

TENNESSEE TECHNOLOGY CORRIDOR DEVELOPMENT AUTHORITY

REPORT OF STAFF RECOMMENDATION

Meeting Date: 1/6/2020

File Number: 1-C-20-TOB

Applicant: CHRIS MALONE

Request: BUILDING PERMIT

Address: 10606 Checkerboard Ln.

Map/Parcel Number: 131 06810

Location: Southeast side of Checkerboard Lane, southwest side of Simmons Road, northwest side

of Dutchtown Road.

Existing Zoning: CB (Business and Manufacturing) / TO (Technology Overlay)

Proposed Zoning: NA

Existing Land Use: Vacant parcel

Proposed Land Use: Corporate office development for Bryant Fencing Company

Appx. Size of Tract: 41100 square feet

Accessibility: The site has three frontages - Dutchtown Rd., Simmons Rd., and Checkerboard Ln.

Access will be from Checkerboard Lane, a local street with a pavement width of 26 feet

and a right-of-way of 50 feet.

Surrounding Zoning and Land Uses:

North: CB (Business and Manufacturing) and TO (Technology Overlay) - future site of

office warehouse project for Danmar Development, LLC (File 9-C-19-TOB)

South: CB (Business and Manufacturing) and TO (Technology Overlay) - On Duty

Depot, an auto accessories wholesaler of public service vehicle safety equipment

East: PC (Planned Commercial) and TO (Technology Overlay) - Office building for

Mesa Associates, an engineering and consulting firm

West: CB (Business and Manufacturing) and TO (Technology Overlay) - future site of

Thomas Tuning Service (File 12-C-18-TOB) an automobile service facility

Comments:

- 1. The proposed use is for an office/showroom/warehouse for Bryant Fencing Company. The two story building has a total building area of 12,320 square feet.
- 2. The building has three street frontages, but is accessed from and faces towards Checkerboard Lane.
- 3. The proposed site plan features an access lane for delivery vehicles (box trucks) that travel around all sides of the building.
- 4. The loading dock faces the west side of the building, the only side not facing a street.
- 5. A dumpster pad has been provided on the west side of the building, positioned towards Dutchtown Road. However, it is possible that the owner will want to use cans in lieu of a dumpster.
- 6. Mechanical equipment consists of two condensing units on the west side of the building; the equipment is screened from both Checkerboard Lane and Dutchtown Road.
- 7. The proposed development is within the limits for Ground Area Coverage, Floor Area Ratio and Impervious Area Ratio.
- 8. Off-street parking meets both TTCDA and Knox County requirements.
- 9. A chain link fence with a gate separates the front of the parking lot from the rear, so that the rear is used by employees and delivery personnel. The gate is aligned with the front of the building, so that customers have access to only the front of the building.

 10. Two of the facades have blank walls, as they house the storage area inside. The
- 10. Two of the facades have blank walls, as they house the storage area inside. The long, unbroken façade on the east (facing Simmons Road) is proposed to be screened

with a mix of tall evergreen shrubs and small to medium evergreen screen trees. The long, unbroken façade on the south (facing Dutchtown Road) is proposed to be screened with a mix of tall evergreen shrubs and small to medium evergreen screen trees and has small flowering trees at each corner. The landscaping on the east and south facades is to add visual interest in lieu of architectural elements to break up the long, unbroken façade walls on these two sides of the building. Staff recommends revision of the landscaping selections to include trees of varying height shape, and size, perhaps in clusters. As designed, the landscaping selections are similar in all three aspects, and could result in a wall of evergreens.

- 11. The proposed building materials are split-faced concrete block on the bottom of the facade, and metal panels on the top.
- 12. The front facade (facing Checkerboard Lane) features a front portico delineating the entry. The metal roof is supported by a set of four wood columns that are 8" square.
- 13. The west side of the facade (facing the adjacent lot) houses the loading dock, which is delineated by a canopy with a metal roof. Painted steel beams form the support, and there is a half-wall of split-faced concrete blocks on the front of this covered area. The sides of this area are full-height.
- 14. Roof is metal panels with a 1:12 pitch.
- 15. Colors are not yet selected but owner knows they need to be subdued.
- 16. There are sidewalks to entries on the north, south, and west sides of the building.
- 17. There is no signage or site lighting plan proposed with this submittal.

Design Guideline Conformity:

The landscaping on the east and south facades is to add visual interest in lieu of architectural elements to break up the long, unbroken façade walls on these two sides of the building. Staff recommends revision of the landscaping selections to include trees of varying height shape, and size, perhaps in clusters. As designed, the landscaping selections are similar in all three aspects, and could result in a wall of evergreens. The project is in compliance with all other criteria in the TTCDA Design Guidelines.

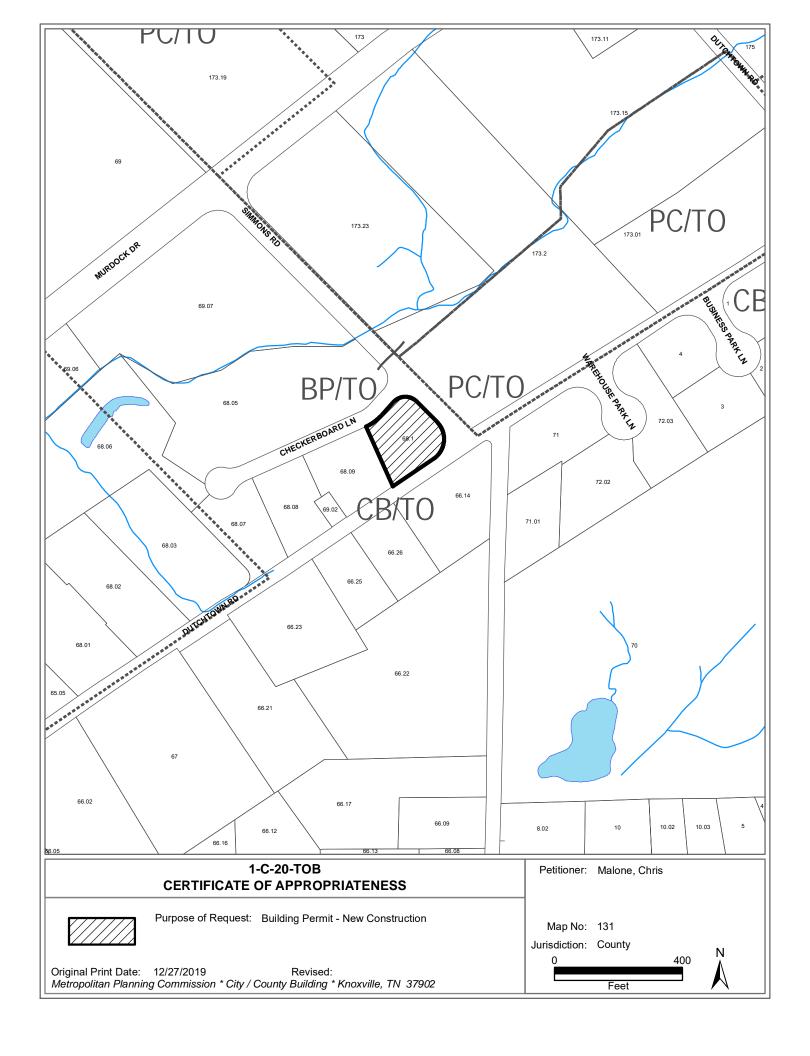
Waivers and Variances Requested:

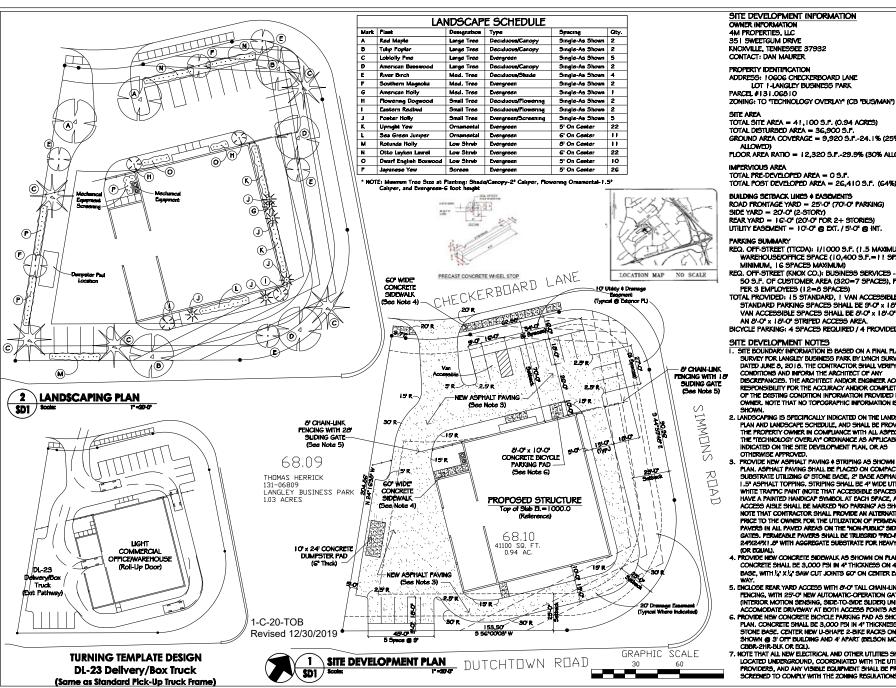
Not applicable at this time.

Staff Recommendation:

Approve the application for a Certificate of Appropriateness for a building permit, subject to the following conditions:

- 1) Meeting all relevant requirements of the Knox County Zoning Ordinance, as appropriate.
- 2) Meeting all relevant requirements of the Knox County Department of Engineering and Public Works.
- 3) Connection to sanitary sewer and meeting any other relevant requirements of the utility provider.
- 4) Knox County's Fire Prevention Bureau would have to approve any gated access around the building.
- 5) Prior to submitting an application for a building permit, submit a revised landscape plan to Planning staff for approval for the landscaping on the south and east facades to include trees and shrubs of varying height, shape, and size. Clustering should be considered.
- 6) Prior to submitting an application for a building permit, submit the proposed colors for the exterior building materials to Planning staff for approval.
- 7) Proposed signage will require a separate TTCDA application and approval.
- 8) Any proposed site lighting will require a separate TTCDA application and approval.





SITE DEVELOPMENT INFORMATION OWNER INFORMATION 4M PROPERTIES, LLC 35 | SWEETGUM DRIVE

KNOXVILLE, TENNESSEE 37932 CONTACT: DAN MAURER

PROPERTY IDENTIFICATION ADDRESS: 10G0G CHECKERBOARD LANE

LOT 1-LANGLEY BUSINESS PARK PARCEL #131.06810

TOTAL SITE AREA = 41,100 S.F. (0.94 ACRES) TOTAL DISTURBED AREA = 36,900 S.F. GROUND AREA COVERAGE = 9,920 S.F.-24.1% (25% ALLOW(FD)

FLOOR AREA RATIO = 12,320 5.F.-29.9% (30% ALLOWED)

IMPERVIOUS AREA

TOTAL PRE-DEVELOPED AREA = 0 S.F. TOTAL POST DEVELOPED AREA = 26,410 S.F. (64%)

BUILDING SETBACK LINES & EASIMENTS ROAD FRONTAGE YARD = 25'-0' (70'-0' PARKING) SIDE YARD = 20'-0' (2-STORY) REAR YARD = 16'-0' (20'-0' FOR 2+ STORIES) UTILITY EASEMENT = 10-0' @ EXT. / 5-0' @ INT.

PARKING SUMMARY

REQ. OFF-STREET (TTCDA): 1/1000 S.F. (1.5 MAXIMUM) WAREHOUSE/OFFICE SPACE (10,400 S.F.=11 SPACES MINIMUM, 16 SPACES MAXIMUM)

REQ. OFF-STREET (KNOX CO.): BUSINESS SERVICES - 1 PER 50 S.F. OF CUSTOMER AREA (320=7 SPACES), PLUS 2 PER 3 EMPLOYEES (12=8 SPACES)

TOTAL PROVIDED: 15 STANDARD, 1 VAN ACCESSIBLE, STANDARD PARKING SPACES SHALL BE 9'-0" x 18'-0". VAN ACCESSIBLE SPACES SHALL BE 8'-0" x 18'-0" WITH AN 8'-0" x 18'-0" STRIPED ACCESS AREA.

BICYCLE PARKING: 4 SPACES REQUIRED / 4 PROVIDED

SITE DEVELOPMENT NOTES

- I. SITE BOUNDARY INFORMATION IS BASED ON A FINAL PLAT SURVEY FOR LANGLEY BUSINESS PARK BY LYNCH SURVEYS, LLC DATED JUNE 8, 2018. THE CONTRACTOR SHALL VERIFY CONDITIONS AND INFORM THE ARCHITECT OF ANY DISCREPANCIES, THE ARCHITECT AND/OR ENGINEER ACCEPT NO RESPONSIBILITY FOR THE ACCURACY AND/OR COMPLETENESS OF THE EXISTING CONDITION INFORMATION PROVIDED BY THE OWNER, NOTE THAT NO TOPOGRAPHIC INFORMATION IS
- LANDSCAPING IS SPECIFICALLY INDICATED ON THE LANDSCAPING PLAN AND LANDSCAPE SCHEDULE, AND SHALL BE PROVIDED BY THE PROPERTY OWNER IN COMPLIANCE WITH ALL ASPECTS OF THE TECHNOLOGY OVERLAY ORDINANCE AS APPLICABLE, AS INDICATED ON THE SITE DEVELOPMENT PLAN, OR AS OTHERWISE APPROVED.
- PROVIDE NEW ASPHALT PAVING & STRIPING AS SHOWN ON PLAN. ASPHALT PAVING SHALL BE PLACED ON COMPACTED SUBSTRATE UTILIZING 6" STONE BASE, 2" BASE ASPHALT, AND 1.5" ASPHALT TOPPING, STRIPING SHALL BE 4" WIDE UTILIZING WHITE TRAFFIC PAINT (NOTE THAT ACCESSIBLE SPACES SHALL HAVE A PAINTED HANDICAP SYMBOL AT EACH SPACE, AND ACCESS AISLE SHALL BE MARKED SWI PARKING! AS SHOWN NOTE THAT CONTRACTOR SHALL PROVIDE AN ALTERNATIVE PRICE TO THE OWNER FOR THE UTILIZATION OF PERMEABLE PAVERS IN ALL PAVED AREAS ON THE MON-PUBLIC' SIDE OF THE GATES, PERMEABLE PAVERS SHALL BE TRUEGRID TRO-PLUS' 24'X24'X1.8' WITH AGGREGATE SUBSTRATE FOR HEAVY LOADS (OR EQUAL).
- 4. PROVIDE NEW CONCRETE SIDEWALK AS SHOWN ON PLAN. CONCRETE SHALL BE 3,000 PSI IN 4" THICKNESS ON 4" STONE BASE, WITH 1/2" X1/2" SAW CUT JOINTS GO" ON CENTER EACH
- 5. ENCLOSE REAR YARD ACCESS WITH 850° TAIL CHAIN-LINK PENCING, WITH 25'-O' NEW AUTOMATIC-OPERATION GATE (INTERIOR MOTION SENSING, SIDE-TO-SIDE SLIDER) UNIT TO ACCOMODATE DRIVINAY AT BOTH ACCESS POINTS AS SHOWN
- PROVIDE NEW CONCRETE BICYCLE PARKING PAD AS SHOWN ON PLAN. CONCRETE SHALL BE 3,000 PSI IN 4" THICKNESS ON 4" STONE BASE. CENTER NEW U-SHAFE 2-BIKE RACKS ON PAD AS SHOWN @ 3' OFF BUILDING AND 4' APART (BELSON MODEL CBBR-2HR-BLK OR EQL).
- NOTE THAT ALL NEW ELECTRICAL AND OTHER UTLITIES SHALL BE LOCATED UNDERGROUND, COORDNIATED WITH THE UTILITY
 PROVIDERS, AND ANY VISIBLE EQUIPMENT SHALL BE PROPERLY SCREENED TO COMPLY WITH THE ZONING REGULATIONS.





ARCHITECTURE

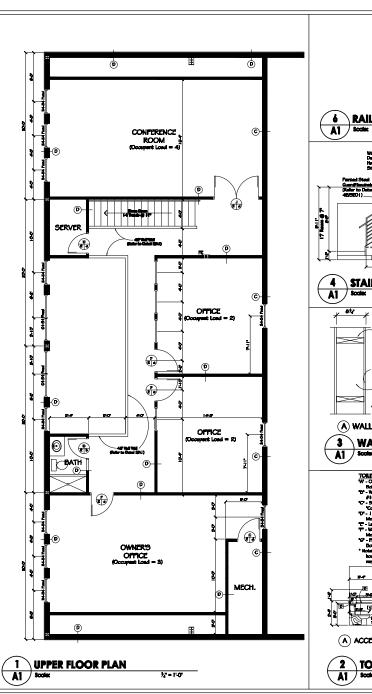
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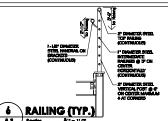
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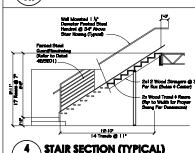
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Notes & Details











WALL TYPE DETAILS A1 Scoler

TOBET ACCESORY NOTES
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17 - Wall himsy high-Pressers Flasto Laments Unsal Screen, Befords
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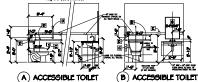
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TOILET & MILLWORK ELEVATIONS A1 Societ

PROPERTY ADDRESS

Bryant Fence Office Development Lot I - Langley Business Park 10606 Checkerboard Lane Knowlie, Tennessee 37932 Parcel ID - 131.06810

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- 2K4 WOOD STUDS @

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*/ ADVANTEX THE SUBFLOOR SHEXTHIN

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- 8" Concrete Minorry Units Stought to Z-Puriss and in Fig. on Associated

HALF WALL

(C) WALL TYPE 'A'

(Note that Type "F" Senior, No Steel Well)

%" = 1'-0"

Scale:

PROPERTY OWNER

4M Properties, LLC 351 Sweetgum Drive Knowle, Tennessee 37932 Owner Contact: Dan Maurer (865)

ARCHITECT

Malone Architecture 102 Chaho Road Knoxville, Tennessee 37934 (865) 388-8607 Principal in Change: Chris Malone cmalone@themasterteam.com

AI: A2:

TRAME
11" - 2" Hollow Metal 5-Hange (Gelemmed)
12" - 2" Hollow Metal 3-Hange
13" - 2" Alemann Storofront (Geer Acodised)
14" - Manufactures Standard

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*** - Lower Locksets, Closer, Plages

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with Suprage (Rater to Notes Belong)

*** - Stote Lock + Heap (Each Seids), Bottom

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INDEX OF DRAWINGS

Title Sheet **Building Design Data** Upper Floor Flan Toliet + Wall Details Floor Plan Notes # Details

Ground Floor Plan

A3: Extenor Develore Typical Wall Sections

A4: Accessory Storage Shed Plan

SDI: Site Development Plan

51: Foundation/Slab Plan

52:

MI: Ground Floor Plan - Mechan Upper Floor Flan - Mechanical Mechanical Notes # Schedules

Ground Floor Plan - Plumbing PI: Upper Floor Plan - Plumbing

Ground Floor Plan - Power

Upper Floor Flan - Lighting

1-C-20-TOB

Revised: 12/26/2019

BUILDING DESIGN DATA!

Freques A New Compress Office Dissolpresset for Bywet Financia Co.; Recombing Corporate Office Dissolpresset for Bywet Financia Co.; Recombing Corporation (Corporation Corporation)

Application of Corporation (Corporation)

Dissolation (Corp

OCCUPANCY CLASSIFICATION: Group F-2 "Low Hassed Factory" NEW CONSTRUCTION 11975, Type V, Deprotected, Unaprelifered A. Allowable Haught & Area = 40-0" Hought, 13,000 s.f. creafficor per Table 503.

A. NEW WARDSCHIEF AREAs Ground Floor – 0,000 a.f. / Upper Floor – 1,600 a.f. B. GRADE ELECTRONS Times Dread Main Floor Signess Prosis, Front Entry C. BILLIPINE SIGNET Average Shows Floor Signess Abous Grade – 20-07 D. WANGER OF STOKES AND SIGNESS AND SIGN

CONSTRUCTION REGULERMENTS:
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* Manuse Mander of Basic (1-07 S.) - 120 Co.

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* Manuse Cervice Velocit (101 J.) - 2-0 Co.

* Manuse Cervice Velocit (101 J.) - 2-0 Co.

* Manuse Cervice Velocit (101 J.) - 2-1 Persons or 0.3 Persons

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MALONE ARCHITECTURE

RATEGIC PLANNIF ARCHITECTURE INTERIOR DESIGN 102 CHAHO ROAD KNOXVILLE, TN 37934

PHONE: 865,777,1720 FAX: 865,777,1724

ompany

Fencing Comoxville, Tennessee

Bryant Kno

evelopment

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Office

Corporate

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Floor Framing Plan

Plumbina Notes 4 Schedules

El: Power Notes & Schedules

E2: Ground Floor Plan - Lighting Lighting Notes 4 Schedules

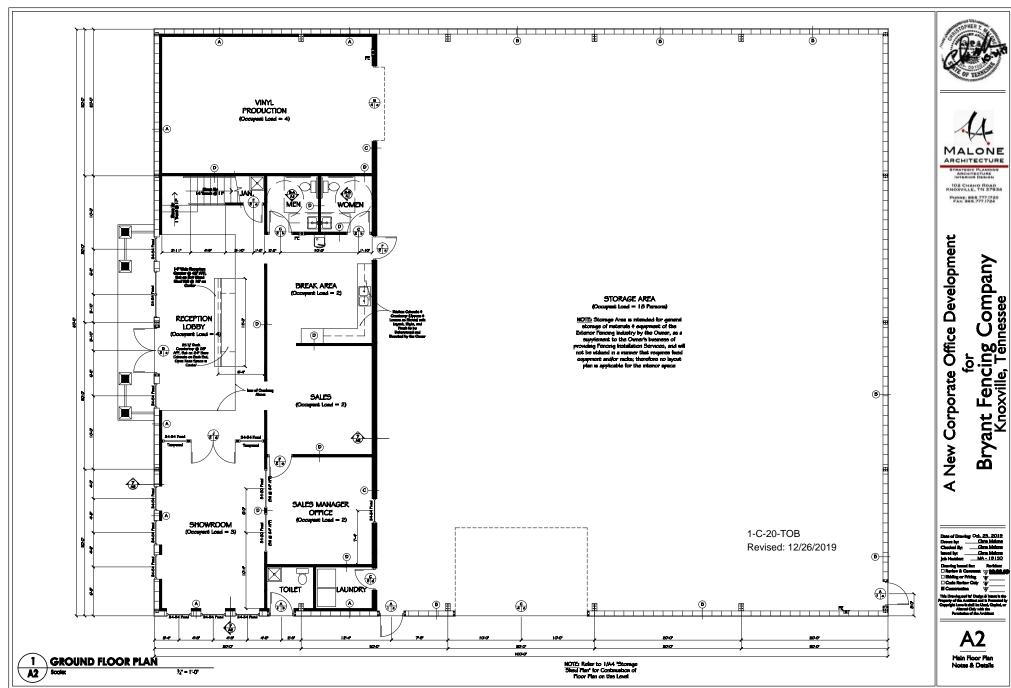
E3: Upper Floor Flan - Power

Date of Drawley Oct. 25, 2016 Date of Debuting Cos. 225, 2015
Determine Committee Comm nol for Rosen. A Commun. <u>W 18.96. |</u>

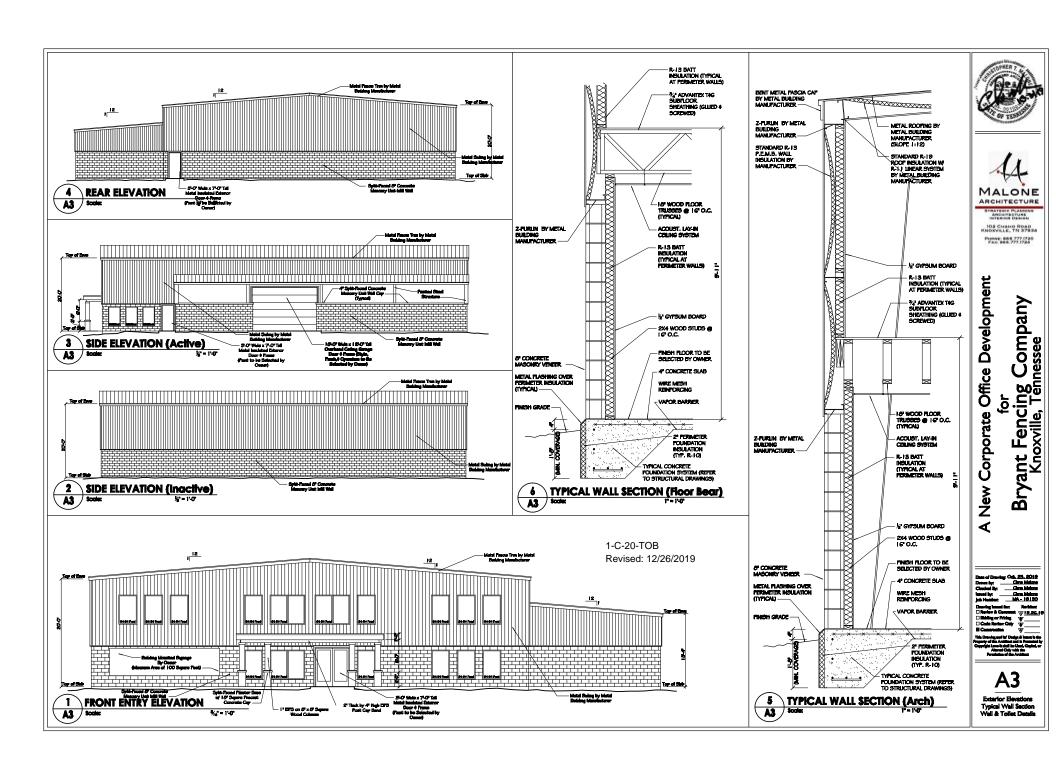
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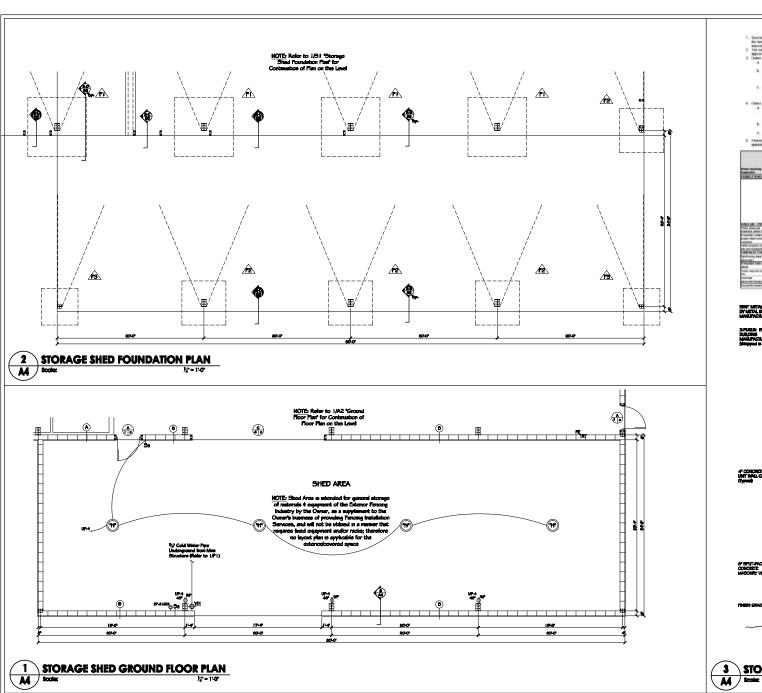
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Title Sheet/Design Data Upper Floor Plan Notes & Details





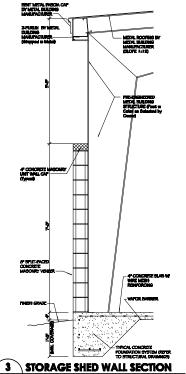




STATEMENT OF SPECIAL INSPECTIONS

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Areas requiring special	Free		ECIAL INSPECTION SCHEDULE
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CONCRETE CONTENT	THOM (REC	(765.36	
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Marify responsed closenger thin			Varify tole design makes alterage, and explanate requirements lated on approximat plane.
Cororata			Includes compling for an allowy, absorpt and temperature techniques
cocase formació			Verty shaps treaten and rearries dimensions.







102 CHAHO ROAD KNOXVILLE, TN 37834 PHONE: 865,777,1720 FAX: 865,777,1724

A New Corporate Office Development Bryant Fencing Company Knoxville, Tennessee

Circa Militaria
Circa Militaria
Circa Militaria
Circa Militaria
Circa Militaria
MA - 18150

Shed Plumbing/Electrical Shed Sections & Details

%" = 140"