

Report of Staff Recommendation

Tennessee Technology Corridor Development Authority

File Number:

5-B-20-TOB

Applicant: HARDIN VALLEY HOLDINGS, LLC

Request: BUILDING PERMIT

Meeting Date: 5/11/2020

Address: 2326 Cherahala Blvd.

Map/Parcel Number: 103 E A 017

Location: East side of Cherahala Boulevard, north of Hardin Valley Road.

Existing Zoning: CA (General Business) / TO (Technology Overlay)

Proposed Zoning: No change

Existing Land Use: Vacant lot

Proposed Land Use: Child Day Care Center

Appx. Size of Tract: 1.9 acres

Accessibility: Cherahala Blvd. is a minor collector. It has two lanes of travel in each direction, separated by a grass median in this section of the road close to Hardin Valley Rd. It has a pavement width of 30 feet with a right-of-way of approximately 50 feet, measured separately for each travel direction.

Surrounding Zoning and Land Uses: North: Vacant lot- BP (Business Park) and TO (Technology Overlay)

South: Restaurants - CA (General Business) and TO (Technology Overlay)

East: Land-locked lot, private garden as accessory use to single family residential lot to east - BP (Business Park), CA (General Business), and TO (Technology Overlay)

West: Medical Center and vacant lot - BP (Business Park), CA (General Business), and TO (Technology Overlay)

Comments:

1. The applicant is proposing to develop a child day care facility ("Primrose School") on a 1.9 acre tract located on the west side of Cherahala Boulevard, north of Hardin Valley Road. Access will be off of Cherahala Blvd.
2. The facility will be a one-story building with approximately 12,068 sq ft. It will include four outdoor playground areas in addition to interior classroom space.
3. The proposed building will be located approximately 45 ft from the closest residential property to the east at the rear of this property. There are two properties zoned CA/TO but are a single family dwelling and a private garden behind this site.
4. The building proposed for this site meets requirements for Ground Area Coverage (GAC), Floor Area Ratio (FAR), and Impervious Area Ratio (IAR).
5. The applicant is proposing a total of 42 parking spaces, which meets the requirements of the Knox County Zoning Ordinance and TTCDA Design Guidelines.
6. The landscaped buffer between the proposed parking lot and the right-of-way is 28.9 ft on the right side of the parking lot frontage, and 13.4 ft on the left side of the parking lot frontage. A waiver is being sought to allow the 13.4 ft landscaping depth on the left side of the parking lot frontage in lieu of the required 20 ft (Section 1.7.9)
7. With the placement of the outdoor play areas around the sides and back of the building, there is no landscaping immediately surrounding the building to meet the 50% requirement (Section 3.3.3). A waiver from this requirement is being requested.
8. The proposed landscape plan is otherwise consistent with the Design Guidelines.
9. The proposed lighting for the site will be full cut-off fixtures, with the exception of the

flagpole lighting. Proposed site lighting falls within the maximum intensity limits.

10. The proposed building features brick and Hardie board-and-batten siding with vinyl shutters and a standing metal seam roof. Proposed colors are neutral shades of gray and brown. Dumpster enclosure will be screened from view from public streets with fencing and shrubs.

11. Proposed signage includes a wall sign and yard sign. The wall sign is green with a white logo and letters. It has a routed aluminum face with push-through letters and logo, halo lighted with LED lamps. It is proposed at 9.6 sq ft. The monument sign is a 6-ft tall cabinet set back 20 ft from the right-of-way. It is clad in Hardie siding to match the building and has a 2-in capstone and base. The sign material of the message area matches that of the wall sign. Both are consistent with the Design Guidelines.

12. A daycare facility requires use on review approval by the Knoxville-Knox County Planning Commission in the CA zone. The Planning Commission will consider this request (5-M-20-UR) on May 14, 2020.

Design Guideline Conformity:	The development plan will be in conformity with the Design Guidelines with approval of the waivers and conditions.
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Waivers and Variances Requested:	<ol style="list-style-type: none"> 1. Waiver to allow a 13.4-ft landscaping depth between the parking and the right-of-way on the northern portion of the parking lot frontage (20-ft minimum required, Section 1.7.9). 2. Waiver to allow no landscaping immediately surrounding the building (50% of the length of the façade required, Section 3.3.3).
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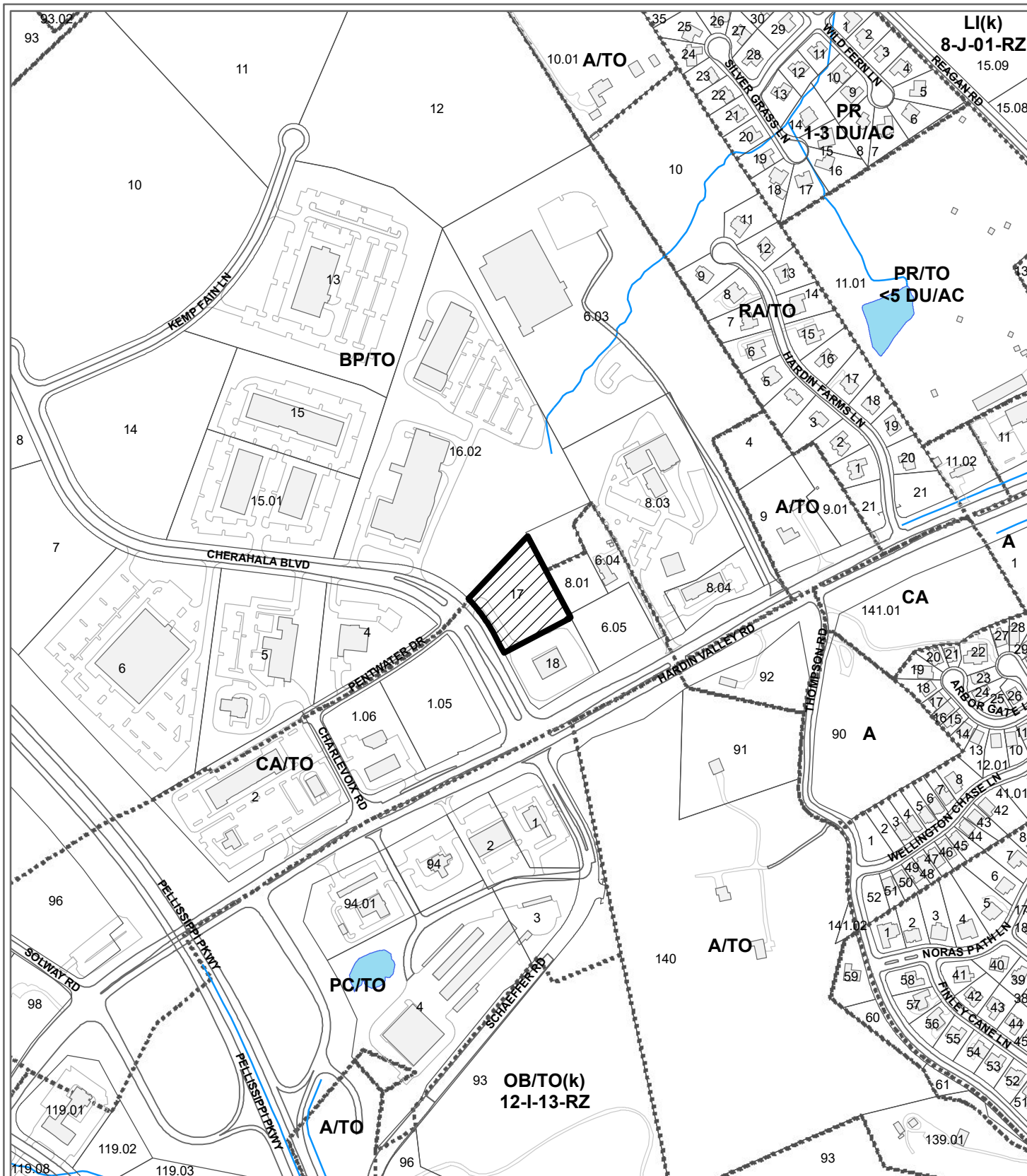
Staff Recommendation:

Based on the application and plans as submitted and revised, Staff recommends APPROVAL of the requested waivers from the Design Guidelines:

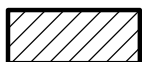
1. Waiver to allow a 13.4-ft landscaping depth between the parking and the right-of-way on the northern portion of the parking lot frontage (20-ft minimum required, Section 1.7.9). Staff is recommending approval of the waiver due to the existing driveway that restricts layout of the parking lot.
2. Waiver to allow no landscaping immediately surrounding the building (50% of the length of the façade required, Section 3.3.3). Staff is recommending approval of the waiver due to the proposed landscaping around the perimeter of the outdoor playgrounds that provides screening from adjacent properties and provides a visual buffer to the building.

Based on the application and plans as submitted and revised, Staff recommends APPROVAL of this request for a Certificate of Appropriateness for a building permit, subject to the following conditions:

1. Obtaining approval from the Knoxville-Knox County Planning Commission for the proposed facility (5-M-20-UR).
2. Connection to sanitary sewer and meeting any other relevant requirements of the utility provider.
3. Installation of all landscaping as shown on development plan within six months of the issuance of an occupancy permit, or posting a bond with the Knox County Department of Engineering and Public Works to guarantee such installation.
4. Meeting all applicable requirements of the Knox County Department of Engineering and Public Works.
5. Meeting all applicable requirements of the Knox County Fire Prevention Bureau.
6. Meeting all applicable requirements and obtaining all required permits from the Tennessee Department of Health.
7. Meeting all applicable requirements of the Knox County Zoning Ordinance.
8. Meeting all applicable requirements of the Development Corporation, since the property is located in the Pellissippi Corporate Center.



**5-B-20-TOB
CERTIFICATE OF APPROPRIATENESS**



Purpose of Request: Building Permit - New Construction

Original Print Date: 4/23/2020
Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902

Revised:

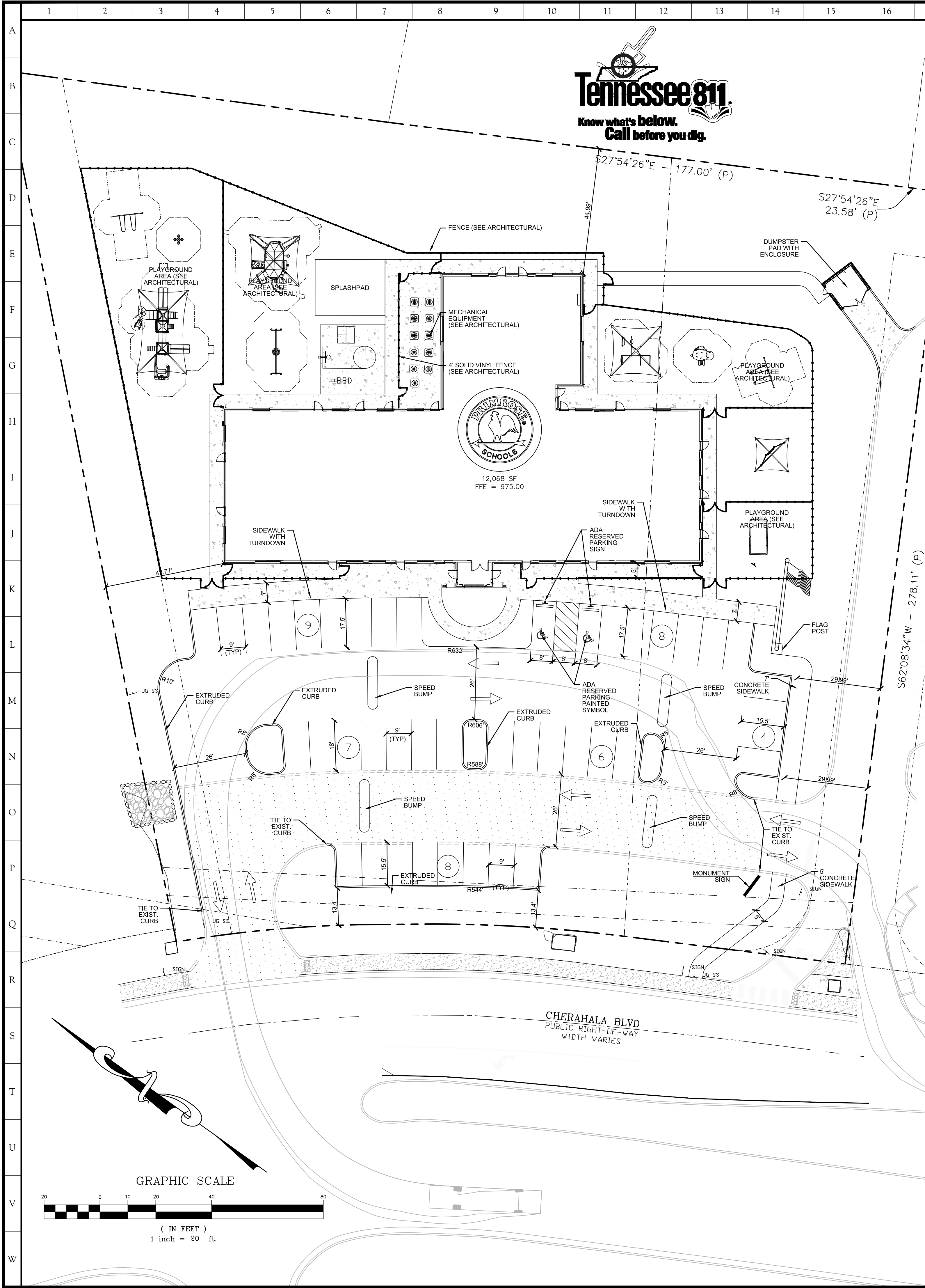
Petitioner: Hardin Valley Holdings, LLC

Map No: 103

Jurisdiction: County

0 500
Feet





PAVING MATERIALS SCHEDULE:		
STANDARD DUTY ASPHALT PAVING		
AGGREGATE BASE COURSE*	6"	TDOT TYPE A, CLASS A & GRADING D
BITUMINOUS ASPHALT BASE MIX**	2 1/2"	TDOT GRADING BM
BITUMINOUS ASPHALT SURFACE MIX***	1 1/2"	TDOT GRADING E
TACK COAT	0.07 GAL PER SQ YD UNDER SURFACE MIX	
HEAVY DUTY ASPHALT PAVING		
STRATA SYSTEMS STRATABASE SB12 GEOGRID	1 LAYER	PLACED ON APPROVED SUBGRADE WITH 1 FT OVERLAP
AGGREGATE BASE COURSE*	6"	TDOT TYPE A, CLASS A & GRADING D
BITUMINOUS ASPHALT BASE MIX**	2 1/2"	TDOT GRADING BM
BITUMINOUS ASPHALT SURFACE MIX***	1 1/2"	TDOT GRADING E
TACK COAT	0.07 GAL PER SQ YD UNDER SURFACE MIX	
HEAVY DUTY CONCRETE PAVING		
AGGREGATE BASE COURSE	6"	TDOT TYPE A, CLASS A & GRADING D
PORTLAND CEMENT CONCRETE	7"	PCC 4000 PSI TYPE I WITH 2 LAYERS 6X6 W6.0XW6.0 WWF CONTINUOUS SAWED OR FORMED CONTROL JOINTS AT 15 FOOT BY 15 FOOT SPACING MAX.
*REFER TO TDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", SECTION 903.05		
**REFER TO TDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", SECTION 307		
***REFER TO TDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", SECTION 411		

SITE PAVING NOTES:

PAVING ELEVATION TOLERANCE
FINAL SUBGRADE SHALL BE INSPECTED BY PAVING CONTRACTOR FOR REQUIRED ELEVATION AND ADEQUATE COMPACTION BEFORE COMMENCING ANY PAVING ACTIVITY. PAVING ELEVATION SHALL NOT HAVE MORE THAN 1" DEVIATION IN ANY 10' INCREMENT.

PAVING THICKNESS TOLERANCE
PAVING THICKNESS AT ANY ONE CORE SHALL NOT BE LESS THAN 90% OF SPECIFIED THICKNESS. THE AVERAGE OF ALL APPROVED TESTS MUST BE AT LEAST EQUAL TO THE SPECIFIED THICKNESS FOR EACH MATERIAL. NOT MORE THAN 20% OF ALL APPROVED TEST MAY FALL BELOW SPECIFIED MINIMUMS. ANY AREA FOUND TO BE LESS THAN 90% SPECIFIED THICKNESS SHALL BE OVERLAIN WITH ASPHALT AS DIRECTED BY SITE, INC.

TESTING DURING PLACEMENT
GENERAL CONTRACTOR SHALL PERFORM SEVERAL SPOT CHECKS OF PAVING BASE THICKNESS PRIOR TO INSTALLATION OF ANY ASPHALTIC OR CONCRETE PAVING. DENSITY TESTS SHALL BE PERFORMED ON EACH LIFT AT THE RATE OF ONE TEST PER 10,000 SQUARE FEET.

CONTRACTOR SHALL PROVIDE FOR TESTING OF COMPLETED PAVING INSTALLATION FOR COMPLIANCE WITH DESIGN CRITERIA AND REQUIRED THICKNESS. CONTRACTOR SHALL REPLACE ALL NON-CONFORMING MATERIAL AT HIS OWN EXPENSE.

TESTING SHALL BE PERFORMED ONLY BY AN INDEPENDENT TESTING AGENT APPROVED BY SITE, INC. TEST HOLES NOT SPOTTED BY SITE, INC. MAY NOT BE CONSIDERED ACCEPTABLE.

ALLOW A MINIMUM OF SIXTEEN CORE TESTS TO BE LOCATED ONLY BY WRITTEN INSTRUCTION BY SITE, INC.

THE PAVING CONTRACTOR SHALL REPAIR ALL CORING HOLES BY FILLING HOLES WITH CONCRETE FLUSH TO TOP OF PAVEMENT.

ASPHALTIC PAVING MATERIALS
MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE SPECIFICATION OF THE HIGHWAY DEPARTMENT OF THE STATE IN WHICH THE PROJECT IS LOCATED. REFER TO PAVING MATERIALS LEGEND.

CONCRETE
CONCRETE CURBING SHALL BE 4000 PSI 28 DAY STRENGTH 2" - 3" SLUMP. (NO CURB DEFORMATION) 3% - 5% AIR ENTRAINED. INSTALL WITH RC-70 TACK COAT EMULSION OVER ASPHALT.

PROVIDE CYLINDER BREAK TEST - 3/500 L.F. OF CURBING OR 1-DAY POUR WITH BREAKS - 1 @ 7-DAYS, 2 @ 28-DAYS. COMPLY WITH ASTM C-31 AND ASTM C-39. ALSO PROVIDE ONE SLUMP TEST PER 500 L.F. OF CURBING OR 1-DAY POUR.

PROVIDE EXPANSION JOINT @ 50' O.C. (MAX) AND CONTROL JOINTS @ 20' O.C. (MAX) AT ALL CONCRETE PAVING AREAS. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.

PAVEMENT MARKING
PROVIDE PAVEMENT MARKING AS SHOWN ON THE DRAWINGS. STRIPING SHALL BE 4" WIDE OR AS NOTED OTHERWISE ON THE PLANS. ALL MARKINGS SHALL BE THERMOPLASTIC AND SHALL MEET THE TENNESSEE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, MARCH 1, 2006 (SECTION 918.23).

CONTRACTOR SHALL REMOVE ALL EXISTING PAVEMENT MARKINGS THAT DO NOT CONFORM TO TDOT STANDARDS FOR MODIFIED INTERSECTION.

TEMPORARY PAVEMENT LINE MARKINGS ON INTERMEDIATE LAYERS OF PAVEMENT SHALL BE REFLECTIVE TAPE OR REFLECTORIZED PAINT INSTALLED TO PERMANENT STANDARDS BEFORE DARK HOURS. SHORT, UNMARKED SECTIONS SHALL NOT BE ALLOWED.

ALL MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE MUTCD AND TDOT STANDARD DRAWINGS T-M-1 THROUGH T-M-4.

- SITE PLAN NOTES:**
1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
 2. ALL DISTURBED AREAS NOT BUILT NOR PAVED UPON ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
 3. ALL CURBED AND STRIPED RADII ARE TO BE 3' UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS AND RADII ARE TO FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED.
 5. BUILDING DIMENSIONS SHOWN ON SITE LAYOUT PLAN ARE NOMINAL DIMENSION ONLY INTENDED FOR USE IN DETERMINING APPROXIMATE SQUARE FOOTAGES. SEE ARCHITECTURAL PLANS FOR ACTUAL DIMENSIONS OF BUILDING CONSTRUCTION.
 6. EXISTING STRUCTURES WITHIN THE CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED, OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
 7. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO ALL UTILITIES, STORM DRAINAGE, SIGNS, FENCING, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
 8. SITE BOUNDARY, TOPOGRAPHY, AND UTILITY INFORMATION WAS TAKEN FROM SURVEY BY SAM DATED 03/04/2020.
 9. THE SITEWORK FOR THIS PROJECT SHALL MEET OR EXCEED "THE PROJECT SITE WORK SPECIFICATIONS". ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
 10. IN ORDER TO PREVENT PONDING THE CONTRACTOR SHALL INSTALL REVERSE-PITCH GUTTER AT ALL LOCATIONS WHERE ASPHALT SLOPES AWAY FROM GUTTER.
 11. REFER TO ARCHITECTURAL PLANS FOR SITE LIGHTING AND ELECTRICAL PLAN.

SITE DATA	
GROSS BUILDING AREA:	12,068 SF
TTCA PARKING REQUIRED:	2.0 / 1,000 S.F. MIN 3.5 / 1,000 S.F. MAX
KNOX COUNTY PARKING REQUIRED:	2 SPACES PER 3 EMPLOYEES + 1 PER 8 CHILDREN = 38 SPACES
PARKING PROVIDED:	42 SPACES - 3.5 SPACES PER 1,000 S.F. OF GROSS FLOOR AREA
PROPERTY DATA	
LOT AREA:	1.90 ACRES
ZONING:	CA / TO
BUILDING SETBACKS:	
FRONT:	20' 20/60"
SIDE:	0' 20'
REAR:	16' 20'
ABUTTING RESIDENTIAL:	N/A 100'
* - WITH PARKING IN FRONT YARD	
BUILDING SIZE:	12,068 SF
GAC: 12,068 SF / 82,818 SF	14.5%
FAR: 12,068 SF / 82,818 SF	14.5%
IAR: 44,927 SF / 82,818 SF	54.3%
RECORDED EASEMENTS:	
30FT JOINT INGRESS/EGRESS EASEMENT BETWEEN PARCELS - 200801310057198	
PERMANENT EASEMENT ACROSS PARCEL 103EA107 - 200805210068403	
KNOX COUNTY CODE 4.91	
LOT AREA:	REQUIRED = NOT LESS THAN 10,000SF PROVIDED = 82,818SF
INDOOR PLAY SPACE:	30SF/CHILD REQUIRED / 36SF/CHILD PROVIDED
FENCED PLAY AREA:	
REQUIRED:	2,500SF FOR FIRST 20 CHILDREN PLUS 100SF EACH ADD CHILD
PROVIDED:	16,099SF FOR A MAXIMUM OF 156 CHILDREN AT ONE TIME
REQUIRED:	35' SETBACK FROM ROW
PROVIDED:	>35' SETBACK FROM ROW
REQUIRED:	MINIMUM FENCE HEIGHT OF 4 FEET
PROVIDED:	6 FOOT PERIMETER AND 4 FOOT INTERIOR
OFF-STREET PARKING, LOADING, AND UNLOADING OF CHILDREN: SITE COMPLIES.	

5-M-20-UR
Revised: 4/29/2020

10215 Technology Drive, Suite 304
Knoxville, TN 37932
(865) 777-4160
www.site-incorporated.com

USE ON REVIEW

Site Layout Plan

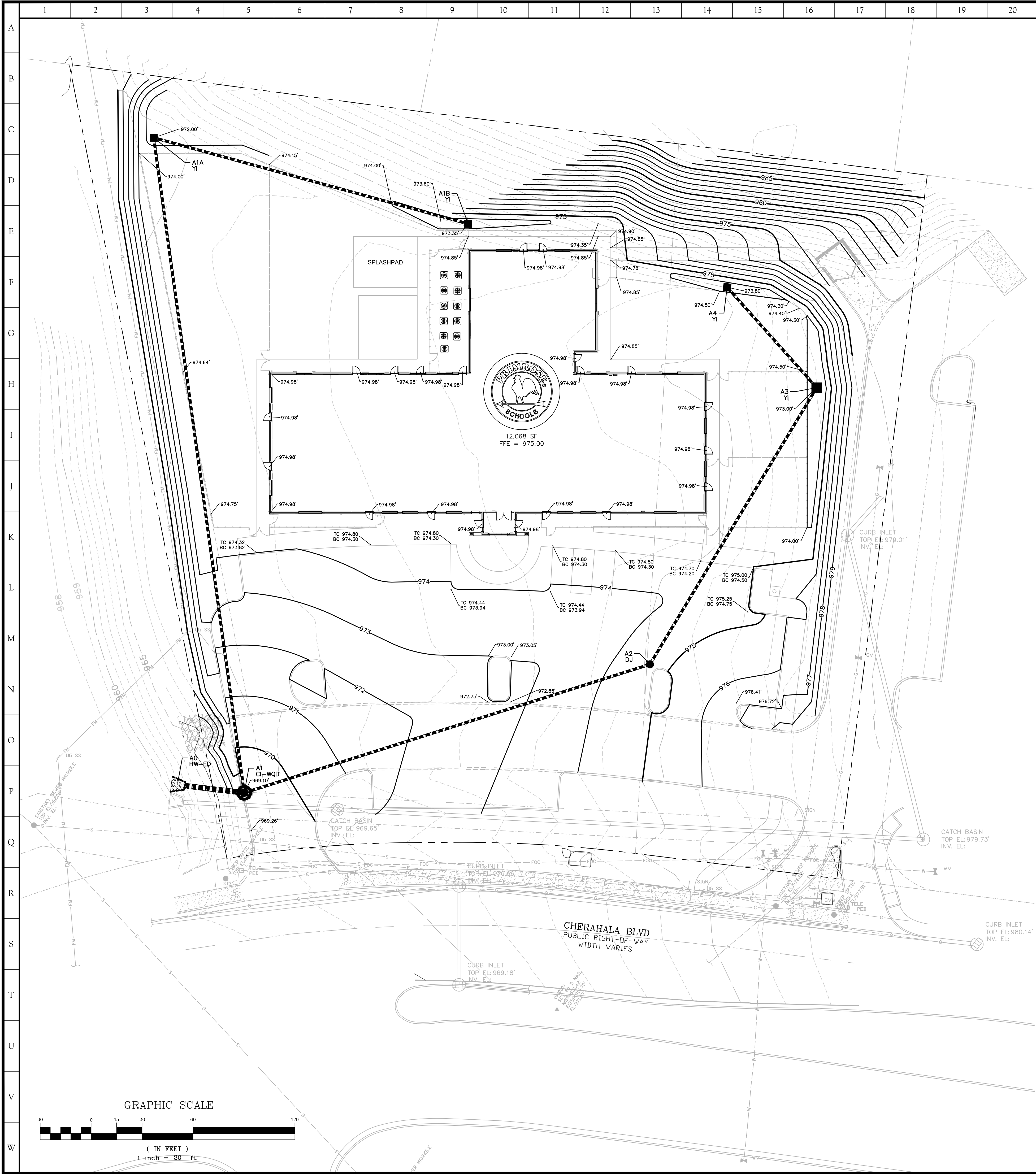
Primrose Schools
2326 Cherahala Blvd, Knoxville, Tennessee 37932
5-M-20-UR & 5-B-20-TOB
Parcel 103 E A 017

REVISIONS

NO.	DATE	COMMENTS
1	04/29/2020	REVISED PER MFC & TTCA COMMENTS

ORIGINAL ISSUE: 03/30/2020
SITE PROJECT #: 2007
FILE: 2007-Layout

C4.0



STRIPPING AND COMPACTION SCHEDULE:

TOPSOIL STRIPPING DEPTH 6" AVERAGE. DEEPER IF REQUIRED LOCALLY.

REQUIRED COMPACTION PERCENTAGES (% MAX DRY DENSITY)

STANDARD PROCTOR METHOD ASTM TEST # D-698

BUILDING AREA 98% PARKING AREA 98%

UPPER 8 INCHES OF BUILDING AREA TO BE COMPACTED TO 98%

UPPER 8 INCHES OF PARKING AREA TO BE COMPACTED TO 98%

TESTING:

ALLOW 1 COMPACTION TEST PER EA. 2500 S.F. (MAX 50' X 50' AREA) PER LIFT AT BUILDING AREAS.

ALLOW 1 COMPACTION TEST PER EACH 10,000 S.F. OF CUT OR NATURAL GRADE AT BUILDING AREA.

ALLOW 1 COMPACTION TEST PER EA. 5500 S.F. (MAX 75' X 75' AREA) PER LIFT AT PARKING AREA.

ALLOW 1 COMPACTION TEST PER EACH 40,000 S.F. OF CUT OR NATURAL GRADE AT PARKING AREA.

MAXIMUM LIFT THICKNESS SHALL BE 8", UNLESS NOTED OTHERWISE

LEGEND:

- 830— EXISTING CONTOUR LINE
- 830— PROPOSED CONTOUR LINE
- 833.50 PROPOSED SPOT ELEVATION
- EX 24" RCP ST — EXISTING STORM SEWER PIPE
- PROPOSED STORM SEWER PIPE
- EX CI/EX EXISTING CURB INLET/CATCH BASIN
- EX ST EXISTING STORM MANHOLE
- CI PROPOSED CURB INLET
- JB PROPOSED JUNCTION BOX
- DRAINAGE SLOPE ARROW



SITE GRADING NOTES:

- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY. CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANY AND PAY ALL FEES.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. THE CONTRACTOR SHALL RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES AND PAY ALL FEES.
- THE CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY EXISTING STRUCTURES THAT ARE DAMAGED DURING, AND AS A RESULT OF, CONSTRUCTION. REPAIRS AND/OR REPLACEMENTS SHALL BE MADE AS NECESSARY TO RETURN THE DAMAGED STRUCTURE(S) TO ORIGINAL OR BETTER CONDITION. REPAIRS AND/OR REPLACEMENTS SHALL BE AT THE CONTRACTORS EXPENSE.
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
- ALL CUT OR FILL SLOPES SHALL BE 2:1 OR FLATTER UNLESS OTHERWISE NOTED.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATIONS SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES STEEPER THAN 3:1. CONTRACTOR SHALL GRASS DISTURBED AREAS PER GRASSING SCHEDULE UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- CONTRACTOR SHALL ADJUST AND/OR SAW CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY BY SITE, INCORPORATED, DATED 07/06/2017. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
- CONTRACTOR SHALL INSPECT, REPAIR, AND CLEAN ALL EXISTING DRAINAGE STRUCTURES AND PIPING. ALL SEDIMENT AND DEBRIS SHALL BE REMOVED.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED.
- ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6 INCHES ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
- ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- MINIMUM COVER FROM TOP OF STORM PIPE TO FINISH GRADE SHALL BE 2 FEET.
- HEADWALLS SHALL BE CONSTRUCTED AND/OR INSTALLED IMMEDIATELY FOLLOWING INSTALLATION OF PIPE TO MINIMIZE POSSIBLE PIPE DAMAGE AND FACILITATE FINAL GRADING.
- RIP-RAP STONE FOR EROSION PROTECTION SHALL BE PROVIDED AT ALL STORMWATER DISCHARGE LOCATIONS.
- WATER, SEWER, AND STORM LINES SHALL BE KEPT 10 FEET APART HORIZONTALLY AND 18 INCHES APART VERTICALLY WHEN CROSSING (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE), UNLESS NOTED OTHERWISE.
- WHEN CROSSING, WATER LINES SHALL BE CONSTRUCTED ABOVE SEWER LINES AND STORM LINES, UNLESS A LACK OF DEPTH ABOVE THE SEWER OR STORM LINE NECESSITATES CONSTRUCTION OF WATER LINES BENEATH SEWER LINES OR STORM LINES. IN THE EVENT OF A VERTICAL CONFLICT, THE FOLLOWING MODIFICATIONS MUST OCCUR:
 - SEWER LINES SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF THE CROSSING.
 - STORM LINES SHALL HAVE "O-RING" GASKETS WITH HUGGER BAND COUPLING AT LEAST 10 FEET ON BOTH SIDES OF THE CROSSING.
 - WATER LINES SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AND APPROPRIATE THRUST BLOCKING MEETING THE REQUIREMENTS OF ANSI 21.10 OR 21.11 (AWWA C-151)(CLASS 50).
- WATER QUALITY UNITS ARE TO BE OFFLINE AND PIPES TO/FROM ARE TO BE PLUGGED UNTIL FINAL STABILIZATION IS COMPLETE.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EARTHWORK REQUIRED TO PREPARE THE UNCLASSIFIED SITE TO THE LINES AND GRADES AS SHOWN ON PLANS. THIS INCLUDES, BUT IS NOT LIMITED TO, ANY QUANTITY OF IMPORT OR EXPORT OF STRUCTURAL FILL AND/OR DISPOSAL OF UNSUITABLE MATERIAL, AS REQUIRED. ALL COSTS SHALL BE INCLUDED IN OVERALL BASE BID. ALL EXCAVATION SHALL BE CONSIDERED UNCLASSIFIED.

REFER TO SHEETS C8.0, C8.1 FOR GRADING AND DRAINAGE DETAILS.

REFER TO STORMWATER POLLUTION PREVENTION PLANS FOR GRASSING/SEEDING SCHEDULES

STORM WATER PIPES AND STRUCTURES											
STORM STRUCTURE TABLE:				STORM PIPE TABLE:							
ID	Type	Top Elev. (ft)	Inv. Elev. (ft)	Pipe	Length (ft)	Size (in)	Slope (%)	Inv. Elev. (ft)	Down Elev. (ft)	Up Elev. (ft)	Material
A1	CI-WQD	969.10		A0-A1	24	18	10.0	961.00	963.40		HDPE-WT
A2	DJ	974.60		A1-A2	167	12	2.4	965.10	969.10		HDPE-WT
A3	YI	973.00		A2-A3	127	12	5.5	969.20	969.90		HDPE-WT
A4	YI	973.80		A3-A4	53	12	1.5	970.00	970.80		HDPE-WT
A1A	YI	972.00		A1-A1A	260	12	1.5	965.10	968.90		HDPE-WT
A1B	YI	973.55		A1A-A1B	128	12	1.2	969.00	970.55		HDPE-WT

** SEE DETAIL SHEET FOR CLARIFICATION OF "TOP" FOR EACH STRUCTURE TYPE

STORM DRAIN STRUCTURE LEGEND:		
TYPE	USE	MODEL
CI-WQD	WATER QUALITY DEVICE WITH CURB INLET	SEE DETAIL SHEET
DJ	DRAIN JUNCTION	SEE DETAIL SHEET
YI	YARD INLET	SEE DETAIL SHEET
HW-ED	ENERGY DISSIPATING HEADWALL	SEE DETAIL SHEET

STORM PIPE MATERIAL:

ALL STORM PIPE LOCATED WITHIN RIGHT-OF-WAY SHALL BE RCP. ALL OTHER STORM PIPE SHALL BE HDPE-WT OR RCP, UNLESS OTHERWISE NOTED ON THE PLAN. APPROVED STORM PIPE IS AS FOLLOWS:

A. REINFORCED CONCRETE PIPE (RCP):
ASTM C76, CLASS III UNLESS NOTED OTHERWISE ON DRAWNGS, INSTALLED WITH FLEXIBLE PLASTIC BITUMEN GASKETS AT JOINTS.
1. GASKETS: AASHTO M198, TYPE B OR ASTM C443, INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

B. HIGH DENSITY POLYETHYLENE PIPE - WATER TIGHT (HDPE-WT):
AASHTO M 252 TYPE S, M 294 TYPE S, OR ASTM F 2306 SMOOTH INTERIOR/ANNULAR EXTERIOR.
1. RUBBER GASKET: ASTM F477
2. RUBBER GASKET JOINTS: ASTM 3212
3. CORRUGATED COUPLING BANDS: AS RECOMMENDED BY MANUFACTURER

5-M-20-UR
Revised: 4/29/2020

SITE, INCORPORATED
CIVIL ENGINEERS & SURVEYORS
EST. 1997
10215 Technology Drive, Suite 304
Knoxville, TN 37932
(865) 777-4160
www.site-incorporated.com

USE ON REVIEW

Site Grading Plan

Primrose Schools
2326 Cherahala Blvd, Knoxville, Tennessee 37932
5-M-20-UR & 5-B-20-TOB
Parcel 103 E A 017

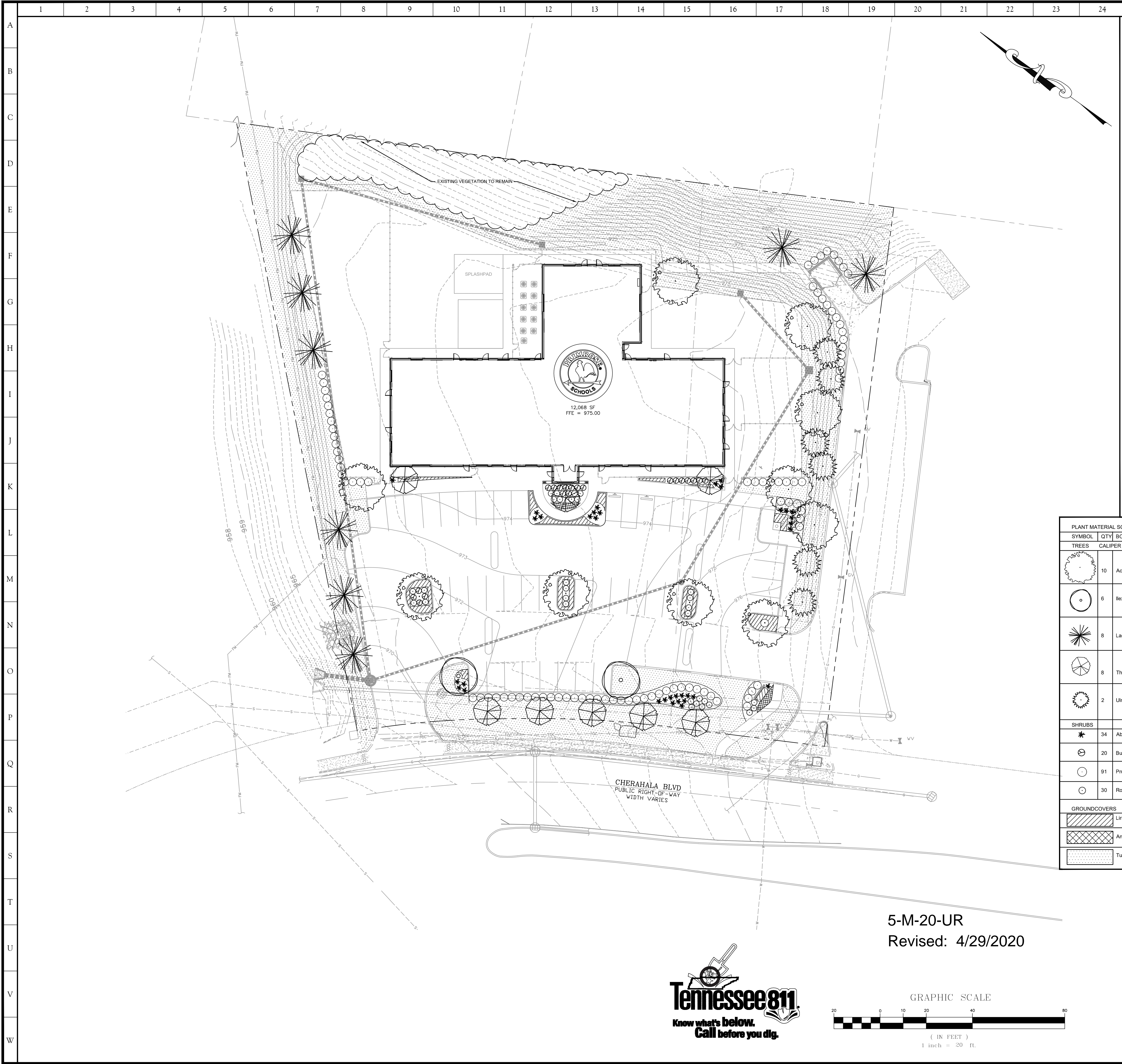
REVISIONS		COMMENTS	
NO.	DATE	REVISIONS	COMMENTS
1	04/29/2020	REVISED PER MFC & TTCDIA COMMENTS	

ORIGINAL ISSUE: 03/30/2020

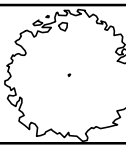
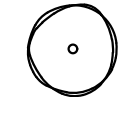
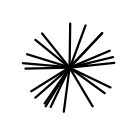
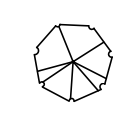
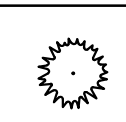
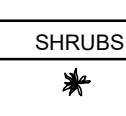
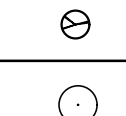
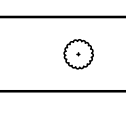
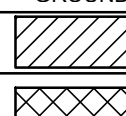
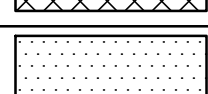


SITE PROJECT #: 2007

FILE: 2007-GRADING

C3.0



- LANDSCAPE NOTES:
- ALL DISTURBED AREAS NOT TO BE PAVED OR BUILT UPON ARE TO RECEIVE A MINIMUM OF 4" OF TOPSOIL.
 - ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE.
 - ALL PLANT MATERIAL SHALL BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST.
 - ALL TREES SHALL HAVE A STRAIGHT TRUNK AND FULL HEAD AND MEET ALL REQUIREMENTS SPECIFIED.
 - ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE OWNER BEFORE, DURING, AND AFTER INSTALLATION.
 - ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS.
 - ALL PLANTING AREAS SHALL BE COMPLETELY MULCHED AS SPECIFIED.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA 2) TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD 3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY MAINTAINING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) ALL OF THE PLANT MATERIALS AND LAWN UNTIL FINAL ACCEPTANCE OF WORK.
 - ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
 - THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF 12 MONTHS AFTER SUBSTANTIAL COMPLETION AND ACCEPTANCE OF WORK. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS DURING THE NORMAL PLANTING SEASON.
 - AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCLIMATED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
 - STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
 - WHERE SHOWN ON THE PLANS AND DETAILS, PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH A HARDWOOD BARK MULCH FROM A LOCAL SOURCE HARVESTED IN A SUSTAINABLE MANNER TO A MINIMUM DEPTH OF THREE INCHES.
 - REFER TO PROJECT SPECIFICATIONS FOR INFORMATION NEEDED FOR IMPLEMENTATION OF PLANTING PLANS.
 - WEED MAT IS REQUIRED IN MULCHED LANDSCAPED BEDS AS SPECIFIED.
 - ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
 - THIS PLAN IS TO BE IMPLEMENTED COOPERATIVELY WITH SWPPP PLAN, AS NEEDED, TO MAXIMIZE THE EFFECTIVENESS OF THE SWPPP PLAN FOR THIS SITE.
 - THE CONTRACTOR IS ENCOURAGED TO COMPLETE TEMPORARY OR PERMANENT SEEDING OR SODDING IN STAGES FOR SOIL STABILIZATION AS AREAS ARE COMPLETED AFTER GRADING.
 - THIS PLAN DOES NOT PRESENT ANY TEMPORARY STABILIZATION REQUIRED AS PART OF SWPPP PLAN.
 - THE CONTRACTOR SHALL MEET ALL OF THE REQUIREMENTS OF KNOX COUNTY AND TTODA REGARDING THIS PROJECT.
 - THIS LANDSCAPE PLAN REFLECTS AND IS CONSISTENT WITH THE REMAINING PLAN SHEETS ASSOCIATED WITH THIS PROJECT.
 - BASED ON AVAILABLE INFORMATION, PROPOSED PLANT MATERIALS WILL NOT INTERFERE WITH ANY EXISTING OR PROPOSED UTILITIES.
 - THE SUBJECT PROPERTY IS ZONED CA / TO.
 - THERE ARE NO SLOPES STEEPER THAN 2:1 ON THIS SITE.

PLANT MATERIAL SCHEDULE						
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE	SPACING	TYPE
TREES						
CALIPER SHALL BE MEASURED AT A POINT 6" ABOVE THE GROUND						
	10	Acer rubrum "Autumn Flame"	Autumn Flame Red Maple	2" caliper, 12' height, 6' spread	As shown	LARGE TREE
	6	Ilex x attenuata "Foster"	Foster Holly	8' height	As shown	SMALL TREE
	8	Lagerstroemia indica x fauriei "Muskogee"	Muskogee Crape Myrtle	8' height, 3 canes, 4' spr.	As shown	SMALL TREE
	8	Thuja "Green Giant"	Green Giant Arborvitae	8' height	As shown	MEDIUM TREE
	2	Ulmus parvifolia "Emer II" Allee	Allee Chinese Elm	2" caliper, 12' height, 6' spread	As shown	MEDIUM TREE
SHRUBS						
	34	Abelia "Rose Creek"	Rose Creek Abelia	3 gal, 18" height	3'-0" O.C.	
	20	Buxus "Green Mound"	Green Mound Boxwood	3 gal, 18" height	3'-0" O.C.	
	91	Prunus laurocerasus "Otto Luyken"	Otto Luyken Laurel	24" height, 24" spread	4'-0" O.C.	
	30	Rosa "Meidrifora"	Coral Drift Rose	3 gal, 12" height	3'-0" O.C.	
GROUNDCOVERS						
	Liriope muscari "Big Blue"		Big Blue Liriope	1 gal	1'-6" O.C.	
	Annuals					
	Turf Type Tall Fescue					

LANDSCAPE DATA:

AT LEAST 10 LARGE TREES PER ACRE OF YARD AREA:
YARD AREA = 0.50 ACRES
LARGE TREES PROVIDED = 5 LARGE TREES

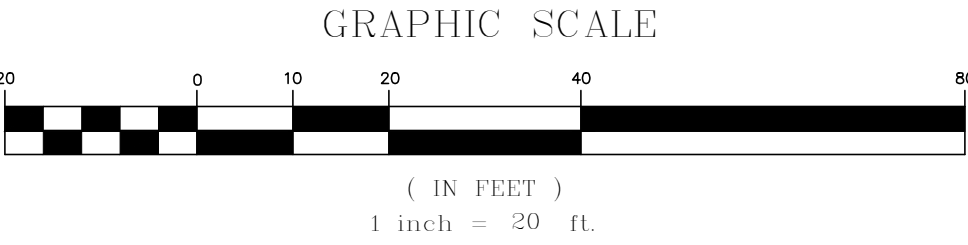
50% OF AREA OF EACH FRONT AND SIDE ELEVATION PLANTED:
FRONT = 50%
LEFT SIDE = 50%
RIGHT SIDE = 50%

1 MEDIUM OR LARGE TREE FOR EVERY 10 PARKING SPACES PROVIDED:
PARKING SPACES = 42
TREES PROVIDED = 5

5% PARKING AREA PLANTED WITH ORN. TREES, SHRUBS, GROUNDCOVERS
PARKING AREA = 23,143 SF
LANDSCAPE AREA REQUIRED = 1157 SF
LANDSCAPE AREA PROVIDED = 1274 SF

ROUGHLY EQUAL NUMBER OF LARGE, MEDIUM & SMALL TREES SHOULD BE PLANTED:
LARGE TREES = 10
MEDIUM TREES = 10
SMALL TREES = 14

AT LEAST 25% OF NEWLY PLANTED OR CONSERVED TREES TO BE EVERGREEN:
TOTAL TREES = 30
EVERGREEN TREES REQUIRED = 8
EVERGREEN TREES PROVIDED = 12



10215 Technology Drive, Suite 304
Knoxville, TN 37932
(865) 777-4160
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Landscaping Plan

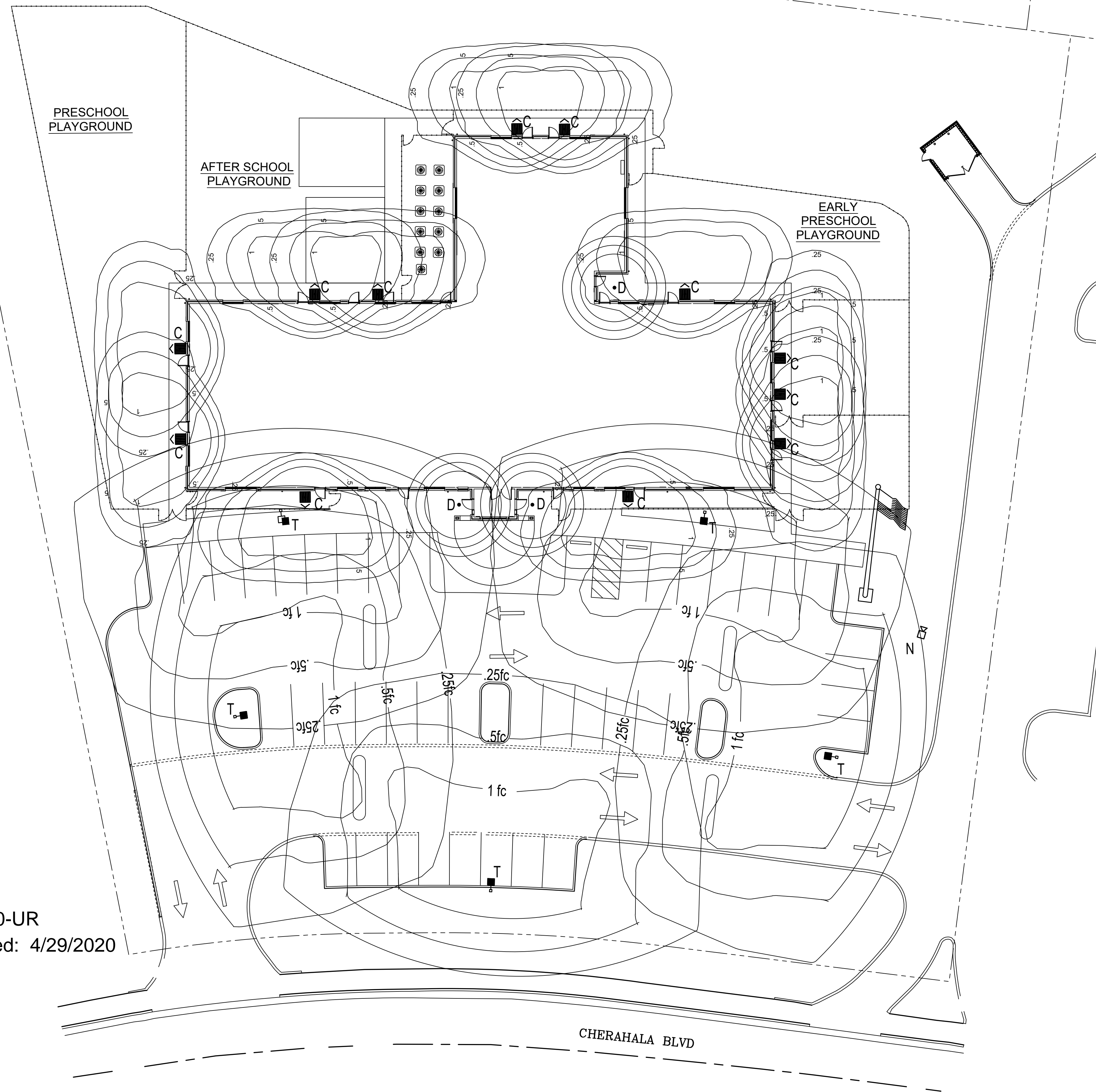
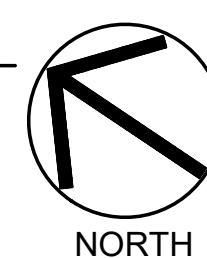
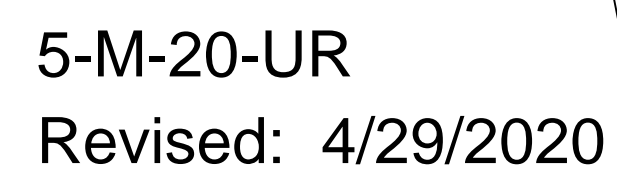
Primrose Schools

2326 Cherahala Blvd, Knoxville, Tennessee 37932
5-M-20-UR & 5-B-20-TOB
Parcel 103 E A 017

NO.	DATE	COMMENTS
1	04/29/2020	REVISED PER MFC & TTODA COMMENTS

ORIGINAL ISSUE: 03/30/2020
SITE PROJECT #: 2007
FILE: 2007-Landscape

C7.0



LIGHT FIXTURE LEGEND							
MARK	MANUFACTURER	CATALOG NO.	VOLT	LAMP	# LAMPS	DESCRIPTION	REMARKS
C	LUMARK	XTOR3B	120	26W LED 2751 LUMENS	1	LED Wall Pack	
D	HALO/TCF	H7ICT + LED14DR5630K	120	14WATT LED TRIM	1	RECESSED EXTERIOR	6" HOUSING
N	RAB	FFLED39	120	39W LED	1	LED FLOOD FLAG LIGHT	SEE X-1 & A-7.1
T	LUMARK	PFPRV-1-C25-T4-20-0	120	87W LED 13,140 LUMENS	1	PARKING LOT LIGHT	20' POLE/HEAD COMBO - MEDIUM-BRONZE

MAXIMUM POLE HEIGHT SHALL BE 20'

A New Building For:

Primrose School Franchising Company

3200 Windy Hill Road SE - Suite 1200 E

Atlanta, Ga 30339-5640
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Primrose School Franchising Company



Children's Design Group

Mark D. Pavey, A.I.A. - Architect

PO BOX 1365
GULF SHORES, AL 36547

(334)-546-3624

(206)-350-0593 Fax
child.design@mindspring.com



Site:

Primrose School of Hardin Valley
2326 Cherahala Blvd.
Hardin Valley, TN

Building Type:

2020 TN-L

Drawing Title:

PHOTOMETRIC SITE PLAN

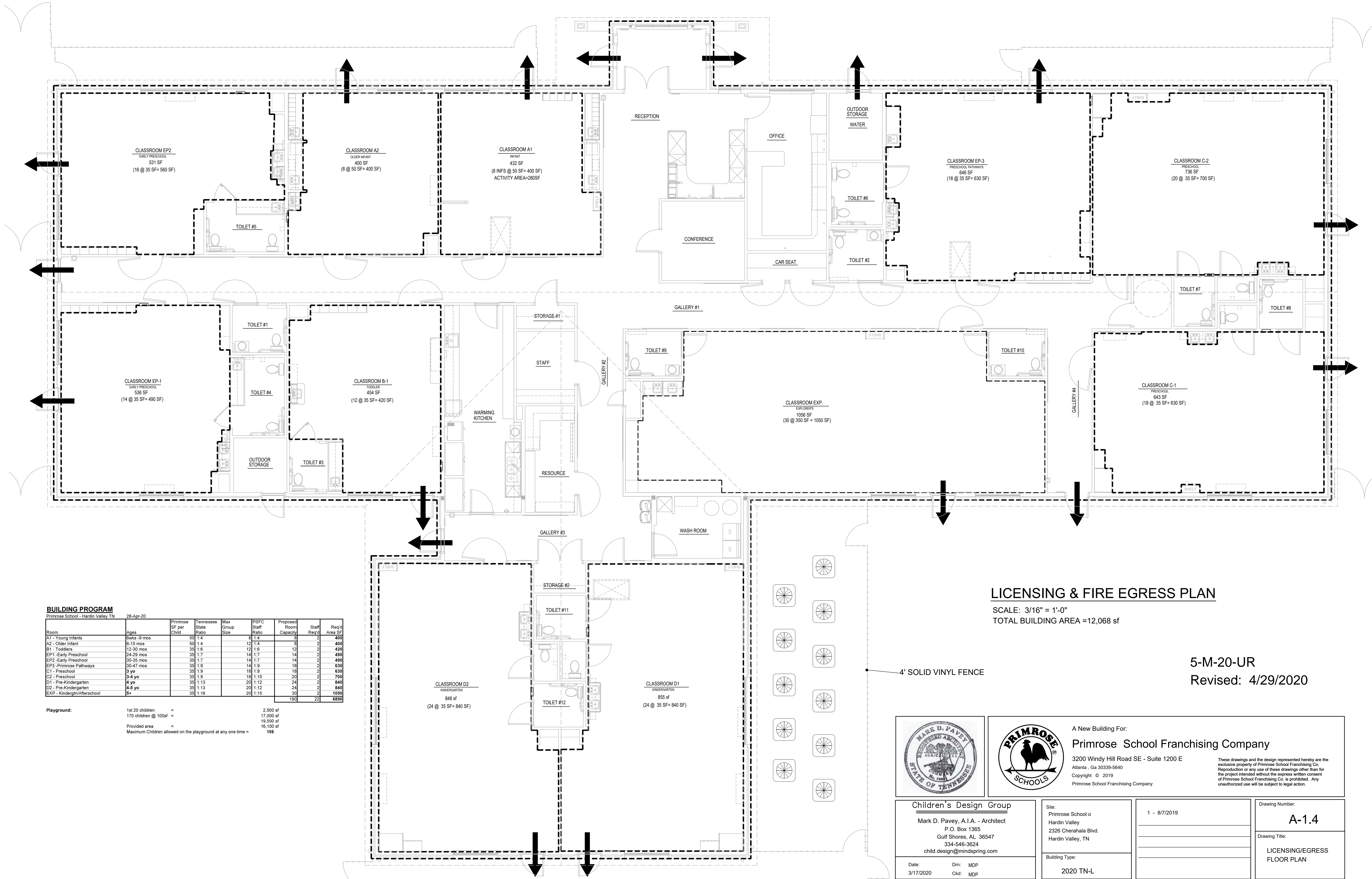
Date:

Dm: DWS
Ckd: MDP

Drawing Number:

PH-1

Issue Date:



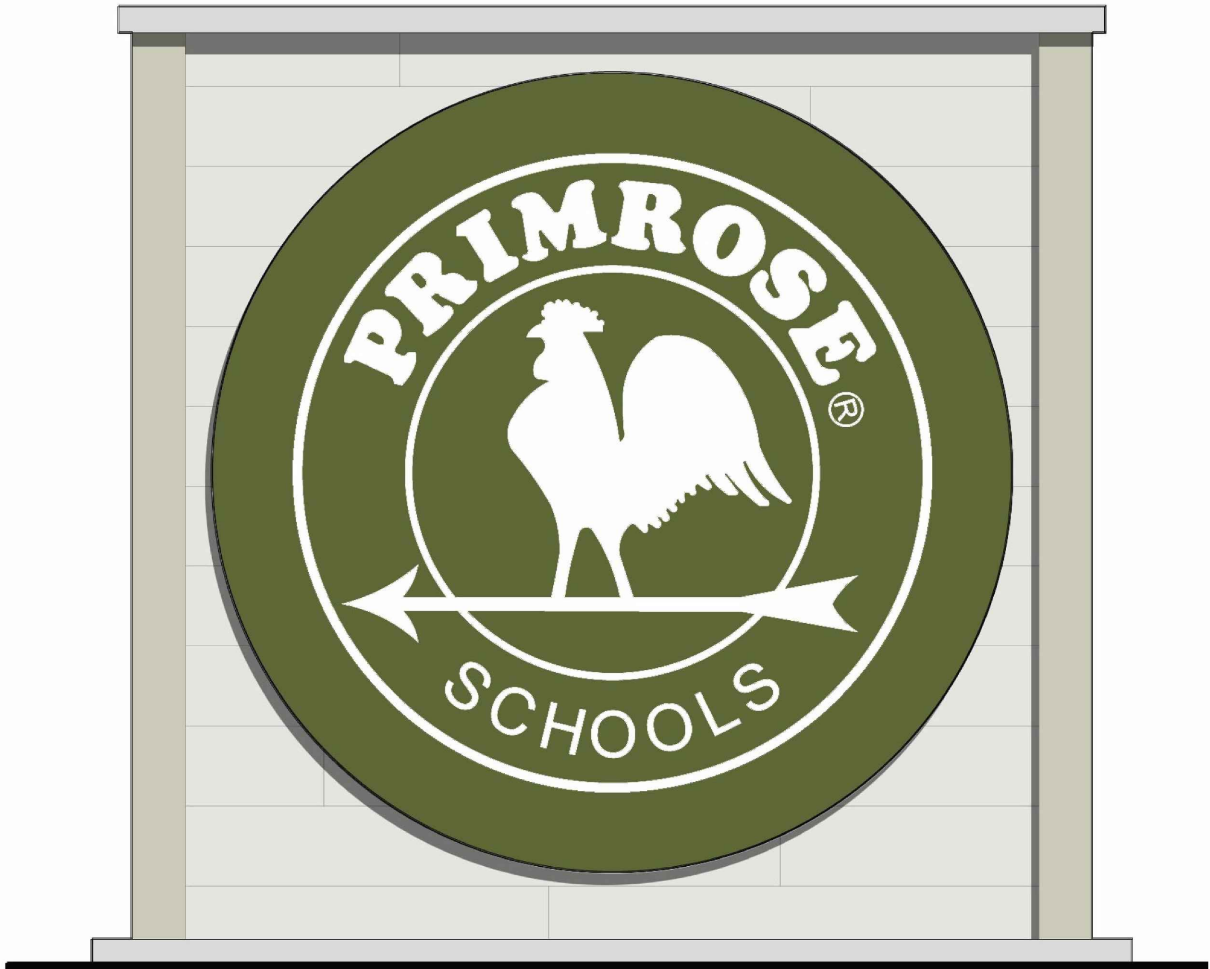


Front Elevation

Monument Sign

Primrose School of Hardin Valley
Meridian Concord Modular Brick w/ Artic White Hardie Board & Baton and Cobble Stone Trim

5-M-20-UR
Revised: 4/29/2020



Primrose School of Hardin Valley
LED Sign Face w/ Siding & trim colors to match building, and
2" Cap Stones - Top and Bottom

A New Building For:

Primrose School Franchising Company

3200 Windy Hill Road SE - Suite 1200 E
Atlanta, Ga 30339-5640
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Primrose School Franchising Company

PRIMROSE

SCHOOLS

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Children's Design Group

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GULF SHORES, AL 36547
(334) 546-3624
(206)-350-0593 Fax
child.design@mindspring.com



Site: Primrose School of Hardin Valley 2326 Cherahala Blvd. Hardin Valley, TN	
Building Type: 2020 TN-L	
Drawing Title: EXTERIOR ELEVATIONS	
Date: 3/17/2020	Dm: DWS Ckd: MDP
Drawing Number: A-4c	
Issue Date:	



CERTIFICATE OF APPROPRIATENESS

Name of Applicant: Hardin Valley Holdings, LLC
Date Filed: 03/30/2020 Fee Paid: \$400.00 File Number: 5-B-20-T0B
Map Number: 103 EA Zoning District: CA/TO
Jurisdiction: ☐ City _____ Councilmanic District ☒ County 6 Commission District

PROPERTY INFORMATION

ADDRESS: 2326 Cherahala Blvd

Cherahala Blvd STREET NUMBER AND NAME

GENERAL LOCATION: East side of Reagan Road, 250' north of Hardin Valley Road

PARCEL NUMBER(S): 17 103 EA 017

SIZE OF TRACT: 1.9 ☒ ACRES ☐ SQUARE FEET

PURPOSE OF REQUEST

- ☒ BUILDING PERMIT – New Construction
☐ BUILDING PERMIT – Expansion or Renovation
☐ BUILDING PERMIT – Grading Plan
☐ REZONING
- From: _____
To: _____
- ☒ SIGNAGE
☐ ZONING VARIANCE – (Describe and give reason)

NOTE: Four (4) copies of all plan materials are required to process the application. Please check all that apply:

- ☒ DEVELOPMENT PLAN
☒ BUILDING ELEVATIONS
☒ FLOOR PLAN
☒ LANDSCAPE PLAN WITH SCHEDULE
☒ SIGNAGE PLAN
☒ OFF-STREET PARKING PLAN
☒ OTHER: Lighting Plan

APPLICATION CORRESPONDENCE

 — All correspondence relating to this application should be sent to:

PLEASE PRINT

Name: John Anderson, P.E. Phone: 865-777-4165 Fax: 865-777-4189
Mailing Address: 10215 Technology Drive, Suite 304, Knoxville, TN 37932

APPLICATION AUTHORIZATION

 — I hereby certify that I am the authorized applicant, representing ALL property owners involved in this request or holders of option on same, whose signatures are included on the back of this form.

PLEASE PRINT

Signature: _____

Name: Hardin Valley Holdings, LLC Phone: 865-454-0257 Fax: _____
Mailing Address: 10518 Coward Mill Road, Knoxville, TN 37931

APPLICATION ACCEPTANCE

 — Staff Member who accepted this application:

Tom Brechko

SIGNATURES OF ALL PROPERTY OWNERS INVOLVED OR HOLDERS OF OPTION ON SAME MUST BE LISTED BELOW:

(Please sign in black or blue ink)

[illegible]

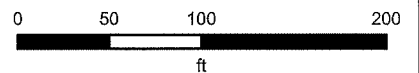


Letter Portrait

Knoxville - Knox County - KUB Geographic Information System



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