



TENNESSEE TECHNOLOGY CORRIDOR DEVELOPMENT AUTHORITY

REPORT OF STAFF RECOMMENDATION

Meeting Date: 1/6/2020
File Number: 1-C-20-TOB
Applicant: CHRIS MALONE
Request: BUILDING PERMIT

Address: 10606 Checkerboard Ln.
Map/Parcel Number: 131 06810
Location: Southeast side of Checkerboard Lane, southwest side of Simmons Road, northwest side of Dutchtown Road.
Existing Zoning: CB (Business and Manufacturing) / TO (Technology Overlay)
Proposed Zoning: NA
Existing Land Use: Vacant parcel
Proposed Land Use: Corporate office development for Bryant Fencing Company
Appx. Size of Tract: 41100 square feet
Accessibility: The site has three frontages - Dutchtown Rd., Simmons Rd., and Checkerboard Ln. Access will be from Checkerboard Lane, a local street with a pavement width of 26 feet and a right-of-way of 50 feet.
Surrounding Zoning and Land Uses:
North: CB (Business and Manufacturing) and TO (Technology Overlay) - future site of office warehouse project for Danmar Development, LLC (File 9-C-19-TOB)
South: CB (Business and Manufacturing) and TO (Technology Overlay) - On Duty Depot, an auto accessories wholesaler of public service vehicle safety equipment
East: PC (Planned Commercial) and TO (Technology Overlay) - Office building for Mesa Associates, an engineering and consulting firm
West: CB (Business and Manufacturing) and TO (Technology Overlay) - future site of Thomas Tuning Service (File 12-C-18-TOB) an automobile service facility

Comments:

1. The proposed use is for an office/showroom/warehouse for Bryant Fencing Company. The two story building has a total building area of 12,320 square feet.
2. The building has three street frontages, but is accessed from and faces towards Checkerboard Lane.
3. The proposed site plan features an access lane for delivery vehicles (box trucks) that travel around all sides of the building.
4. The loading dock faces the west side of the building, the only side not facing a street.
5. A dumpster pad has been provided on the west side of the building, positioned towards Dutchtown Road. However, it is possible that the owner will want to use cans in lieu of a dumpster.
6. Mechanical equipment consists of two condensing units on the west side of the building; the equipment is screened from both Checkerboard Lane and Dutchtown Road.
7. The proposed development is within the limits for Ground Area Coverage, Floor Area Ratio and Impervious Area Ratio.
8. Off-street parking meets both TTCDA and Knox County requirements.
9. A chain link fence with a gate separates the front of the parking lot from the rear, so that the rear is used by employees and delivery personnel. The gate is aligned with the front of the building, so that customers have access to only the front of the building.
10. Two of the facades have blank walls, as they house the storage area inside. The long, unbroken façade on the east (facing Simmons Road) is proposed to be screened

with a mix of tall evergreen shrubs and small to medium evergreen screen trees. The long, unbroken façade on the south (facing Dutchtown Road) is proposed to be screened with a mix of tall evergreen shrubs and small to medium evergreen screen trees and has small flowering trees at each corner. The landscaping on the east and south facades is to add visual interest in lieu of architectural elements to break up the long, unbroken façade walls on these two sides of the building. Staff recommends revision of the landscaping selections to include trees of varying height shape, and size, perhaps in clusters. As designed, the landscaping selections are similar in all three aspects, and could result in a wall of evergreens.

11. The proposed building materials are split-faced concrete block on the bottom of the façade, and metal panels on the top.

12. The front facade (facing Checkerboard Lane) features a front portico delineating the entry. The metal roof is supported by a set of four wood columns that are 8" square.

13. The west side of the facade (facing the adjacent lot) houses the loading dock, which is delineated by a canopy with a metal roof. Painted steel beams form the support, and there is a half-wall of split-faced concrete blocks on the front of this covered area. The sides of this area are full-height.

14. Roof is metal panels with a 1:12 pitch.

15. Colors are not yet selected but owner knows they need to be subdued.

16. There are sidewalks to entries on the north, south, and west sides of the building.

17. There is no signage or site lighting plan proposed with this submittal.

**Design Guideline
Conformity:**

The landscaping on the east and south facades is to add visual interest in lieu of architectural elements to break up the long, unbroken façade walls on these two sides of the building. Staff recommends revision of the landscaping selections to include trees of varying height shape, and size, perhaps in clusters. As designed, the landscaping selections are similar in all three aspects, and could result in a wall of evergreens. The project is in compliance with all other criteria in the TTCDA Design Guidelines.

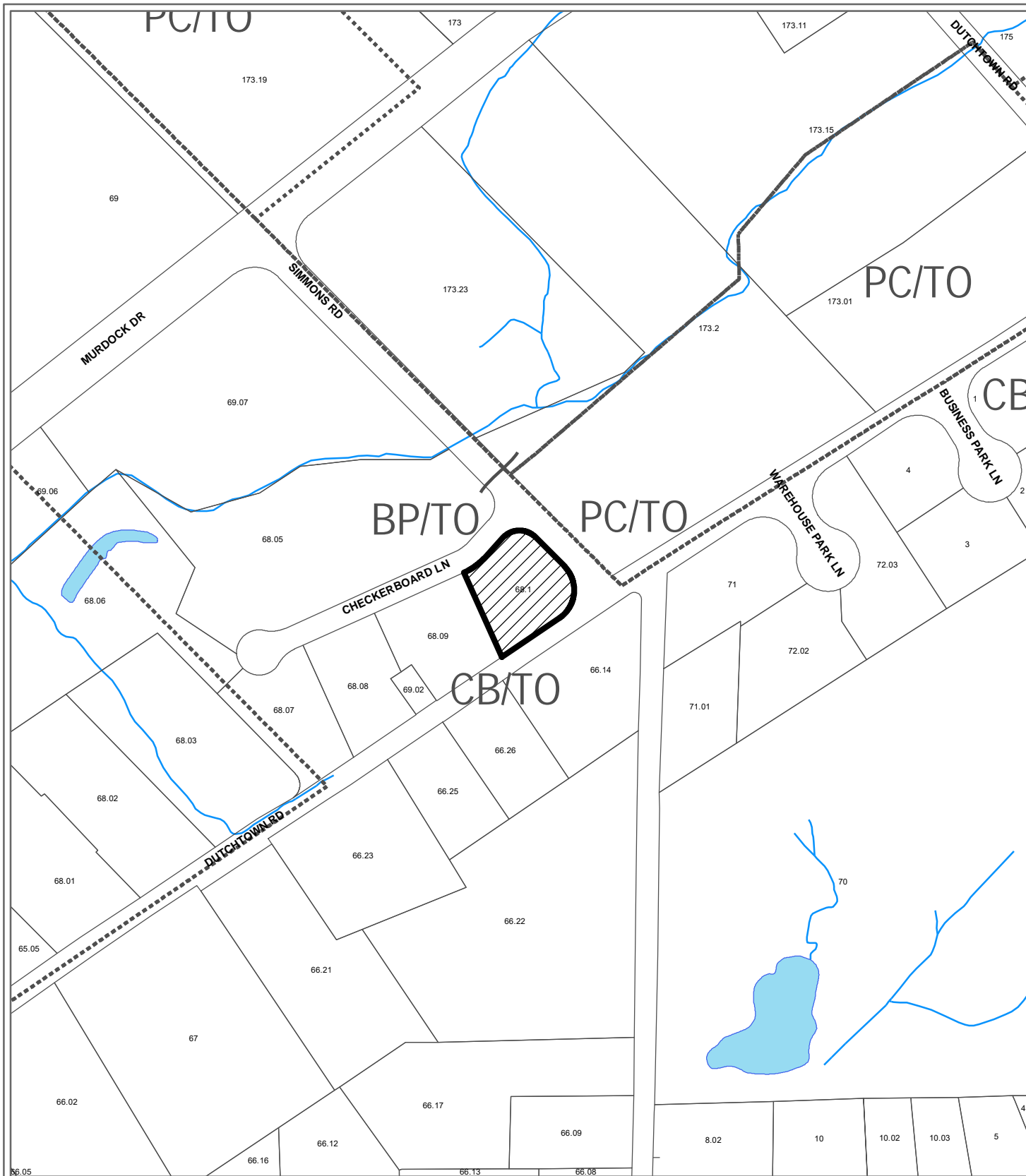
**Waivers and
Variances
Requested:**

Not applicable at this time.

Staff Recommendation:

Approve the application for a Certificate of Appropriateness for a building permit, subject to the following conditions:

- 1) Meeting all relevant requirements of the Knox County Zoning Ordinance, as appropriate.
- 2) Meeting all relevant requirements of the Knox County Department of Engineering and Public Works.
- 3) Connection to sanitary sewer and meeting any other relevant requirements of the utility provider.
- 4) Knox County's Fire Prevention Bureau would have to approve any gated access around the building.
- 5) Prior to submitting an application for a building permit, submit a revised landscape plan to Planning staff for approval for the landscaping on the south and east facades to include trees and shrubs of varying height, shape, and size. Clustering should be considered.
- 6) Prior to submitting an application for a building permit, submit the proposed colors for the exterior building materials to Planning staff for approval.
- 7) Proposed signage will require a separate TTCDA application and approval.
- 8) Any proposed site lighting will require a separate TTCDA application and approval.



**1-C-20-TOB
CERTIFICATE OF APPROPRIATENESS**



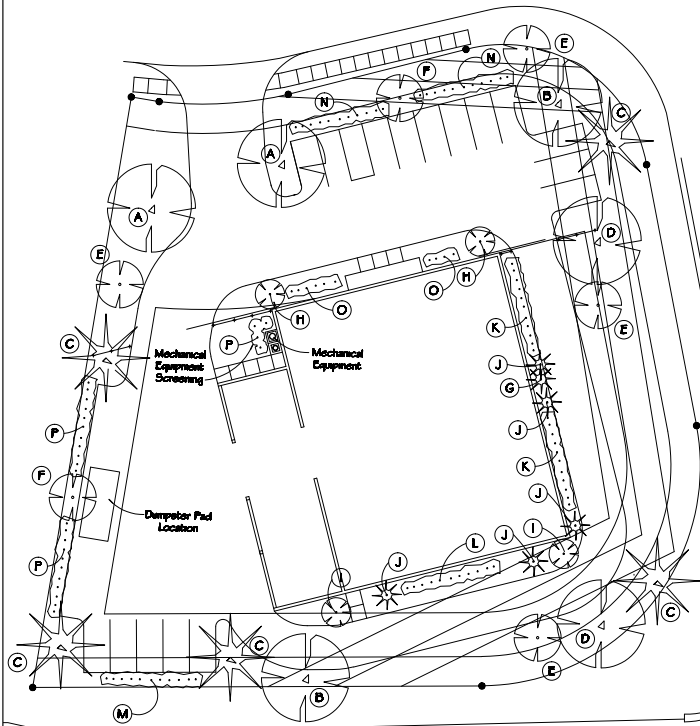
Purpose of Request: Building Permit - New Construction

Original Print Date: 12/27/2019 Revised:
Metropolitan Planning Commission * City / County Building * Knoxville, TN 37902

Petitioner: Malone, Chris

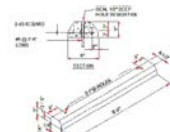
Map No: 131
Jurisdiction: County



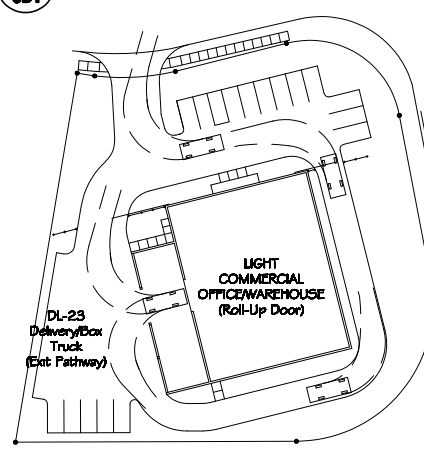


| Mark | Plant | Designation | Type | Spacing | Qty. |
|------|-----------------------|-------------|---------------------|-----------------|------|
| A | Red Maple | Large Tree | Deciduous/Canopy | Single-As Shown | 2 |
| B | Tulip Poplar | Large Tree | Deciduous/Canopy | Single-As Shown | 2 |
| C | Loblolly Pine | Large Tree | Evergreen | Single-As Shown | 5 |
| D | American Basswood | Large Tree | Deciduous/Canopy | Single-As Shown | 2 |
| E | River Birch | Med. Tree | Deciduous/Shade | Single-As Shown | 4 |
| F | Southern Magnolia | Med. Tree | Evergreen | Single-As Shown | 2 |
| G | American Holly | Med. Tree | Evergreen | Single-As Shown | 1 |
| H | Flowering Dogwood | Small Tree | Deciduous/Flowering | Single-As Shown | 2 |
| I | Eastern Redbud | Small Tree | Deciduous/Flowering | Single-As Shown | 2 |
| J | Foster Holly | Small Tree | Evergreen/Screening | Single-As Shown | 5 |
| K | Upright Yew | Ornamental | Evergreen | 5' On Center | 22 |
| L | Sea Green Juniper | Ornamental | Evergreen | 6' On Center | 11 |
| M | Rokunda Holly | Low Shrub | Evergreen | 8' On Center | 11 |
| N | Otto Luyken Laurel | Low Shrub | Evergreen | 6' On Center | 22 |
| O | Dwarf English Boxwood | Low Shrub | Evergreen | 5' On Center | 10 |
| P | Japanese Yew | Screen | Evergreen | 5' On Center | 26 |

* NOTE: Minimum Tree Size at Planting: Shade/Canopy-2" Caliper, Flowering Ornamental-1.5" Caliper, and Evergreen-6 foot height



2 LANDSCAPING PLAN

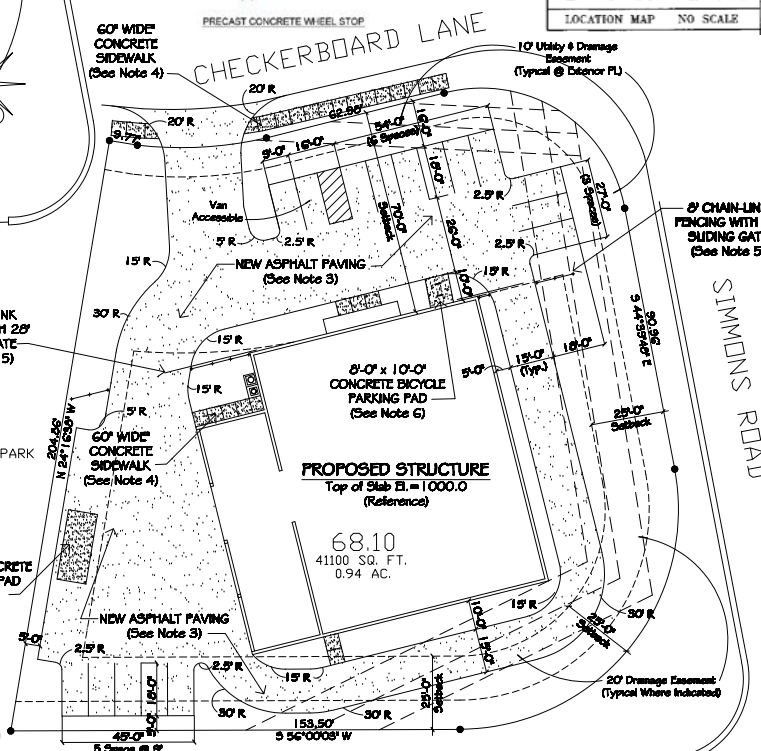


1-C-20-TOB
Revised 12/30/2019



1 SITE DEVELOPMENT PLAN

Scale: 1"=30'-0"



GRAPHIC SCALE
30 60

SITE DEVELOPMENT INFORMATION

OWNER INFORMATION
4M PROPERTIES, LLC
551 SWEETGUM DRIVE
KNOXVILLE, TENNESSEE 37932
CONTACT: DAN MAURER

PROPERTY IDENTIFICATION
ADDRESS: 10606 CHECKERBOARD LANE
LOT 1-LANGLEY BUSINESS PARK
PARCEL #131.06810
ZONING: TO "TECHNOLOGY OVERLAY" (CB "BUSMAN")

SITE AREA
TOTAL SITE AREA = 41,100 S.F. (0.94 ACRES)
TOTAL DISTURBED AREA = 36,900 S.F.
GROUND AREA COVERAGE = 8,920 S.F.-24.1% (25% ALLOWED)
FLOOR AREA RATIO = 12,320 S.F.-29.9% (30% ALLOWED)

IMPERVIOUS AREA
TOTAL PRE-DEVELOPED AREA = 0 S.F.
TOTAL POST DEVELOPED AREA = 26,410 S.F. (64%)

BUILDING SETBACK LINES & EASEMENTS
ROAD FRONTAGE YARD = 25'-0" (70'-0" PARKING)
SIDE YARD = 20'-0" (2-STORY)
REAR YARD = 16'-0" (20'-0" FOR 2+ STORIES)
UTILITY EASEMENT = 10'-0" @ EXT. / 5'-0" @ INT.

PARKING SUMMARY
REQ. OFF-STREET (TTCDA): 1/1000 S.F. (1.5 MAXIMUM)
WAREHOUSE/OFFICE SPACE (10,400 S.F. = 11 SPACES MINIMUM, 16 SPACES MAXIMUM)
REQ. OFF-STREET (KNOX CO.): BUSINESS SERVICES - 1 PER 50 S.F. OF CUSTOMER AREA (320=7 SPACES), PLUS 2 PER 3 EMPLOYEES (12=6 SPACES)
TOTAL PROVIDED: 15 STANDARD, 1 VAN ACCESSIBLE, STANDARD PARKING SPACES SHALL BE 9'-0" x 18'-0", VAN ACCESSIBLE SPACES SHALL BE 8'-0" x 18'-0" WITH AN 8'-0" x 18'-0" STRIPED ACCESS AREA
BICYCLE PARKING: 4 SPACES REQUIRED / 4 PROVIDED

SITE DEVELOPMENT NOTES

1. SITE BOUNDARY INFORMATION IS BASED ON A FINAL PLAT SURVEY FOR LANGLEY BUSINESS PARK BY LYNCH SURVEYS, LLC DATED JUNE 8, 2018. THE CONTRACTOR SHALL VERIFY CONDITIONS AND INFORM THE ARCHITECT OF ANY DISCREPANCIES. THE ARCHITECT AND/OR ENGINEER ACCEPT NO RESPONSIBILITY FOR THE ACCURACY AND/OR COMPLETENESS OF THE EXISTING CONDITION INFORMATION PROVIDED BY THE OWNER. NOTE THAT NO TOPOGRAPHIC INFORMATION IS SHOWN.
2. LANDSCAPING IS SPECIFICALLY INDICATED ON THE LANDSCAPING PLAN AND LANDSCAPE SCHEDULE, AND SHALL BE PROVIDED BY THE PROPERTY OWNER IN COMPLIANCE WITH ALL ASPECTS OF THE "TECHNOLOGY OVERLAY" ORDINANCE AS APPLICABLE, AS INDICATED ON THE SITE DEVELOPMENT PLAN, OR AS OTHERWISE APPROVED.
3. PROVIDE NEW ASPHALT PAVING & STRIPING AS SHOWN ON PLAN. ASPHALT PAVING SHALL BE PLACED ON COMPACTED SUBSTRATE UTILIZING 6" STONE BASE, 2" BASE ASPHALT, AND 1.5" ASPHALT TOPPING. STRIPING SHALL BE 4" WIDE UTILIZING WHITE TRAFFIC PAINT (NOTE THAT ACCESSIBLE SPACES SHALL HAVE A PAINTED HANDICAP SYMBOL AT EACH SPACE, AND ACCESS AISLE SHALL BE MARKED "NO PARKING" AS SHOWN). NOTE THAT CONTRACTOR SHALL PROVIDE AN ALTERNATIVE FENCE TO THE OWNER FOR THE UTILIZATION OF PERMEABLE PAVERS IN ALL PAVED AREAS ON THE NON-PUBLIC SIDE OF THE GATES. PERMEABLE PAVERS SHALL BE TRUEGRID "PRO-PLUS" 24"x24"x1.5" WITH AGGREGATE SUBSTRATE FOR HEAVY LOADS (OR EQUAL).
4. PROVIDE NEW CONCRETE SIDEWALK AS SHOWN ON PLAN. CONCRETE SHALL BE 3,000 PSI IN 4" THICKNESS ON 4" STONE BASE, WITH 1/2" x 1/2" SAW CUT JOINTS 60" ON CENTER EACH WAY.
5. ENCLOSE REAR YARD ACCESS WITH 8'-0" TALL CHAIN-LINK FENCING, WITH 25'-0" NEW AUTOMATIC-OPERATION GATE (INTERIOR MOTION SENSING, SIDE-TO-SIDE SLIDER) UNIT TO ACCOMMODATE DRIVEWAY AT BOTH ACCESS POINTS AS SHOWN.
6. PROVIDE NEW CONCRETE BICYCLE PARKING PAD AS SHOWN ON PLAN. CONCRETE SHALL BE 3,000 PSI IN 4" THICKNESS ON 4" STONE BASE. CENTER NEW U-SHAPED 2-BIKE RACKS ON PAD AS SHOWN @ 3' OFF BUILDING AND 4' APART (DELSON MODEL CBBR-2HR-BLK OR EQ).
7. NOTE THAT ALL NEW ELECTRICAL AND OTHER UTILITIES SHALL BE LOCATED UNDERGROUND, COORDINATED WITH THE UTILITY PROVIDERS, AND ANY VISIBLE EQUIPMENT SHALL BE PROPERLY SCREENED TO COMPLY WITH THE ZONING REGULATIONS.



STRATEGIC PLANNING
ARCHITECTURE
INTERIOR DESIGN
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KNOXVILLE, TN 37938
PHONE: 865.777.1720
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A New Corporate Office Development
for
Bryant Fencing Company
Knoxville, Tennessee

Date of Drawing: 01-25-2019
Drawn by: Chris Middle
Checked by: Chris Middle
Issued by: Chris Middle
Job Number: 18-1192
Drawing Issued by: [Signature]
Reviewed & Comment: [Signature]
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SDI
Site Development Plan
Notes & Details

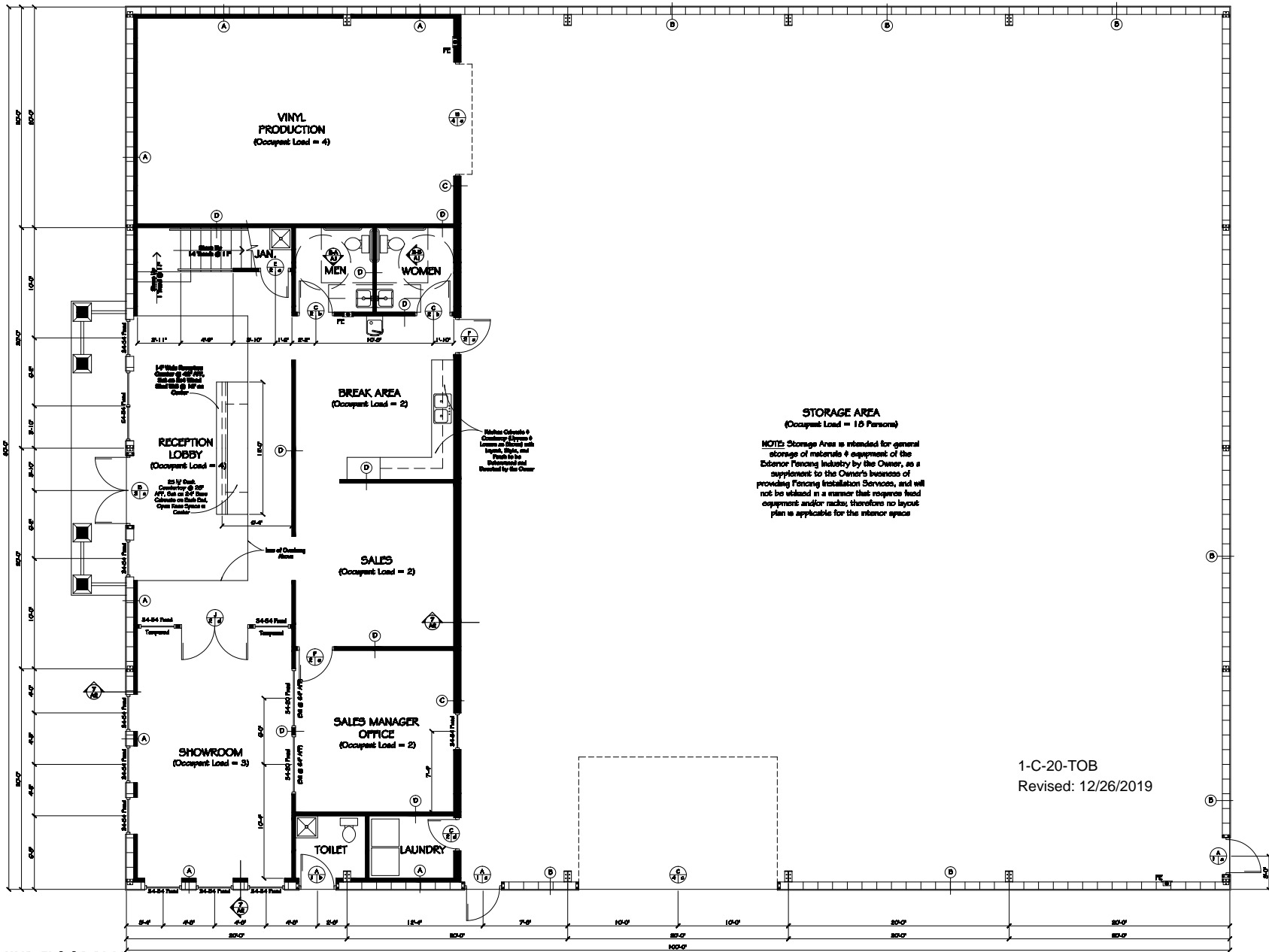


A New Corporate Office Development
for
Bryant Fencing Company
Knoxville, Tennessee

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Designed by: Chris Malone
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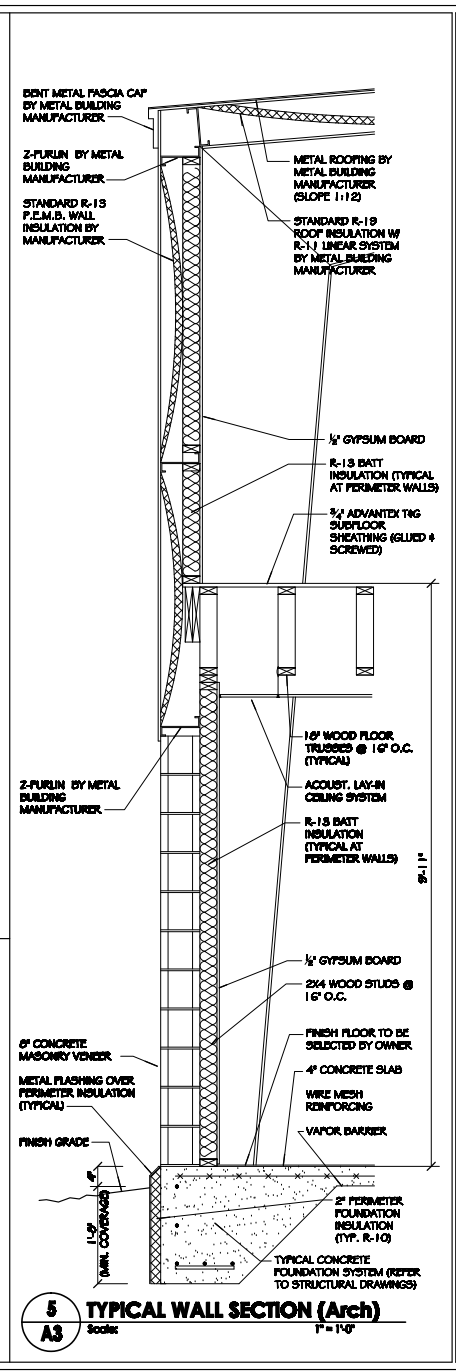
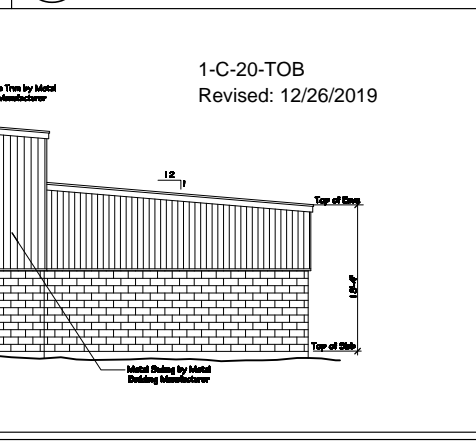
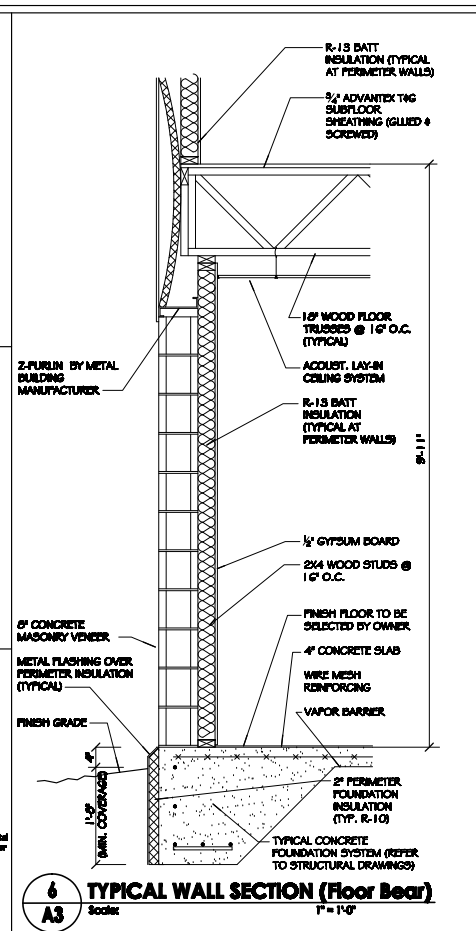
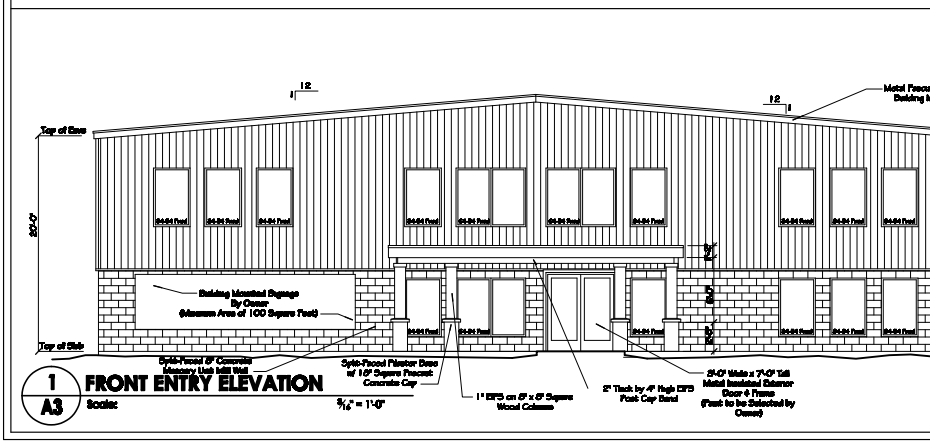
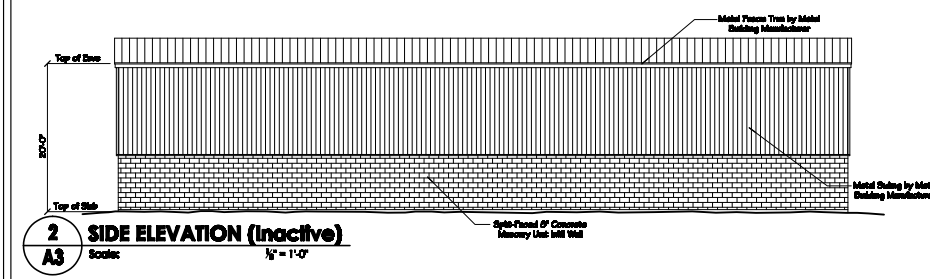
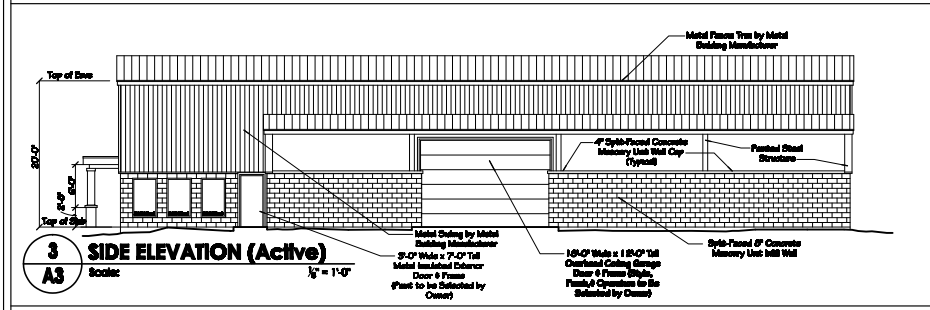
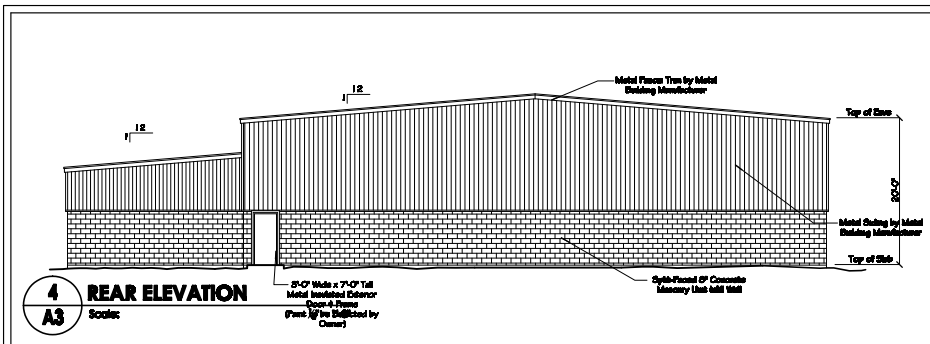
A2

Main Floor Plan
Notes & Details



1
A2
GROUND FLOOR PLAN
Scale: 1/2" = 1'-0"

NOTE: Refer to UJA Storage
Shed Plan for Continuation of
Floor Plan on the Level



MALONE ARCHITECTURE
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Knoxville, Tennessee

A3
Exterior Elevations
Typical Wall Section
Wall & Toilet Details

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Checked by: Chris Middle
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