



TENNESSEE TECHNOLOGY CORRIDOR DEVELOPMENT AUTHORITY

REPORT OF STAFF RECOMMENDATION

Meeting Date: 1/6/2020
File Number: 1-B-20-TOB
Applicant: MIGHTY FINANCIAL, LLC
Request: BUILDING PERMIT

Address: 1904 Castaic Ln.
Map/Parcel Number: 103 11911
Location: South end of Castaic Lane, east side of Valley Vista Road, west of Pellissippi Parkway.
Existing Zoning: PC (Planned Commercial) / TO (Technology Overlay)
Proposed Zoning: NA
Existing Land Use: Vacant land
Proposed Land Use: Office Warehouse
Appx. Size of Tract: 4.7 acres
Accessibility: Access is via Valley Vista Road, a minor collector street with 3 lane section with a 44' pavement width within a 70' right-of-way and Castaic Lane, a local street with a 32' pavement width within a 70' right-of-way.
Surrounding Zoning and Land Uses:
North: PC (Planned Commercial) / TO (Technology Overlay) - Mixed businesses
South: PC (Planned Commercial) (k) / TO (Technology Overlay) - Vacant land and business
East: PC (Planned Commercial) / TO (Technology Overlay) - Business
West: PC (Planned Commercial) (k) / TO (Technology Overlay) - Vacant land

Comments: 1) This is a request for approval of a building permit to construct an office/warehouse facility on this 4.7 acre lot within the Hardin Valley Commercial Park Subdivision. The proposed development includes four buildings with a total building area of 32,650 square feet. There are three one story office/warehouse buildings ranging in size from 7,350 square feet to 12,300 square and one two story office building with a total area of 5,000 square feet.
2) Access to the site is from both Valley Vista Road, a minor collector street and Castaic Lane, a local street. As designed, the driveway connections may encourage cut-through traffic between the two streets. This issue has been discussed with the applicant and they are aware of the traffic impact on site but responded that the realignment could not be accomplished due to the road grades. They are trying to maintain a flatter surface near the buildings for safer truck maneuvers. A stop sign and stop bar are added in two directions to help with traffic control and minimize cut-through potential.
3) The development plan includes 48 parking spaces which meets off-street parking requirements for the Knox County Zoning Ordinance, and is within the minimum and maximum range of the TTCDA Design Guidelines.
4) Buildings 1-3 include overhead doors and loading dock areas that are oriented to the interior portions of the site so they will not be visible from the public streets.
5) The proposed development is within the limits for Ground Area Coverage, Floor Area Ratio and Impervious Area Ratio.
6) The proposed landscape plan is consistent with the Design Guidelines.
7) The exterior siding for the buildings will include a mix of split face CMU in black, vertical and horizontal architectural metal panels in snow white and tundra, and EFIS or

fiber cement panels in matching colors. The entrance areas, canopies and windows are aluminum storefront systems finished in dark bronze. The roof systems will be a standing seam metal roof or flat roof.

8) The mechanical equipment areas will be screened from view from the public streets. The dumpster enclosures will be constructed of materials and colors used for the proposed buildings.

9) The proposed site lighting will be full cut-off LED fixtures but as proposed, they exceed the maximum intensity limits in the Design Guidelines.

10) There is no signage proposed with this submittal.

11) The use on review application (1-J-20-UR) for the proposed office development will be before the Planning Commission on January 9, 2020.

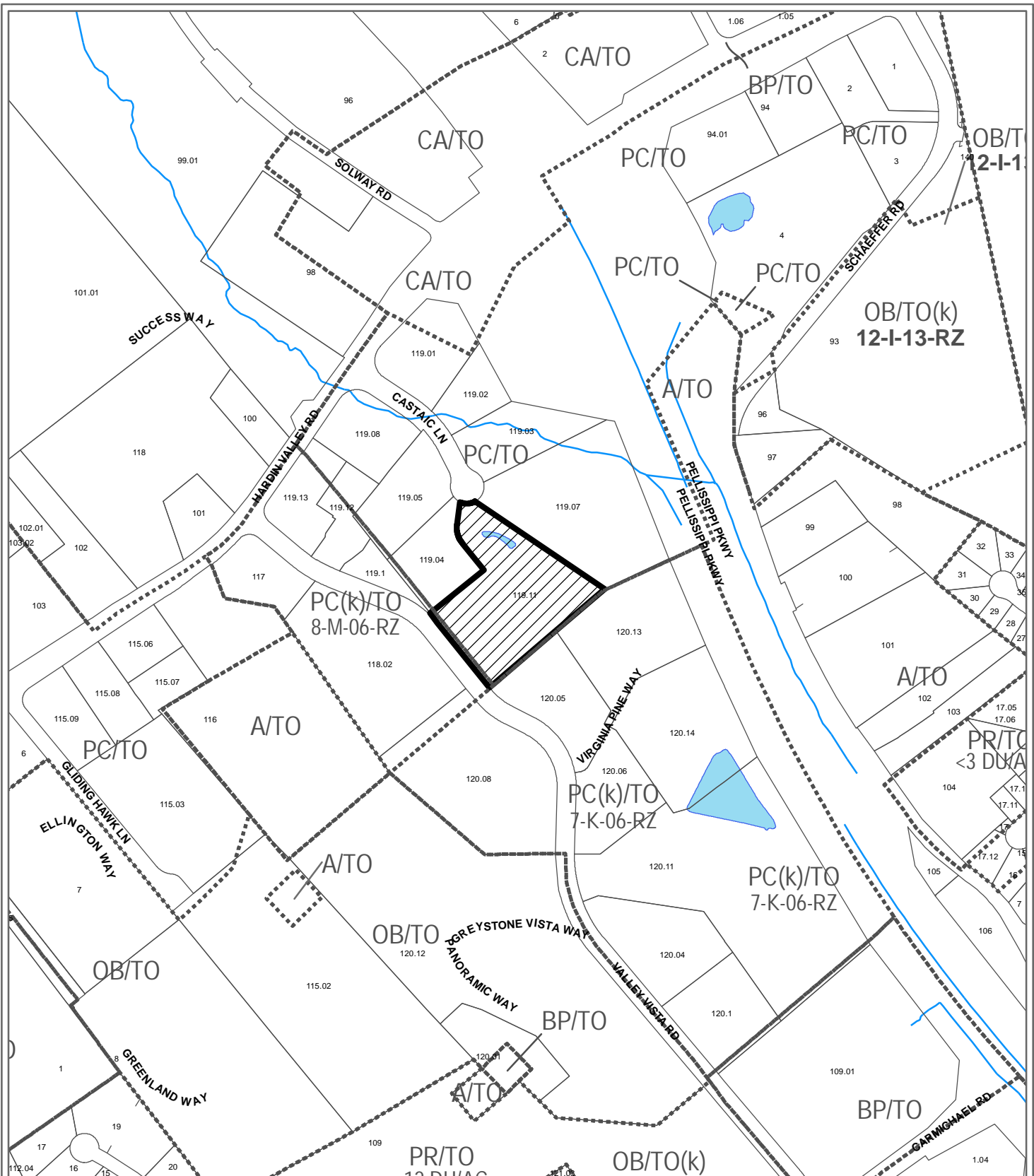
Design Guideline Conformity:	With the recommended conditions, this request complies with the TTCDA Design Guidelines.
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Waivers and Variances Requested:	Not applicable at this time.
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Staff Recommendation:

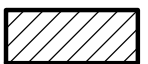
Based on the application and plans as submitted and revised, Staff recommends APPROVAL of this request for a Certificate of Appropriateness for a building permit, subject to the following conditions:

- 1) Connection to sanitary sewer and meeting any other relevant requirements of the utility provider.
- 2) Installation of all sidewalks as identified on the development plan, subject to meeting all applicable Americans with Disabilities Act (ADA) requirements and the requirements of the Knox County Department of Engineering and Public Works.
- 3) Installing all landscaping as identified on the landscape plan within six months of the issuance of an occupancy permit for this project, or posting a bond with the Knox County Department of Engineering and Public Works to guarantee such installation. Landscaping shall be installed so as not to interfere with the sight triangles and visibility along public streets.
- 4) Meeting all applicable requirements of the Knox County Department of Engineering and Public Works.
- 5) Submitting a revised site lighting plan that is in compliance with the maximum foot candle limits of the Design Guidelines subject to staff approval.
- 6) Any proposed signage will require a separate TTCDA application and approval.
- 7) Meeting all applicable requirements of the Knox County Zoning Ordinance.
- 8) Obtaining a use on review approval from the Planning Commission for the proposed office/warehouse development (1-J-20-UR) that will be before the MPC on January 9, 2020.



**1-B-20-TOB
CERTIFICATE OF APPROPRIATENESS**

Petitioner: Mighty Financial, LLC



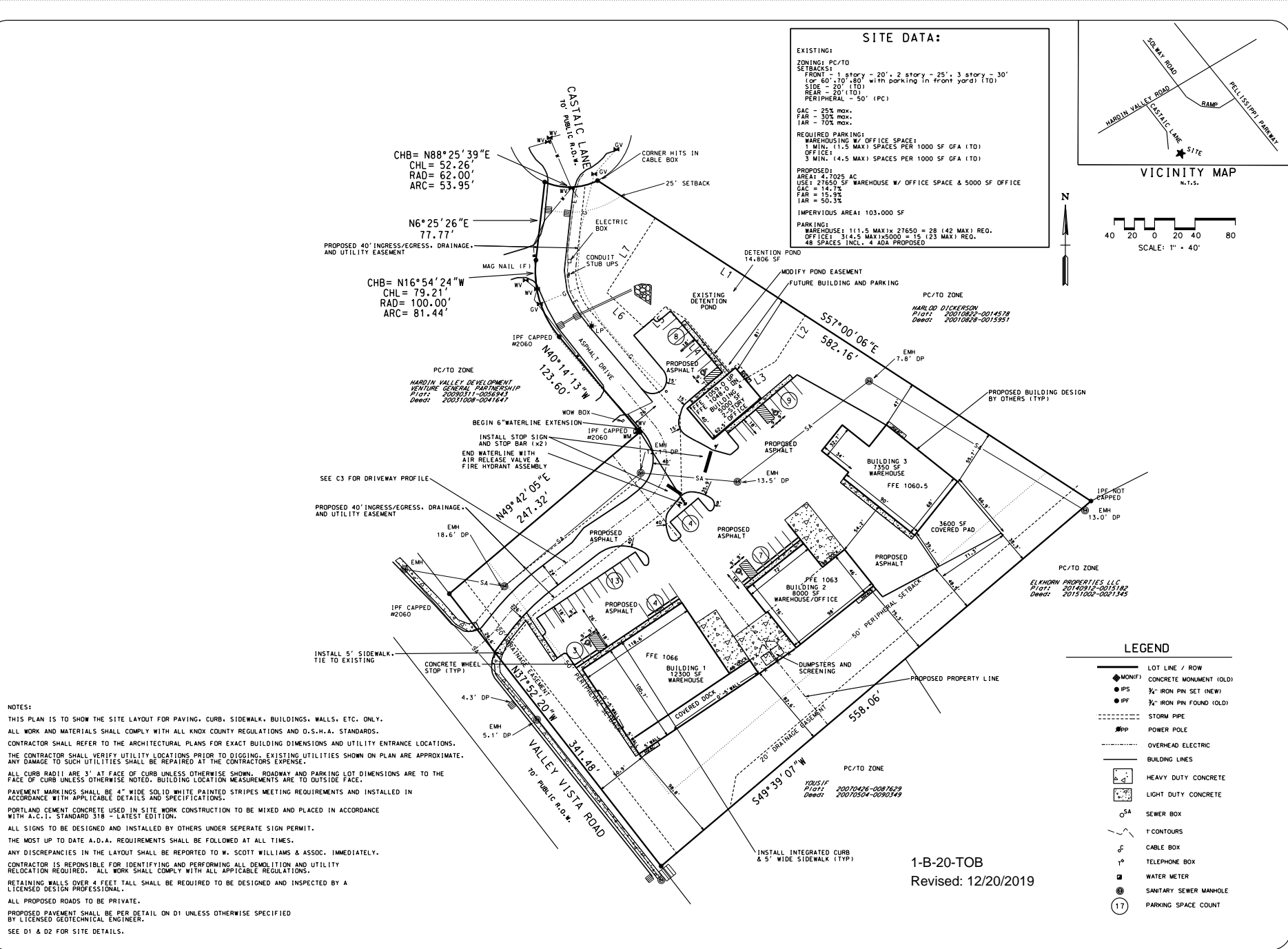
Purpose of Request: Building Permit - New Construction

Original Print Date: 12/27/2019 Revised:
Metropolitan Planning Commission * City / County Building * Knoxville, TN 37902

Map No: 103
Jurisdiction: County

Feet





SITE DATA:

EXISTING:
 ZONING: PC/TO
 SETBACKS:
 FRONT - 1 story - 20', 2 story - 25', 3 story - 30'
 (or 60', 70', 80' with parking in front yard) (TO)
 SIDE - 20' (TO)
 REAR - 20' (TO)
 PERIPHERAL - 50' (PC)

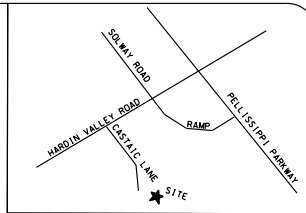
GAC - 25% max.
 FAR - 30% max.
 IAR - 70% max.

REQUIRED PARKING:
 WAREHOUSING W/ OFFICE SPACE:
 1 MIN. (1.5 MAX) SPACES PER 1000 SF GFA (TO)
 OFFICE:
 3 MIN. (4.5 MAX) SPACES PER 1000 SF GFA (TO)

PROPOSED:
 AREA: 4,7025 AC
 USE: 27650 SF WAREHOUSE W/ OFFICE SPACE & 5000 SF OFFICE
 GAR = 14,712
 FAR = 15.9%
 IAR = 50.3%

IMPERVIOUS AREA: 103,000 SF

PARKING:
 WAREHOUSE: (111.5 MAX)X 27650 = 28 (42 MAX) REQ.
 OFFICE: 3(4.5 MAX)X5000 = 15 (23 MAX) REQ.
 48 SPACES INCL. 4 ADA PROPOSED



NOTES:

THIS PLAN IS TO SHOW THE SITE LAYOUT FOR PAVING, CURB, SIDEWALK, BUILDINGS, WALLS, ETC. ONLY. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL KNX COUNTY REGULATIONS AND O.S.H.A. STANDARDS. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND UTILITY ENTRANCE LOCATIONS. THE CONTRACTOR SHALL VERIFY UTILITY LOCATIONS PRIOR TO DIGGING. EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE. ANY DAMAGE TO SUCH UTILITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE. ALL CURB RADII ARE 3" AT FACE OF CURB UNLESS OTHERWISE SHOWN. ROADWAY AND PARKING LOT DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED. BUILDING LOCATION MEASUREMENTS ARE TO OUTSIDE FACE. PAVEMENT MARKINGS SHALL BE 4" WIDE SOLID WHITE PAINTED STRIPES MEETING REQUIREMENTS AND INSTALLED IN ACCORDANCE WITH APPLICABLE DETAILS AND SPECIFICATIONS. PORTLAND CEMENT CONCRETE USED IN SITE WORK CONSTRUCTION TO BE MIXED AND PLACED IN ACCORDANCE WITH A.C.I. STANDARD 318 - LATEST EDITION. ALL SIGNS TO BE DESIGNED AND INSTALLED BY OTHERS UNDER SEPARATE SIGN PERMIT. THE MOST UP TO DATE A.D.A. REQUIREMENTS SHALL BE FOLLOWED AT ALL TIMES. ANY DISCREPANCIES IN THE LAYOUT SHALL BE REPORTED TO W. SCOTT WILLIAMS & ASSOC. IMMEDIATELY. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND PERFORMING ALL DEMOLITION AND UTILITY RELOCATION REQUIRED. ALL WORK SHALL COMPLY WITH ALL APPLICABLE REGULATIONS. RETAINING WALLS OVER 4 FEET TALL SHALL BE REQUIRED TO BE DESIGNED AND INSPECTED BY A LICENSED DESIGN PROFESSIONAL. ALL PROPOSED ROADS TO BE PRIVATE. PROPOSED PAVEMENT SHALL BE PER DETAIL ON D1 UNLESS OTHERWISE SPECIFIED BY LICENSED GEOTECHNICAL ENGINEER. SEE D1 & D2 FOR SITE DETAILS.

- LEGEND**
- MONIF
 - IPS
 - PF
 - STORM PIPE
 - PP
 - OVERHEAD ELECTRIC
 - BUILDING LINES
 - HEAVY DUTY CONCRETE
 - LIGHT DUTY CONCRETE
 - SA
 - S
 - C
 - T
 - W
 - M
 - 17
- LOT LINE / ROW
 CONCRETE MONUMENT (OLD)
 3/4" IRON PIN SET (NEW)
 3/4" IRON PIN FOUND (OLD)
 POWER POLE
 HEAVY DUTY CONCRETE
 LIGHT DUTY CONCRETE
 SEWER BOX
 1" CONTOURS
 CABLE BOX
 TELEPHONE BOX
 WATER METER
 SANITARY SEWER MANHOLE
 PARKING SPACE COUNT

1-B-20-TOB
 Revised: 12/20/2019

FOR REVIEW - NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION
1	12/22/19	IFC COMM.

W. SCOTT WILLIAMS & ASSOCIATES
 CONSULTING ENGINEERS
 CIVIL ENGINEERING
 1904 CASTAIC LANE
 WOOD COUNTY, KENTUCKY 40391
 CLT-1-1-20-08 & 1-B-20-TOB

CLIENT:
V & V Construction
 V & V Construction, LLC
 10150 S. 120th Ave., Suite 100
 Overland Park, KS 66204
 www.vandvconstruction.com

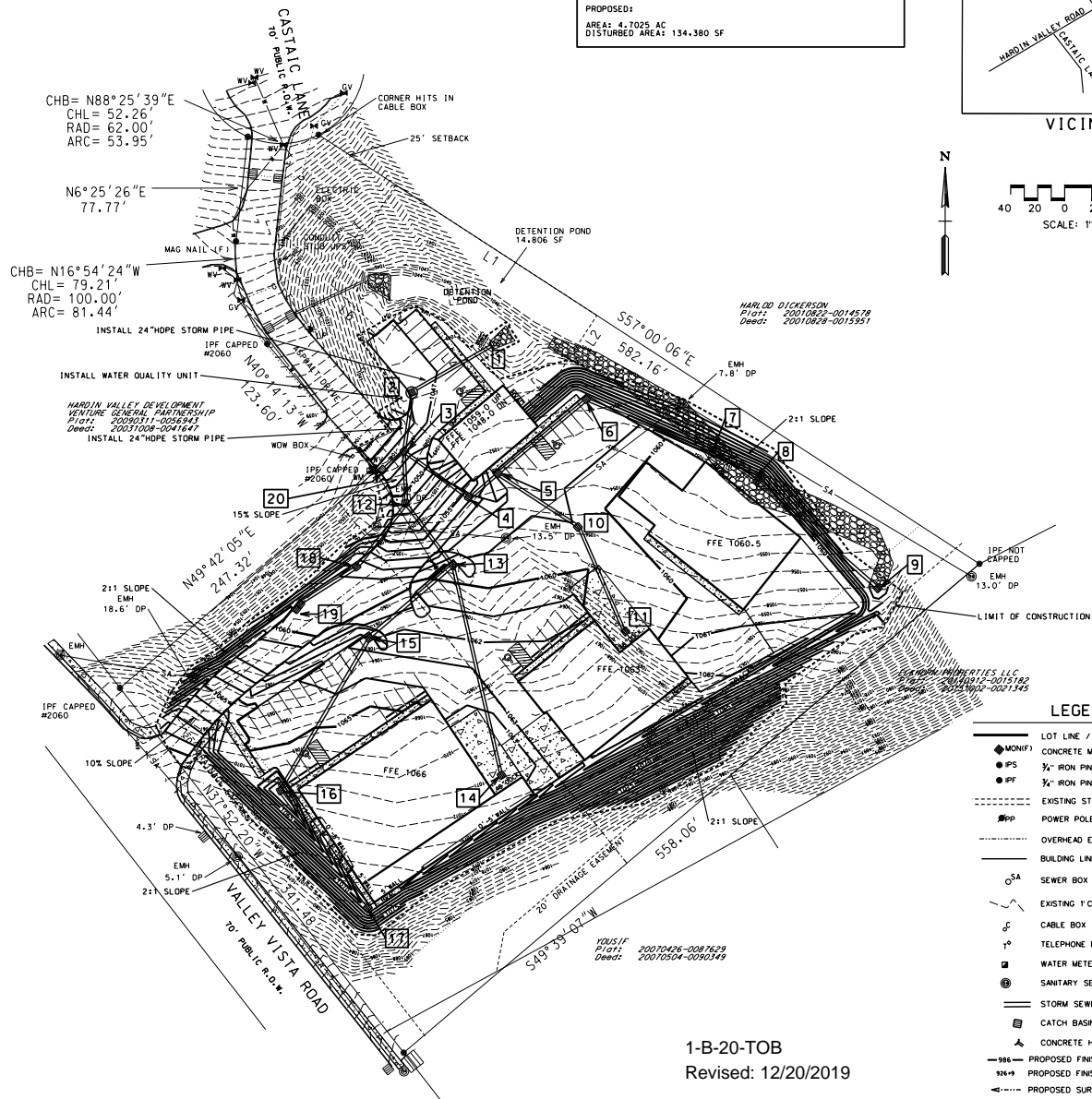
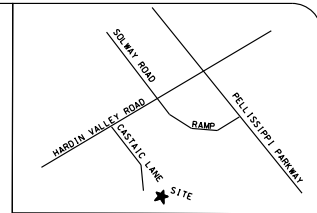
ORIGINAL ISSUE:
OCT. 2, 2019

SHEET NO.
C1

JOB NO. 1813121

SITE DATA:

EXISTING:
ZONING: PC/TD
PROPOSED:
AREA: 4.7025 AC
DISTURBED AREA: 134,380 SF



- DRAINAGE NOTES:**
- FOR ALL BUILDINGS: TIE ROOF DRAINS TO EITHER CURB FACE OR CONCRETE SMALES USING 4" PVC PIPE @ 1/8" MIN. SLOPE AND FITTINGS.
 - NO ROOF WATER SHALL BE DISCHARGED ONTO PREVIOUS SURFACES.
 - ALL BUILDINGS SHALL HAVE 6" VERTICAL GRADE DROP TO ADJACENT GRASS AREAS. ALL GRASS AREAS SHALL SLOPE AWAY FROM THE BUILDING AT 2% SLOPE WHERE POSSIBLE AND ITS MINIMUM SLOPE.
 - IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO ENSURE POSITIVE DRAINAGE AWAY FROM THE BUILDINGS THROUGHOUT AND AT THE END OF CONSTRUCTION.
 - EXCAVATE PERMANENT STORMWATER DETENTION BASIN AS FIRST ITEM OF CONSTRUCTION. PLUS LOWER LEVEL OFFICES AND USE AS SEDIMENTATION BASIN DURING CONSTRUCTION. REMOVE ACCUMULATED SEDIMENT, AND LANDSCAPE THE BASIN WHEN THE UPSTREAM DRAINAGE AREA IS STABILIZED. SEE SWPPP.
- GENERAL NOTES:**
- BORROW MATERIAL TO BE USED FOR FILL WILL BE TESTED FOR MAXIMUM DRY DENSITY AND OPTIMUM MOISTURE CONTENT (STANDARD PROCTOR ASTM D998) PRIOR TO PLACEMENT OF FILL.
 - FILL SOILS WILL BE COMPACTED IN LAYERS 8 INCHES OR LESS IN THICKNESS TO A MINIMUM OF 98 PERCENT STANDARD PROCTOR MAXIMUM DRY DENSITY AND WITHIN PLUS OR MINUS 3 PERCENT OPTIMUM MOISTURE CONTENT. SIX (6) DENSITY TESTS SHOULD BE PERFORMED NO LESS THAN EVERY 10,000 SQUARE FEET OF AREA PER 8-INCH LIFT APPROX. 1% TEST PER EVERY 50 FEET.
 - A SOIL REPORT BY A LICENSED GEOTECHNICAL SHALL SUPERCEDE THE ABOVE RECOMMENDATIONS.
 - PRIOR TO DIGGING, CALL TENNESSEE ONE CALL TO LOCATE UTILITIES 3 OR MORE DAYS IN ADVANCE.
 - SEE D2 FOR TYPICAL PIPE BEDDING DETAIL.
 - SEE D2 FOR TYPICAL ENVIRONMENTAL STATEMENT TO BE PLACED ON ALL STORM SEWER INLETS / MANHOLES.
 - All stormwater pipes must be installed correctly with adequate pipe bedding, backfill and stormwater joint protection.
 - See the following for stormwater infiltration specifications: Reinforced Concrete Pipe (RCP) - ASTM C 1479-01 Double Wall and High-Density Polyethylene (HDPE) - ASTM D 2321
- GRADING NOTES (SEE SWP1-4 FOR EROSION CONTROL NOTES):**
- SUBGRADE FOR PAVED AND PAD AREAS SHALL BE 1.0 FOOT AND 8", RESPECTIVELY, BELOW FINISHED GRADE AND COMPACTED TO STANDARD PROCTOR ASTM D998. FILL SHALL BE ROCK OR SUITABLE SOIL ONLY, PLACED IN LIFTS OF 8" OR LESS FOR SOIL AND 2" OR LESS FOR ROCK. A GEOTECHNICAL ENGINEER SHOULD BE USED FOR COMPACTION TESTING. A SOIL REPORT BY A LICENSED GEOTECHNICAL SHALL SUPERCEDE THE ABOVE RECOMMENDATIONS.
 - ALL SLOPES TO BE 3% MIN UNLESS OTHERWISE NOTED. NO SLOPE SHALL BE GREATER THAN 2% MIN.
 - FINAL CONSTRUCTION PLANS TO BE APPROVED BY APPROPRIATE REVIEW AGENCIES AND PERMITS OBTAINED PRIOR TO CONSTRUCTION. PLAN SUBJECT TO CHANGE PER COMMENTS BY REVIEW AGENCIES.
 - THE CONTRACTOR SHALL NOTIFY ENGINEER OF VARIANCES FROM EXISTING CONDITIONS PLAN PRIOR TO DISTURBANCES.
 - ALL GRADING AND DRAINAGE ORDINANCES OF ANDA COUNTY SHALL BE FOLLOWED INCLUDING ALL OSHA REQUIREMENTS.
 - NO TREES ARE TO BE REMOVED AND/OR VEGETATION DISTURBED EXCEPT AS NECESSARY FOR GRADING PURPOSES. TREES, STUMPS, ROOTS, DEBRIS, JUNK, AND OTHERWISE DELETERIOUS MATERIAL SHALL NOT BE BURIED OR DISPOSED OF ON SITE.
 - A REPORT BY GEOTEK ENGINEERING CO., INC., 2909 ELIZABETH ST., NASHVILLE, TN 37211, PHONE 615-853-3900 HAS BEEN PROVIDED WITH DETAILS ON UNDERLYING EXISTING SOILS AND SHALL BE FOLLOWED. REUSABLE TOPSOIL IS TO BE STOCKPILED IN THE LOCATIONS AS DESIGNATED BY THE OWNER. EXCESS TOPSOIL, DEBRIS, ETC. SHALL BE HAULED OFF.
 - A STORM WATER POLLUTION PREVENTION PLAN HAS BEEN PREPARED FOR THIS SITE AND SHALL BE FOLLOWED AT ALL TIMES AND PRIOR TO ANY OTHER WORK.
 - FINISHED FLOOR ELEVATION
 - ALL CONSTRUCTION TO BE IN ACCORDANCE WITH A.D.A. GRADES ALONG ACCESSIBLE ROUTES SHALL NOT EXCEED 5%. GRADES ALONG HANDICAP RAMPS SHALL NOT EXCEED 8.33%.

- LEGEND**
- LOT LINE / ROW
 - CONCRETE MONUMENT (OLD)
 - 3/4" IRON PIN SET (NEW)
 - 3/4" IRON PIN FOUND (OLD)
 - EXISTING STORM PIPE
 - POWER POLE
 - OVERHEAD ELECTRIC
 - BUILDING LINES
 - SEWER BOX
 - EXISTING T CONTOURS
 - CABLE BOX
 - WATER METER
 - SANITARY SEWER MANHOLE
 - STORM SEWER
 - CATCH BASIN
 - CONCRETE HEADWALL
 - PROPOSED FINISHED GRADE CONTOUR
 - PROPOSED FINISHED GRADE ELEVATION
 - PROPOSED SURFACE DRAINAGE DIRECTION (MIN 1%)
 - LIMIT OF CONSTRUCTION
 - RIPRAP APRON
 - STORM STRUCTURE NUMBER

1-B-20-TOB
Revised: 12/20/2019

FOR REVIEW - NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION
1	12/22/19	MPF, COMA

GRADING & DRAINAGE PLAN
CASTAIC LANE DEVELOPMENT
1904 CASTAIC LANE
NASHVILLE, TENNESSEE
CL 1-1-20-UR & 1-B-20-TUB

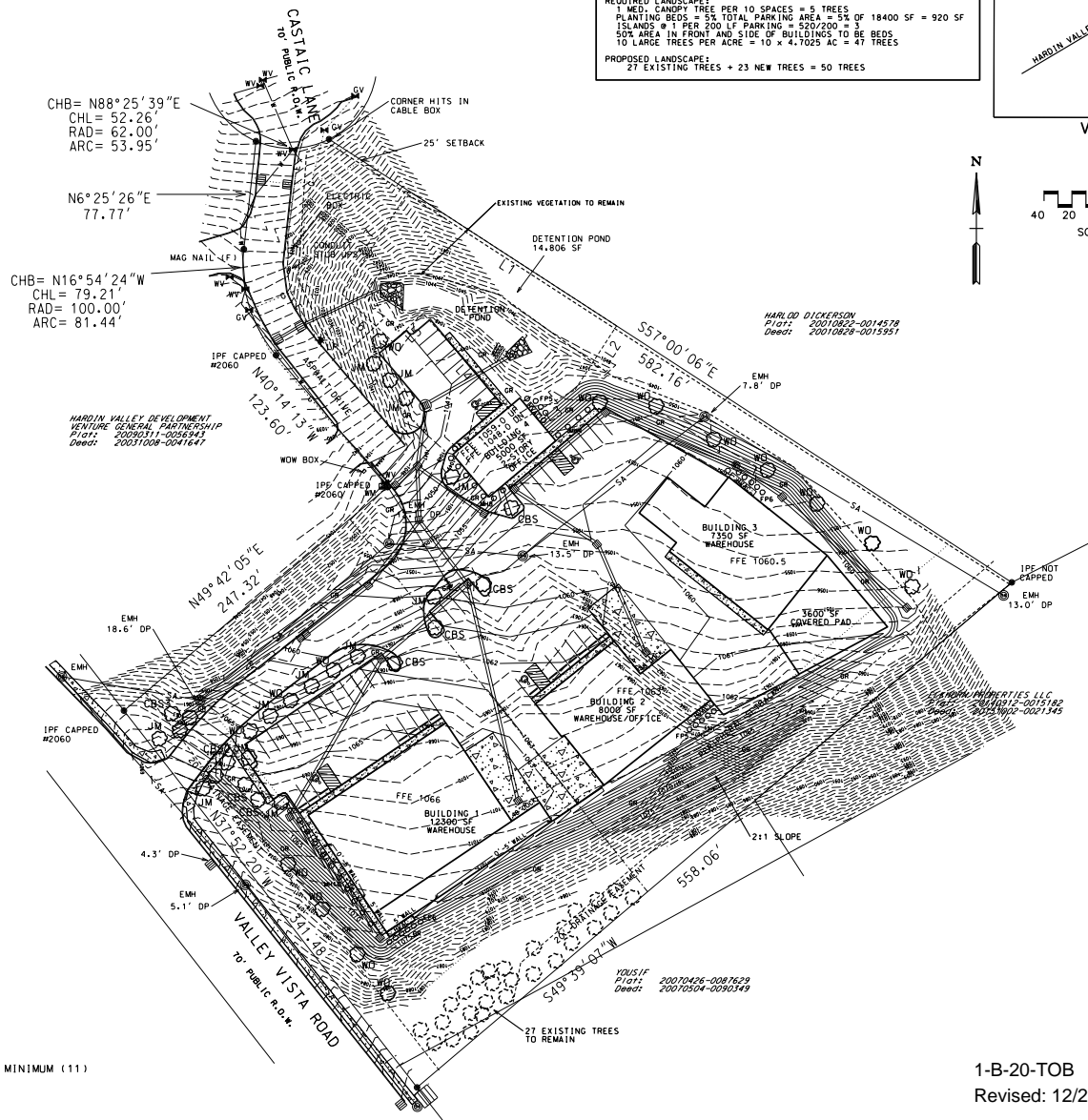
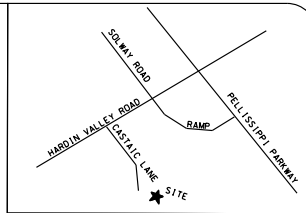


CLIENT:
V & V Construction
V & V Construction
10157-A 10th Ave
Nashville, TN 37203
www.vandvconstruction.com

ORIGINAL ISSUE:
OCT. 2, 2019
SHEET NO.
C2
JOB NO. 1813121

SITE DATA:

EXISTING:
 ZONING: PC/TD
 REQUIRED LANDSCAPE:
 1 MED. CANOPY TREE PER 10 SPACES = 5 TREES
 PLANTING BEDS = 5% TOTAL PARKING AREA = 5% OF 18400 SF = 920 SF
 ISLANDS @ 1 PER 500 LF PARKING = 520/200 = 3
 50% AREA IN FRONT AND SIDE OF BUILDINGS TO BE BEDS
 TO LARGE TREES PER ACRE = 10 x 4.7025 AC = 47 TREES
 PROPOSED LANDSCAPE:
 27 EXISTING TREES + 23 NEW TREES = 50 TREES



CHB= N88°25'39"E
 CHL= 52.26'
 RAD= 62.00'
 ARC= 53.95'

N6°25'26"E
 77.77'

CHB= N16°54'24"W
 CHL= 79.21'
 RAD= 100.00'
 ARC= 81.44'

HARDIN VALLEY DEVELOPMENT
 VENTURE GENERAL PARTNERSHIP
 PLATS: 20030531-0026343
 Deed: 20031008-0041641

HAROLD DICKERSON
 Plat: 20010822-0014578
 Deed: 20010828-0015951

KOUSSIF
 Plat: 20070426-0087629
 Deed: 20070504-0090349

LANDSCAPING NOTES:
 CONTRACTOR TO PROVIDE PLANT LIST TO OWNER FOR APPROVAL
 PRIOR TO PURCHASE AND INSTALLATION.
 ALL LANDSCAPING TO COMPLY WITH ITCD4 AND KNOX COUNTY
 LANDSCAPE REQUIREMENTS.

LANDSCAPE LEGEND

- FP FIREPOWER (*Nandina domestica*)
- MH MANHATTAN (*Euonymus kiautschovicus*)
- JM JAPANESE MAPLE (*Acer palmatum*) 2 INCH CALIPER MINIMUM (12)
- CBS COLORADO BLUE SPRUCE (*Picea pungens glauca*(v)) 2 INCH CALIPER MINIMUM (11)
- WO WILLOW OAK (*Quercus phellos*) 2 INCH CALIPER MINIMUM (15)
- PROPOSED TREE
- OR PROPOSED GRASS / LANDSCAPE AREA
- PROPOSED BUSH
- PERVIOUS AREA / OPEN SPACE

FOR REVIEW - NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION
1	12/22/19	MPF COMM.

LANDSCAPE PLAN
CASTALIC LANE DEVELOPMENT
 1904 CASTALIC LANE
 MADISON COUNTY, TENNESSEE
 CL-1-B-20-TOB & 1-B-20-TUB



W. SCOTT WILLIAMS & ASSOCIATES
 ENGINEERING
 1000 W. MAIN STREET, 3RD FLOOR
 MEMPHIS, TENNESSEE 38102
 E-MAIL: scott@wswwilliams.com

CLIENT:
V & V Construction
 V & V Construction
 10157 W. STATE ROAD 100
 MEMPHIS, TENNESSEE 38117
 WWW.VANDVCONSTRUCTION.COM

ORIGINAL ISSUE:
OCT. 2, 2019

SHEET NO.
L1

JOB NO. 1813121

1-B-20-TOB
 Revised: 12/20/2019

Date: 12/20/2019 11:51:17 AM
 Drawn By: Author
 Checked By: Designer
 File: C:\projects\190719\190719_1904_Castale_Lane_Building_1.dwg

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NOTES:
 THIS PLAN IS TO SHOW THE SITE LAYOUT FOR PARKING, CURB, SIDEWALK, BUILDINGS, WALLS, ETC. ONLY.
 ALL WORK AND MATERIALS SHALL COMPLY WITH ALL ADOPTED COUNTY REGULATIONS AND S.S.A.-A. STANDARDS.
 CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EVERY BUILDING DIMENSIONS AND QUALITY ENTRANCE LOCATIONS.
 THE CONTRACTOR SHALL VERIFY UTILITY LOCATIONS PRIOR TO BEGINNING. EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE.
 ANY DAMAGE TO SITES UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
 ALL CURB SHALL BE 3\"/>

Symbol	Qty	Label	Arrangement	LLF	Description
[Symbol]	5	GLEON-AF-04-LED-E1-SWQ	SINGLE	0.920	GLEON-AF-04-LED-E1-SWQ
[Symbol]	4	GLEON-AF-04-LED-E1-T3R	SINGLE	0.920	GLEON-AF-04-LED-E1-T3R
[Symbol]	3	GLEON-AF-04-LED-E1-T4FT	SINGLE	0.920	GLEON-AF-04-LED-E1-T4FT

Calculation Summary				
Label	CalcType	Units	Avg	Max
Access Driveway	illumiance	Fc	3.77	5.9
Building Entrance 12300 SF	illumiance	Fc	1.23	1.3
Building Entrance 6400 SF	illumiance	Fc	1.88	2.5
Building Entrance 7350	illumiance	Fc	0.52	1.7
Building Entrance 9200 SF	illumiance	Fc	2.50	3.1
Main Parking Lot	illumiance	Fc	2.54	4.4
Small Parking Lot	illumiance	Fc	3.02	5.1
Small Side Access Driveway	illumiance	Fc	2.11	2.7

1-B-20-TOB
 Revised: 12/20/2019

STUDIO FOUR DESIGN

ARCHITECTURE & INTERIORS

414 Clinch Ave. Knoxville, TN 37902
 p 865 523-5001 f 865 523-5003
 studiofourdesign.com

1904 Castale Lane
 Building 1
 1904 Castale Lane
 Knoxville, TN 37932



Project Phase: Schematic Design

Issue Date: 12/20/2019		
Revisions		
No.	Description	Date

Job Number: 19077.01
 SL1.1

SL1.0

DESCRIPTION

The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated and UL/cUL Listed for wet locations.

Catalog #		Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

Construction

Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum end caps enclose housing and die-cast aluminum heat sinks. A unique, patent pending interlocking housing and heat sink provides scalability with superior structural rigidity. 3G vibration tested and rated. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP66 rated.

Optics

Patented, high-efficiency injection-molded AccuLED Optics technology. Optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT 70 CRI. Optional 3000K, 5000K and 6000K CCT.

Electrical

LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Eaton proprietary circuit module designed to withstand 10kV of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 600mA, 800mA and 1200mA drive currents (nominal).

Mounting

STANDARD ARM MOUNT: Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during mounting. When mounting two or more luminaires at 90° and 120° apart, the EA extended arm may be required. Refer to the

arm mounting requirement table. Round pole adapter included. For wall mounting, specify wall mount bracket option. **QUICK MOUNT ARM:** Adapter is bolted directly to the pole. Quick mount arm slide into place on the adapter and is secured via two screws, facilitating quick and easy installation. The versatile, patent pending, quick mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the quick mount arm enables wiring of the fixture without having to access the driver compartment. A knock-out enables round pole mounting.

Finish

Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard housing colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available.

Warranty

Five-year warranty.



GLEON GALLEON LED

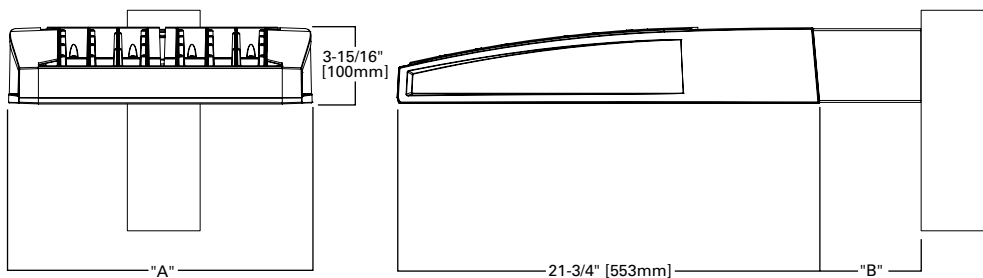
1-10 Light Squares
Solid State LED

AREA/SITE LUMINAIRE



WaveLinx

DIMENSIONS

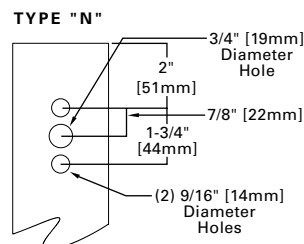


DIMENSION DATA

Number of Light Squares	"A" Width	"B" Standard Arm Length	"B" Optional Arm Length ¹	Weight with Arm (lbs.)	EPA with Arm ² (Sq. Ft.)
1-4	15-1/2" (394mm)	7" (178mm)	10" (254mm)	33 (15.0 kgs.)	0.96
5-6	21-5/8" (549mm)	7" (178mm)	10" (254mm)	44 (20.0 kgs.)	1.00
7-8	27-5/8" (702mm)	7" (178mm)	13" (330mm)	54 (24.5 kgs.)	1.07
9-10	33-3/4" (857mm)	7" (178mm)	16" (406mm)	63 (28.6 kgs.)	1.12

NOTES: 1. Optional arm length to be used when mounting two fixtures at 90° on a single pole. 2. EPA calculated with optional arm length.

DRILLING PATTERN



CERTIFICATION DATA

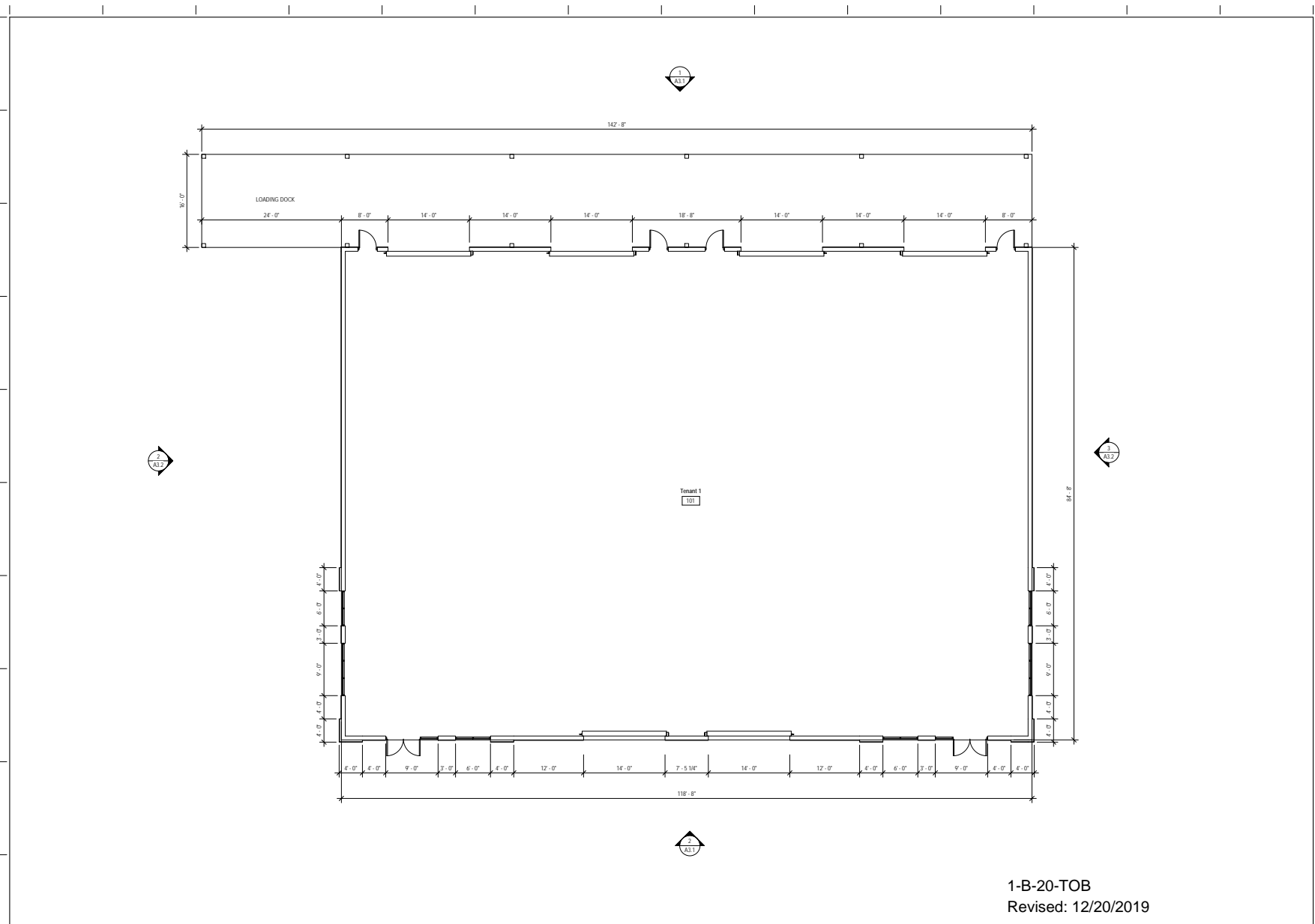
3G Vibration Rated
DesignLights Consortium® Qualified*
IP66 Rated
ISO 9001
LM79 / LM80 Compliant
UL/cUL Wet Location Listed

ENERGY DATA

Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120V-277V 50/60Hz
347V, 480V 60Hz
-40°C Min. Temperature
40°C Max. Temperature
50°C Max. Temperature (HA Option)

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Date: 12/20/2019 1:50:03 PM
 Drawn By: Acher
 Checked By: Ochsner
 File: C:\Users\pachar\Documents\1907_1904 Castaic Lane Building_1.dwg



1 Level 1
 1/8" = 1'-0"

1-B-20-TOB
 Revised: 12/20/2019

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 Building 1
 1904 Castaic Lane
 Knoxville, TN 37932



Project Phase: Schematic Design

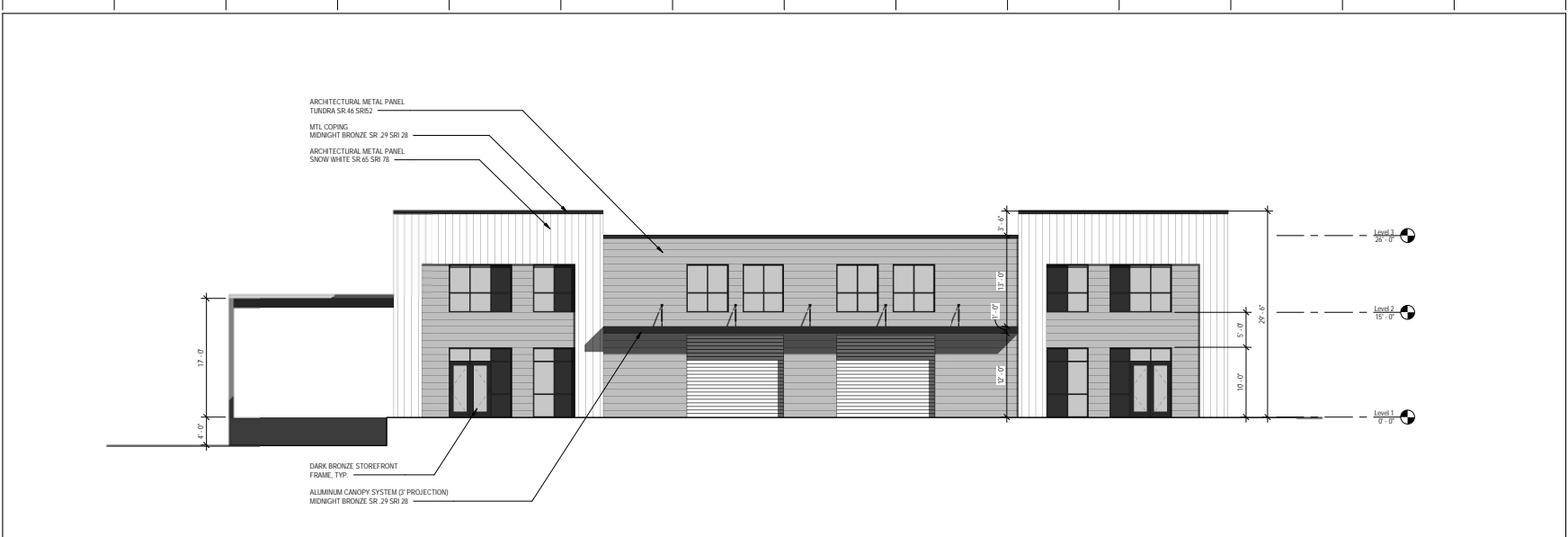
Issue Date: 11/25/19		
Revisions		
No.	Description	Date

Job Number: 19077.01
 First Floor Plan

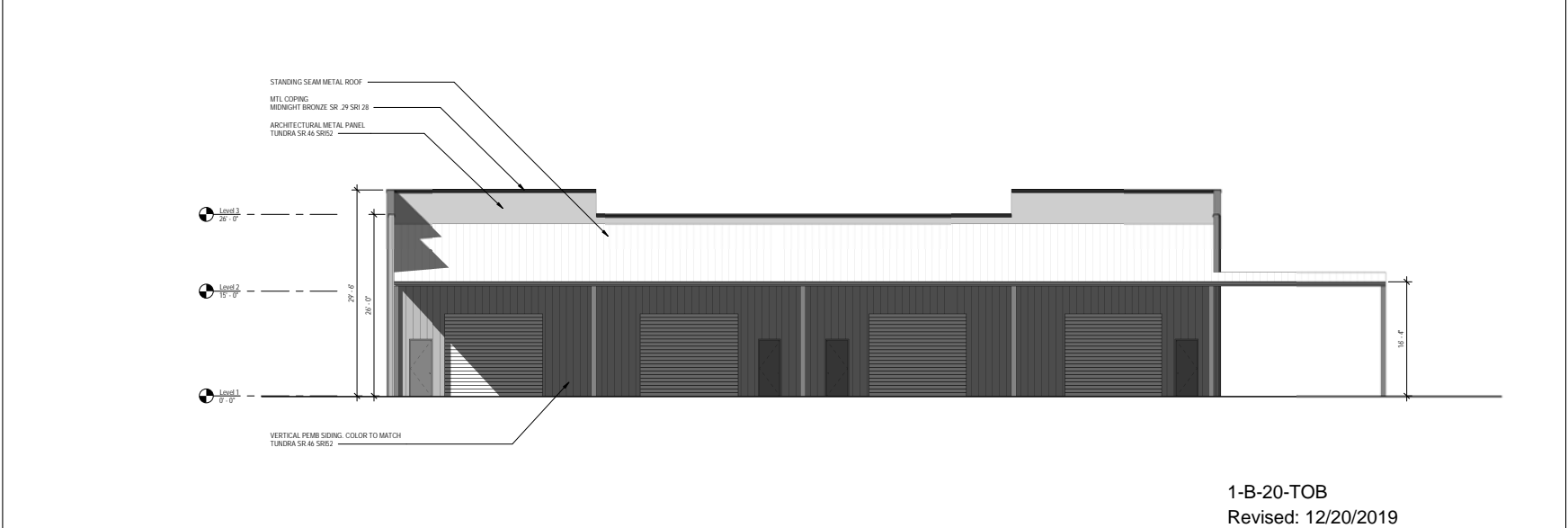
A1.1

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2 Building 1 - North Elevation
1/8" = 1'-0"



1 Building 1 - South Elevation
1/8" = 1'-0"

1-B-20-TOB
Revised: 12/20/2019

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Knoxville, TN 37932



Project Phase: Schematic Design

Issue Date: 11/25/19		
Revisions		
No.	Description	Date

Job Number: 19077.01
Elevations

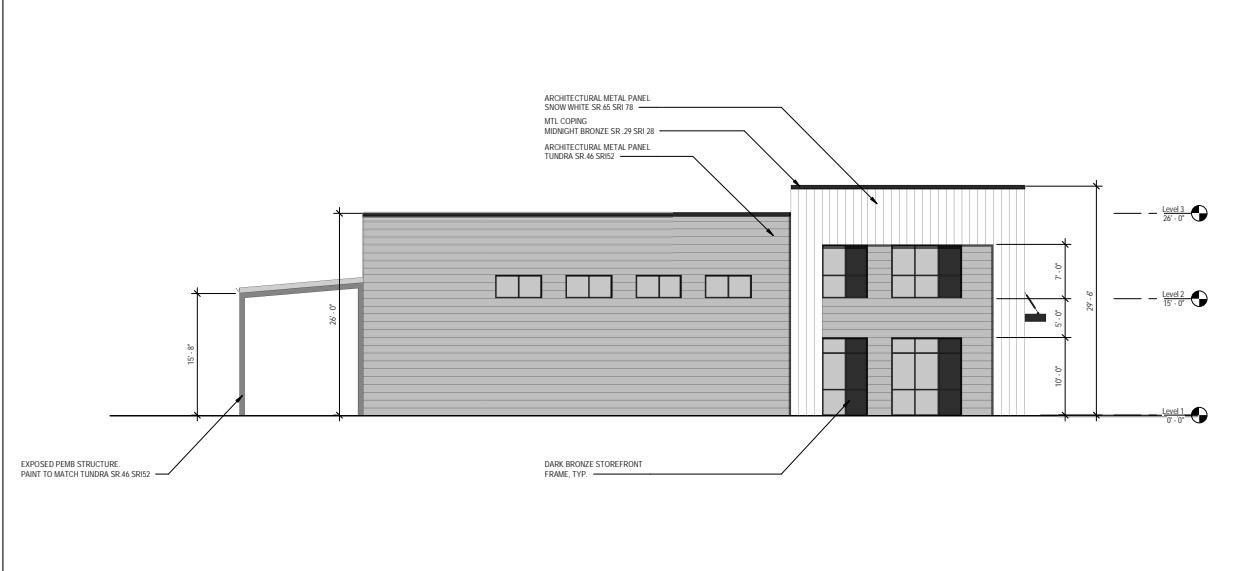
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3 Building 1 - East Elevation
18' - 11"



2 Building 1 - West Elevation
18' - 11"

COLOR CHART

ARCHITECTURAL

Final color selection should be made from actual color chips.

- For the most accurate information available, visit our website at www.sabel.com.
- All products are available in smooth or embossed finish.
- There is available in all colors.
- Review the sample drawings for coupling performance attributes and finish conditions.

SIGNATURE 300
STANDARD COLORS

INDIGO BLUE SR-100	COGNAC RED SR-101	MIDNIGHT SR-102	INDIGO BLUE SR-103	NATURAL METAL SR-104
SNOW WHITE SR-105	SLATE GRAY SR-106	ALUMINUM SR-107	MIDNIGHT METAL SR-108	LARGE GREEN SR-109
PURPLE BLUE SR-110	BROWNISH SR-111	SLATE GRAY SR-112	SLATE GRAY SR-113	NATURAL METAL SR-114
RED SR-115	SLATE GRAY SR-116			

Minimum quantities and/or extended lead times required. Please inquire.

DESIGNER SERIES

The Designer™ Series panels provide the toughness of metal while creating an attractive, flexible and functional wall or fascia panel. The Designer™ Series is offered in flat and flat panels, which are equally effective for new construction or retrofitting existing buildings.

If your design calls for a smooth or flat wall or fascia, look to the Designer™ Series 12.0 Flat Panel, which offers a 1/2-inch deep leg providing the perfect cavity for rigid board insulation.

Product Specifications

- Application: Wall
- Coverage: Width: 48" (Flat), 48" (Panel)
- Panel Attachment: Conventional Framing System
- Gauge: 24 (Standard), 24 (Optional)
- Finish: Smooth (Standard), Embossed (Optional)
- Coatings: Galvalume Plus™, Signature™ 300, Signature™ 300, Signature™ 300 Metallic

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Revised: 12/20/2019

1 Exterior Materials Legend

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Project Phase: Schematic Design

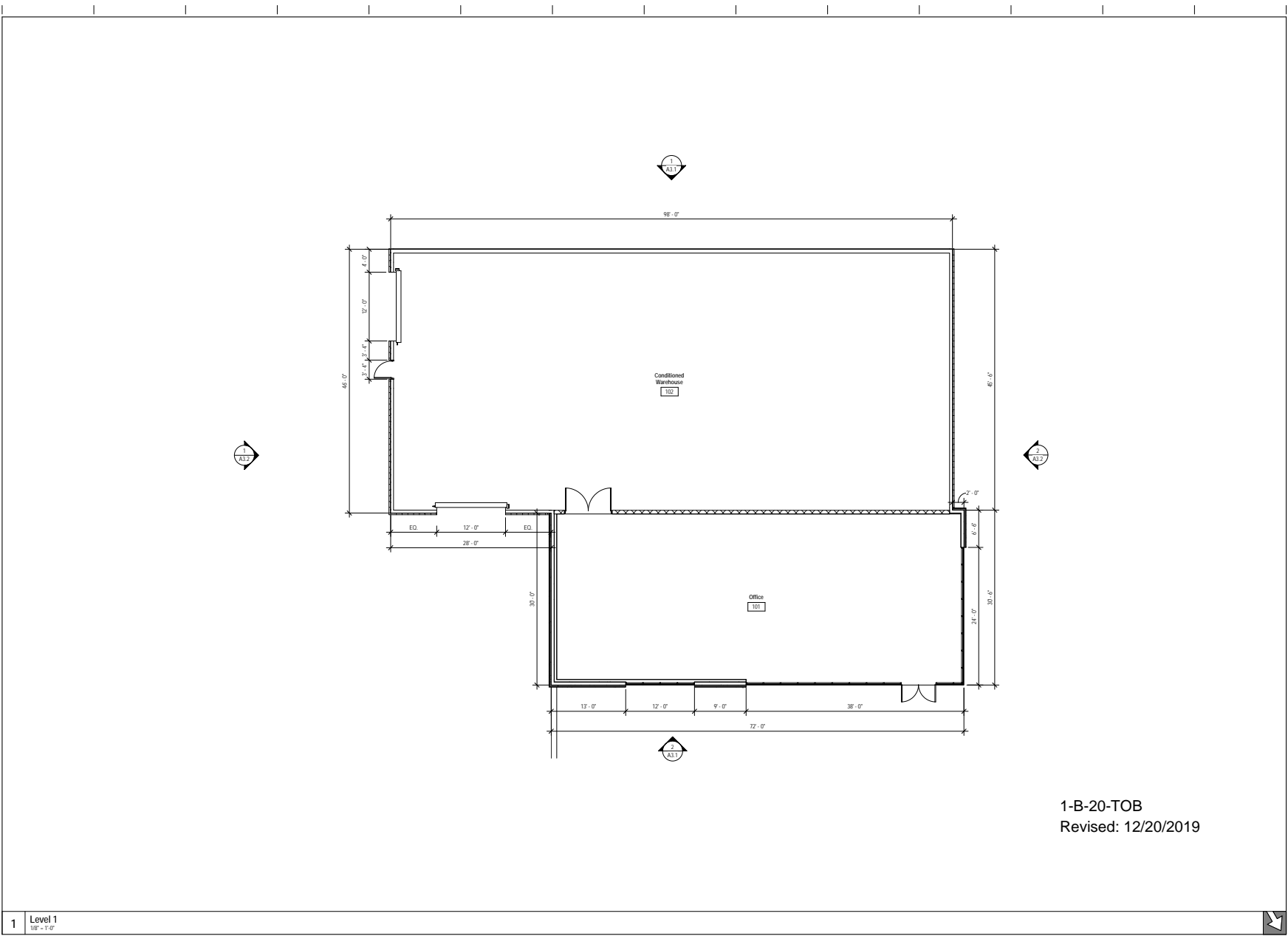
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Revisions		
No.	Description	Date

Job Number: 19077.01
Elevations

A3.2

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Date: 12/20/2019 4:11:07 PM
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1-B-20-TOB
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1 Level 1
 1/8" = 1'-0"

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 1904 Castaic Lane Building 2
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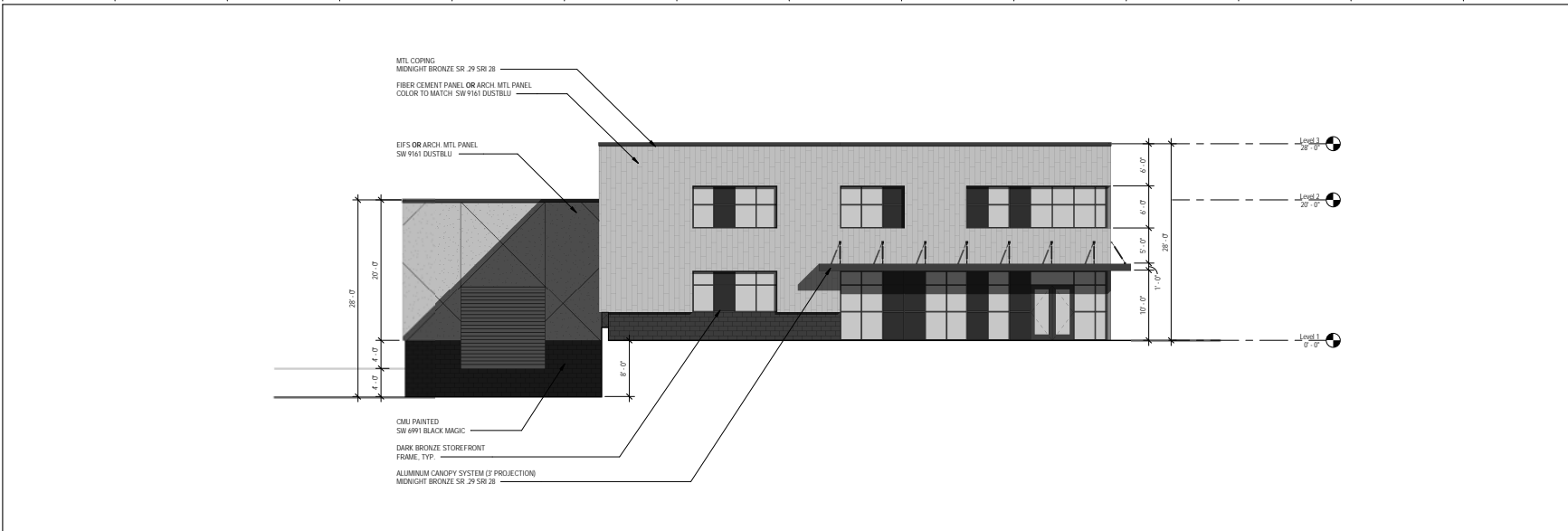
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Revisions		
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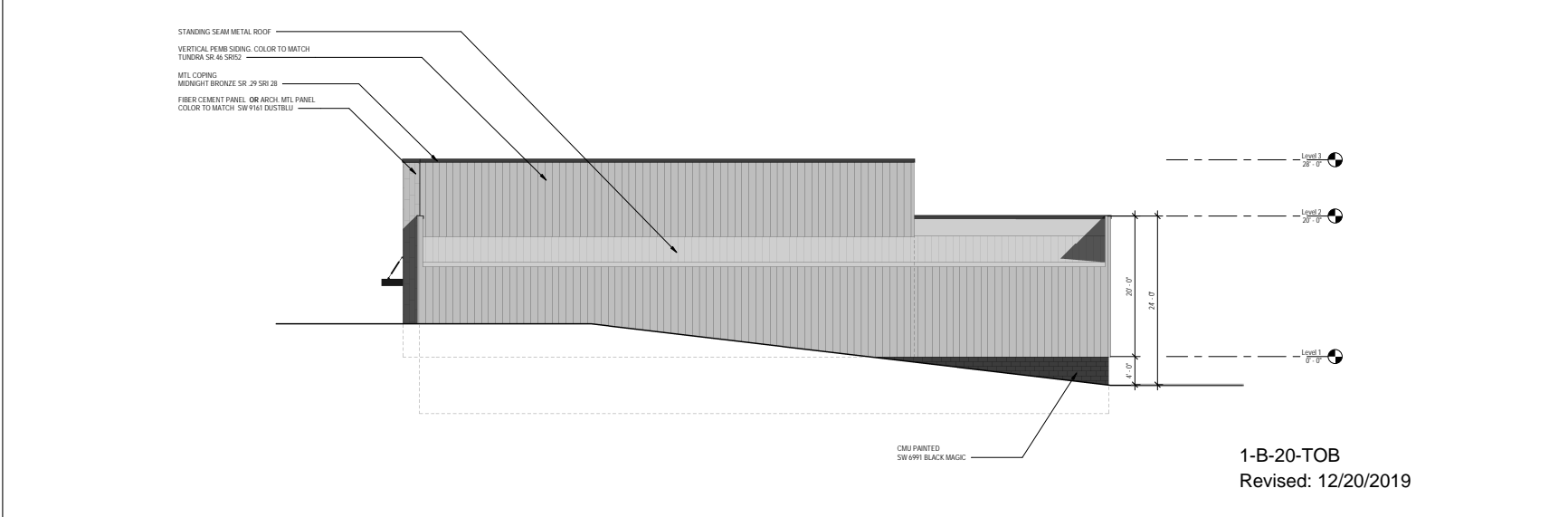
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A1.1

Date: 1/20/2019 4:11:09 PM Checked By: Owner
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2 Building 2 - North Elevation
1/8" = 1'-0"



1 Building 2 - South Elevation
1/8" = 1'-0"

1-B-20-TOB
Revised: 12/20/2019

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Project Phase: Schematic Design

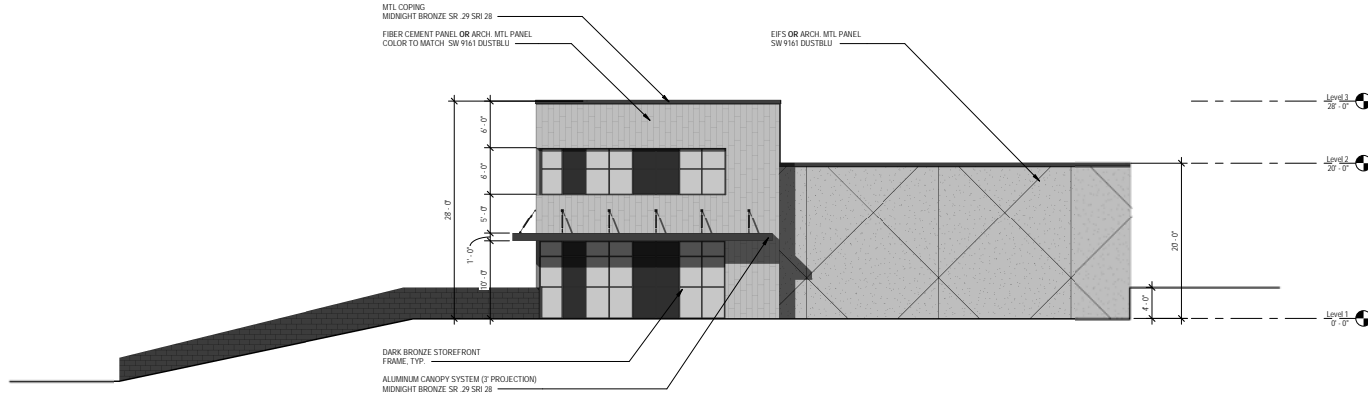
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Revisions		
No.	Description	Date

Job Number: 19077.02
Elevations

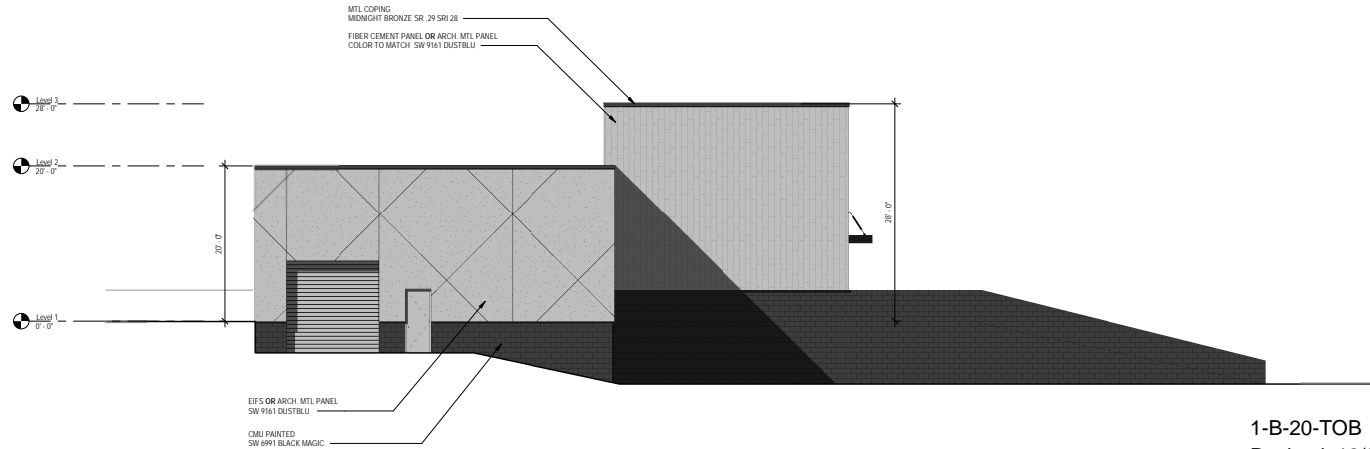
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 File: C:\working\documents\1907_1904 Castaic Lane Building 2.dwg

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2 Building 2 - West Elevation
 1/8" = 1'-0"



1 Building 2 - East Elevation
 1/8" = 1'-0"

1-B-20-TOB
 Revised: 12/20/2019

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Project Phase: Schematic Design

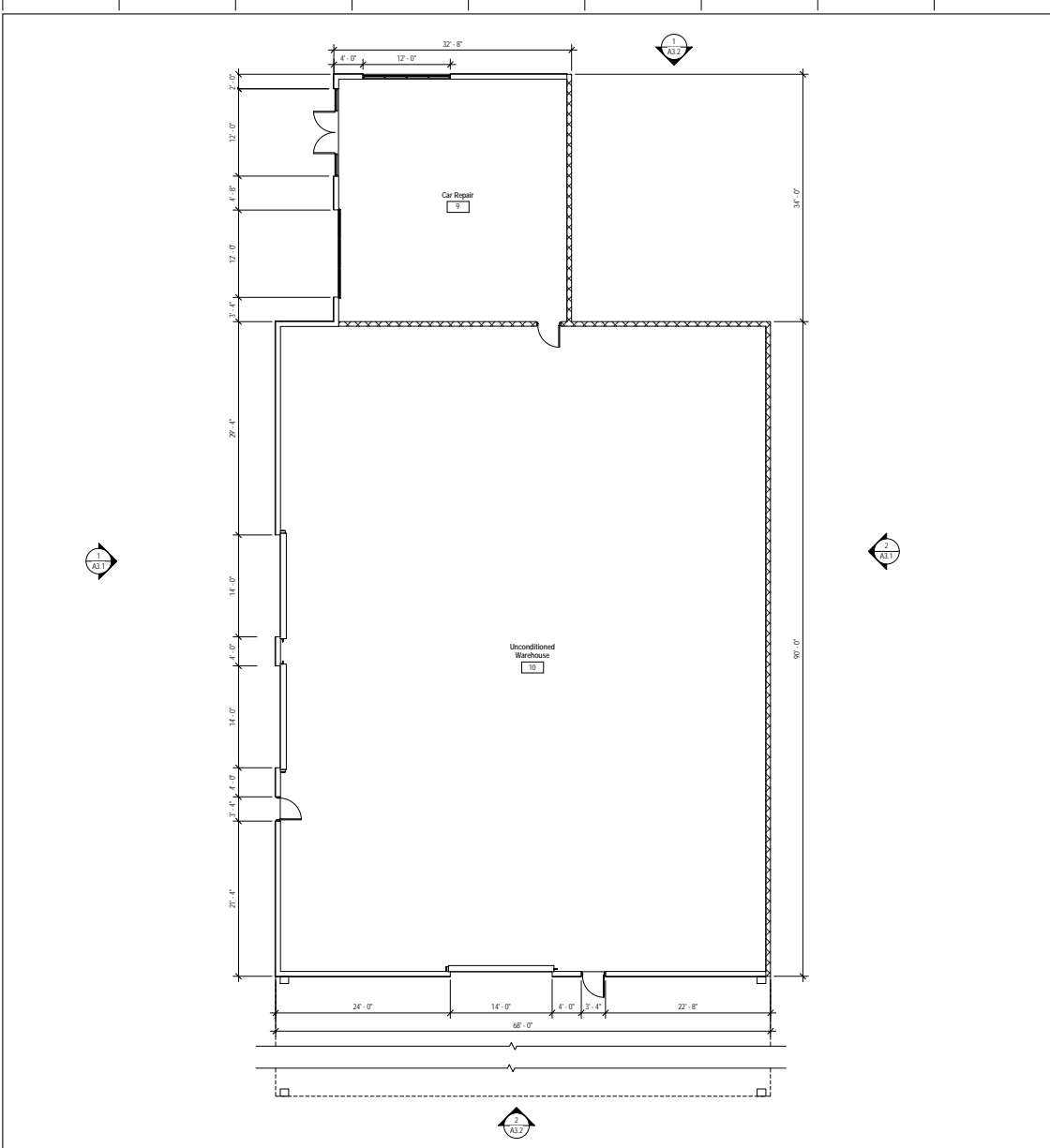
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Revisions		
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Job Number: 19077.02
 Elevations

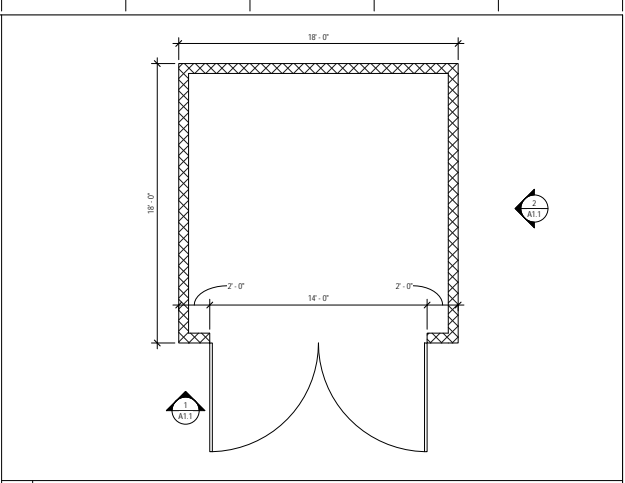
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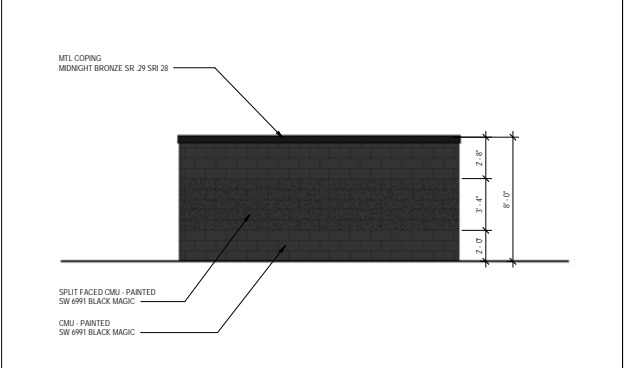
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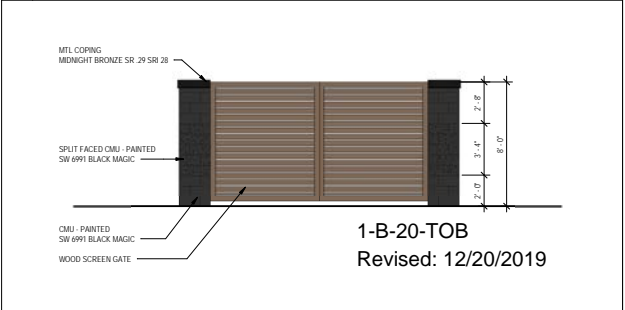
4 Level 1
 1/8" = 1'-0"



3 Level 1 Dumpster Enclosure
 1/4" = 1'-0"



2 Dumpster Enclosure Elevation
 1/4" = 1'-0"



1 Dumpster Enclosure Elevation
 1/4" = 1'-0"

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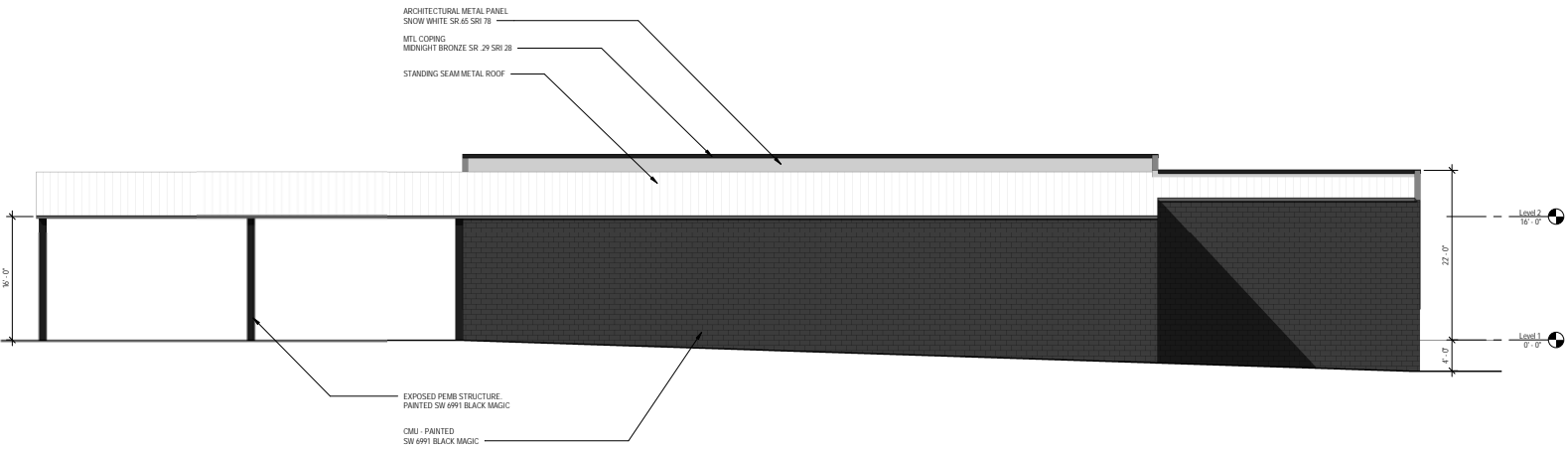
Project Phase: Schematic Design

Issue Date: 11/25/19		
Revisions		
No.	Description	Date

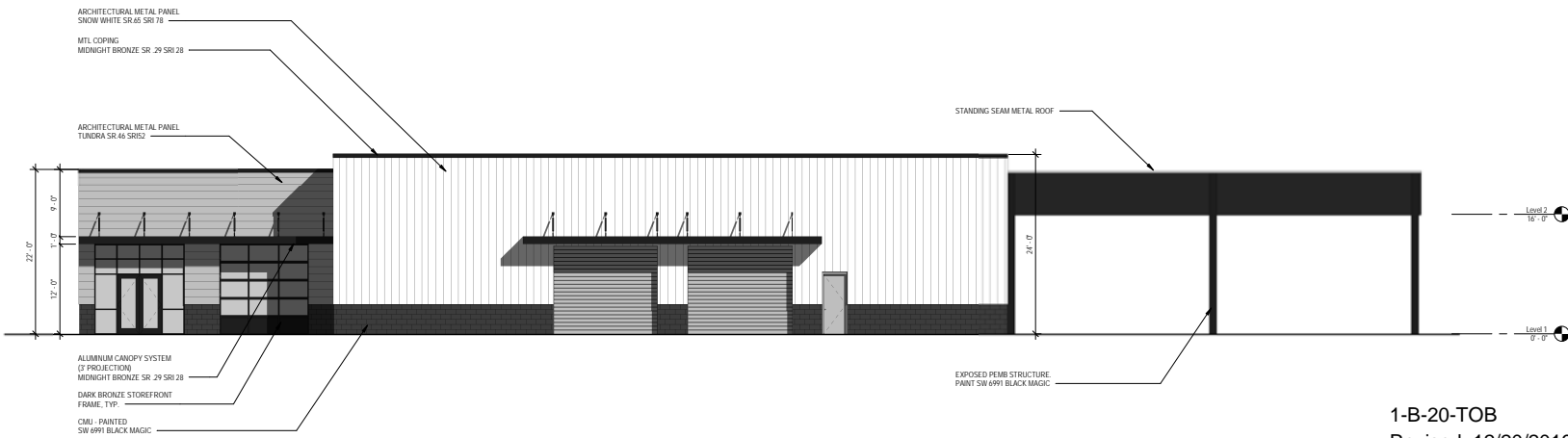
Job Number: 19077.03
 First Floor Plan

A1.1

Date: 12/20/2019 11:41:19 AM Checked By: Owner
 Drawn By: Author
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2 Building 3 - East Elevation
1/8" = 1'-0"



1 Building 3 - West Elevation
1/8" = 1'-0"

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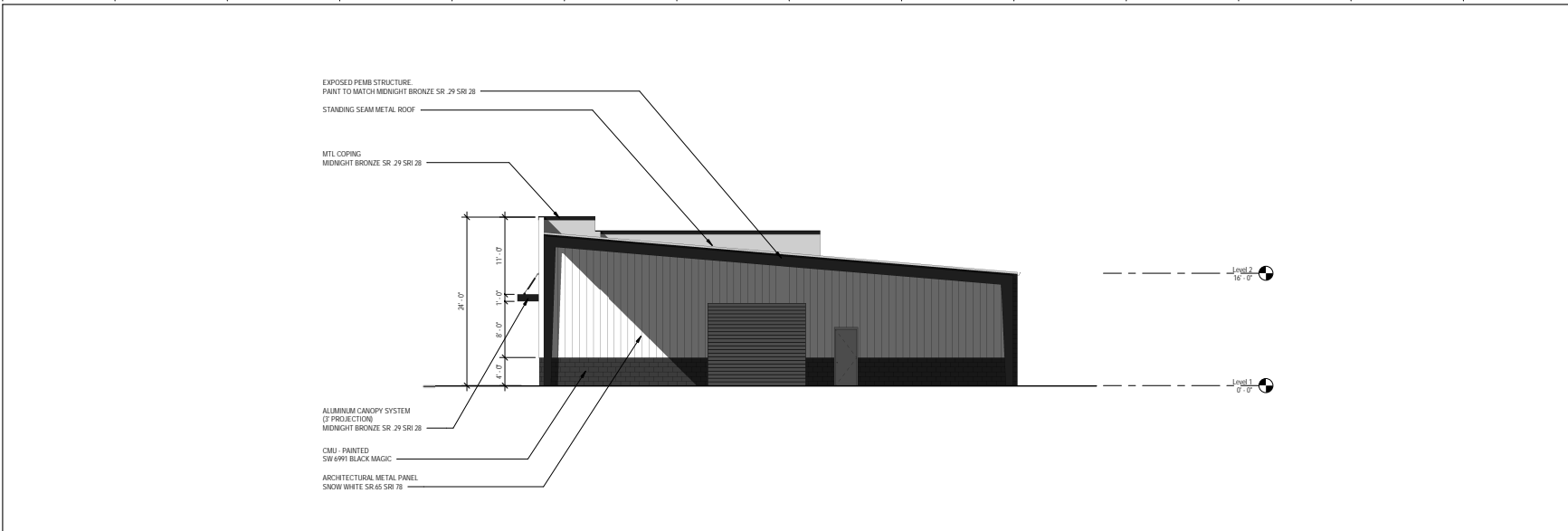
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Issue Date: 11/25/19		
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No.	Description	Date

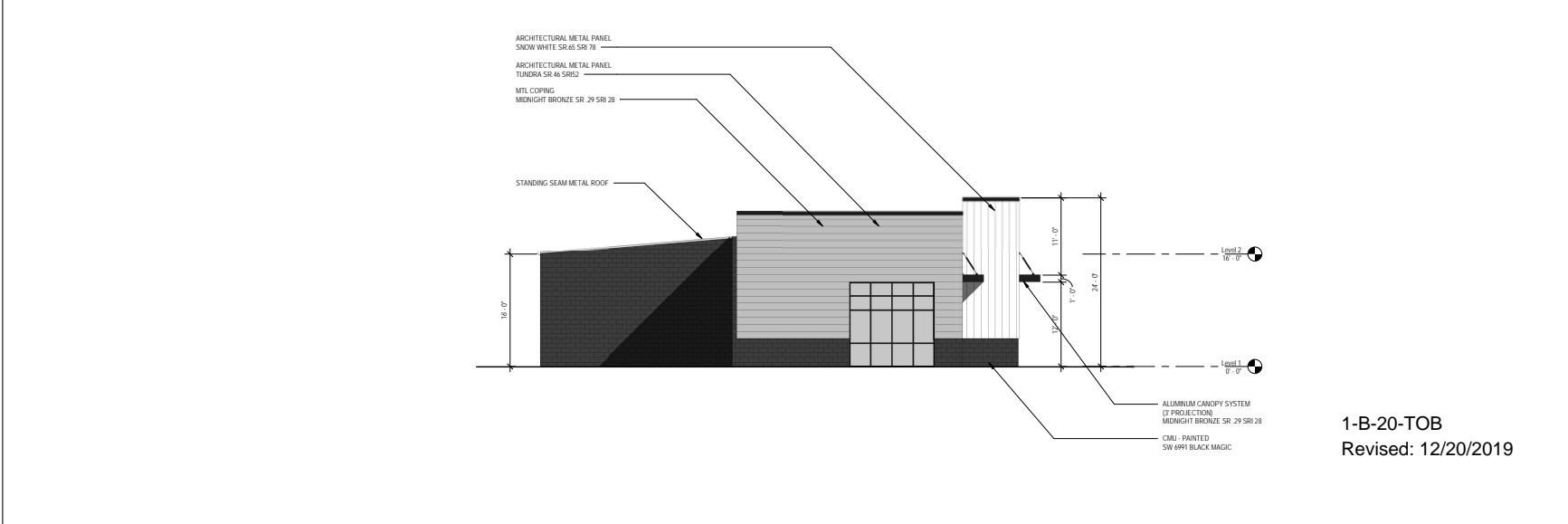
Job Number: 19077.03
Elevations

A3.1

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2 Building 3 - South Elevation
18" x 1'-0"



1 Building 3 - North Elevation
18" x 1'-0"

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No.	Description	Date

Job Number: 19077.03
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A3.2

