



TENNESSEE TECHNOLOGY CORRIDOR DEVELOPMENT AUTHORITY

REPORT OF STAFF RECOMMENDATION

Meeting Date: 9/9/2019
File Number: 9-A-19-TOB
Applicant: HARLEY BITTLE
Request: BUILDING PERMIT

Address: 10838 Hardin Valley Rd.
Map/Parcel Number: 103 11508 & 11509
Location: South side of Hardin Valley Road, east side of Gliding Hawk Lane, west of Valley Vista Road.
Existing Zoning: PC (Planned Commercial) / TO (Technology Overlay)
Proposed Zoning: NA
Existing Land Use: Vacant land
Proposed Land Use: Commercial businesses including a restaurant, retail space and a tire sales and service center.
Appx. Size of Tract: 2.83 acres
Accessibility: Access is via Gliding Hawk Ln. a local street with a 26' pavement width within a 60' right-of-way with access out to Hardin Valley Rd., a minor arterial street with a 3 lane section with a 44' pavement width within an 100' right-of-way.
Surrounding Zoning and Land Uses:
North: PC (Planned Commercial) / TO (Technology Overlay) - Shopping center
South: PC (Planned Commercial) / TO (Technology Overlay) - Vacant land
East: PC (Planned Commercial) / TO (Technology Overlay) - Restaurants and retail space
West: PC (Planned Commercial) / TO (Technology Overlay) - Bank

Comments: 1) This is a request for development approval for Lots 1R3 and 1R4 in Palmer Subdivision which is located on the south side of Hardin Valley Road, east side of Gilding Hawk Lane, just west of Valley Vista Road.
2) Lot 1R3 which has a lot area of 1.33 acres will be the site for Matlock Tire. The tire center which will have a building area of approximately 10,240 square feet, will include a total of 13 service bays.
3) Under the Design Guidelines, the proposed tire center would be allowed a maximum of 36 parking spaces. The applicant is proposing a total of 45 parking spaces for this site which requires the approval of a waiver by the Board from the Design Guidelines for maximum parking spaces. In their waiver request, the applicant has identified that based on the number of service bays included in the building, their experience at other locations is that the proposed spaces are needed. Staff supports the requested waiver.
4) Lot 1R4 which has a lot area of 1.5 acres will be the site of a 6,345 square foot retail building which is proposed for a restaurant and retail space. The application is proposing a total of 59 parking spaces for this site.
5) Access for the site will be out to Gliding Hawk Ln to the west, and the interior driveways for the retail center located on the east side of the site. There is no direct access out to Hardin Valley Rd. Sidewalk connections are proposed from the retail center to the east and the sidewalks that will be installed along Gliding Hawk Ln with a connection out to the sidewalks along Hardin Valley Rd.
6) A traffic impact study had been previously approved for this commercial subdivision. The applicant was required to install street and driveway improvements on Hardin Valley

Rd. as a part of the Subdivision approval. The applicant was required to provide a Traffic Impact Letter update for Palmer Subdivision (submitted by CDM Smith on September 3, 2019) to analyze the changes in proposed uses for the site to determine if any additional street improvements would be required.

7) The proposed development is within the limits for Ground Area Coverage, Floor Area Ratio and Impervious Area Ratio.

8) The landscape plan is consistent with the Design Guidelines.

9) The exterior siding for the buildings will include a mix of tan masonry trim and wainscot, red brown brick with accent brick, tan EIFS siding and bronze storefronts. The mechanical equipment will be located on the flat roof of the retail building and behind the tire center and will be screened from view from the street. The proposed dumpster enclosures will match the materials in the buildings.

10) The proposed lighting for the parking lot and main building includes full cut-off LED fixtures. The proposed site lighting falls within the maximum intensity limits.

11) Proposed signage will require a separate application and approval.

12) The use on review application (9-A-19-UR) for the proposed commercial development will be before the Planning Commission on September 12, 2019.

| | |
|-------------------------------------|--|
| Design Guideline Conformity: | With the approval of the requested waiver, this request complies with the TTCDA Design Guidelines. |
|-------------------------------------|--|

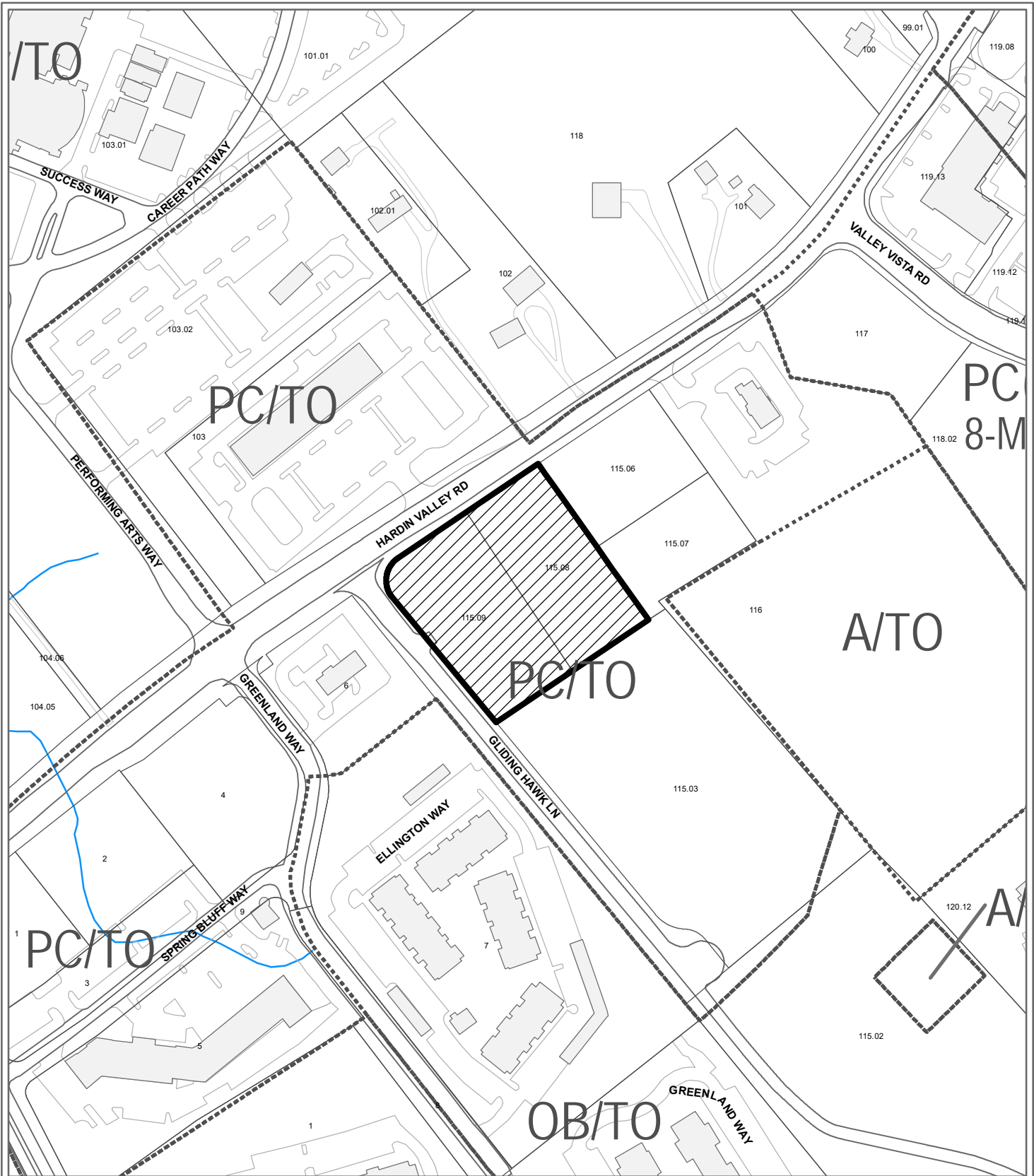
| | |
|---|--|
| Waivers and Variances Requested: | Waiver to exceed the maximum number of parking spaces allowed for the tire sales and service center under the Design Guidelines (Design Guidelines Section 1.7.5) by allowing an increase from 36 spaces to 45 spaces as identified on the development plan. |
|---|--|

Staff Recommendation:

Staff recommends APPROVAL of the requested Waiver to exceed the maximum number of parking spaces allowed for the tire sales and service center under the Design Guidelines by allowing an increase from 36 spaces to 45 spaces as identified on the development plan.

Based on the application and plans as submitted and revised, Staff recommends APPROVAL of this request for a Certificate of Appropriateness for a building permit, subject to the following conditions:

- 1) Connection to sanitary sewer and meeting any other relevant requirements of the utility provider.
- 2) Installation of all sidewalks and any required crosswalks as identified on the development plan, subject to meeting Americans with Disabilities Act (ADA) requirements and the requirements of the Knox County Department of Engineering and Public Works. This includes the sidewalks along Gliding Hawk Ln. from the existing sidewalk along Hardin Valley Rd. to the southern property line for this site with connections to the internal sidewalk system. The crosswalk and lane markings shall also be installed for Gliding Hawk Ln at the intersection with Hardin Valley Rd.
- 3) Installing all landscaping as identified on the landscape plan within six months of the issuance of an occupancy permit for this project, or posting a bond with the Knox County Department of Engineering and Public Works to guarantee such installation. Landscaping shall be installed so as not to interfere with the sight triangles and visibility along public streets.
- 4) Approval of the Traffic Impact Letter update for Palmer Subdivision (submitted by CDM Smith on September 3, 2019) by the Knox County Department of Engineering and Public Works and Planning staff.
- 5) Meeting all applicable requirements of the Knox County Department of Engineering and Public Works.
- 6) Proposed signage will require separate TTCDA applications and approval.
- 7) Meeting all applicable requirements of the Knox County Zoning Ordinance.
- 8) Obtaining a use on review approval from the Planning Commission for the proposed commercial development (9-A-19-UR) that will be before the MPC on September 12, 2019.6.



**9-A-19-TOB
CERTIFICATE OF APPROPRIATENESS**

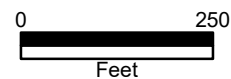
Petitioner: Harley Bittle

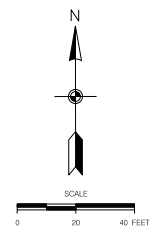
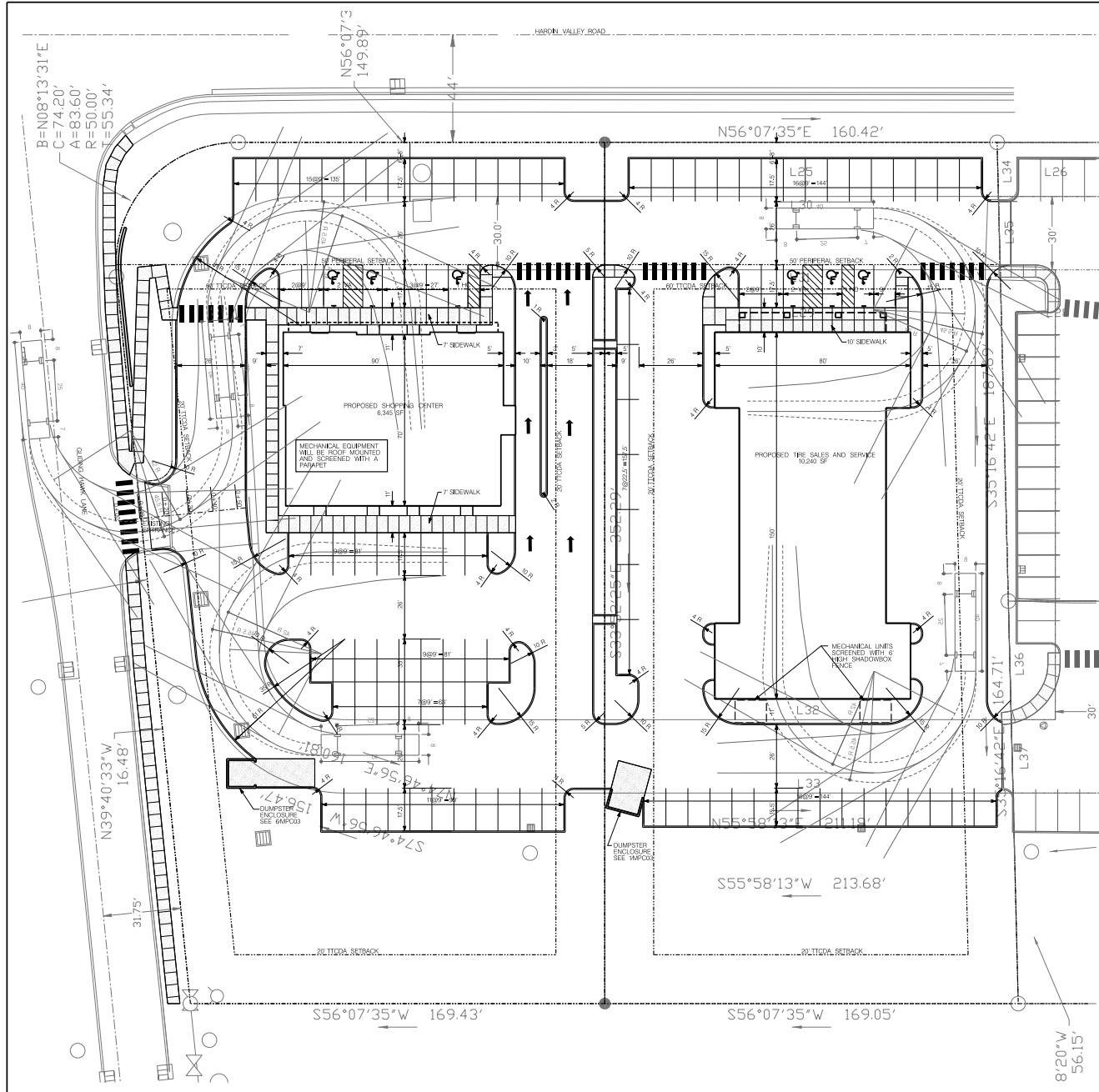


Purpose of Request: Building Permit - New Construction

Map No: 103
Jurisdiction: County

Original Print Date: 8/19/2019 Revised:
Metropolitan Planning Commission * City / County Building * Knoxville, TN 37902





LEGEND

| EXISTING | PROPOSED | DESCRIPTION |
|-----------|-----------|--------------------------|
| - - - 535 | - - - 535 | GROUND CONTOUR ELEVATION |
| ○ 536.25 | ○ 536.25 | SPOT ELEVATION |
| □ | □ | STRUCTURE |
| - - - | - - - | PROPERTY LINE |
| - - - | - - - | EASEMENT |
| - - - | - - - | EDGE OF PAVEMENT |
| - - - SD | - - - SD | STORM DRAIN |
| - - - SS | - - - SS | SANITARY SEWER |
| - - - FW | - - - FW | POTABLE WATER |
| - - - NG | - - - NG | NATURAL GAS |
| - - - UE | - - - UE | UNDERGROUND ELECTRICAL |
| ○ | ○ | MANHOLE |
| ○ | ○ | WATER METER |
| ○ | ○ | FIRE HYDRANT |
| → | → | SURFACE FLOW |
| ⊗ | ⊗ | SILT FENCING |
| NA | NA | CURB |
| NA | NA | CONCRETE PAVEMENT |
| NA | NA | ASPHALT PAVEMENT |
| NA | NA | CONSTRUCTION ENTRANCE |
| NA | NA | EROSION CONTROL MAT |

PROJECT DATA
 USE: SHOPPING CENTER
 ZONING: PTO
 PARCEL: 103 115.09

PARKING SUMMARY:
 PARKING REQUIRED: 32 SPACES
 PARKING PROVIDED: 39 SPACES (3 ADA)
 CALCULATION (COUNTY):
 SHOPPING CENTER: 3.45 SF / 2000 = 32
 CALCULATION (ITCDA):
 RESTAURANT: 4,845/1000X15 = 36.34 4,845/1000X15 = 72.68
 RETAIL: 1000/1000 X 3 = 4.5 1000/1000 X 4.5 = 6.75
 TOTAL: 40.84 MIN. 74.43 MINIMUM

SETBACKS (ITCDA):
 FRONT: 50'
 REAR: 20'
 SIDE: 20'

SETBACKS (COUNTY):
 PERIPHERAL: 50'

BUILDING AREA: 6,345 SF 1 STORY
PARCEL AREA: 150 AC
IMPERVIOUS AREA: 0.88 AC

FLOOR AREA RATIO: 15 %
IMPERVIOUS AREA RATIO: 65 %
GROUND AREA COVERAGE: 15 %

PROJECT DATA
 USE: TIRE SALES/SERVICE
 ZONING: PTO
 PARCEL: 103 115.08

PARKING SUMMARY:
 PARKING REQUIRED: 45 SPACES
 PARKING PROVIDED: 48 SPACES (3 ADA)
 CALCULATION (COUNTY):
 AUTO REPAIR/SHOPS: 10/1250 SF + 23 EMPLOYEE
 2X12 STALLS = 23 X 6 EMPLOYEES = 28
 2,800 SF/250 = 23 X 6 EMPLOYEES = 21 + 4 = 25
 CALCULATION (ITCDA):
 ALL OTHER NON-RESIDENTIAL USES: MIN. 2 PER 1000
 MIN. 0.24 X 5 = 20.48 MAX. 10.24 X 3.5 = 35.84

SETBACKS (ITCDA):
 FRONT: 40'
 REAR: 20'
 SIDE: 20'

SETBACKS (COUNTY):
 PERIPHERAL: 50'

BUILDING AREA: 19,700 SF 1 STORY
PARCEL AREA: 2.82 AC
IMPERVIOUS AREA: 2.82 AC

FLOOR AREA RATIO: 15 %
IMPERVIOUS AREA RATIO: 98 %
GROUND AREA COVERAGE: 15 %

9-A-19-TOB
 Revised: 8/27/2019



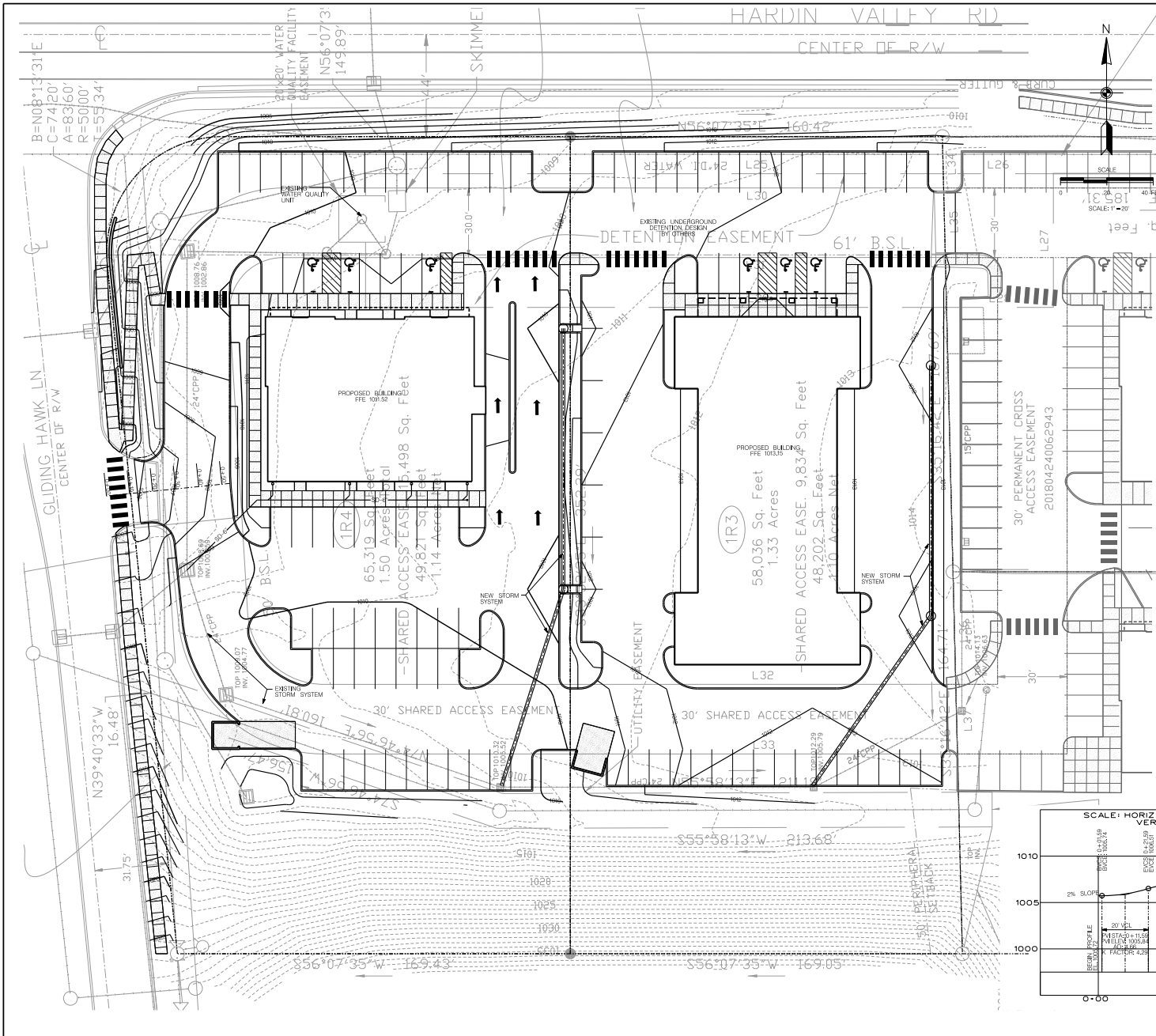
WILL ROBINSON & ASSOCIATES
 1248 N. Shorewood Ln
 Caryville, TN 37714
 (865) 386-4200
 wrobinson@rcallsouth.net

A New Facility for:
Matlock TireBittle Center
 10838/10850 Harbin Valley Road
 Knox County, TN
 9-A-19-UR9-A-19-TOB

REVISIONS:

DRAWN: WNR
 CHECKED: WNR
 DATE: 08-27-2019
 FILE NAME:
 PROJECT NO:

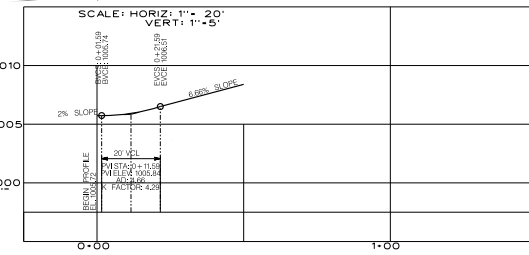
MPC01
 SITE LAYOUT PLAN
 DRAWING



LEGEND

| EXISTING | PROPOSED | DESCRIPTION |
|----------|----------|--------------------------|
| --- | --- | GROUND CONTOUR ELEVATION |
| □ | □ | SPOT ELEVATION |
| □ | □ | STRUCTURE |
| --- | --- | PROPERTY LINE |
| --- | --- | EASEMENT |
| --- | --- | EDGE OF PAVEMENT |
| --- | --- | STORM DRAIN |
| --- | --- | SANITARY SEWER |
| --- | --- | POTABLE WATER |
| --- | --- | NATURAL GAS |
| --- | --- | UNDERGROUND ELECTRICAL |
| ○ | ○ | MANHOLE |
| ○ | ○ | WATER METER |
| ○ | ○ | FIRE HYDRANT |
| → | → | SURFACE FLOW |
| --- | --- | SILT FENCING |
| --- | --- | CURB |
| --- | --- | CONCRETE PAVEMENT |
| --- | --- | ASPHALT PAVEMENT |
| --- | --- | CONSTRUCTION ENTRANCE |
| --- | --- | EROSION CONTROL MAT |

9-A-19-TOB
Revised: 8/27/2019



DRIVEWAY PROFILE

WILL ROBINSON & ASSOCIATES
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wraassociates@bellsouth.net

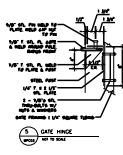
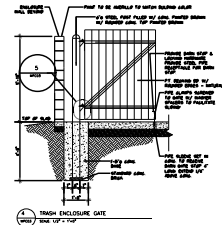
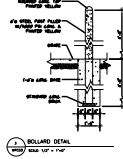
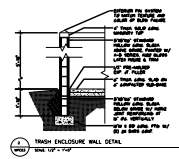
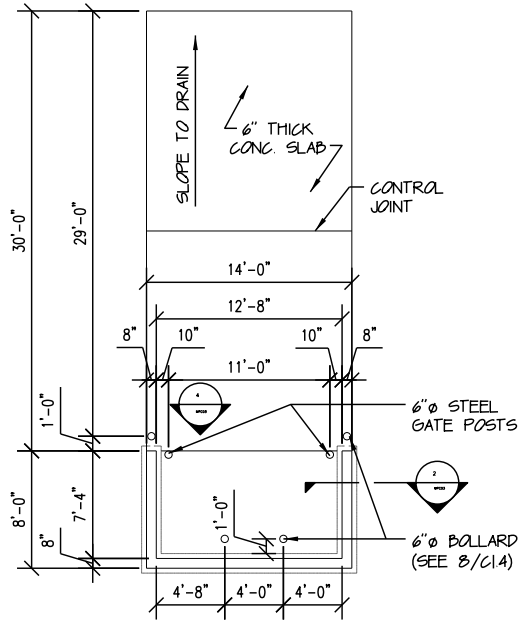


A New Facility for:
Matlock TireBittle Center
10838/10850 Harbin Valley Road
Knox County, TN
9-A-19-JR9-A-19-TOB

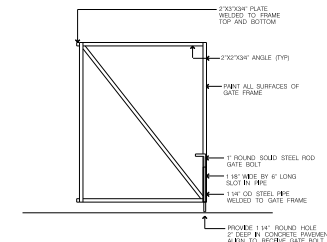
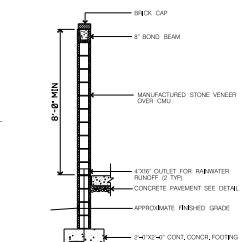
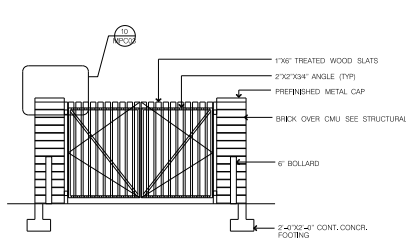
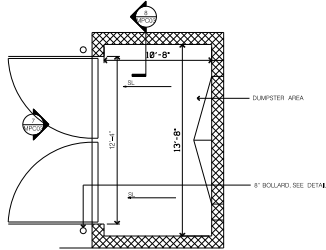
REVISIONS:

DRAWN: WNR
CHECKED: WNR
DATE: 08-27-2019
FILE NAME:
PROJECT NO:

MPC01
SITE LAYOUT PLAN
DRAWING



1 TRASH ENCLOSURE PLAN
MPC03 SCALE: 1/8" = 1'-0"

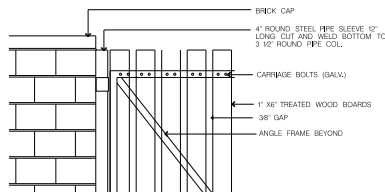


6 DUMPSTER ENCLOSURE PLAN
MPC03 NOT TO SCALE

7 DUMPSTER GATE ELEVATION
MPC03 NOT TO SCALE

8 DUMPSTER WALL SECTION
MPC03 NOT TO SCALE

9 GATE FRAMING ELEVATION
MPC03 NOT TO SCALE



10 GATE HINGE ELEVATION
MPC03 NOT TO SCALE

**WILL ROBINSON
& ASSOCIATES**

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A New Facility for:
Matlock TireBittle Center

10838/10850 Harbin Valley Road
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9-A-19-JR9-A-19-TOB

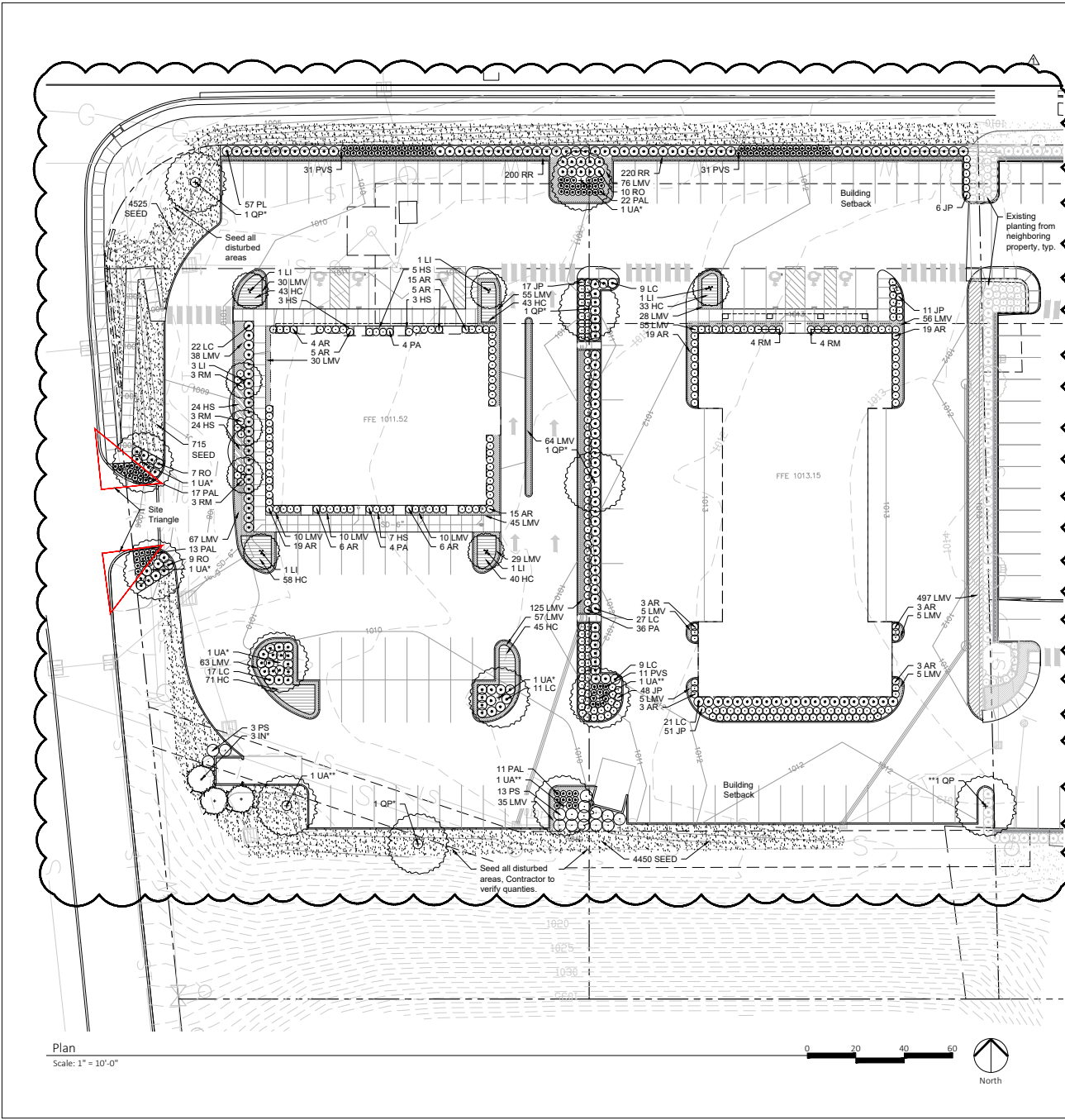
REVISIONS:

DRAWN: WNR
CHECKED: WNR
DATE: 08-27-2019
FILE NAME:
PROJECT NO:

9-A-19-TOB
Revised: 8/27/2019

MPC03

SITE DETAILS - 1
DRAWING



Plan
Scale: 1" = 10'-0"



Plant Key

| Key | Botanical Name | Common Name |
|--------------------------------------|--|---------------------------------|
| GRADE TREES | | |
| CP | <i>Camelia sasanqua</i> | Yellow Cam |
| UP | <i>Ulmus americana</i> | Placer Elm |
| EVERGREEN TREES | | |
| DN | <i>Pinus taeda</i> 'Stout | Noble Spruce Holly |
| ORNAMENTAL TREES | | |
| CO | <i>Cornus florida</i> 'Flower Watchdog' | Flowering Dogwood |
| SHRUBS | | |
| CS | <i>Ardisia crenata</i> 'Rose Creek' | Rose Creek Ardisia |
| JL | <i>Juncus squarrosa</i> 'Parson's Juniper' | Parson's Juniper |
| CO | <i>Compendium canadense</i> 'Columbian Nectar' | Columbian Nectar |
| PL | <i>Prunus americana</i> 'Obo Layton' | Obo Layton Laurel |
| PL | <i>Prunus americana</i> 'Schubertiana' | Schubert Laurel |
| RS | <i>Rosa blanda</i> | The Rose Rose |
| RO | <i>Rosa blanda</i> | Knockout Rose |
| GROUNDCOVERS & PERENNIALS | | |
| HC | <i>Hesperis matronalis</i> | Evening Primrose |
| HC | <i>Hemerocallis</i> 'State of Ohio' | State of Ohio Daylily |
| LAW | <i>Liriodendron tulipifera</i> | Yellow-flowered Tulip |
| PL | <i>Penstemon</i> 'Spring Song' | Spring Song Penstemon |
| ORNAMENTAL GRASSES | | |
| PS | <i>Panicum capillare</i> 'Cavaliers Choice' | Cavaliers Choice Fountain Grass |
| PV | <i>Panicum virgatum</i> 'Shenandoah' | Shenandoah Fountain Grass |

Parking Lot Landscape Requirements (ITCDA)

Stipulation: Mature trees that are preserved within eight (8) feet of the parking area may be used to satisfy up to 50% of the required number of canopy trees.

Total number of trees preserved: 0

Requirement A: Trees shall be required at a rate of one (1) medium or large canopy tree for every ten parking spaces provided. In order to provide year-round greenery, at least 25% of newly planted trees should be evergreen.

Total number of parking spaces: 105
Trees required: 11
Trees provided: 11 (notated on plan with *)
Evergreen trees provided: 3

Requirement B: A roughly equal combination of large, medium and small trees should be planted, with at least 10 large maturing trees per acre of yard space.

Acres of yard space:
Front yard: 9,412 sf
Side Yard: 6,525 sf
Trees Required: 4
Trees provided: 4 (notated on plan with **)

Requirement C: In addition to the planting of required canopy trees, planting areas for ornamental trees, shrubbery and bedding plants shall be no less than five (5) percent of the surface area devoted to parking.

Total parking surface area: 59,878 sf
Plant bed area required: 2,994 sf
Requirement met, see plan

Building Landscape Requirements

Requirement D: Areas around buildings equal to 50% of the area of each front and side elevation shall be planted with ornamental trees, shrubbery, and bedding plants.

Total building elevation: 16,620 sf
Required plantings: 8,313 sf
Requirement met, see plans.

Note: See Sheet L200 for Planting Notes and Planting Details

All disturbed areas to be seeded.



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Any discrepancies, inconsistencies or ambiguities found between the drawings, specifications, and site conditions shall be immediately reported to the Landscape Architect in writing. The Landscape Architect will promptly correct the same in writing. Work done by the Contractor after discovery of such discrepancies, inconsistencies, or ambiguities shall be done at the Contractor's risk.

Matlock Tire
10810 Hardin Valley Rd.
Knoxville, TN



Date: 07.01.19
Job Number: 19-050
Drawn By: BWS Ck'd By: SHP

| Rev | Description | Date |
|-----|-------------------|----------|
| 1 | Updated Site Plan | 08.27.19 |
| | | |
| | | |

Sheet Name:
Landscape Plan

Sheet Number:

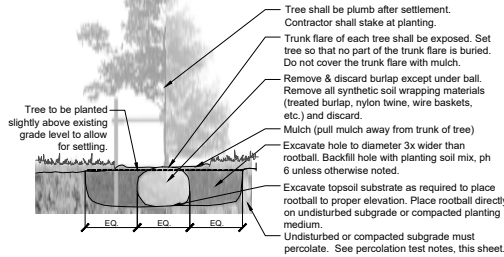
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9-A-19-TOB
Revised: 8/27/2019

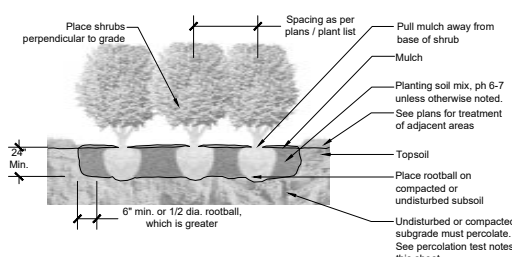
Planting Notes

| Key | Quantity | Botanical Name | Common Name | Size | Notes |
|--------------------------------------|----------|--|-----------------------------|---------------------|---|
| SHADE TREES | | | | | |
| QF | 5 | <i>Quercus phellos</i> | Willow Oak | 2" cal. | 18 CT -Control leader, full well branched |
| LA* | 8 | <i>Liriodendron tulipifera</i> | Flowering Elm | 2" cal. | 18 CT -Control leader, full well and low branched |
| EVERGREEN TREES | | | | | |
| A | 3 | <i>Nerax Nallea R. Stevens</i> | Nalle Stevens Holly | 8" top min. | ITIG open branching |
| ORNAMENTAL TREES | | | | | |
| L | 8 | <i>Lagerströmia indica</i> 'Lutea' 'Natchez' | Natchez Cape Myrtle | 8" top min. | ITIG, 3 cane min. full & well branched, white flowers |
| SHRUBS | | | | | |
| AR | 105 | <i>Abelia x grandiflora</i> 'Rose Creek' | Rose Creek Abelia | 2 gal. | 17" c.c. full & dense, pink/white flowers |
| JP | 133 | <i>Juniperus squarata</i> 'expansa' 'Pawnee' | Pawnee's Juniper | 3 gal. 18" min. top | 17" c.c. full & dense |
| LC | 107 | <i>Leucophaea chinensis</i> 'rubra' 'PLC-1' | Common Fire Lycopodium | 3 gal. | 14" c.c. full & dense, pink flowers |
| PL | 57 | <i>Prunus americana</i> 'Och. Lakota' | Och. Lakota Plum | 3 gal. | 14" c.c. full & dense |
| PL | 16 | <i>Prunus americana</i> 'Schubertiana' | Schubert Plum | 3 gal. min. | 17" c.c. full & dense |
| RR | 17 | <i>Rosa 'Melpomene'</i> | Pink Drift Rose | 3 gal. | 17" c.c. full & dense, pink flowers |
| RO | 26 | <i>Rosa 'Rabata'</i> | Knobout Rose | 3 gal. | 14" c.c. full & dense, red flowers |
| GROUNDCOVERS & PERENNIALS | | | | | |
| HC | 303 | <i>Hemerocallis calycina</i> | Orange St. John's Wort | 1 gal. | 18" c.c. full & dense, yellow flowers |
| CD | 98 | <i>Hemerocallis 'Sells to Day'</i> | Sells to Day Daylily | 1 gal. | 24" c.c. full & dense, yellow flowers |
| LUV | 1,400 | <i>Luzula meyeri</i> 'Vanguard' | Vanguard Lulula | 1 gal. | 18" c.c. full & dense |
| PAL | 63 | <i>Perovskia atrorubra</i> 'Little Spire' | Little Spire Russian Sage | 1 gal. | 30" c.c. full & dense, blue flowers |
| ORNAMENTAL GRASSES | | | | | |
| PL | 44 | <i>Pennisetum alpinum</i> 'Cassara's Choice' | Cassara's Choice Pennisetum | 1 gal. | 17" c.c. full & dense |
| PVS | 73 | <i>Panicum virgatum</i> 'Shenandoah' | Shenandoah Switchgrass | 1 gal. | 30" c.c. full & dense |
| SEED | | | | | |
| SEED | 10,000 | <i>Festuca arundinacea</i> | Turf-type Tall Fescue | 4" | 15" is approximate, contractor to verify in field |
| HARDSCAPE | | | | | |
| RR | 403 | River Rock | | 3-3" | 3-4" Depth |

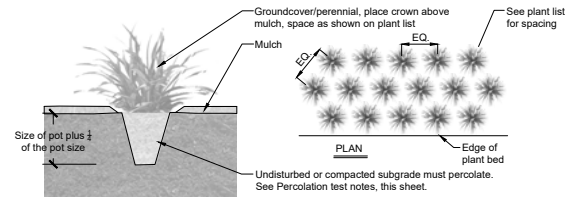
* Contractor to provide quantity for mulch
 * Trees with "to" to each 42" minimum all materials



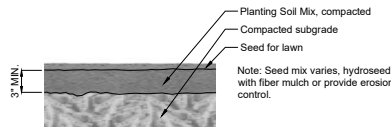
1 Tree Planting Detail
Scale: NTS



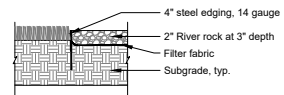
2 Shrub Planting Detail
Scale: NTS



3 Groundcover/Perennial Planting Detail
Scale: NTS



4 Seed Detail
Scale: NTS



Notes:
 1) Top of river rock to be flush with curb
 2) Top of metal edging to be flush with top of river rock

5 Steel Edge & River Rock
Scale: NTS



River Rock
 -By: Local Source
 -Size: 2"
 -Depth: 3"
 -Color: Browns and Greys
 -Quantity: 420 SF
 All river rock shall come from the same local source and be washed before being brought on site



Steel Edging
 -By: COL-MET or Equal
 -Size: 4"
 -Gauge: 14
 -Color: Brown
 -Quantity: 280 LF
 www.colmet.com
 800-829-8225

Planting Notes

- Contractor shall verify all existing conditions in the field and report any discrepancies to the Owner's Representative prior to starting work.
- No planting shall occur until soil sample results have been received from all planting areas and soils are properly amended based on the results of the soil tests. See this sheet for soil sampling instructions.
- No planting shall occur until percolation testing has been completed and soils have been properly amended to drain. See this sheet for percolation testing procedures.
- All new plant material shall conform to the guidelines established for nursery stock published by the American Association of Nurserymen, Inc. In addition, all new plant material for the project shall be of the highest specimen quality. Plant material delivered to the site that does not meet the requirements stated herein may be rejected by the Owner's Representative.
- Do not assume trunk flare will be exposed at the nursery. Contractor to expose trunk flares to check for root girdling. Pull mulch away from the trunk flare of trees and from the base of all shrubs.
- No plant material shall be planted before acceptance of rough grading. The finished grade shall not cover any part of the tree trunk flare. See tree planting details.
- All new plants shall be balled and burlapped or container grown unless otherwise noted on the plant list.
- The Contractor shall locate and verify all existing utility lines prior to planting and report any conflicts to the Owner's Representative.
- Planting plans are not layout plans. Plants may need to be shifted in the field, based on the existing conditions. Coordinate with the Landscape Architect prior to any changes.
- All lawn areas disturbed by construction operations inside and outside the limit of work shall be prepared and seeded.
- Prepare all shrub beds with planting soil to a minimum depth matching the depth of shrub root balls, prepare perennial beds with a minimum of 12" planting loam; prepare groundcover beds with a minimum of 6" planting loam.
- All plant beds are to receive one and a half inches (1.5") of double shredded hardwood mulch.
- Thoroughly water trees and shrubs during the first 24 hours after planting. Wet the soil to a depth of 18-24". When runoff starts, stop watering, let the water soak in and repeat until the proper depth is wet.
- Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower, leaf, color, fruit, and culture only as approved by the Owner's Representative.
- All areas to be seeded shall receive soil preparation as specified prior to seeding or sodding, unless otherwise noted on plan.
- Contractor to provide one year warranty to include all materials, labor, permits, equipment, tools, insurance, etc. to perform the work as described in the contract documents.
- Contractor to complete work within schedule established by Owner.
- Contractor to provide one year warranty for all material from date of substantial completion. Contractor to provide interim maintenance (watering, pruning, fertilizing, guying, mowing, trimming, adequate drainage of ponding areas, edging, weeding, mulching, and general landscape clean-up) until substantial completion notice is provided by the Owner's Representative. Application of insecticides/herbicides must be approved by the Owner's Representative prior to use on site.
- See civil drawings for further information regarding:
 - Erosion and sediment control.
 - Locations of existing and proposed structures, paving, driveways, cut and fill areas, and retention areas.
 - Limits of construction.
 - Locations of existing and proposed utilities or easements.
- Plant beds to join walks or walls at an angle between 90° & 60°.
- Shade trees to be planted a minimum of 5' from sidewalks, water line, sewer line or manholes. Evergreen and ornamental trees to be planted a minimum of 3' from sidewalks, water line, sewer line or manholes.
- Mulch rings around shade trees to be a minimum diameter of 4' and a minimum of 3" around ornamental and evergreen trees. If evergreen trees are specified as full to ground, mulch ring to extend a minimum of 12" beyond the edge of plant.
- Square footage of seed quantities is approximate and is an estimate of the disturbed areas. Contractor to verify quantities prior to purchase and installation.

Instructions For Existing Soil Sampling:

- Using a spade, dig a v-shape hole to a 6" depth; then cut a thin slice of soil from one side of the hole. Place the slice in a plastic bucket, do not use a metal bucket. Mix slices together and fill a plastic sample bag with three (3) cups of dirt. The sample bags can be ziploc bags that are labeled with the project name and sample number.
- A well mixed composite from 10 to 20 random locations should be subsampled to make the three (3) cup sample.
- Mark the plan to show soil sample locations.
- Send samples to A & L Analytical Labs, Inc., 2790 Whitten Road, Memphis, Tennessee 38113, 800-264-4522, www.al-labs.com.
- Results to be copied to the Owner.

Percolation Test Notes

- Dig a hole 18-24" deep & a minimum of 6" wide.
- Fill hole with water to the top and let drain for several hours. Ideally let the hole pre-wet over night and test the following day.
- Refill hole to within a couple inches of the top.
- To aid in measurement, place a stick across the top of the hole and use a second stick to mark periodic drops in water level; mark side of hole; or mark soil on side of hole with nail or stick.
- Measure drop in water level after 30 minutes and one hour. If possible measure drop in water level the next day.
- Determine drop in water level per hour. If water level in hole drops more than one inch per hour, it is well drained and suitable for all plant species.



This drawing is the property of Hedstrom Design, LLC and is not to be reproduced or copied in whole or in part without the authorization from Hedstrom Design, LLC. It is to be used for the project specifically identified herein and is not to be used on any other project. The Contractor is responsible for verifying all field measurements, quantities, dimensions, and related field construction details.
 Any discrepancies, inconsistencies or ambiguities found between the drawings, specifications, and site conditions shall be immediately reported to the Landscape Architect in writing. The Landscape Architect will promptly correct the same in writing. Work done by the Contractor after discovery of such discrepancies, inconsistencies, or ambiguities shall be done at the Contractor's risk.

Matlock Tire
 10810 Hardin Valley RD.
 Knoxville, TN



Date: 07.01.19
 Job Number: 19-050
 Drawn By: BWS Ck'd By: SHP

| Rev | Description | Date |
|-----|-------------------|----------|
| 1 | Updated Site Plan | 08.27.19 |
| | | |
| | | |

Sheet Name:
Plant Schedule, Notes, & Details
 Sheet Number:

L200

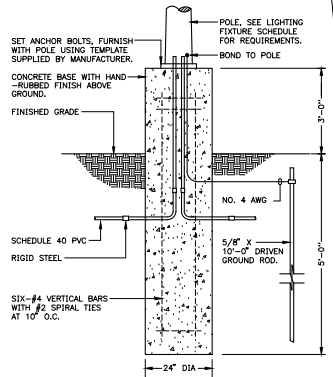
9-A-19-TOB
 Revised: 8/27/2019

| SITE LIGHTING FIXTURE SCHEDULE | | | | | | | | | | | |
|--------------------------------|--------------------|----------|--|---|--|------------------|-----------------------|------------------------------|----------------------------|--|--|
| DESIGNATION | LAMP | QUANTITY | POLE DESCRIPTION: MATERIAL, SHAPE, FINISH, GRADE | DESCRIPTION: SHIELDING, TYPE, MATERIALS, FINISH, MOUNTING | MANUFACTURER'S PRODUCT ITEM | | | REMARKS | | | |
| | | | | | COMPANY | POLE CATALOG NO. | LUMINAIRE CATALOG NO. | | | | |
| SA/A | HIGH PRESS. SODIUM | 1 | 134 | 30 FT | L.E.D., POLE ARM MOUNTED, TYPE 4 DISTRIBUTION, FULL CUT-OFF, HOUSE-SIDE SHIELD, 4000K | LITHONIA | RSA 27 66 4 DM19 DDB | CSX1 LED 60C 700 40K 14M HS | DARK BRONZE FINISH | | |
| SA/B | LED | 2 | 134 | 30 FT | L.E.D., POLE ARM MOUNTED, TYPE 4 DISTRIBUTION, FULL CUT-OFF, 4000K, TWO FIXTURES AT 180° | LITHONIA | RSA 27 66 4 DM28 DDB | CSX1 LED 60C 700 40K 14M HS | DARK BRONZE FINISH | | |
| SA/C | LED | 1 | 14 | 14 FT | L.E.D., WALL MOUNTED, 1,349 LUMENS, FULL CUT-OFF, 4000K, BATTERY BACKUP EGRESS LIGHTING | LITHONIA | | DSXW LED 10C 350 40K 12M ELW | DARK BRONZE FINISH | | |
| SA/D | LED | 1 | 51 | 9 FT | WALL MOUNTED, LINEAR, 6-FT., WET LOCATION LISTED, BATTERY BACKUP EGRESS LIGHTING | PRUDENTIAL | | PS160 118 08 RWA 120 EM-DL | VERIFY FINISH W/ ARCHITECT | | |

CSX1 LED Area Luminaire

Specifications:
 Length: 14'-0"
 Width: 4'-0"
 Height: 1'-0"
 Weight: 17 lbs

Example: CSX1 LED 60C 1000 40K 14M RWA 14M DDB



LIGHTING FIXTURE CUT SHEET "SA", "SB"
NO SCALE

POLE BASE DETAIL
NO SCALE

LITHONIA LIGHTING

OLW14

Features & Specifications:
 • Wet location rated
 • 50000 hours life expectancy
 • 1,349 lumens
 • Full cut-off
 • 4000K color temperature

Example: OLW14 10C 350 40K 12M ELW

LIGHTING FIXTURE CUT SHEET "SC"
NO SCALE

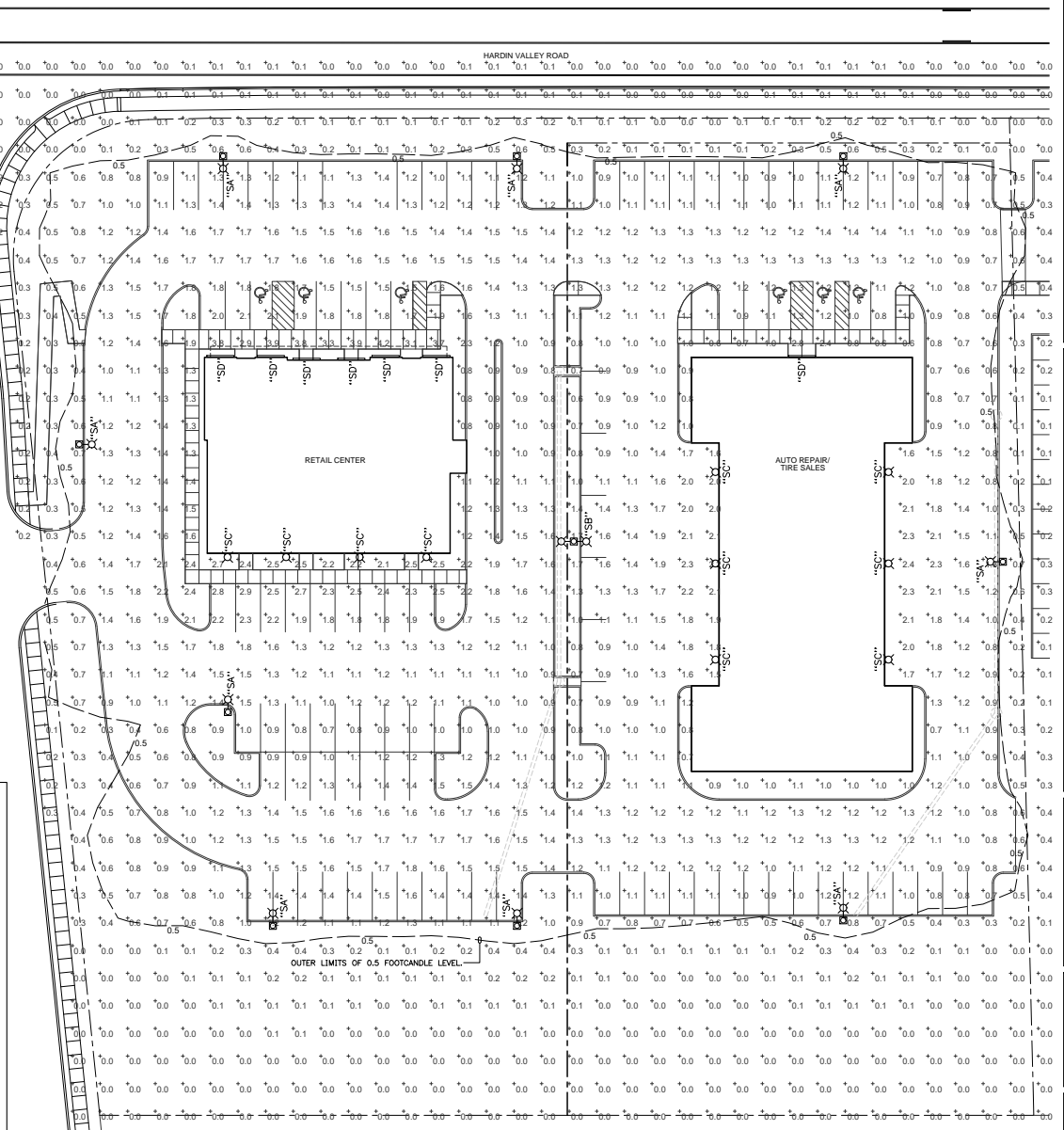
PS160 | Wet

Features & Specifications:
 • Wet location rated
 • 50000 hours life expectancy
 • 1,349 lumens
 • Full cut-off
 • 4000K color temperature

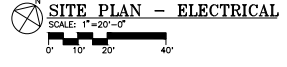
Example: PS160 118 08 RWA 120 EM-DL

57% EFFICIENCY

LIGHTING FIXTURE CUT SHEET "SD"
NO SCALE



SIGNAGE NOTE:
 ANY AND ALL EXTERIOR SIGNAGE FOR THE DEVELOPMENT SHALL COMPLY WITH TIGCA SIGNAGE REQUIREMENTS AND SHALL BE APPROVED AT A LATER DATE.



- NOTES:**
- VALUES INDICATE COMPUTER CALCULATED MAINTAINED ILLUMINATION LEVELS IN FOOTCANDLES.
 - FOOTCANDLE LEVELS SHOWN INDICATE CONTRIBUTIONS FROM NEW LUMINAIRES ILLUSTRATED ON THIS DRAWING ONLY.

Vreeland Engineers Inc.

3107 Sulzbach Ave.
 P.O. Box 10640
 Knoxville, TN 37999
 1-800-385-9789
 www.vreeland.com

WILL ROBINSON & ASSOCIATES

131 Brentwood Dr.
 One Level
 (865) 386-4200



A New Facility for:
Matlock Tire
 10810 Hardin Valley Road
 Knox County, TN

REVISIONS:
 9-A-19-TOB
 Revised: 8/27/19

DRAWN: VEI
 CHECKED: CNL
 DATE: 06-28-2019
 FILE NAME:
 PROJECT NO:

SE1

SITE ILLUMINATION PLAN, DETAILS

9-A-19-TOB
 Revised: 8/27/2019

PAINTING AND STAINING NOTES

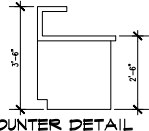
- 1 - ALL PAINTING AND STAINING SHALL BE PERFORMED BY QUALIFIED JOURNEMEN AND SHALL BE FREE OF ANY BUBBLES AND TEARIS.
- 2 - ALL PAINTING SHALL BE A 3 COAT PROCESS WITH A PRIMER COAT AND 2 FINISH COATS PAINT TO BE GEMVA WILLIAMS PRIMA SERIES.
- 3 - ALL STAINING SHALL BE A 3 COAT PROCESS WITH EACH COAT SANDED PRIOR TO THE APPLICATION OF THE NEXT COAT.
- 4 - ALL WALLS AND CEILINGS ARE TO RECEIVE FLAT PAINT WITH ALL DOORS AND TRIM TO RECEIVE A SEMI GLOSS LATEX ENAMEL.
- 5 - ALL SURFACES SHALL BE REMOVALY FREE OF BRUIE.
- 6 - ALL COLORS WILL BE GIVEN BY THE OWNER. SAMPLES OF STAIN COLORS ON THE PROPER WOOD WILL BE REQUIRED.
- 7 - ARCHITECT RESERVES THE RIGHT TO REQUEST A SAMPLE WALL BE PAINTED TO SHOW COLOR CHOICES.

GYPSUM BOARD NOTES

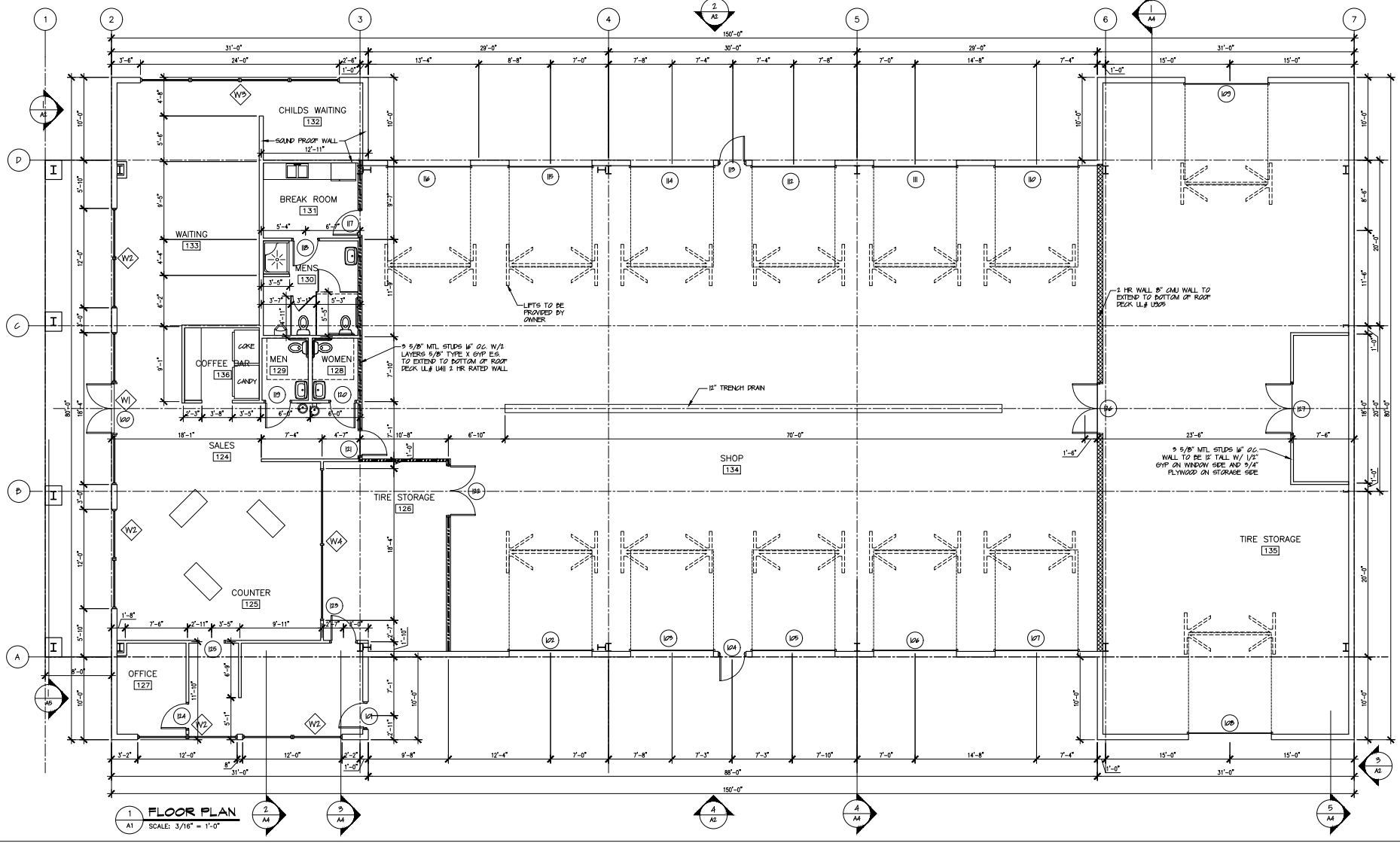
- 1 - ALL GYPSUM TO BE INSTALLED BY QUALIFIED JOURNEMEN AND INSTALLED TO MANUFACTURER'S SPECIFICATIONS.
- 2 - ALL HIGH TRAFFIC AREAS TO RECEIVE GOLD BOND FIRE-SHIELD HI-IMPACT WALL BOARD PANELS OR EQUAL (SEE PLANS FOR THICKNESS).
- 3 - ALL OTHER AREAS ARE TO RECEIVE GOLD BOND FIRE SHIELD PLANS FOR THICKNESS REQUIRED.
- 4 - ALL BATHROOMS AND RESTROOMS TO RECEIVE MOISTURE RESISTANT GYP.
- 5 - ALL EXTERIOR GYP SHEATHING IS TO BE DENS-GLASS GOLD SHEATHING BY GYP GYPSUM CORP OR EQUAL.
- 6 - ALL GYP PRODUCTS MUST MEET ASTM C26 STANDARDS.
- 7 - ALL ACCESSORY PIECES SHALL BE MANUFACTURE BY UNITED STATES GYPSUM COMPANY OR EQUAL.

TOILET ENCLOSURE NOTES

- 1 - ALL TOILET ENCLOSURES TO BE METRIC TYPE HFR-200 PAVED ENAMEL OVERHEAD DRAGED.
- 2 - MATERIAL TO BE POWERCOATED GALVANIZED STEEL.
- 3 - DOORS ARE TO BE 30 GAUGE FINISHED TO 1".
- 4 - PANELS ARE TO BE 20 GAUGE FINISHED TO 1 1/4".
- 5 - PLASTERS ARE TO BE 30 GAUGE FINISHED TO 1 1/4".
- 6 - FITTINGS ARE TO BE ANODIZED ALUM 120" WALL THICKNESS.
- 7 - HARDWARE EACH COMPARTMENT TO HAVE DOOR HINSES, LATCH, STOP AND KEYSER. COAT WOOD, AS WELL AS ALL FITTINGS AND PASTERINGS FOR A COMPLETE INSTALLATION.
- 8 - FINISH ALL RUST INHIBITIVE COATED MATERIAL SHALL BE CHEMICALLY CLEANED AND PAINTED WITH MULTIPLE COATS OF HIGH ENAMEL AND APPLIED ELECTROSTATICALLY.
- 9 - COLOR TO BE GIVEN BY OWNER.



2 COUNTER DETAIL
 A1 SCALE: 1/2" = 1'-0"



Best & Associates Architects
 1726 W LAMAR ALEX. PKY., MANASSAS, TN 37088
 PHONE 662-977-5800 FAX 662-968-9838

MATLOCK TIRE HARDIN VALLEY KNOX COUNTY, TN

| | |
|-------|---------------|
| DATE | 08/20/19 |
| BY | EP |
| SCALE | 3/16" = 1'-0" |

FLOOR PLAN

A1



Best & Associates Architects

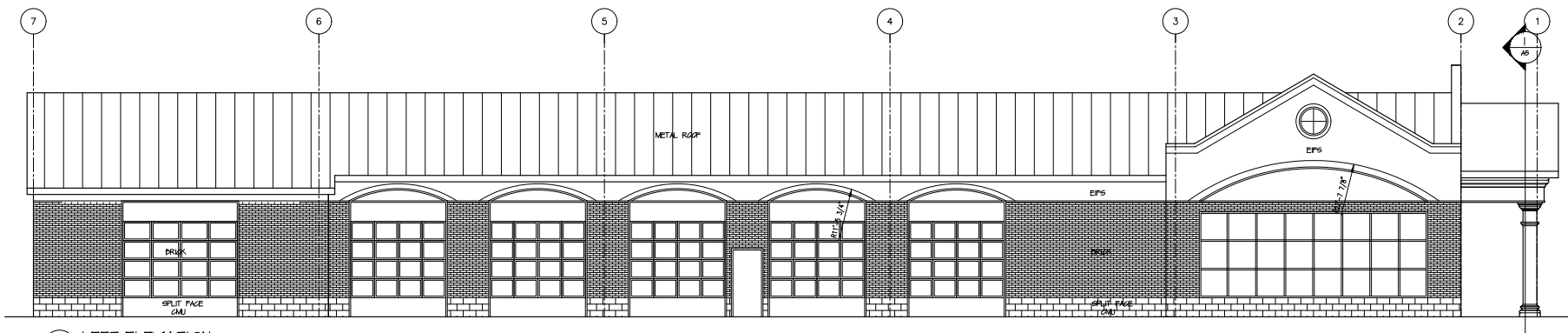
1726 W LAMAR ALEX. PKY., MARSHVILLE, TN 37053
PHONE 865-977-5800 FAX 865-968-9588

MATLOCK TIRE
HARDIN VALLEY,
KNOX COUNTY, TN

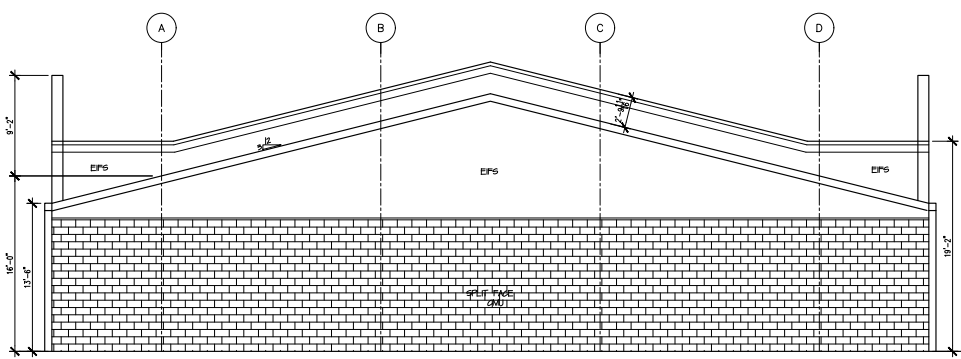
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| BY | MB |
| CHECKED BY | GP |
| SCALE | 3/16" = 1'-0" |

ELEVATIONS

A2



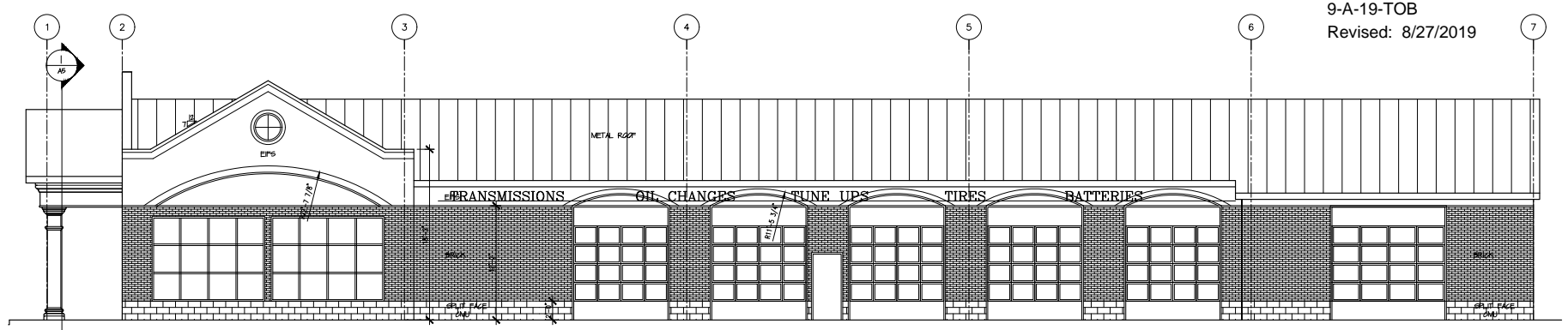
4 LEFT ELEVATION
SCALE: 3/16" = 1'-0"



3 REAR ELEVATION
SCALE: 3/16" = 1'-0"

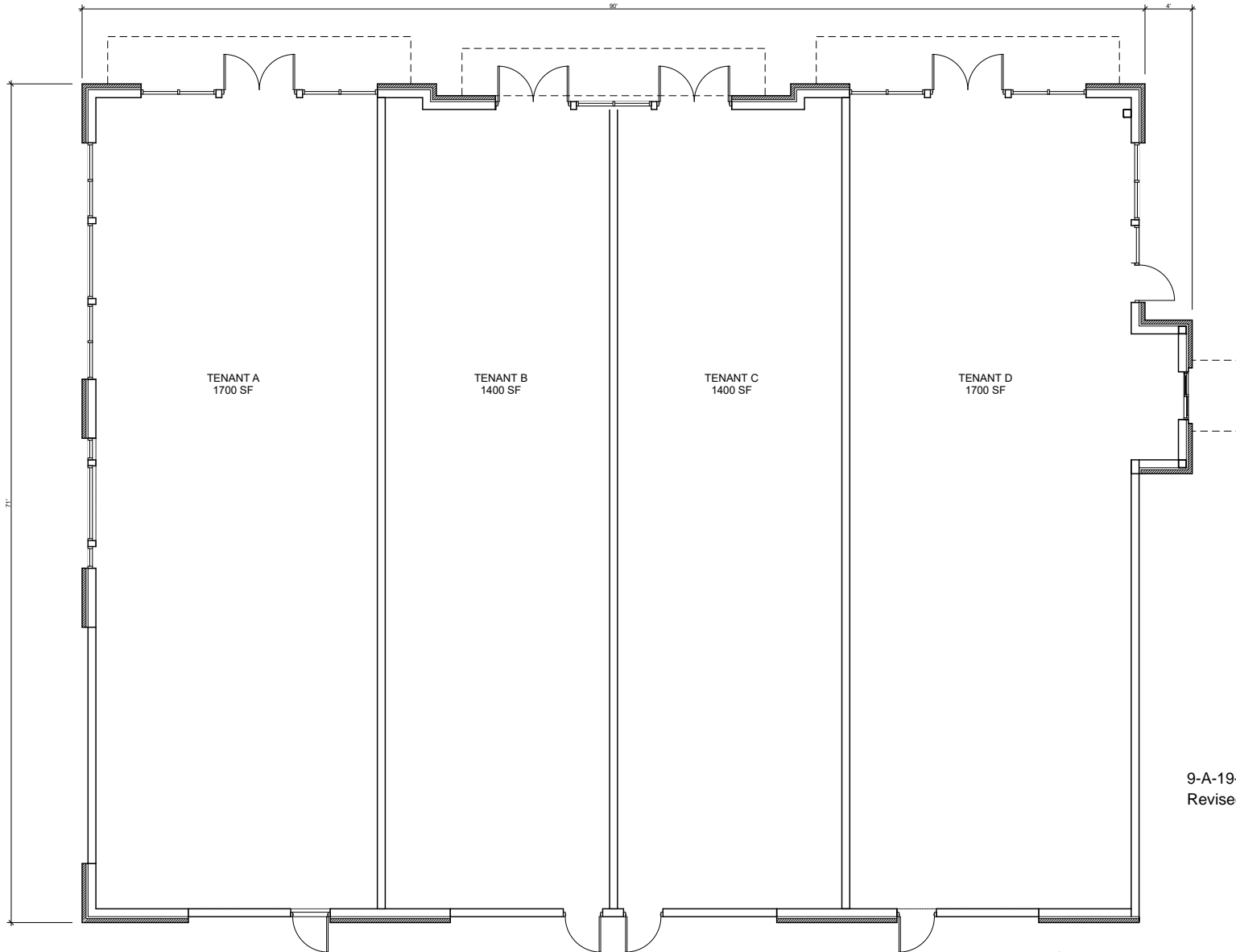


2 FRONT ELEVATION
SCALE: 3/16" = 1'-0"



1 RIGHT ELEVATION
SCALE: 3/16" = 1'-0"

9-A-19-TOB
Revised: 8/27/2019



1 FLOOR PLAN
A1.1 SCALE: 1/4" = 1'-0"



**GEORGE
ARMOUR
EWART
ARCHITECT**

404 Bearden Park Circle
Knoxville, TN 37919
865.602.7771
Fax 865.602.7742
www.georgeewart.com

Bittle Retail
KNOX COUNTY, TENNESSEE



FOR TTCCA REVIEW ONLY

FLOOR PLAN -
RESTAURANT/RETAIL BLDG.

9-A-19-TOB
Revised: 8/27/2019

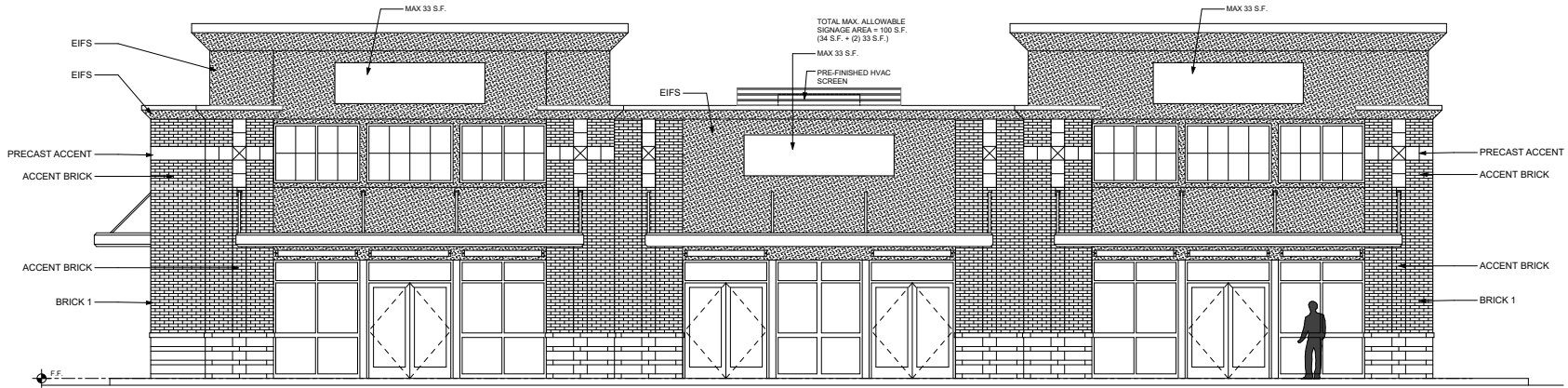
DATE: 27 AUG 2019
PROJECT NO.: 19100
PROJECT MGR.: RMH

A1.1



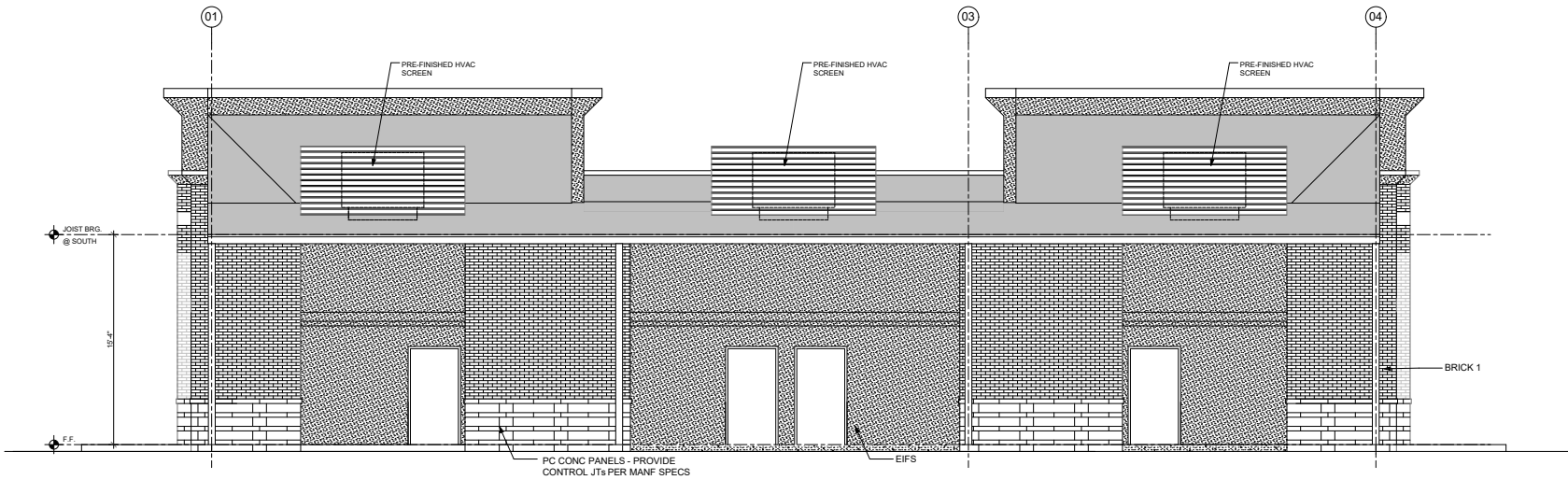
**GEORGE
ARMOUR
EWART
ARCHITECT**

404 Bearden Park Circle
Knoxville, TN 37919
865.602.7771
Fax 865.602.7742
www.georgeewart.com



1 NORTH ELEVATION
A4.1 SCALE: 1/4" = 1'-0"

Bittle Retail
KNOX COUNTY, TN



2 SOUTH ELEVATION
A4.1 SCALE: 1/4" = 1'-0"



FOR TTDCA REVIEW ONLY

EXTERIOR ELEVATIONS

9-A-19-TOB
Revised: 8/27/2019

DATE: 27 AUG 2019
PROJECT NO.: 19100
PROJECT MGR.: RMH

A4.1



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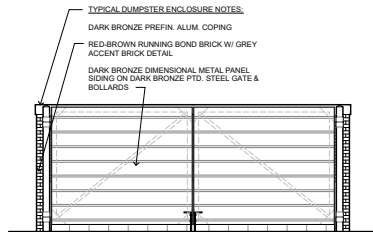
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Fax 865.602.7742
www.georgeewart.com



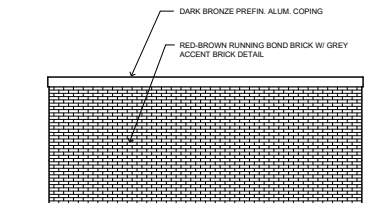
1 EAST ELEVATION
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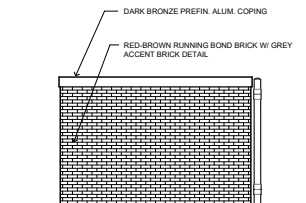
2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



3 DUMPSTER ENCLOSURE - FRONT
SCALE: 1/4" = 1'-0"



4 DUMPSTER ENCLOSURE - BACK
SCALE: 1/4" = 1'-0"



5 DUMPSTER ENCLOSURE - SIDES, TYP.
SCALE: 1/4" = 1'-0"

Bittle Retail
KNOX COUNTY, TN



9-A-19-TOB
Revised: 8/27/2019

FOR TTCCA REVIEW ONLY

EXTERIOR ELEVATIONS

DATE: 27 AUG 2019
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PROJECT MGR.: RMH

A4.2