



TENNESSEE TECHNOLOGY CORRIDOR DEVELOPMENT AUTHORITY

REPORT OF STAFF RECOMMENDATION

Meeting Date: 4/8/2019
File Number: 4-C-19-TOB
Applicant: KNOXVILLE TVA EMPLOYEES CREDIT UNION
Request: BUILDING PERMIT

Address: 1409 Centerpoint Blvd
Map/Parcel Number: 118 01613
Location: Northeast side of Centerpoint Boulevard, southwest side of Pellissippi Parkway, northwest of Lovell Road.
Existing Zoning: PC (Planned Commercial) / TO (Technology Overlay)
Proposed Zoning: NA
Existing Land Use: Office
Proposed Land Use: Offices for a credit union
Appx. Size of Tract: 5.62 acres
Accessibility: Access is via Centerpoint Boulevard, a local street with a 32' pavement width within a 50' right-of-way.
Surrounding Zoning and Land Uses:
North: BP (Business and Technology) / TO (Technology Overlay) - Business
South: PC (Planned Commercial) / TO (Technology Overlay) - Tusculum College and businesses
East: PC (Planned Commercial) / TO (Technology Overlay) - Pellissippi Parkway
West: PC (Planned Commercial) / TO (Technology Overlay) - Businesses

Comments:

- 1) This is a request for some minor site improvements for an existing office building that is located on the northeast side of Centerpoint Boulevard, southwest side of Pellissippi Parkway, northwest of Lovell Road.
- 2) The site will be the new corporate offices for the Knoxville TVA Employees Credit Union.
- 3) The site improvements include: a) changes to the walkway at the main entrance in order to become ADA compliant; b) addition of a 30 foot flagpole in the circular turnaround area at the main entrance; c) a covered canopy area adjacent to the existing dumpster enclosure; d) enclosure for the proposed generator located east of the dumpster enclosure; and e) the addition of five 14 foot poles for the security cameras along the eastern side of the main parking lot. The proposed enclosure for the generator area will match the brickwork for the office building.

Design Guideline Conformity: This request complies with the TTCDA Design Guidelines.

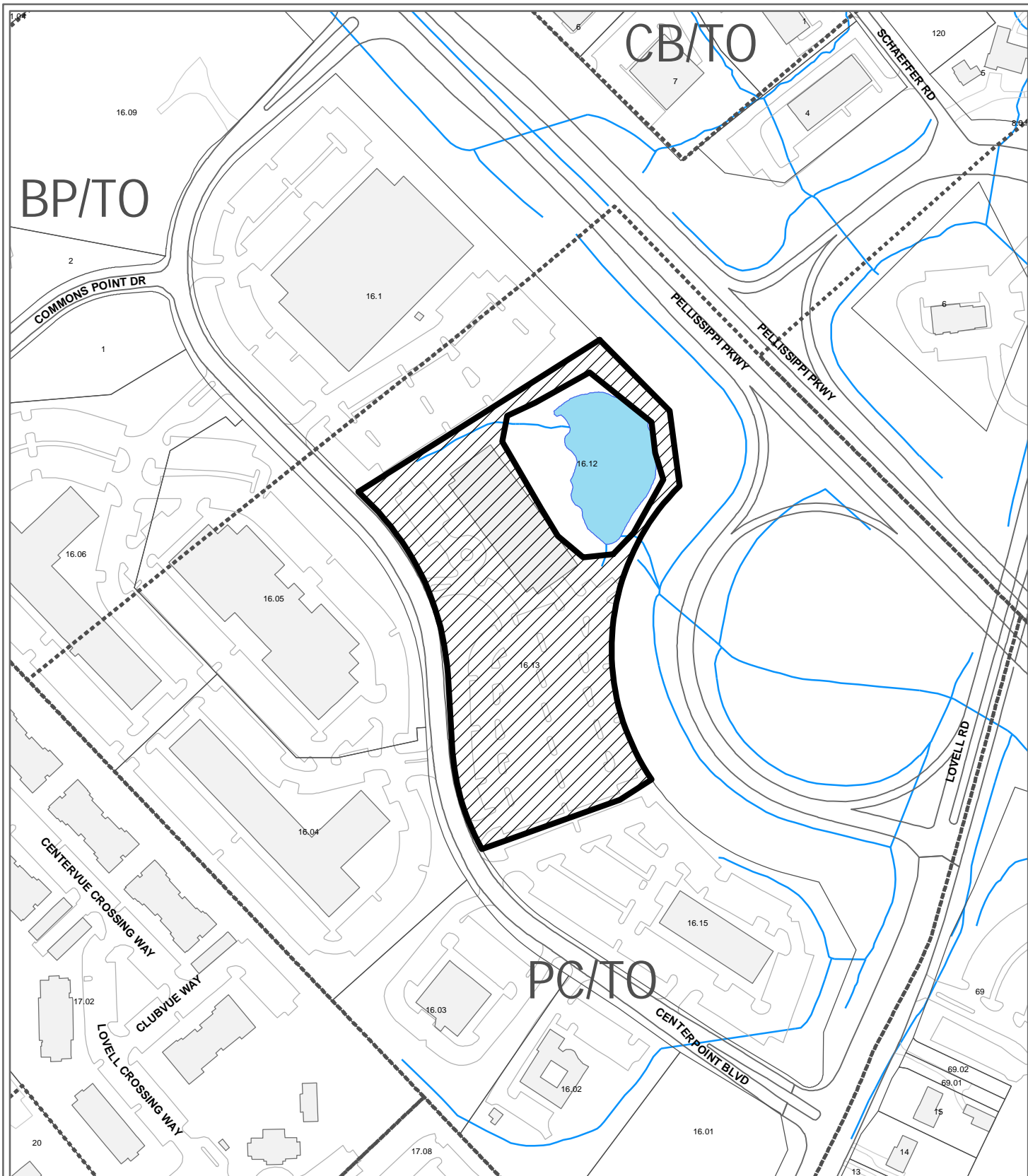
Waivers and Variances Requested: Not applicable at this time.

Staff Recommendation:

Based on the application and plans as submitted, the staff recommends APPROVAL of a Certificate of

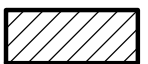
Appropriateness for a Building Permit, subject to the following conditions:

1. Meeting all applicable requirements of the Knox County Zoning Ordinance, as appropriate.
2. Meeting all relevant requirements of the Knox County Department of Engineering and Public Works.



**4-C-19-TOB
CERTIFICATE OF APPROPRIATENESS**

Purpose of Request: Building Permit - Expansion or Renovation

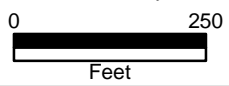


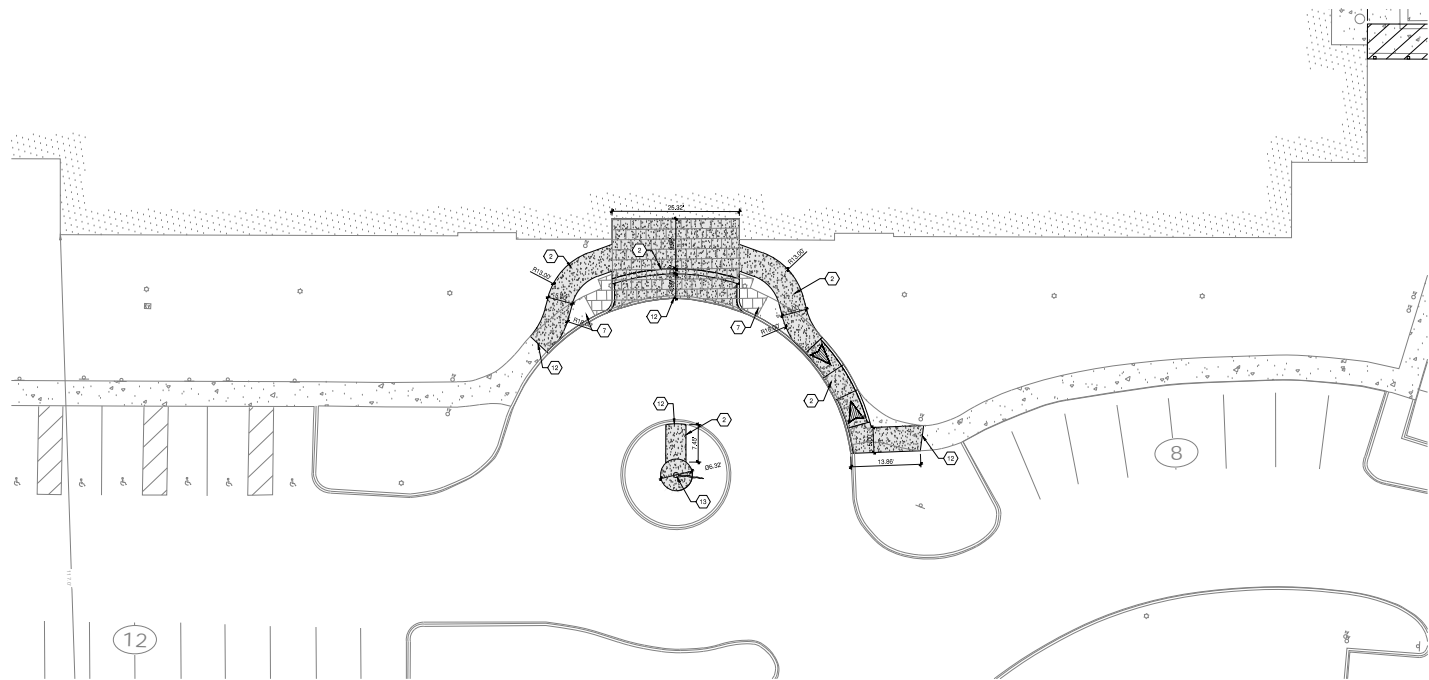
Original Print Date: 3/19/2019
 Metropolitan Planning Commission * City / County Building * Knoxville, TN 37902

Revised:

Petitioner: Knoxville TVA Employees Credit Union

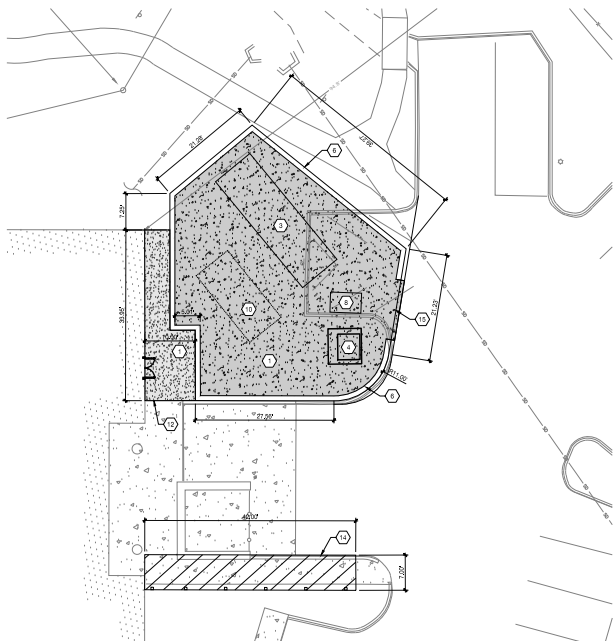
Map No: 118
 Jurisdiction: County





SITE LAYOUT PLAN

SCALE: 1" = 10'-0"



SITE LAYOUT PLAN

SCALE: 1" = 10'-0"



4-C-19-TOB

GENERAL SHEET NOTES:

- 1. SEE SHEET C31 FOR G.R.I., NOTES AND LEGENDS
2. ALL NOTES NOT LABELLED ARE TO BE R/OBT

SITE LEGEND

- PAINTED DOUBLE STRIP, COLOR TO BE YELLOW
PAINTED ONE-WAY LETTERS, COLOR TO BE WHITE. SEE DETAIL 3.C1.2
PAINTED CIRCULAR ARROWS, COLOR TO BE WHITE. SEE DETAIL 3.C1.2
PAINTED STOP BAR, COLOR TO BE WHITE. SEE DETAIL 3.C1.2
DO NOT ENTER, PAINTED TO BE WHITE. SEE DETAIL 3.C1.2
PAINTED PEDESTRIAN CROSSWALK, COLOR TO BE WHITE. SEE DETAIL 3.C1.2

SITE KEYED NOTES

- 1. HEAVY DUTY CONCRETE. SEE DETAIL 1.C1.2
2. CONCRETE SIDEWALK. SEE DETAIL 1.C1.2
3. GENERATOR PAD. COORDINATE WITH STRUCTURAL PLANS
4. EMBETING TRANSFORMER TO REMAIN. POUR CONCRETE FLUSH AROUND EMBETING BASE
5. 6" CONCRETE CURB. SEE DETAIL 3.C1.2
6. SCREEN ENCLOSURE. SEE ARCHITECTURAL SHEETS FOR DETAILS
7. AREAS DISTURBED BY CONSTRUCTION PAVING TO BE SEEDED, SOILED OR LANDSCAPED
8. PROPOSED W/P: SEE ELECTRICAL SHEETS FOR DETAILS
9. ADA COMPLIANT DOUBLE CONCRETE RAMP. SEE DETAIL 3.C1.2
10. UNDERGROUND DIESEL FUEL TANK. SEE ELECTRICAL SHEETS FOR DETAILS
11. HORIZONTAL. SEE DETAIL 1.C1.2
12. PROVIDE SMOOTH TRANSITION TO EMBETING SURFACE
13. OFF-ROAD PAVEMENT BASE BY OTHERS. SEE DETAIL 3.C1.2 FOR FOUNDATION. ALL CONCRETE PAD OVER FOUNDATION. TOP TO BE SLOPED TO ALLOW FOR DRAINAGE. DIMENSIONS TO BE W/H/SLT. W/LL. 120V/10M NH-BALLAST 1500VA. (ARCHITECTURAL SPECIFICATIONS)
14. FLUORO ALUMINUM CANOPY. COLOR TO BE CLEAR ANODIZED ALUMINUM. CANOPY SYSTEM TO CANTILEVER AHEADS EMBETING. REMOVAL TOP OF CANOPY SHOULD CLEAR EMBETING. CANOPY SHOULD TOP IN MINIMUM OF 2" FROM EMBETING SURFACE TO MEET FIRE CODE. COORDINATE LOCATION OF COPY COISTS WITH LIGHTING CONTROL BOX ON SIDE OF BUILDING. ENSURE PROPER ACCESSIBLE MANTENNANCE.
15. ACCESS GATE. SEE ARCHITECTURAL FOR DETAILS



ENGINEER: MBI COMPANY INC. 294 N. WILCOX ROAD WINDSORVILLE, TN 37156
PHONE: (615) 584-3121
FAX: (615) 584-3122
WEBSITE: WWW.MBICOMPANY.COM

PROJECT: TVA CENTERPOINT OFFICE BUILDING RENOVATIONS
PROJECT ADDRESS: 1400 CENTERPOINT BLVD. WINDSORVILLE, TN 37156

PROJECT INFORMATION: PROJECT: TVA CENTERPOINT OFFICE BUILDING RENOVATIONS
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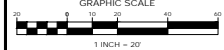
Table with columns: REV. NO., DATE, DESCRIPTION. Includes revision notes for design phase and permit preparation.

Table with columns: REV. NO., DATE, DESCRIPTION. Lists design milestones like Schematic Design, Design Development, Construction Documents, and As-Built Record Set.

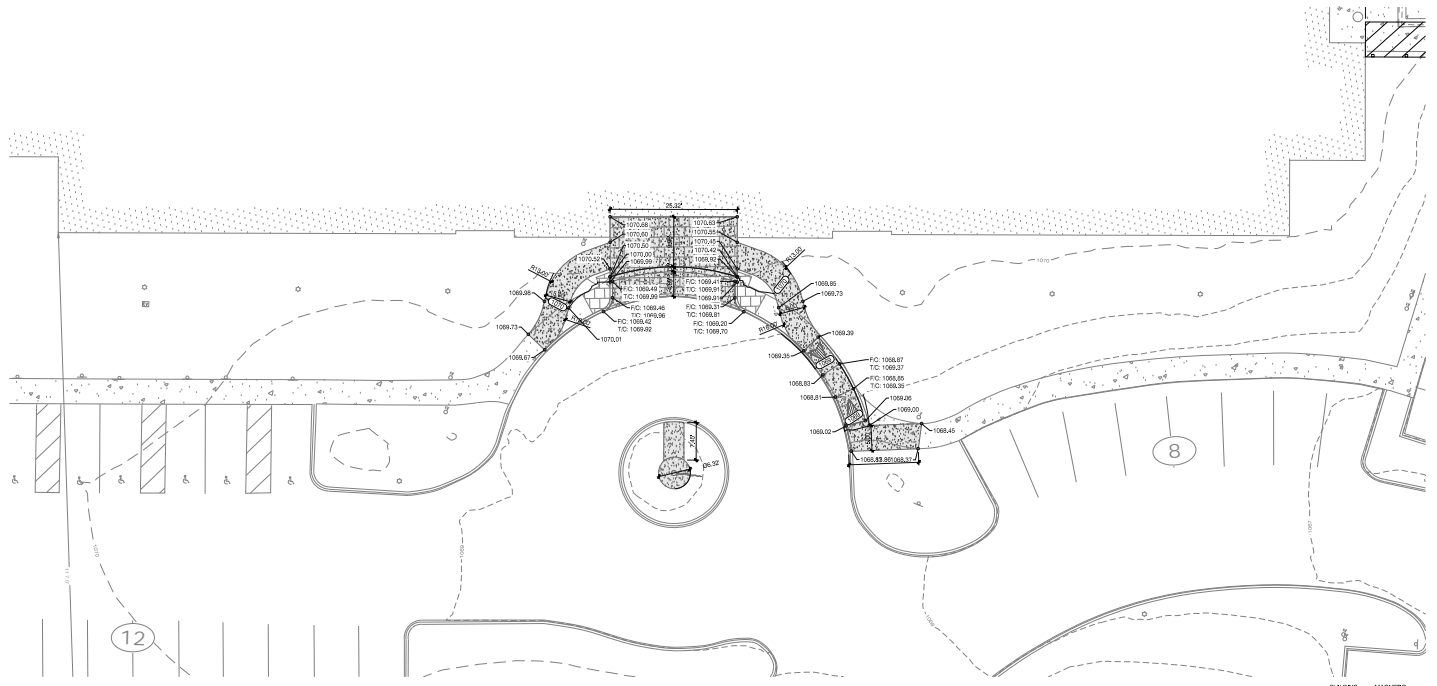
Table with columns: REV. NO., DATE, DESCRIPTION. Contains additional revision records.

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811 Know what's below. Call before you dig. In Tennessee call 811 or 1-800-351-1111



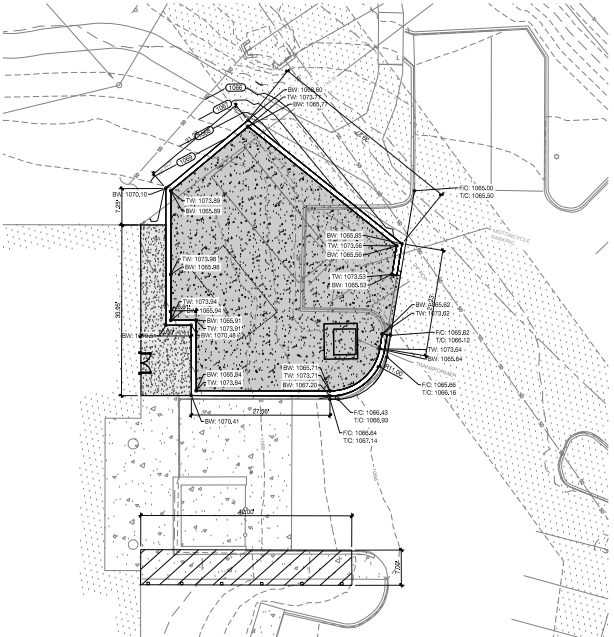
SITE LAYOUT PLAN SHEET NO.: C300



SITE GRADING PLAN

SCALE: 1" = 10'-0"

①



SITE GRADING PLAN

SCALE: 1" = 10'-0"

②

GENERAL SHEET NOTES

1. SEE SHEET 04.1 FOR G.N. NOTES AND LEGENDS



ENGINEER:
 MBI COMPANIES P.C.
 214 N. WILDCATTER ROAD
 BRIDGEMAN, TN 37024
 PHONE: (615) 584-2222
 FAX: (615) 584-2221
 WEB: WWW.MBICOMPANIES.COM

PROJECT: TVA CENTERPOINT OFFICE BUILDING RENOVATIONS
 PROJECT ADDRESS: 1400 CENTERPOINT BLVD., BRIDGEMAN, TN 37024

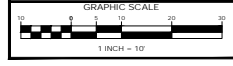
PROJECT INFORMATION
 PROJECT: TVA CENTERPOINT OFFICE BUILDING RENOVATIONS
 PROJECT ADDRESS: 1400 CENTERPOINT BLVD., BRIDGEMAN, TN 37024
 PROJECT NO.: 1400CB-14-10000
 NOTES:
 ACTIVE DESIGN PHASE
 FOR PERMITTING ONLY
 SCHEMATIC DESIGN
 DESIGN DEVELOPMENT
 CONSTRUCTION DOCUMENTS
 CONSTRUCTION DOCUMENTS
 AS-BUILT RECORD SET
 REVISION INFORMATION
 NO. DATE DESCRIPTION

NO.	DATE	DESCRIPTION

DATE: 08/25/21
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 REVISIONS: [List]



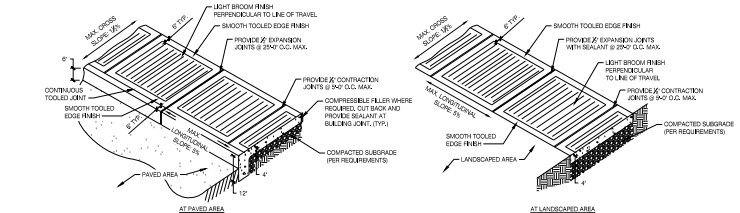
Know what's below. Call before you dig. In Tennessee 888.811 or 1-800-351-1111



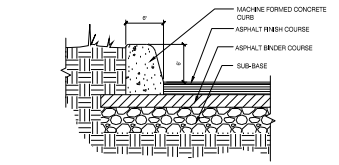
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SITE GRADING PLAN

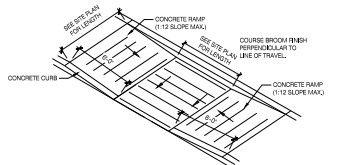
SHEET NO.: C400



CONCRETE SIDEWALK
 SCALE: N.T.S. ①

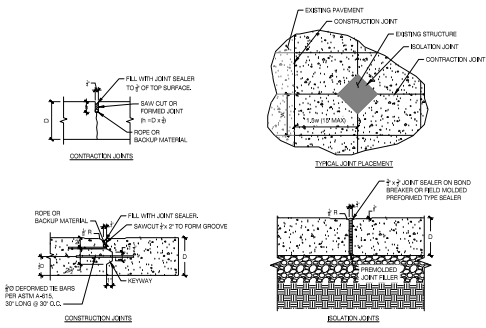


CONCRETE CURB
 SCALE: N.T.S. ②



DOUBLE HANDICAP RAMP
 SCALE: N.T.S. ③

- NOTES:**
- JOINT SPACING SHALL BE UNIFORM AND TYPICALLY LESS THAN 30 FEET THICKNESS, IN NO CASES SHALL JOINT SPACING EXCEED 12m.
 - THE LENGTH OF JOINT SPACING SHALL NOT EXCEED 12m.
 - SPACING OF JOINTS SHALL BE AS NEAR AS THE CONCRETE HAS HARDENED SUFFICIENTLY TO PERMIT SAWING WITHOUT EXCESSIVE RAVELLING BUT IN NO CASE LONGER THAN 18 METERS LATER SPACING ALL JOINTS SHALL BE SIGNED BEFORE UNCONTROLLED SHEARING OCCURS. IF NECESSARY, THE SAWING OPERATIONS SHALL BE CARRIED ON BOTH DAY AND NIGHT REGULARLY OF WEATHER CONDITIONS A POWER SAW SHALL BE AVAILABLE IN THE EVENT OF BREAKDOWN.
 - CONCRETE SHALL BE THOROUGHLY CONSOLIDATED AGAINST AND ALONG THE FACES OF ALL FORMS AND ALONG THE FULL LENGTH AND ON BOTH SIDES OF ALL JOINTS.
 - THE JOINTS CAN BE COMPLETELY FILLED WITH SEALANT MATERIAL OR THE JOINT FILLER CAN BE INSERTED IN THE JOINT FIRST TO REDUCE THE AMOUNT OF SEALANT REQUIRED.
 - SEALANT TO BE COURED TO WITHIN 1/2\"/>

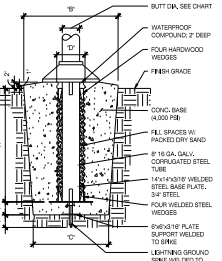


CONCRETE JOINTS
 SCALE: N.T.S. ④

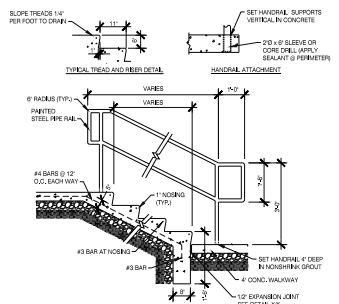
SHAFT FOUNDATION DIMENSIONS:

HEIGHT	BUTT	4"	6"	8"	10"	12"
20'	4'	3'-6"	3'-0"	2'-6"	2'-0"	1'-6"
25'	5'	3'-6"	3'-0"	2'-6"	2'-0"	1'-6"
30'	5'	3'-6"	3'-0"	2'-6"	2'-0"	1'-6"
35'	5'	3'-6"	3'-0"	2'-6"	2'-0"	1'-6"
40'	5'	3'-6"	3'-0"	2'-6"	2'-0"	1'-6"
45'	5'	3'-6"	3'-0"	2'-6"	2'-0"	1'-6"
50'	5'	3'-6"	3'-0"	2'-6"	2'-0"	1'-6"
55'	5'	3'-6"	3'-0"	2'-6"	2'-0"	1'-6"
60'	5'	3'-6"	3'-0"	2'-6"	2'-0"	1'-6"
65'	5'	3'-6"	3'-0"	2'-6"	2'-0"	1'-6"
70'	5'	3'-6"	3'-0"	2'-6"	2'-0"	1'-6"
75'	5'	3'-6"	3'-0"	2'-6"	2'-0"	1'-6"
80'	5'	3'-6"	3'-0"	2'-6"	2'-0"	1'-6"
85'	5'	3'-6"	3'-0"	2'-6"	2'-0"	1'-6"
90'	5'	3'-6"	3'-0"	2'-6"	2'-0"	1'-6"
95'	5'	3'-6"	3'-0"	2'-6"	2'-0"	1'-6"
100'	5'	3'-6"	3'-0"	2'-6"	2'-0"	1'-6"
105'	5'	3'-6"	3'-0"	2'-6"	2'-0"	1'-6"
110'	5'	3'-6"	3'-0"	2'-6"	2'-0"	1'-6"
115'	5'	3'-6"	3'-0"	2'-6"	2'-0"	1'-6"
120'	5'	3'-6"	3'-0"	2'-6"	2'-0"	1'-6"

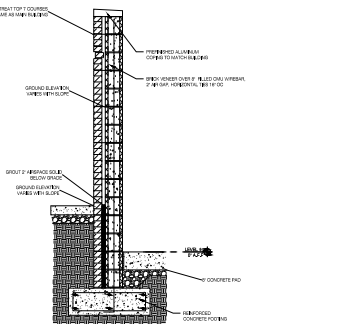
* RECOMMENDED MIN. FOR GOOD, FIRM, DRY SOIL.



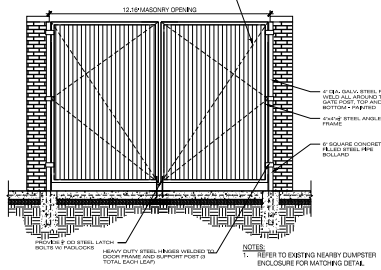
FLAG POLE
 SCALE: N.T.S. ⑤



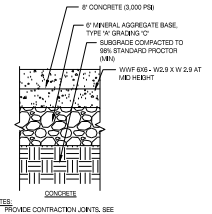
EXTERIOR STAIRS
 SCALE: N.T.S. ⑥



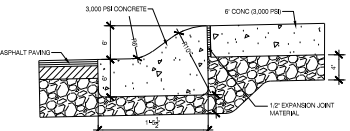
GENERATOR WALL SECTION
 SCALE: N.T.S. ⑦



GENERATOR ENCLOSURE DOOR
 SCALE: N.T.S. ⑧



CONCRETE PAD
 SCALE: N.T.S. ⑨



MOUNTABLE CURB & GUTTER
 SCALE: N.T.S. ⑩



