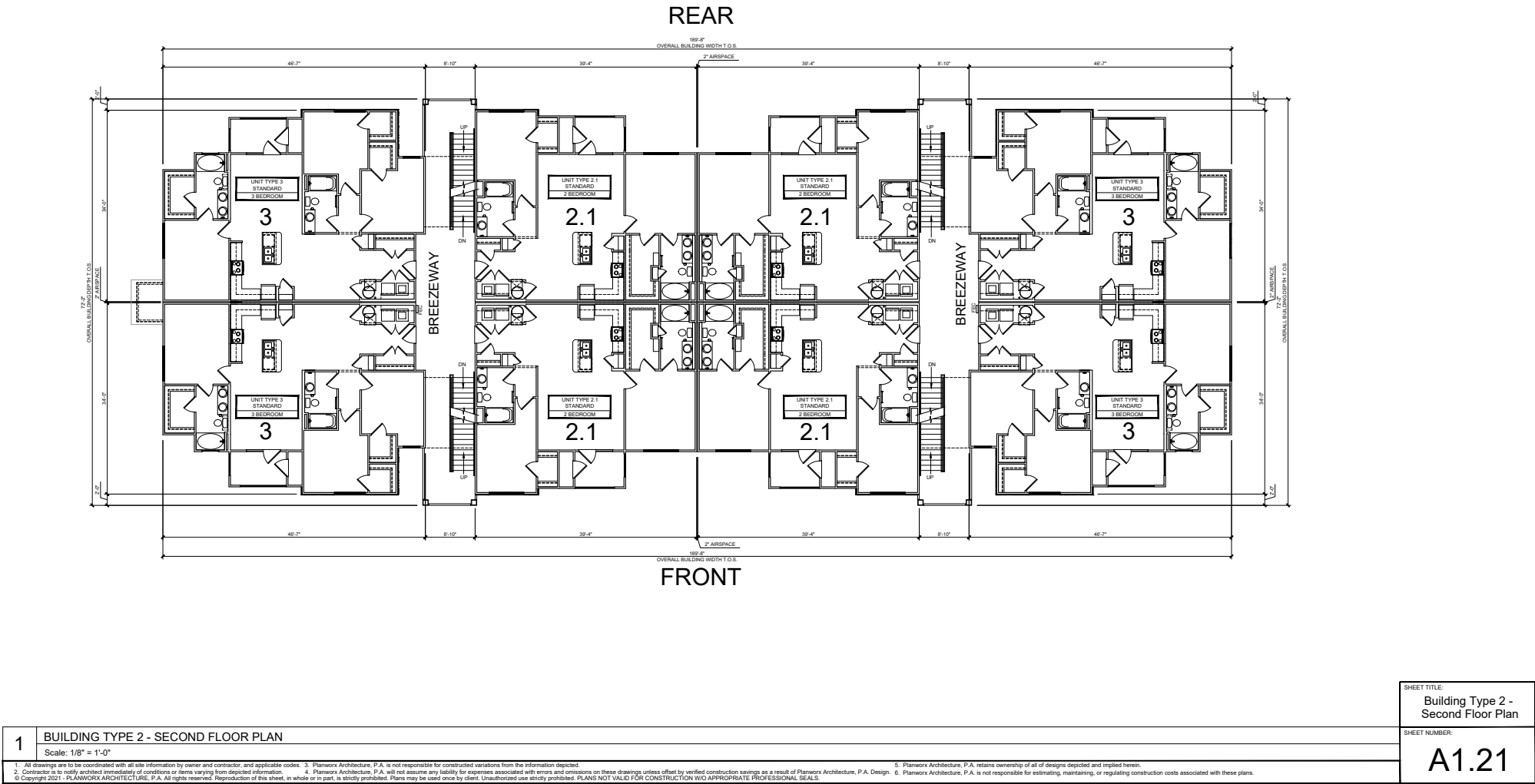
Knoxville, Tennessee



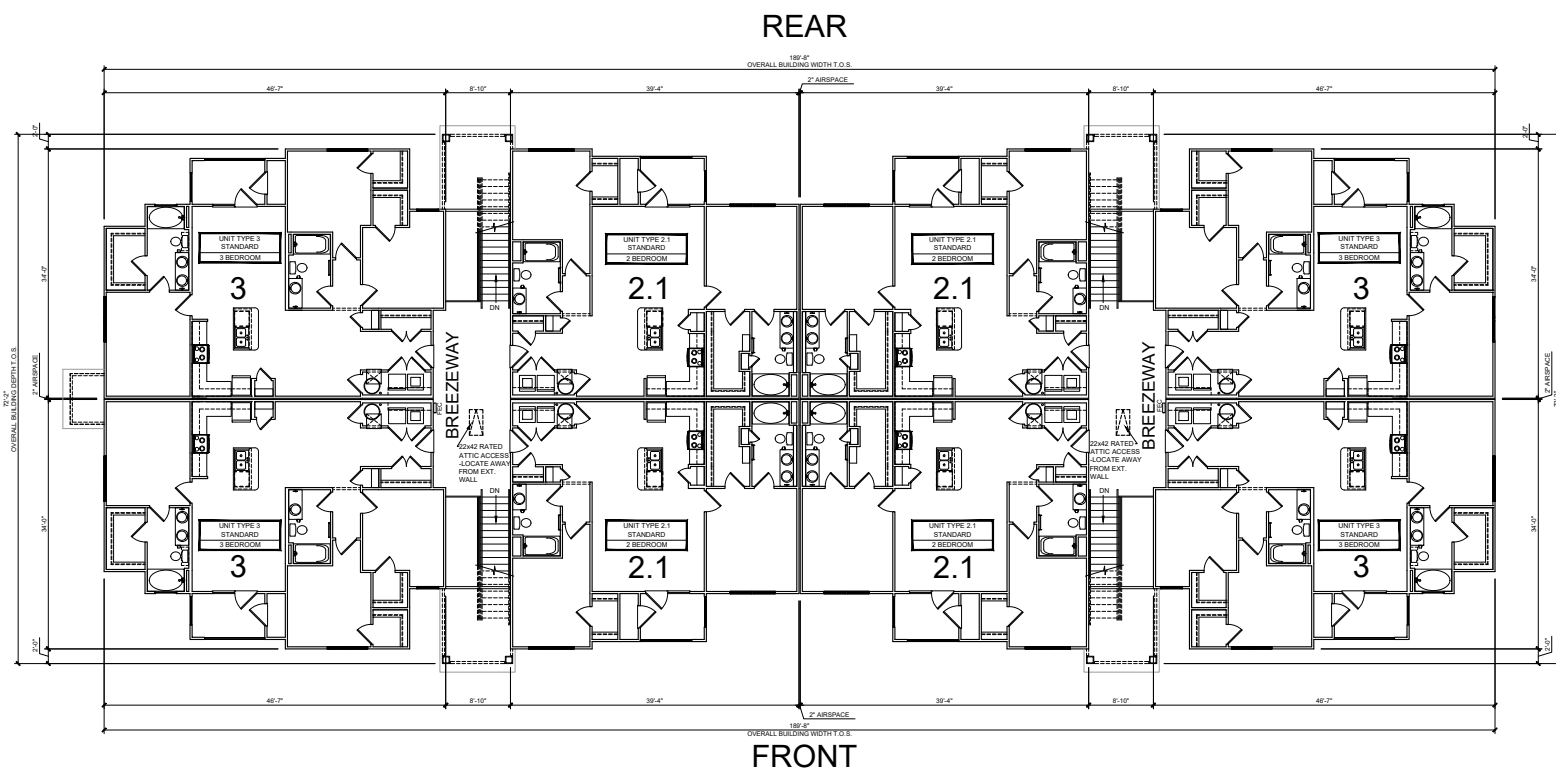
1	BUILDING TYPE 2 - FIRST FLOOR PLAN	<div> <div>SHEET TITLE:</div> <div>Building Type 2 - First Floor Plan</div> </div> <div> <div>SHEET NUMBER:</div> <div>A1.20</div> </div>
	Scale: 1/8" = 1'-0"	
	<div> <div>1. All drawings are to be coordinated with all site information by owner and contractor, and applicable codes.</div> <div>2. Contractor is to notify architect immediately of conditions or items varying from depicted information.</div> <div>3. Copyright 2021, J.P. ANWAR ARCHITECTURE, P.A. All rights reserved. Reproduction of this sheet, in whole or in part, is strictly prohibited. Plans may be used once by client. Unapproved use strictly prohibited. J.P. ANS NOT VALID FOR CONSTRUCTION WITHOUT APPROPRIATE PROFESSIONAL SEAL.</div> </div> <div> <div>3. Planswrx Architecture, P.A. is not responsible for constructed variations from the information depicted.</div> <div>4. Planswrx Architecture, P.A. will not assume any liability for expenses associated with errors and omissions on these drawings unless offset by verified construction savings as a result of Planswrx Architecture, P.A. Design.</div> <div>5. Planswrx Architecture, P.A. retains ownership of all of designs depicted and implied herein.</div> </div> <div> <div>6. Planswrx Architecture, P.A. is not responsible for estimating, maintaining, or regulating construction costs associated with these plans.</div> </div>	

MURDOCK DR APARTMENTS

Knoxville, Tennessee



Knoxville, Tennessee



Scale: 1/8" = 1'-0"

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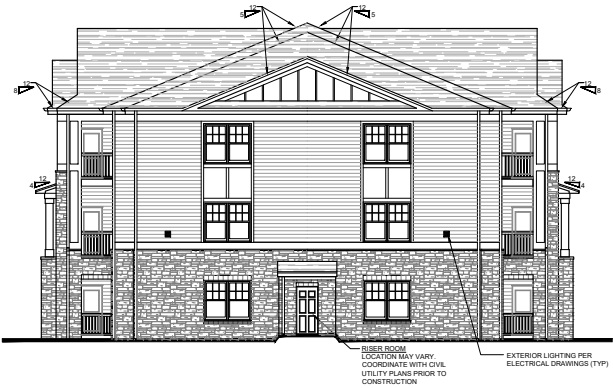
A1.22

MURDOCK DR APARTMENTS

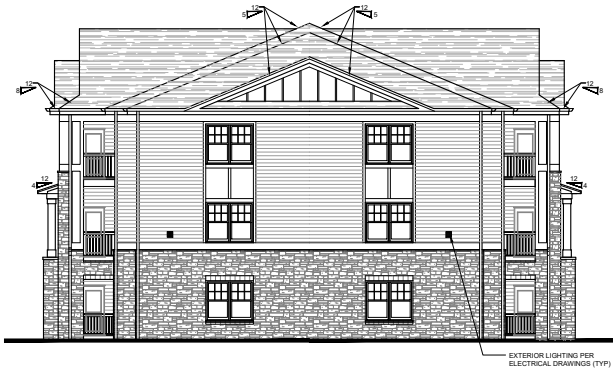
Knoxville, Tennessee



1 BUILDING TYPE 2 - FRONT/REAR ELEVATION
Scale: 1/8" = 1'-0"



2 BUILDING TYPE 2 - LEFT ELEVATION
Scale: 1/8" = 1'-0"



3 BUILDING TYPE 2 - RIGHT SIDE ELEVATION
Scale: 1/8" = 1'-0"

**ARCHITECTURAL PLANS
EXTERIOR MATERIALS**

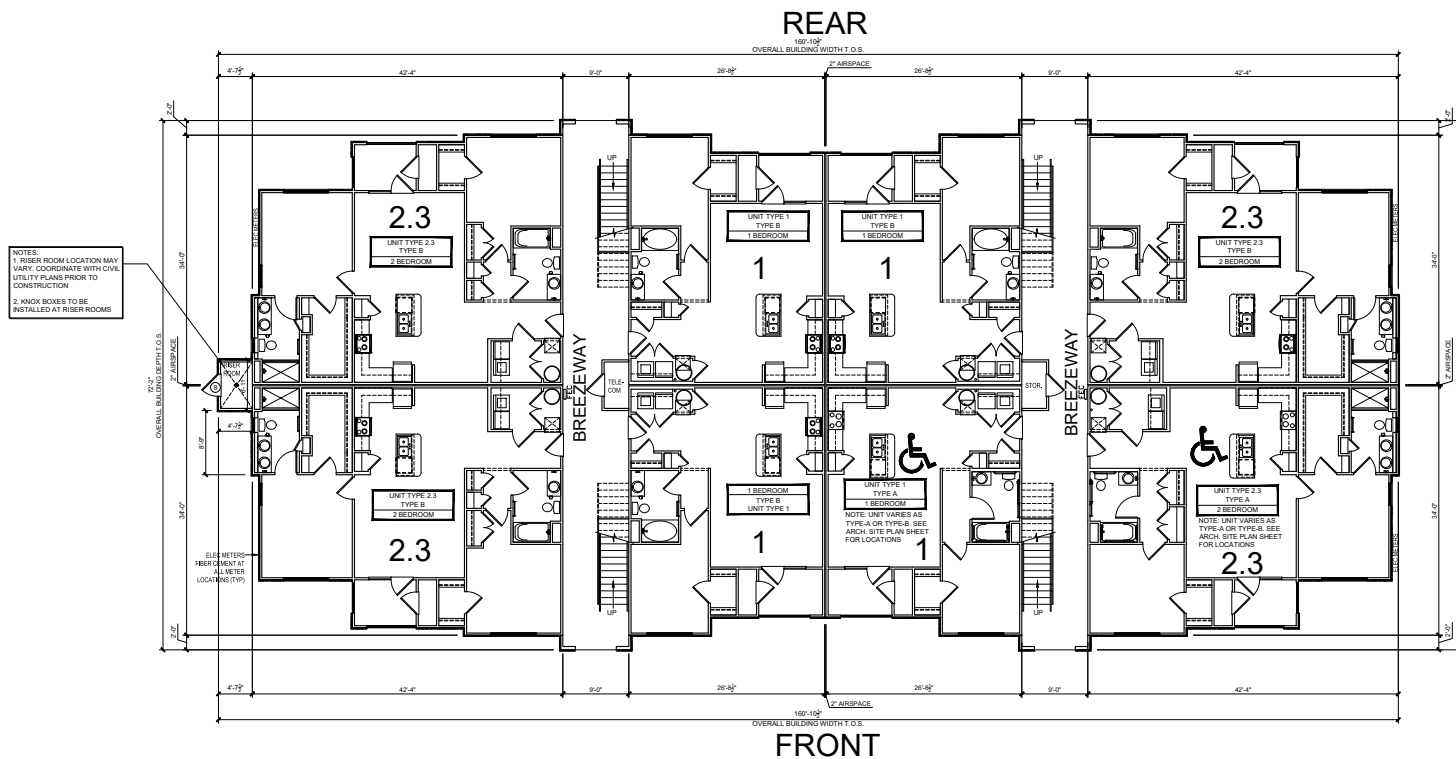
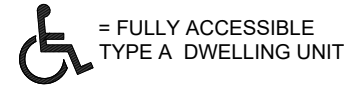
- ASPHALT SHINGLE ROOF
- STANDING SEAM METAL ROOF
- FIBER CEMENT SIDING
- FIBER CEMENT VERTICAL SIDING PANELS W/ FIBER CEMENT BATTENS
- CULTURED STONE VENEER
- STONE HEADER

SHEET TITLE:
**Building Type 2 -
Exterior Elevations**

SHEET NUMBER:
A1.25

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Knoxville, Tennessee



1

BUILDING TYPE 3 - FIRST FLOOR PLAN

Scale: 1/8" = 1'-0"

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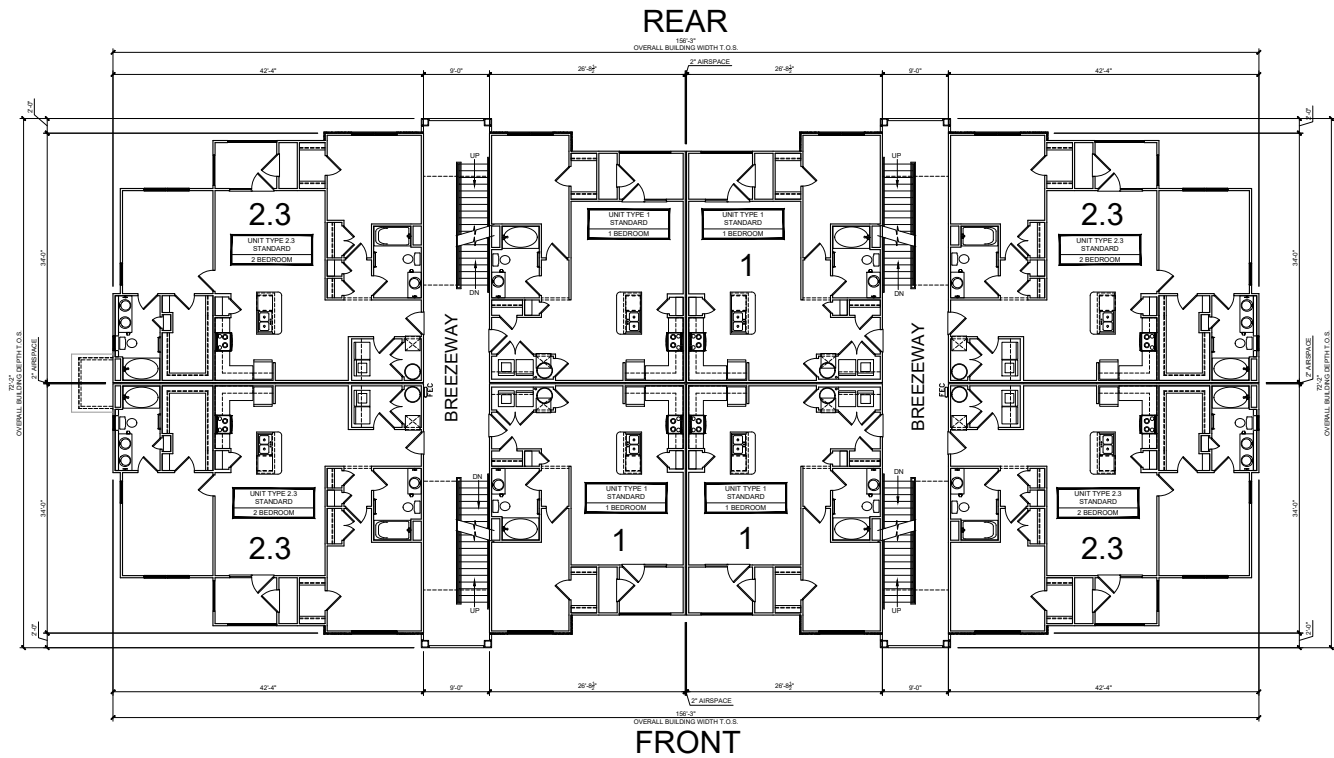
Building Type 3 - First Floor Plan

SHEET NUMBER:

A1.30

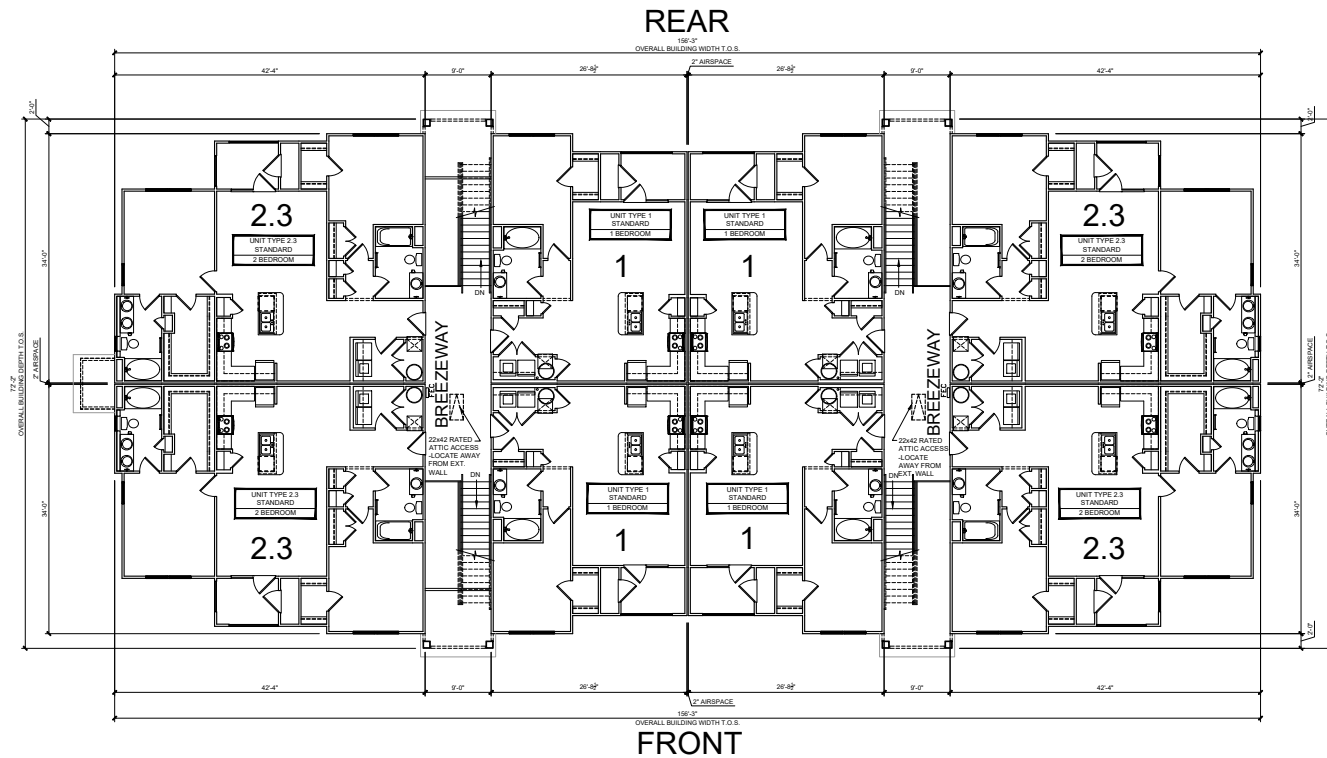
MURDOCK DR APARTMENTS

Knoxville, Tennessee



1	BUILDING TYPE 3 - SECOND FLOOR PLAN Scale: 1/8" = 1'-0"	SHEET TITLE: Building Type 3 - Second Floor Plan
	1. All drawings are to be coordinated with all site information by owner and contractor, and applicable codes. 3. Planworx Architecture, P.A. is not responsible for constructed variations from the information depicted. 2. Contractor is to notify architect immediately of conditions or items varying from depicted information. 4. Planworx Architecture, P.A. will not assume any liability for expenses associated with errors and omissions on these drawings unless offset by verified construction savings as a result of Planworx Architecture, P.A. Design. 6. Planworx Architecture, P.A. is not responsible for estimating, maintaining, or regulating construction costs associated with these plans. © Copyright 2021 - PLANWORX ARCHITECTURE, P.A. All rights reserved. Reproduction of this sheet, in whole or in part, is strictly prohibited. Plans may be used once by client. Unauthorized use strictly prohibited. PLANS NOT VALID FOR CONSTRUCTION W/O APPROPRIATE PROFESSIONAL SEALS.	SHEET NUMBER: A1.31

Knoxville, Tennessee



1

BUILDING TYPE 3 - THIRD FLOOR PLAN

Scale: 1/8" = 1'-0"

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2. Contractor is to notify architect immediately of conditions or items varying from depicted information.

Contractor is to verify architect immediately if conditions or items varying from depicted information.

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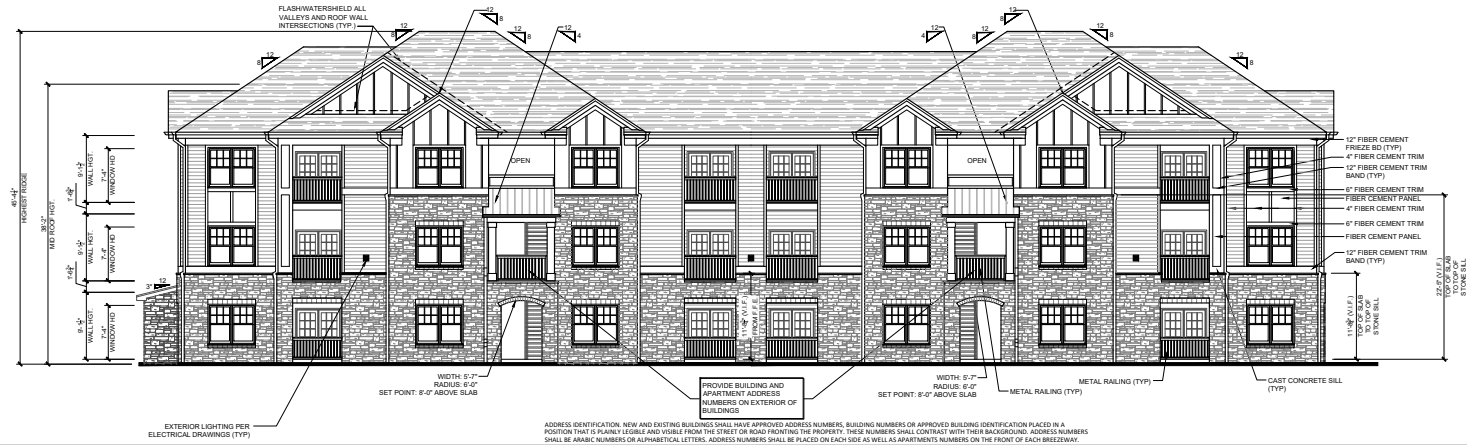
SHEET TITLE:

Building Type 3 - Third Floor Plan

SHEET NUMBER:

A1.32

Knoxville, Tennessee



1 BUILDING TYPE 3 - FRONT/REAR ELEVATION

Scale: 1/8" = 1'-0"



2 BUILDING TYPE 3 - LEFT SIDE ELEVATION







Scale: 1/8" = 1'-0"



3 BUILDING TYPE 3 - RIGHT SIDE ELEVATION

Scale: 1/8" = 1'-0"

ARCHITECTURAL PLANS
EXTERIOR MATERIALS

-  = ASPHALT SHINGLE ROOF
-  = STANDING SEAM METAL ROOF
-  = FIBER CEMENT SIDING
-  = FIBER CEMENT VERTICAL SIDING PANELS W/ FIBER CEMENT BATTENS
-  = CULTURED STONE VENEER
-  = STONE HEADER

SHEET TITLE:

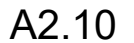
Building Type 3 - Exterior Elevations

SHEET NUMBER:

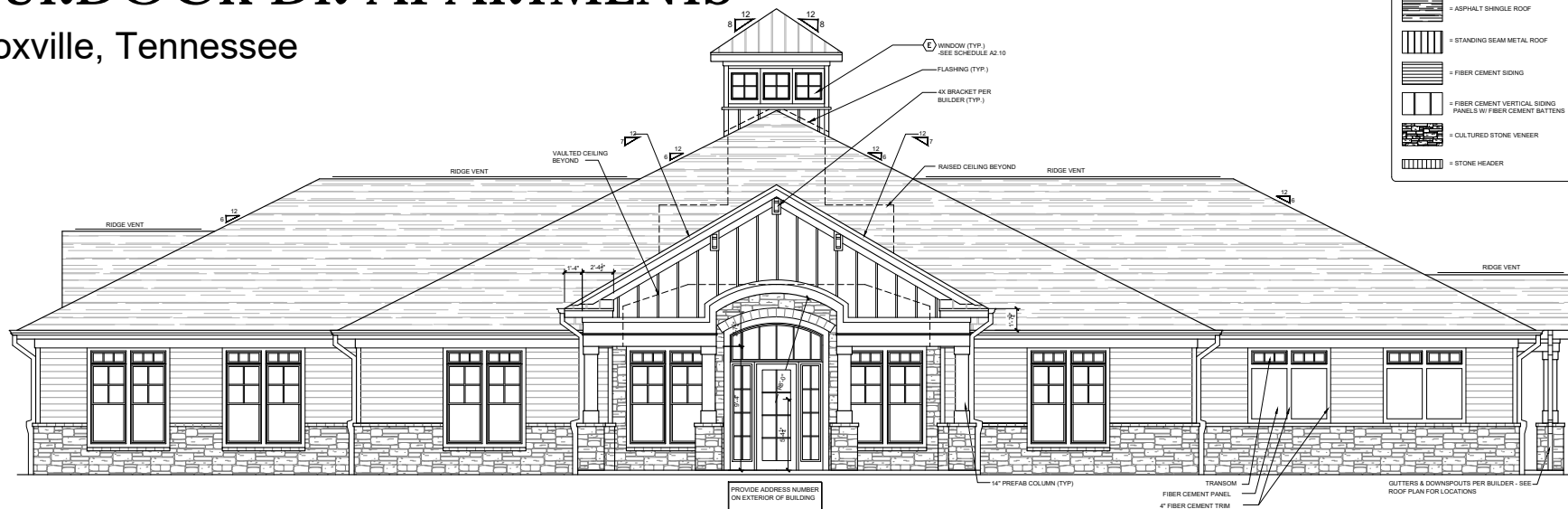
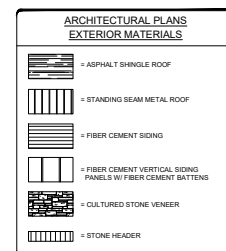
A1.35

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Knoxville, Tennessee



Knoxville, Tennessee



Scale: 1/4" = 1'-0"



Scale: 1/4" = 1'-0"

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	SHEET NUMBER:
--	---------------

A2.14

MURDOCK DR APARTMENTS

Knoxville, Tennessee

ARCHITECTURAL PLANS
EXTERIOR MATERIALS

= ASPHALT SHINGLE ROOF

= STANDING SEAM METAL ROOF

= FIBER CEMENT SIDING

= FIBER CEMENT VERTICAL SIDING PANELS W/ FIBER CEMENT BATTENS

= CULTURED STONE VENEER

= STONE HEADER



1

REAR ELEVATION - CLUBHOUSE

Scale: 1/4" = 1'-0"



2

RIGHT SIDE ELEVATION - CLUBHOUSE

Scale: 1/4" = 1'-0"

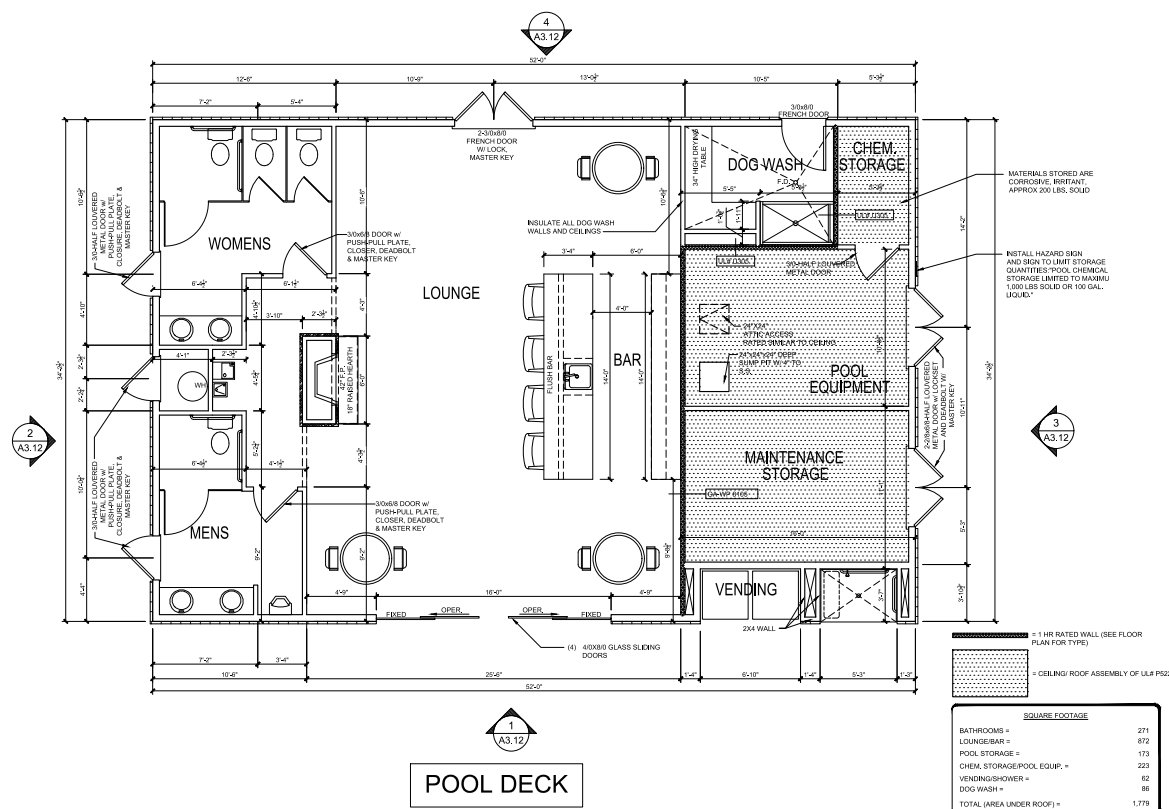
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SHEET TITLE:
Clubhouse Elevations

SHEET NUMBER:
A2.15

Knoxville, Tennessee



SHEET TITLE:
Pool House Floor Plan

A3.10

1	POOLHOUSE FLOOR PLAN
	Scale: 1/4" = 1'-0"

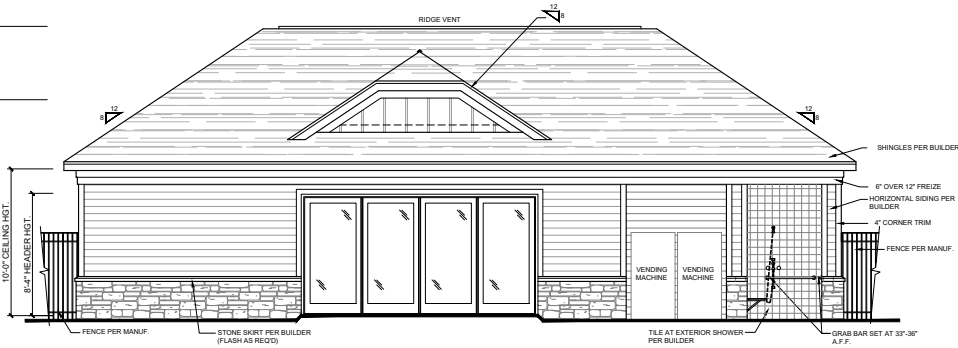
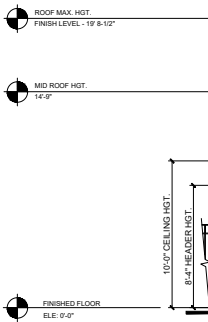
1. All drawings are to be coordinated with all site information by owner and contractor, and applicable codes. 3. Planworx Architecture, P.A. is not responsible for constructed variations from the information depicted. 5. Planworx Architecture, P.A. retains ownership of all of designs depicted and implied herein.

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MURDOCK DR APARTMENTS

Knoxville, Tennessee



ARCHITECTURAL PLANS
EXTERIOR MATERIALS

= ASPHALT SHINGLE ROOF

= STANDING SEAM METAL ROOF

= FIBER CEMENT SIDING

= FIBER CEMENT VERTICAL SIDING

= CULTURED STONE VENEER

= STONE HEADER

ELEVATION GENERAL NOTES

ROOFS

USE ICE AND WATER SHIELD AT ALL ROOF PLANES SLOPED BELOW 4:12.

PAINT ALL ROOF PENETRATIONS TO MATCH SHINGLE COLOR.

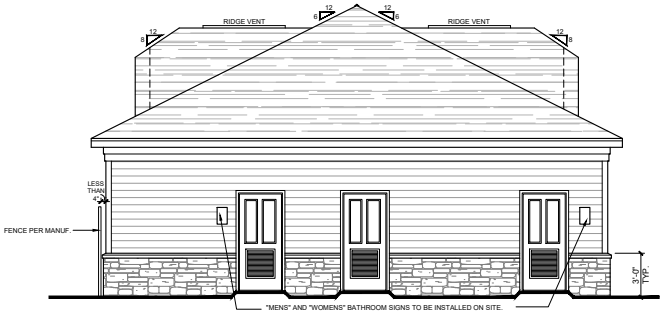
ROOF VENTILATION

SEE ROOF PLANS FOR ATTIC VENTILATION CALCULATION REQUIREMENTS.

1

FRONT ELEVATION - POOL HOUSE

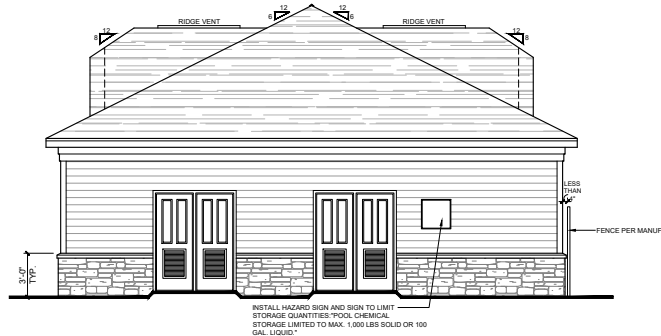
Scale: 1/4" = 1'-0"



2

LEFT SIDE ELEVATION - POOL HOUSE

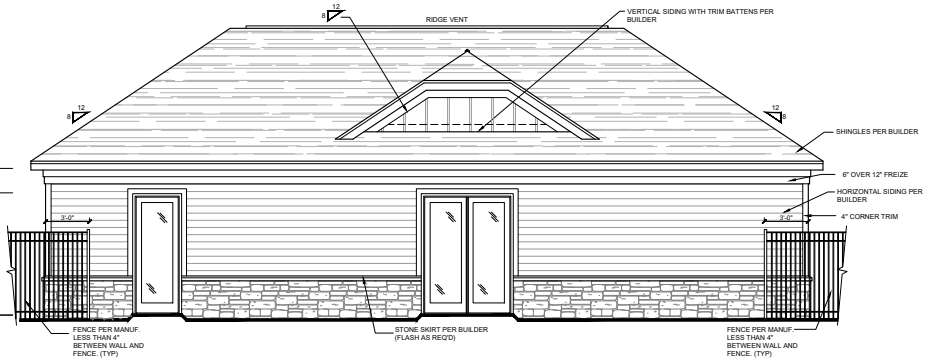
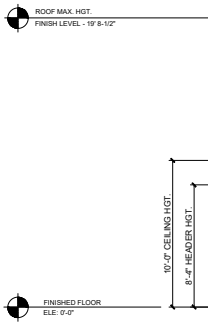
Scale: 1/4" = 1'-0"



3

RIGHT SIDE ELEVATION - POOL HOUSE

Scale: 1/4" = 1'-0"



4

REAR ELEVATION - POOL HOUSE

Scale: 1/4" = 1'-0"

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SHEET TITLE:
Pool House Elevations

SHEET NUMBER:

A3.12

MURDOCK DR APARTMENTS

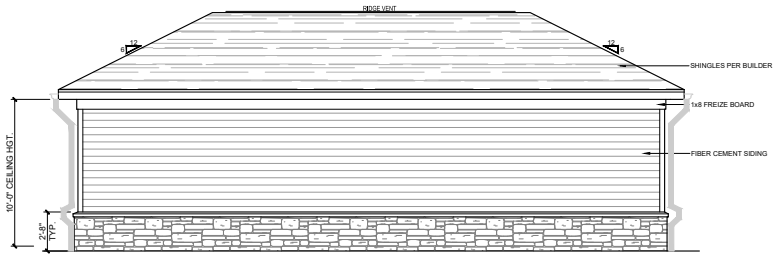
Knoxville, Tennessee



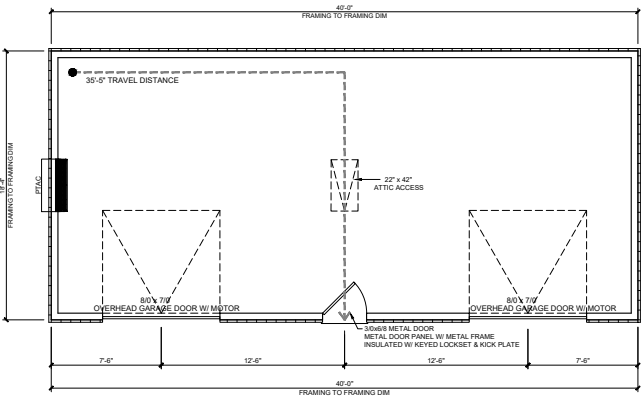
ARCHITECTURAL PLANS EXTERIOR MATERIALS	
	= ASPHALT SHINGLE ROOF
	= STANDING SEAM METAL ROOF
	= FIBER CEMENT SIDING
	= FIBER CEMENT VERTICAL SIDING PANELS W/ FIBER CEMENT BATTENS
	= CULTURED STONE VENEER
	= STONE HEADER



5 FRONT ELEVATION - MAINTENANCE BUILDING
Scale: 1/4" = 1'-0"



4 REAR ELEVATION - MAINTENANCE BUILDING
Scale: 1/4" = 1'-0"



SQUARE FOOTAGE	
GARAGE / MAINTENANCE BAY =	733

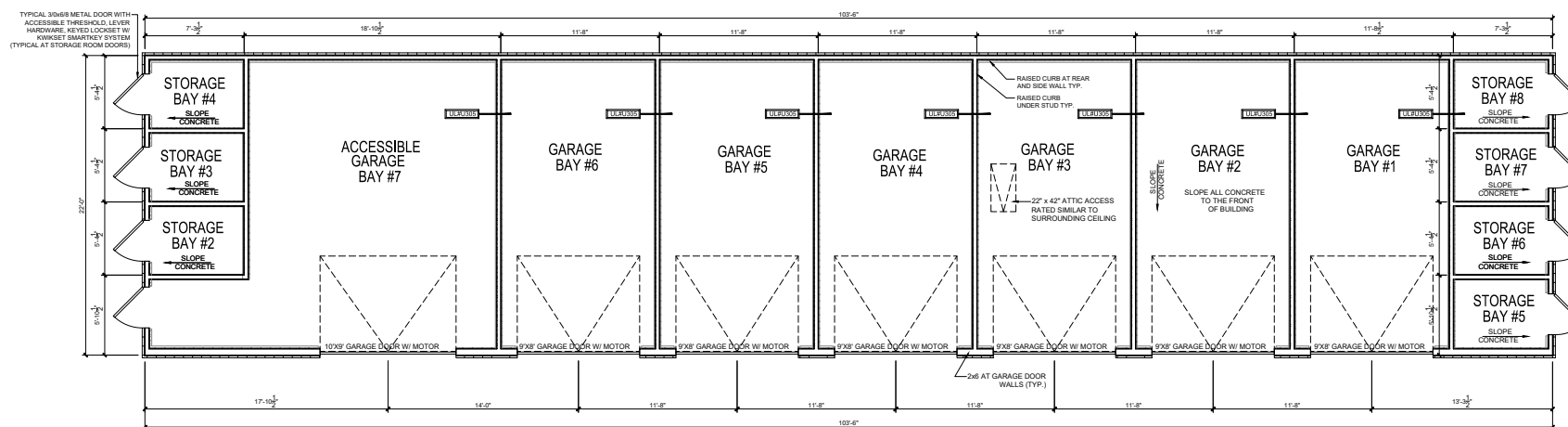
1 FLOOR PLAN - MAINTENANCE BUILDING
Scale: 1/4" = 1'-0"

2 LEFT ELEVATION - MAINTENANCE BUILDING
Scale: 1/4" = 1'-0"

3 RIGHT ELEVATION - MAINTENANCE BUILDING
Scale: 1/4" = 1'-0"

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SQUARE FOOTAGE

TOTAL BUILDING SQUARE FOOTAGE = 2.

TYP. BAY (PAINT TO PAINT) =

ACCESSIBLE BAY (PAINT TO PAINT) =

TYP. STORAGE (PAINT TO PAINT) =

SHEET TITLE:
Garage Type 2 Floor
Plan

SHEET NUMBER:

A4.20

1

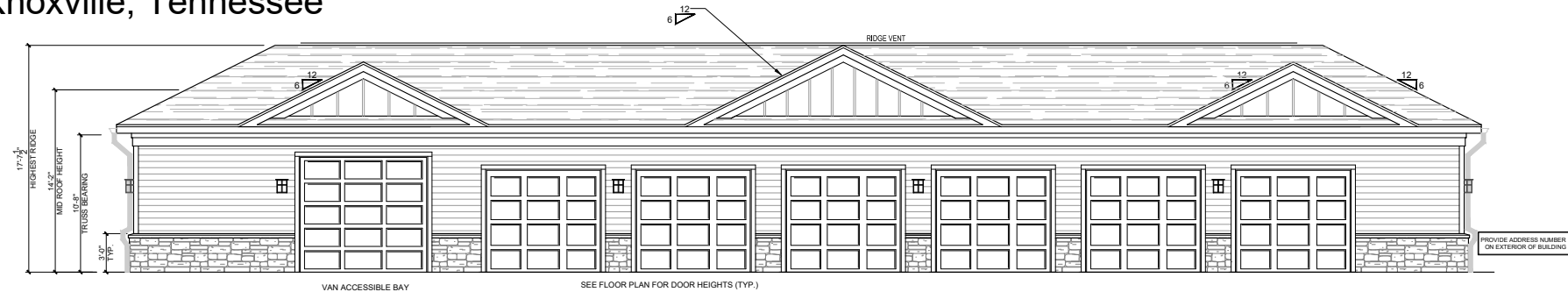
GARAGE TYPE 2 - BUILDING PLAN

Scale: 1/4" = 1'-0"

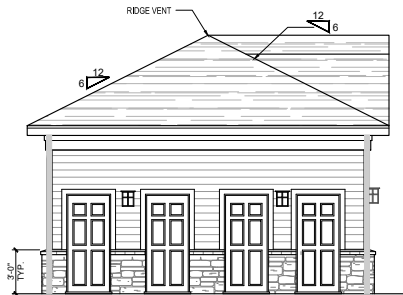
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MURDOCK DR APARTMENTS

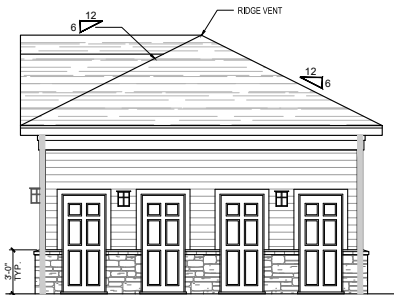
Knoxville, Tennessee



1 FRONT ELEVATION - GARAGE TYPE 2 (VAN ACCESSIBLE)
Scale: 1/4" = 1'-0"

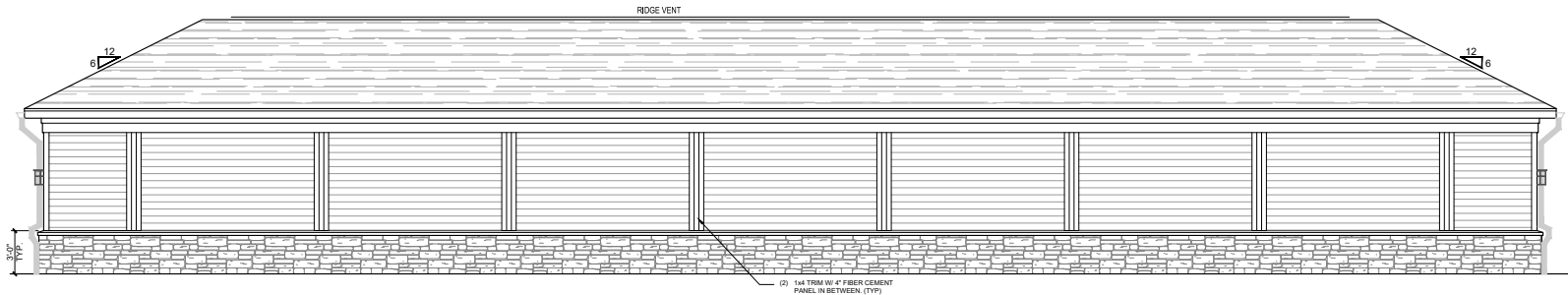


2 LEFT SIDE ELEVATION - GARAGE TYPE 2 (VAN ACCESSIBLE)
Scale: 1/4" = 1'-0"



3 RIGHT SIDE ELEVATION - GARAGE TYPE 2 (VAN ACCESSIBLE)
Scale: 1/4" = 1'-0"

ARCHITECTURAL PLANS EXTERIOR MATERIALS	
	= ASPHALT SHINGLE ROOF
	= STANDING SEAM METAL ROOF
	= FIBER CEMENT SIDING
	= FIBER CEMENT VERTICAL SIDING PANELS W/ FIBER CEMENT BATTENS
	= CULTURED STONE VENEER
	= STONE HEADER



4 REAR ELEVATION - GARAGE TYPE 2 (VAN ACCESSIBLE)
Scale: 1/4" = 1'-0"

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MURDOCK DR APARTMENTS

Knoxville, Tennessee



GENERAL NOTES

WALLS
ALL WALLS ARE DRAWN 3/8" THICK U.N.O.
ANGLED WALLS ARE DRAWN @ 45° U.N.O.

SMOKE DETECTORS
NUMBER AND LOCATION OF SMOKE
DETECTORS SHALL CONFORM TO N.E.C.

ATTIC ACCESS
ATTIC ACCESS SHALL BE PROVIDED
BY BUILDER ACCORDING TO CODE.

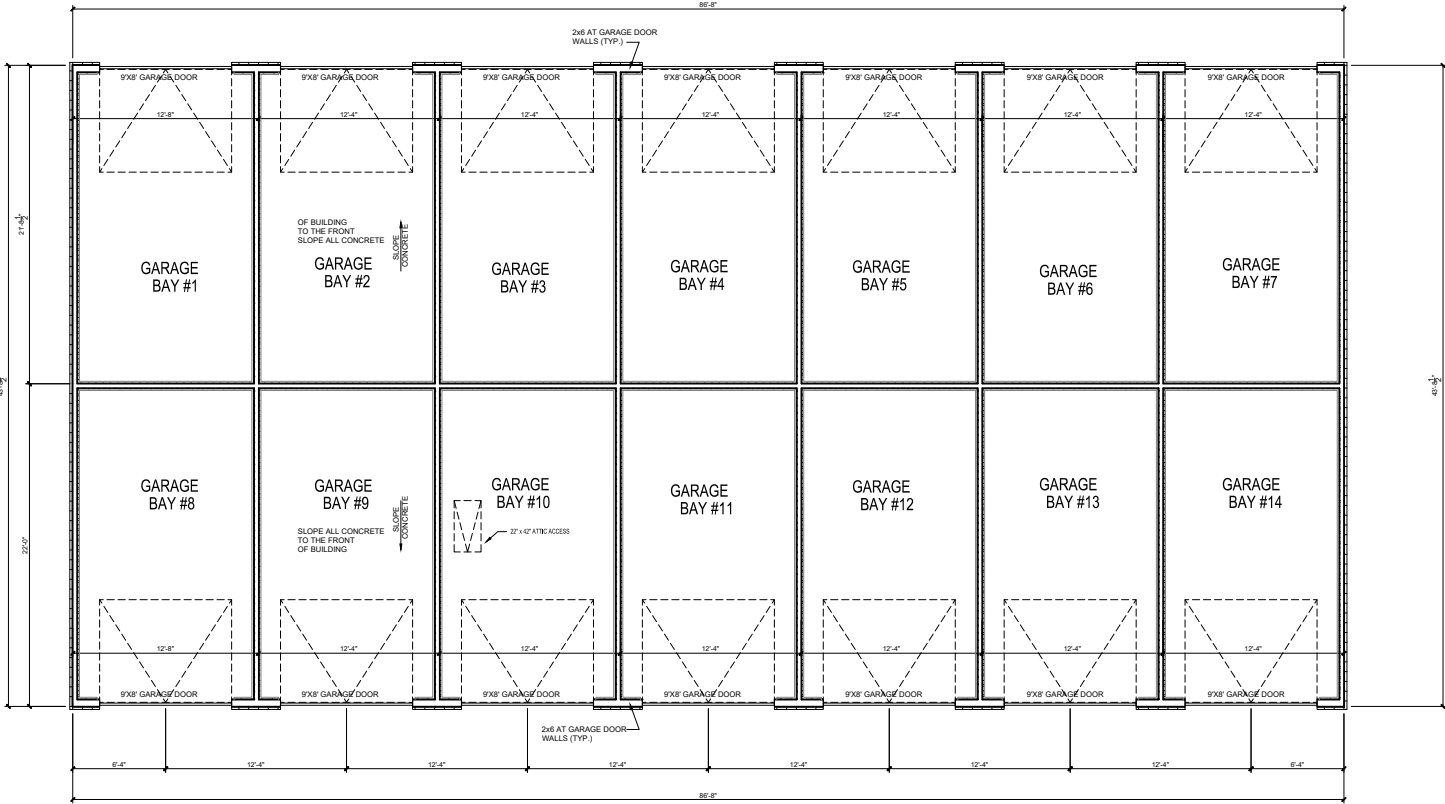
WALL/CILING HEIGHTS
WALL AND CEILING HEIGHTS NOTES ARE BASED ON
NOMINAL WALL SIZE (I.E. A 10'-1 1/8" ACTUAL WALL
HEIGHT IS LABELED 10'0" ON THE PLANS).

ARCHITECTURAL PLANS WALL LEGEND

= STANDARD STUD WALL INT OR EXT
IF EXT SEE ELEVATIONS FOR SIDING
STYLE THICKNESS OF WALL NOTED IN PLAN NOTES
OR AT WALL LOCATIONS

= STANDARD STUD WALL WITH APPLIED STONE VENEER
WANSKOT STUD THICKNESS AS NOTED IN PLAN
NOTES OR AT WALL LOCATIONS
(NOTE: NO FOUNDATION SUPPORT IS REPRESENTED
ON STRUCTURAL PLANS)
IF STACKED STONE IS TO BE USED BUILDER MUST NOTIFY
PLAN DESIGNER BEFORE FOOTINGS ARE POURED

SQUARE FOOTAGE	
TOTAL BUILDING SQUARE FOOTAGE =	3,788
TYP. BAY (PAINT TO PAINT) =	258



1

BUILDING PLAN - GARAGE TYPE 3

Scale: 1/4" = 1'-0"

1. All drawings are to be coordinated with all site information by owner and contractor, and applicable codes.

2. Contractor is to notify architect immediately of conditions or items varying from depicted information.

3. Planworx Architecture, P.A. is not responsible for constructed variations from the information depicted.

4. Planworx Architecture, P.A. will not assume any liability for expenses associated with errors and omissions on these drawings unless offset by verified construction savings as a result of Planworx Architecture, P.A. Design.

5. Planworx Architecture, P.A. is not responsible for estimating, maintaining, or regulating construction costs associated with these plans.

6. Planworx Architecture, P.A. retains ownership of all of designs depicted and implied herein.

PLAN NOT VALID FOR CONSTRUCTION W/O APPROPRIATE PROFESSIONAL SEALS.

SHEET TITLE:

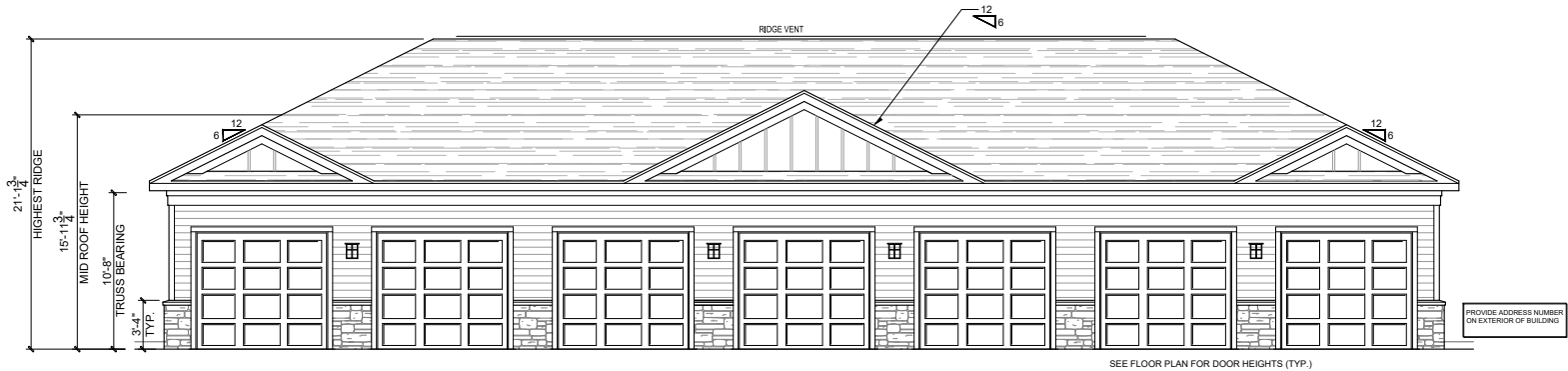
Garage Type 3
Building Floor Plan

SHEET NUMBER:

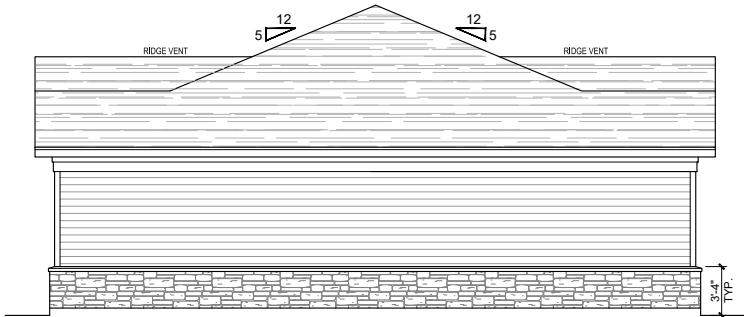
A4.30

MURDOCK DR APARTMENTS

Knoxville, Tennessee



1 TYPICAL FRONT/REAR ELEVATION - GARAGE TYPE 3
Scale: 1/4" = 1'-0"



2 TYPICAL SIDE ELEVATION - GARAGE TYPE 3
Scale: 1/4" = 1'-0"

ELEVATION GENERAL NOTES

ROOFS

*USE ICE AND WATER SHIELD AT ALL ROOF PLANES
SLOPED BELOW 4:12.

PAINT ALL ROOF PENETRATIONS TO MATCH
SHINGLE COLOR.

ROOF VENTILATION

SEE ROOF PLANS FOR ATTIC VENTILATION
CALCULATION REQUIREMENTS.

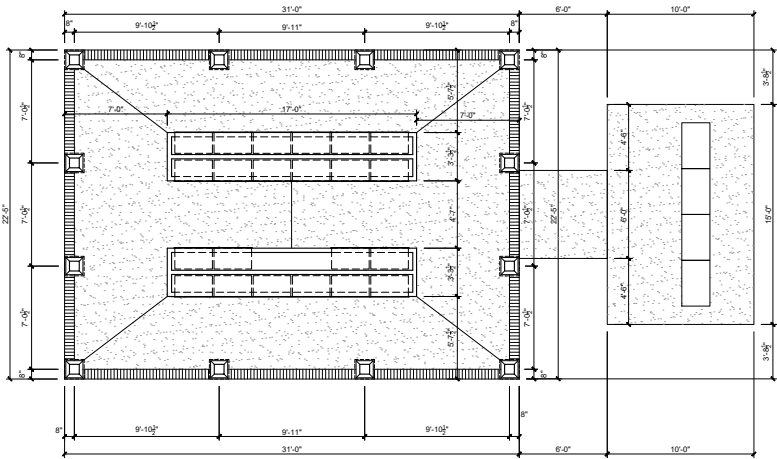
**ARCHITECTURAL PLANS
EXTERIOR MATERIALS**

- ASPHALT SHINGLE ROOF
- STANDING SEAM METAL ROOF
- FIBER CEMENT SIDING
- FIBER CEMENT VERTICAL SIDING
PANELS W/ FIBER CEMENT BATTENS
- CULTURED STONE VENEER
- STONE HEADER

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MURDOCK DR APARTMENTS

Knoxville, Tennessee

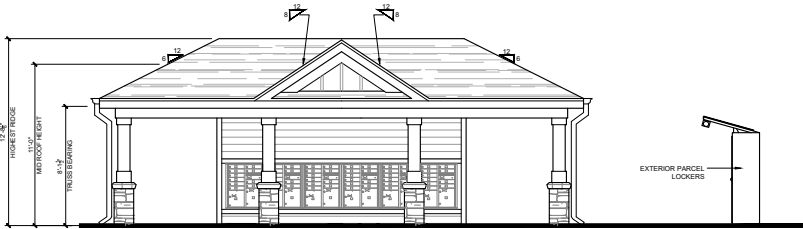


ELEVATION GENERAL NOTES
ROOFS
*USE ICE AND WATER SHIELD AT ALL ROOF PLANES
SLOPED BELOW 4:12
PAINT ALL ROOF PENETRATIONS TO MATCH
SHINGLE COLOR
ROOF VENTILATION
SEE ROOF PLANS FOR ATTIC VENTILATION
CALCULATION REQUIREMENTS

SQUARE FOOTAGE
MAIL BOX BAY SHELL = 130
TOTAL COVERED AREA = 755

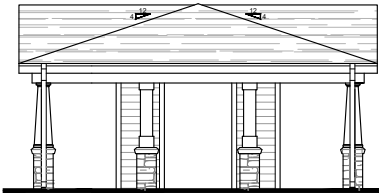
3

MAIL KIOSK - FLOOR PLAN
Scale: 1/4" = 1'-0"



1

MAIL KIOSK - FRONT/REAR ELEVATION
Scale: 1/4" = 1'-0"



2

MAIL KIOSK - TYPICAL SIDE ELEVATION
Scale: 1/4" = 1'-0"

ARCHITECTURAL PLANS
EXTERIOR MATERIALS

= ASPHALT SHINGLE ROOF

= STANDING SEAM METAL ROOF

= FIBER CEMENT SIDING

= FIBER CEMENT VERTICAL SIDING
PANELS W/ FIBER CEMENT BATTENS

= CULTURED STONE VENEER

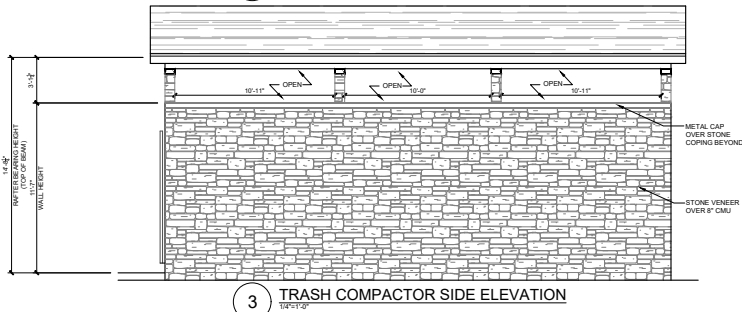
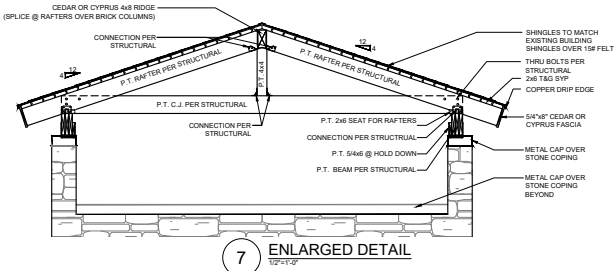
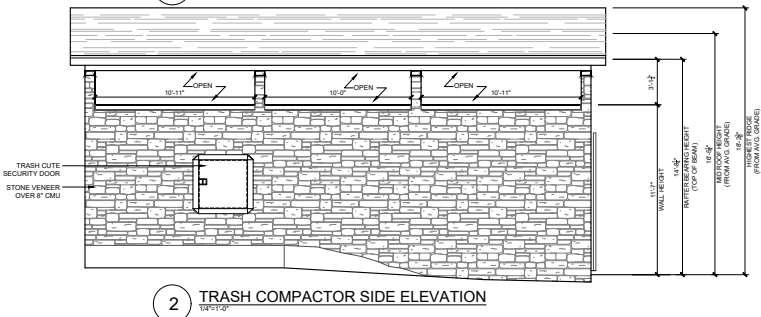
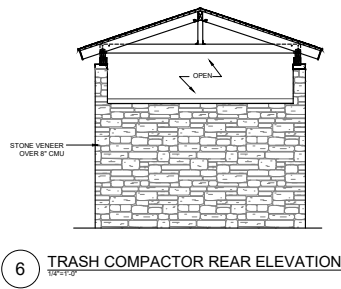
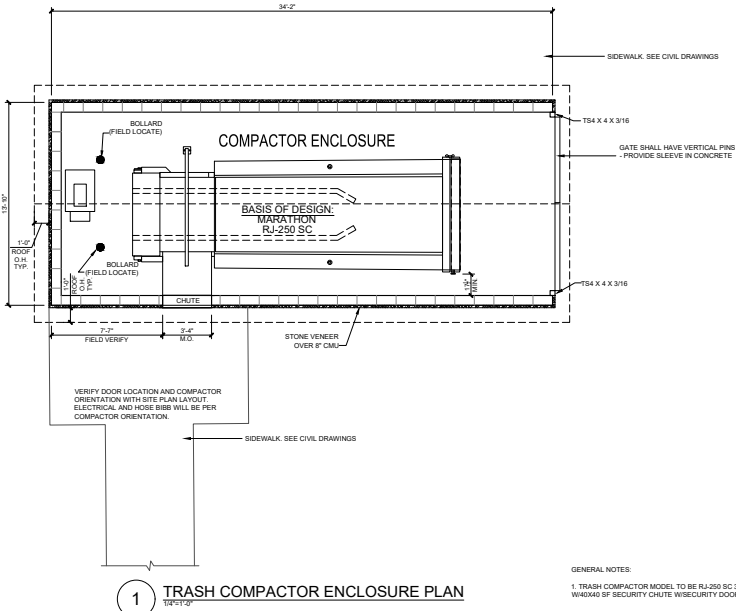
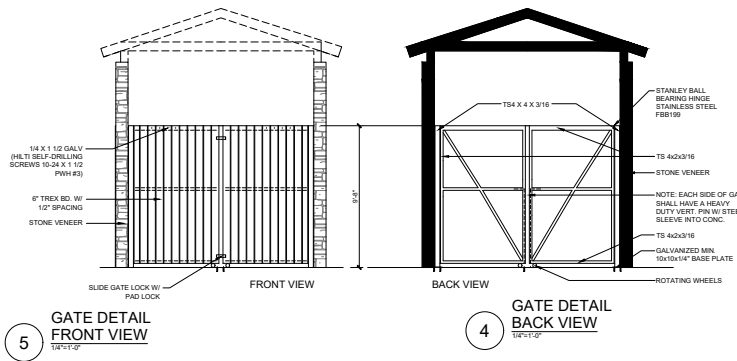
= STONE HEADER

SHEET TITLE:
Mail Kiosk Plan &
Elevations

SHEET NUMBER:
A5.10

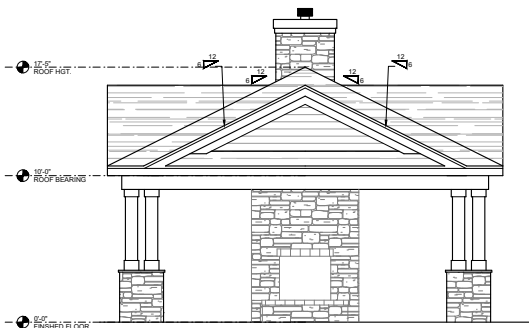
MURDOCK DR APARTMENTS

Knoxville, Tennessee

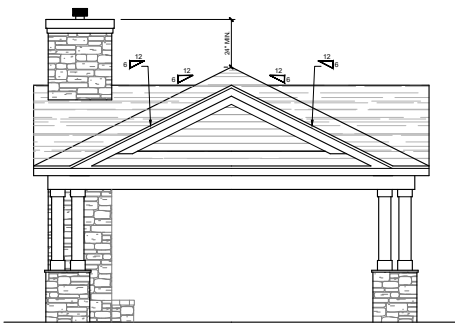


MURDOCK DR APARTMENTS

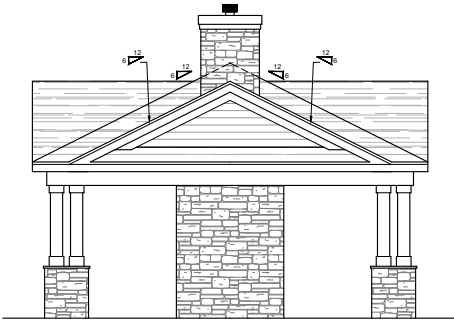
Knoxville, Tennessee



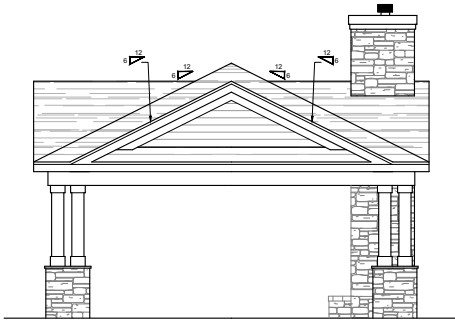
FRONT ELEVATION



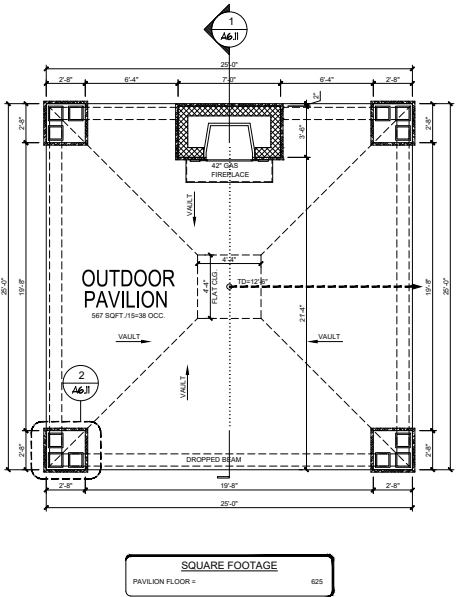
LEFT ELEVATION



REAR ELEVATION

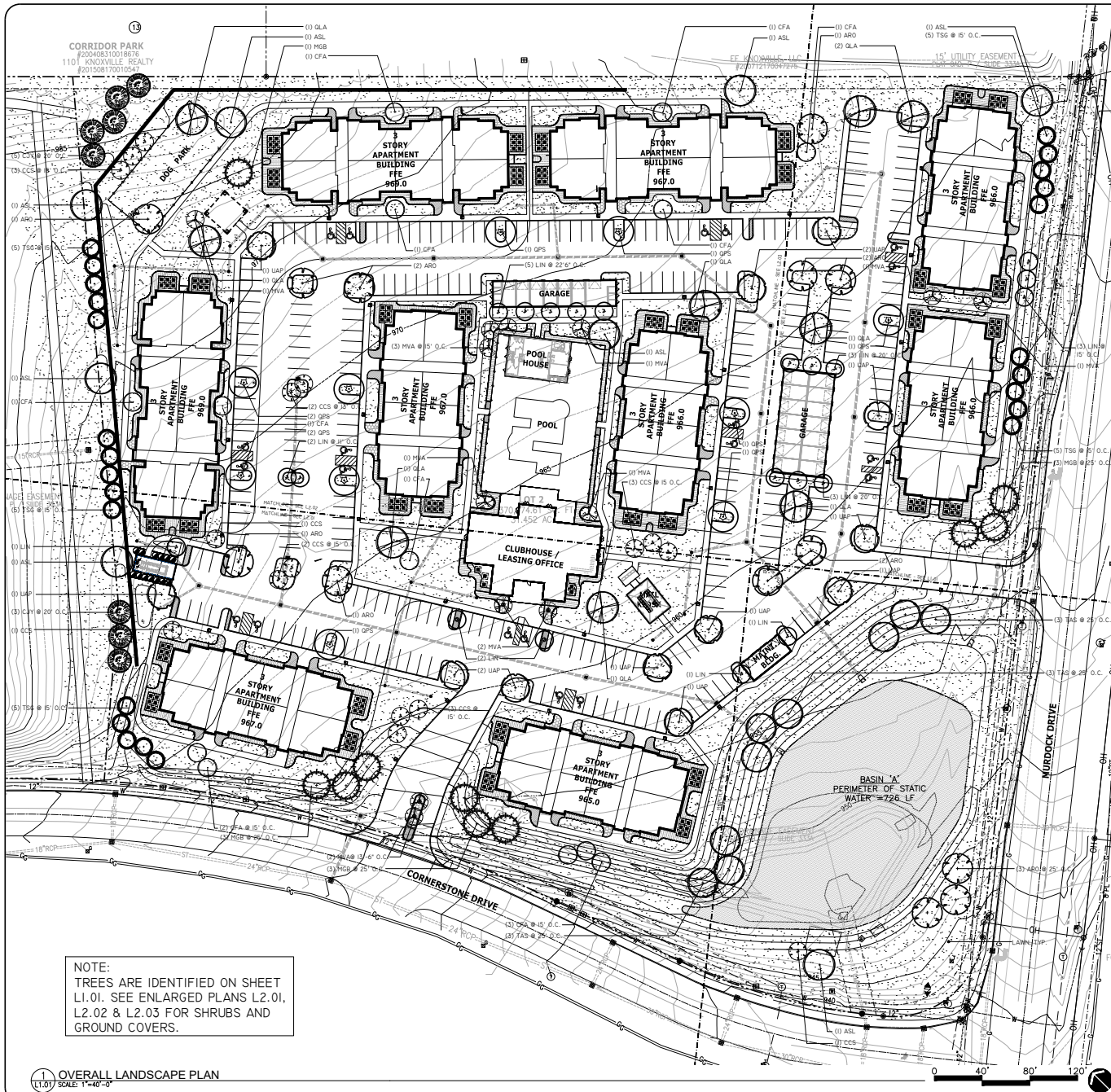


RIGHT ELEVATION



1	ELEVATIONS Scale: 1/4" = 1'-0"	2	FLOOR PLAN Scale: 1/4" = 1'-0"
1. All drawings are to be coordinated with all site information by owner and contractor, and applicable codes. 2. Planworx Architecture, P.A. is not responsible for constructed variations from the information depicted.		5. Planworx Architecture, P.A. retains ownership of all of designs depicted and implied herein.	
2. Contractor is to notify architect immediately of conditions or items varying from depicted information.		6. Planworx Architecture, P.A. will not assume any liability for expenses associated with errors and omissions on these drawings unless offset by verified construction savings as a result of Planworx Architecture, P.A. Design.	
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SHEET TITLE:	Pavilion Floor Plan & Elevations
SHEET NUMBER:	A7.10



875 CORNERSTONE MULTI-FAMILY - PLANT LIST						
QUANTITY	SPECIES	COMMON NAME	BOTANICAL NAME	ROOTS	MINIMUM SIZE	REMARKS
TREES						
6	ASL	Lacey Sugar Maple	Acer saccharum 'Lacey'	660	2' Cal.	Full Crown @ 25' O.C.
13	ARD	October Glory Red Maple	Acer rubrum 'October Glory'	660	2' Cal.	Full Crown @ 25' O.C.
2	CCS	Queen's Red Oak	Quercus coccinea	660	6 in.	Clump w/ 15' Diameter Crown @ 15' O.C.
13	CFA	Flowering Dogwood	Camelia floribunda 'Flowering Dogwood'	660	2' Cal.	Full Crown @ 15' O.C.
8	CFH	Japanese Cryptomeria	Cryptomeria japonica 'Japanese'	660	8 in.	Full to Ground @ 20' O.C.
21	LNH	Natchez Crane Maple	Lagerstroemia indica x 'Natchez' 'Natchez'	660	6 in.	Clump, pruned to 48", Full Crown @ 12' O.C.
10	MSB	Blackburn's Brown Beauty Southern Magnolia	Magnolia grandiflora 'Blackburn Beauty'	660	8 in.	Full to Ground @ 25' O.C.
13	MSK	Sweetbay Magnolia	Magnolia virginiana	660	6 in.	Clump, pruned to 36", Full Crown
9	QLA	Overcup Oak	Quercus laevis	660	2' Cal.	Full Crown @ 25' O.C.
10	QPS	Willow Oak	Quercus phellos	660	2' Cal.	Full Crown @ 25' O.C.
7	TSL	Pond Cypress	Taxodium ascendens	660	2' Cal.	Full Crown @ 25' O.C.
25	TSG	Green Giant Arborvitae	Thuja (japanensis x pilulata) 'Green Giant'	660	6 in.	Full to Ground @ 10' O.C.
12	ULP	Proctor Elm	Ulmus americana 'Proctor'	660	2' Cal.	Full Crown
SHRUBS						
AGA	AGA	Little Richard Glossy Abelia	Abelia x grandiflora 'Little Richard'	Cont.	3 gal.	Full Plants @ 48" O.C.
4PL	4PL	Little Lime Hydrangea	Hydrangea paniculata 'Little Lime'	Cont.	3 gal.	Full Plants @ 48" O.C.
4CA	4CA	Camelia Holly	Ilex cornuta 'Camelia'	Cont.	3 gal.	Full Plants @ 48" O.C.
4CB	4CB	Dwarf Barford Holly	Ilex cornuta 'Barford'	Cont.	3 gal.	Full Plants @ 48" O.C.
4SL	4SL	Supreme Laurel	Prunus laurocerasus 'Supreme'	Cont.	3 gal.	Full Plants @ 48" O.C.
4RS	4RS	Redmound Knockout Rose	Rosa x 'Redmound'	Cont.	3 gal.	Full Plants @ 48" O.C.
GROUNDCOVER						
371	CHP	Japanese Plum Yew	Cephalotaxus harringtonia 'Proctora'	Cont.	3 gal.	Full Plants @ 36" O.C.
114	LMB	Blue Blue Linum	Linum catharticum 'Blue Blue'	Cont.	1 gal.	Full Plants @ 18" O.C.
362	CB	Blue Pacific Shore Juniper	Juniperus conferta 'Blue Pacific'	Cont.	3 gal.	Full Plants @ 36" O.C.
LAWNS						
		Fescue Blend		Seed	Seed	
		Fescue Blend		Seed	Seed	

- LANDSCAPE NOTES:**

 - THIS LANDSCAPE PLAN IS FOR MUNICIPAL REVIEW AND NOT FOR CONSTRUCTION.
 - THE SITE IS PRIMARILY GRASS AND DOES NOT CONTAIN OTHER SIGNIFICANT VEGETATION.
 - EXAMINE SITE UPON WHICH WORK IS TO BE PERFORMED. PROVIDE PERCOLATION TESTS, PH TESTS AND OTHER TESTS NECESSARY TO ASCERTAIN THAT ADEQUATE GROWING CONDITIONS WILL BE PROVIDED FOR THE PLANTS. IF PERCOLATION TEST OR SUBSOIL CONDITIONS INDICATE RETENTION OF WATER IN PLANTING AREAS, AS SHOWN BY SEPTAGE OR OTHER EVIDENCE INDICATING PRESENCE OF UNDERGROUND WATER, RECTIFY UNSATISFACTORY CONDITIONS BEFORE BACKFILLING. DO NOT PROCEED WITH WORK UNTIL SATISFACTORY CONDITIONS HAVE BEEN CORRECTED. COMMENCEMENT OF PLANTING WORK INDICATES SITE CONDITIONS HAVE BEEN ACCEPTED BY CONTRACTOR.
 - UNDERGROUND UTILITIES EXIST ON SITE. VERIFY LOCATIONS AND DEPTHS BEFORE COMMENCING WITH PLANTING WORK.
 - PLANT MATERIAL SHALL BE INSTALLED IN THE DOMINANT SEASON UNLESS SPECIFIED OTHERWISE.
 - FOR LANDSCAPING AREAS OF HILLS PLANTING OF SHRUBS AND/OR GROUNDCOVERS TO BE ESTABLISHED IN AREAS THAT HAVE NOT BEEN ALTERED OR DISTURBED BY EXCAVATION, GRADING, OR STRIPPING OPERATIONS. PREPARE SOIL BY TILLING TO A HOMOGENEOUS MIXTURE OF FINE TEXTURE, FREE OF LUMPS, CLODS OR STONES LARGER THAN 2" IN GREATEST DIMENSION. ROOTS AND OTHER EXTRANEUS MATERIAL TO A DEPTH OF NOT LESS THAN 4". ELIMINATING UNEVEN AREAS AND TOPSOILS REMOVING FOREIGN MATERIALS; SPREADING 4" MINIMUM TOPSOIL. DEFINE BEDS WITH TRENCHED EDGING AT LAWNS.
 - IF QUANTITY OF STOCKPILED TOPSOIL IS INSUFFICIENT, PROVIDE ADDITIONAL TOPSOIL AS REQUIRED TO ACHIEVE A MINIMUM 4" DEPTH AT PLANTING BEDS. ENSURE THAT TOPSOIL IS STERILE, FERTILE, FRUITABLE, NATURAL, USGA TYPICAL FOR LOCALITY; CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH; TAKEN FROM WELL-DRAINAGE SITE; FREE OF SUBSIL, CLAY LUMPS OR STONES LARGER THAN 2" IN GREATEST DIMENSION. PLANTS, WEEDS, AND ROOTS, HAVING PH VALUE OF 5.5 MINIMUM AND 7.0 MAXIMUM, CONTAINING 4 PERCENT MINIMUM ORGANIC MATTER. AMEND TOPSOIL WITH FERTILIZER AND/OR LIME AS REQUIRED TO PROMOTE VIGOROUS PLANT GROWTH.
 - ASSURE THAT BEDS DRAIN AWAY FROM STRUCTURES.
 - CONTRACTOR SHALL STAKE THE LOCATION OF ALL GROUND COVER BEDS, SHRUBS AND TREES FOR APPROVAL PRIOR TO INSTALLATION.
 - CONTRACTOR SHALL ERADICATE WEEDS AND NON-SPECIFIED PLANT MATERIAL THREE (3) WEEKS PRIOR TO PLANT/SEED INSTALLATION. PROVIDE AND INSTALL ONLY PLANTS THAT ARE FREE FROM DISEASE AND PESTS, AND THAT COMPLY WITH THE LATEST EDITION OF PUBLICATION AND 2001, "AMERICAN STANDARDS FOR NURSERY STOCK," BY THE AMERICAN ASSOCIATION OF NURSERMEN.
 - ADD PRE-EMERGENT HERBICIDE UNDERNEATH AND ON TOP OF MULCH IN LANDSCAPE BEDS.
 - TOP DRESS BEDS WITH 3" DARK HARDWOOD MULCH. PROVIDE 3" DEEP LAYER IN A FOUR FOOT DIAMETER RING AROUND TREES IN LAWN AREAS.
 - PLANT GROUND COVERS THROUGH MULCH.
 - REMOVE STRINGS AND OTHER TIES FROM PLANT MATERIAL.
 - REMOVE UPPER 1/3 OF BURLAP FROM PLANT ROOT BALLS.
 - DO NOT PIERCE TREE ROOT BALLS WITH SUPPORT STAKES.
 - ADD FERTILIZER AS REQUIRED FOR OPTIMUM PLANT PERFORMANCE AND PRE-EMERGENT HERBICIDE.
 - DO NOT MAKE SUBSTITUTIONS REGARDING PLANT SIZES OR SPECIES WITHOUT WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.
 - PLANT MATERIAL, MULCH, AND OTHER RELATED LANDSCAPE PRODUCTS MUST BE PRE-TREATED FOR FIRE ANTS.
 - WARRANTY MATERIALS AND WORKMANSHIP FOR TWELVE MONTHS FROM THE DATE OF SUBSTANTIAL COMPLETION. ANY TREE WHICH FAILS TO SURVIVE TWELVE (12) MONTHS SHALL BE REPLACED WITHIN SIX (6) MONTHS OF LOSS.
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAKING REPAIRS NECESSITATED BY DAMAGE OCCURRING DURING THE PERFORMANCE OF THEIR WORK.
 - CONTRACTOR SHALL REMOVE STAKES AND GUY WIRES FOR TREES APPROVED BY THE LANDSCAPE ARCHITECT DURING THE WARRANTY INSPECTION.
 - SEED AREAS DISTURBED DURING CONSTRUCTION WITH APPROVED FESCUE BLEND.
 - ESTABLISH LAWNS AS INDICATED ON PLANS.
 - SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- TTCPA NOTES:**

 - TTCPA GUIDELINES 3.1.4: AT LEAST 25% OF PROPOSED/EXISTING TREES SHALL BE EVERGREEN. 25% OF THE PROPOSED TREES ARE EVERGREEN.
 - TTCPA GUIDELINES 3.1.5: FOR DEVELOPMENT SITES, AT LEAST 10 LARGE MATURING TREES ARE REQUIRED PER ACRE OF YARD SPACE. 6.5 ACRES OF YARD SPACE (INCLUDING STORMWATER POND) X 10 = 65 (MIN.) L.G. TREES REQUIRED. 70 L.G. TREES ARE PROPOSED.
 - TTCPA GUIDELINES 3.1.7: EVERGREEN PLANT MATERIAL SHOULD BE USED TO SCREEN PARKING AND TO PROVIDE TRANSITIONS BETWEEN LAND USES. ALTHOUGH PROPOSED PARKING IS INTERNAL, EVERGREEN TREES ARE PROPOSED TO FURTHER SCREEN THE PARKING FROM ROADS AND ADJACENT PROPERTY.
 - TTCPA GUIDELINES 3.2.3: AREAS AROUND THE BUILDINGS EQUAL TO AT LEAST 50% OF EACH FRONT AND SIDE ELEVATIONS SHALL BE LANDSCAPED WITH ORNAMENTAL TREES, SHRUBS AND BEDDING PLANTS.
 - TTCPA GUIDELINES 3.3.4: LANDSCAPING SHOULD BE USED TO SCREEN MECHANICAL EQUIPMENT AND OTHER UGLY BUILDING ELEMENTS. EVERGREEN SHRUBS ARE PROPOSED TO SCREEN THE CONTRACTOR BUILDING AND MECHANICAL EQUIPMENT.
 - TTCPA GUIDELINES 3.4.2: TREES SHALL BE REQUIRED AT THE RATE OF ONE (1) MEDIUM OR LARGE MATURING CANOPY TREE FOR EVERY TEN PARKING SPACES PROVIDED. 329 PARKING SPACES: 33 SHADE TREES REQUIRED. 34 SHADE TREES ARE PROPOSED AT THE PARKING AREAS.
 - TTCPA GUIDELINES 3.4.4: IN ADDITION TO THE PLANTING OF REQUIRED CANOPY TREES, PLANTING AREAS FOR ORNAMENTAL TREES, SHRUBS AND BEDDING PLANTS SHALL BE NO LESS THAN FIVE (5) PER ACRE OF THE SURFACE AREA DEVOTED TO PARKING. 10,600 SF X .05 = 530 SF MINIMUM REQUIRED. 12,750 SF OF PLANTING ADJACENT TO PARKING IS PROPOSED.
 - KNOX COUNTY ZONING 5-41 - GR OFFICE, MECHANICAL AND RELATED SERVICES ZONE: THERE ARE NO SPECIFIC LANDSCAPE REQUIREMENTS ASSOCIATED WITH THIS ZONE. HOWEVER USE ON REVIEW IS REQUIRED FOR THE PROPOSED MULTI-FAMILY DEVELOPMENT.

NOTE:
TREES ARE IDENTIFIED ON SHEET L1.01. SEE ENLARGED PLANS L2.01, L2.02 & L2.03 FOR SHRUBS AND GROUND COVERS.

OVERALL LANDSCAPE PLAN
L1.01 SCALE 1"=40'-0"

THE PENLAND STUDIO
LANDSCAPE ARCHITECTURE
2110 HOLDERWOOD LANE
KNOXVILLE, TENNESSEE 37922
BETH@PENLANDSTUDIO.COM
865.335.3584
WWW.PENLANDSTUDIO.COM

UOR AND TTCPA COMMENTS

02/22/2021

REVISIONS

DATE

CANNON & CANNON INC.
CONSULTING ENGINEERS - FIELD SURVEYORS
865.670.8555 | 8000 Kingston Pike
Knoxville, TN 37919

CLIENT: **BERKLEY HALL COMPANIES**
500 D STREET
GREENSBORO, NORTH CAROLINA 27405
(336)951.9413

PROJECT: **875 CORNERSTONE MULTI-FAMILY**
875 CORNERSTONE DRIVE
KNOXVILLE, TENNESSEE 37932

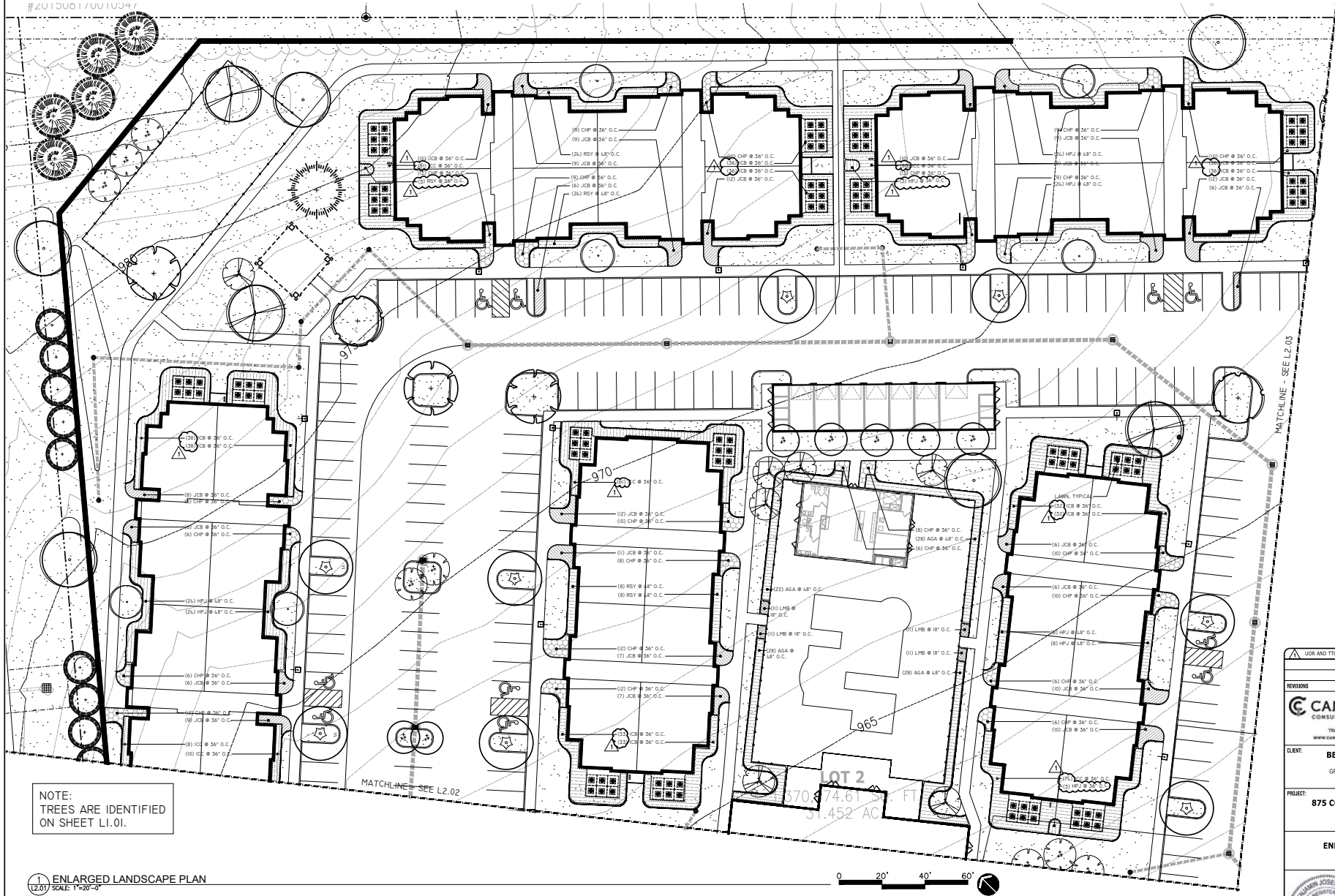
OVERALL LANDSCAPE PLAN
USE ON REVIEW

CCI PROJECT NO. 01554-0000
DRAWING DATE: FEBRUARY 22, 2021
FW AWG PK
DRAW TFS CHECKED TFS

LANDSCAPE ARCHITECT

UOR L1.01

#2010001/001034/



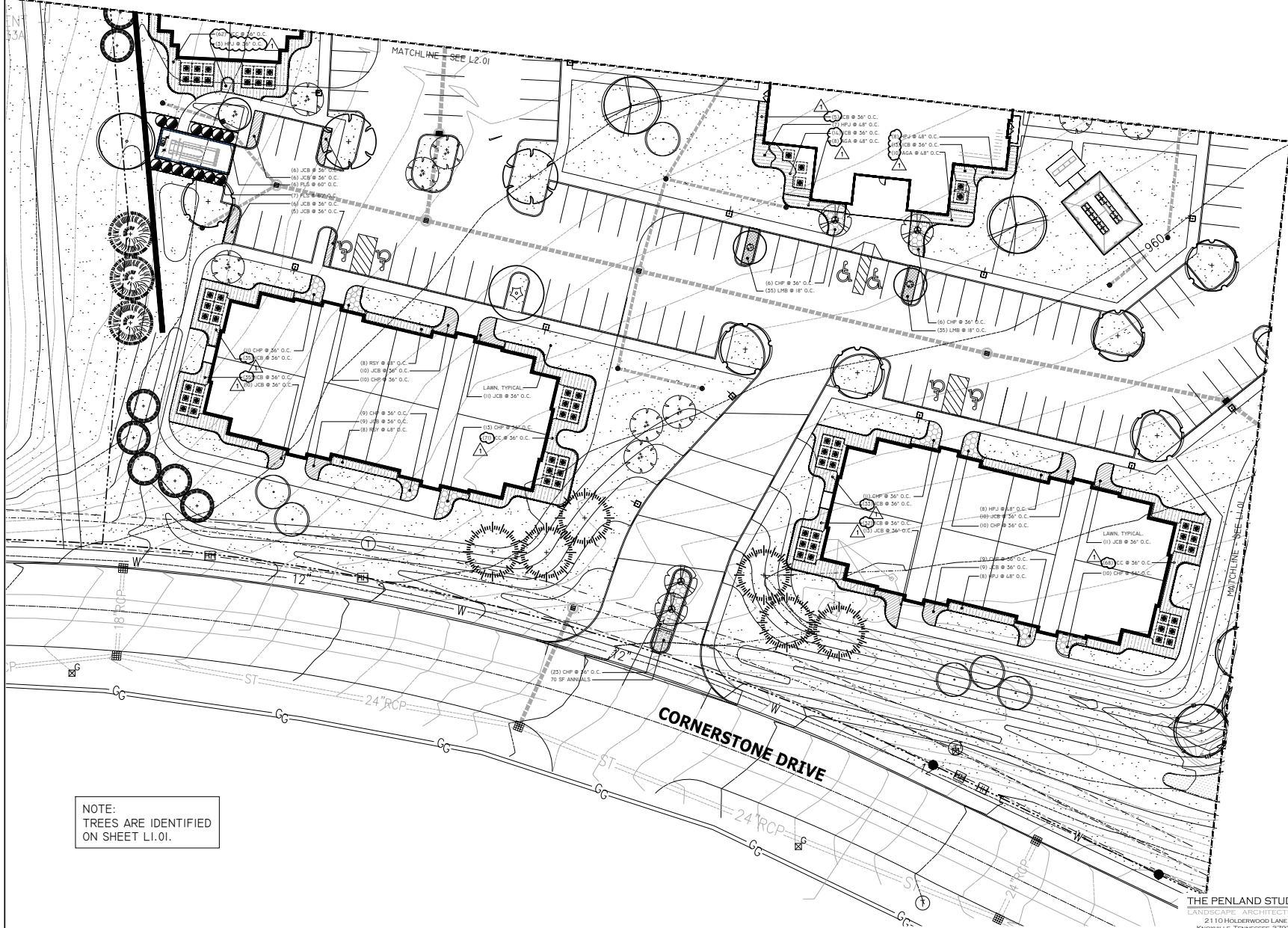
NOTE:
TREES ARE IDENTIFIED
ON SHEET L1.01.

1 ENLARGED LANDSCAPE PLAN
(12.01) SCALE: 1"=20'-0"



THE PENLAND STUDIO
LANDSCAPE ARCHITECTURE
2110 HOLDERWOOD LANE
KNOXVILLE, TENNESSEE 37922
BYPENLANDSTUDIO.COM
865.335.3584
WWW.PENLANDSTUDIO.COM

UOR AND TTICA COMMENTS		02/22/2021
REVISIONS		DATE
CANNON & CANNON INC. CONSULTING ENGINEERS - FIELD SURVEYORS 865.670.8555 8500 Kingston Pike www.cannon-cannon.com Knoxville, TN 37919		
CLIENT:	BERKLEY HALL COMPANIES 500 D STREET GREENSBORO, NORTH CAROLINA 27405 (336)451.9413	
PROJECT:	875 CORNERSTONE MULTI-FAMILY 875 CORNERSTONE DRIVE KNOXVILLE, TENNESSEE 37932	
ENLARGED LANDSCAPE PLAN USE ON REVIEW		
CD PROJECT NO.	01554-0000	
DRAWING DATE	FEBRUARY 22, 2021	
PN	AWG	PK
DRAWN	TPS	CHECKED TPS
UOR L2.01		



NOTE:
TREES ARE IDENTIFIED
ON SHEET L1.01.

1 ENLARGED LANDSCAPE PLAN
12.02 SCALE: 1"=20'-0"

THE PENLAND STUDIO
LANDSCAPE ARCHITECTURE
2110 HOLDERWOOD LANE
KNOXVILLE, TENNESSEE 37922
BPENLAND@PENLANDSTUDIO.COM
865.335.3584
WWW.PENLANDSTUDIO.COM

UOR AND TDCA COMMENTS		02/22/2021
REVISIONS		DATE
CANNON & CANNON INC. CONSULTING ENGINEERS - FIELD SURVEYORS Tel: 865.670.8555 8000 Kingston Pike www.cannon-cannon.com Knoxville, TN 37919		
CLIENT:	BERKLEY HALL COMPANIES 500 D STREET GREENSBORO, NORTH CAROLINA 27405 (336)511.9413	
PROJECT:	875 CORNERSTONE MULTI-FAMILY 875 CORNERSTONE DRIVE KNOXVILLE, TENNESSEE 37932	
ENLARGED LANDSCAPE PLAN USE ON REVIEW		
CSI PROJECT NO.	01554-0000	
DRAWING DATE	FEBRUARY 22, 2021	
PN	AWG	PK
DRAWN	TPS	CHECKED TPS
UOR L2.02		



Exterior Material Legend

Generic Architectural Shingles



Metal Roofing



Hardieplank Lap Siding
Favorite Jeans



Hardiepanel Vertical Siding
Charcoal Blue



Clubhouse:

Echo Ridge Stone



Generic Brick





FRONT ELEVATION
1/4" = 1'-0"



CERTIFICATE OF APPROPRIATENESS

Name of Applicant: 875 Cornerstone Multifamily Development
Date Filed: 01/28/2021 Fee Paid: \$400 File Number: 3-A-21-TOB
Map Number: 131 Zoning District: OB/TO
Jurisdiction: ☐ City _____ Councilmanic District ☒ County 6 Commission District

PROPERTY INFORMATION

ADDRESS: 875 Cornerstone Drive Knoxville, TN 37923
STREET NUMBER AND NAME
GENERAL LOCATION: Northeast corner of Murdock Drive and Cornerstone Drive
PARCEL NUMBER(S): Parcel ID 131 069
SIZE OF TRACT: 12.35 ☒ ACRES ☐ SQUARE FEET

PURPOSE OF REQUEST

- ☒ BUILDING PERMIT — New Construction
☐ BUILDING PERMIT — Expansion or Renovation
☒ BUILDING PERMIT — Grading Plan
☐ REZONING
From: _____
To: _____
☒ SIGNAGE
☐ ZONING VARIANCE — (Describe and give reason)

NOTE: Four (4) copies* of all plan materials are required to process the application. Please check all that apply:

- ☒ DEVELOPMENT PLAN *Electronic submittal
☒ BUILDING ELEVATIONS
☒ FLOOR PLAN
☒ LANDSCAPE PLAN WITH SCHEDULE
☒ SIGNAGE PLAN
☐ OFF-STREET PARKING PLAN
☐ OTHER:

APPLICATION CORRESPONDENCE — All correspondence relating to this application should be sent to:

PLEASE PRINT

Name: Alan Grissom Phone: 865-978-0348 Fax: _____
Mailing Address: 8550 Kingston Pike Knoxville, TN 37919

APPLICATION AUTHORIZATION — I hereby certify that I am the authorized applicant, representing ALL property owners involved in this request or holders of option on same, whose signatures are included on the back of this form.

Signature: _____

PLEASE PRINT

Name: Alan Grissom Phone: 865-978-0348 Fax: _____
Mailing Address: 8550 Kingston Pike Knoxville, TN 37919

APPLICATION ACCEPTANCE — Staff Member who accepted this application:

Michelle Foster

SIGNATURES OF ALL PROPERTY OWNERS INVOLVED OR HOLDERS OF OPTION ON SAME MUST BE LISTED BELOW:

(Please sign in black or blue ink)

[illegible]