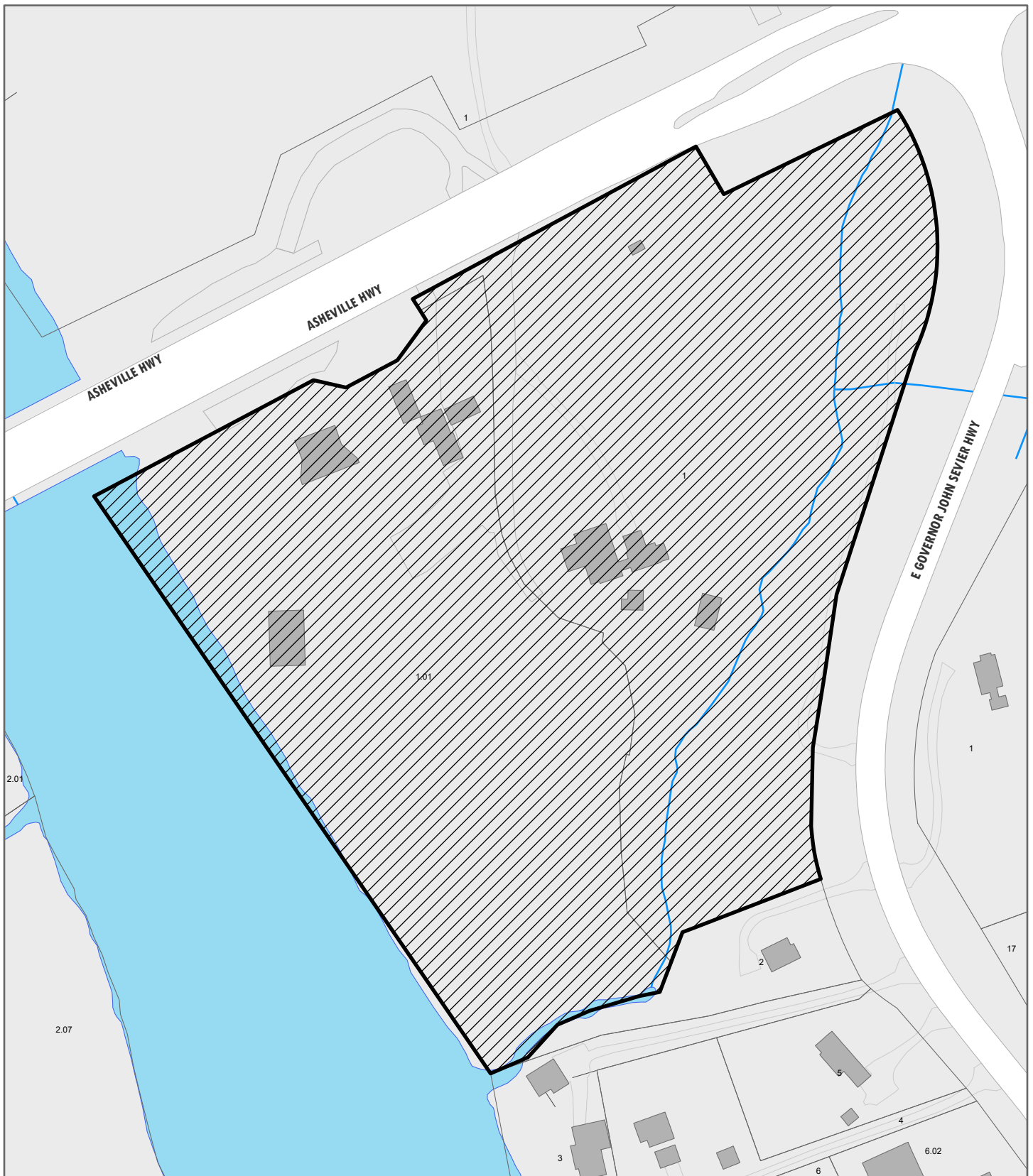




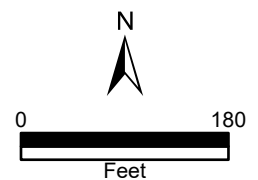
1-E-26-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



6114 Asheville Hwy. 37924
Moses Armstrong House Individual HZ
Landmark

Original Print Date: 1/6/2026
Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Benjamin C. Mullins



Meeting: 9/17/2026
Applicant: Benjamin C. Mullins
Owner: RBL, LLC

Property Information

Location: 6114 Asheville Hwy. **Parcel ID:** 71 E C 001 071EC00101
District: Moses Armstrong House Individual HZ Landmark
Zoning: CA (General Business)

Description: East Tennessee Vernacular form, Federal influences, c.1805

See attached architectural description in designation report. Two-story, three-bay, brick masonry house with a central passage plan built in 1805. The house is characterized by historic masonry, laid in Flemish bond on the main massing and common bond on the c.1840 addition, with a side-gable roof clad in terracotta tile. Mid-twentieth-century additions are located on the right side and rear, with a c.1950 garage on the left side. The roof features two interior brick chimneys. A two-story porch supported by square wood columns on brick piers, dating to the early- to mid- twentieth century, is located on the façade.

Staff Recommendation

Staff recommends approval of Certificate 1-E-26-HZ, subject to the following conditions:

- 1) meeting all requirements of Knox County Codes Administration;
 - 2) final details on relocation to be submitted to staff for approval (including any additional grading plans, information on supporting or removing/reconstructing the rear ell);
 - 3) a new application for exterior rehabilitation to be submitted to the HZC post-relocation, including details on new windows and doors, specs for new brick, and access stair details); and
 - 4) final legislative approval of the rezoning should not be issued until the house is relocated.
-

Description of Work

Level IV Demolition/Relocation of Contributing Structure

Proposed relocation of primary structure. Relocation includes the proposed demolition of an existing non-historic garage, side and rear addition, and front porch. Primary structure is proposed to be relocated approximately 500' to the southwest, recessed to a rear corner of the property, adjacent to the Holston River.

Proposed revision to historic zoning (HZ) overlay. Existing HZ overlay will be reduced to approximately 1.3 acres at the southern corner of the property.

In January 2026, the application received a preliminary approval, subject to the conditions that the applicant provide the following to the HZC: 1) a detailed moving plan, 2) additional research related to the front porch addition, which would determine if the front porch should be retained or removed, and 3) current and proposed floor plans and architectural elevations, including foundation design and details.

Comments

1. The Moses Armstrong House is an individual historic (HZ) overlay property. The intent of the HZ overlay “is to protect such structures in their present location or to provide for their moving to a special HZ, Historical Overlay Zone, location, and to require that new construction, alteration, or use shall be appropriate to their character.” The HZC reviews rehabilitation, relocation, and/or demolition. The applicable design guidelines are the Secretary of the Interiors Standards for Rehabilitation, which are federal standards associated with the National Register of Historic Places.
2. In January 2026, the applicant requested to relocate the house within the property and reduce the existing historic zoning (HZ) overlay boundary. The application received a preliminary approval, subject to the conditions that the following be provided to the HZC: 1) a detailed moving plan, 2) additional research related to the front porch addition, which would determine if the front porch should be retained or removed, and 3) current and proposed floor plans and architectural elevations, including foundation design and details. The following staff report will evaluate these items; see enclosed staff report from January 2026 for discussion of the overall relocation.
3. The application includes a revised moving plan, with an engineer-drafted map showing the construction road and proposed move related to the property’s grade and an itemized “structural lifting and moving procedure” from the contractor. The additional information is sufficient for approval, with minor additional information to be submitted to staff. The applicant should submit any final information on how the new site will be graded and prepared, details on supporting (or removing and reconstructing) the rear ell, along with information on how the house will be separated from the foundation, to staff for approval.
4. The house is proposed to be located immediately adjacent to the 500-year flood zone. Knox County Codes staff have noted that the house would need to be placed at an elevation of 839.0’ or over to be outside of the flood plain. This is currently reflected on the engineered drawing, but should be verified in the field and depicted on all final drawings. Additional items may be required by Knox County Codes Administration in permitting.
5. The application includes information on the front porch materials and construction. The front porch columns are hollow (instead of larger load-bearing carved wood or stone columns). Additional support for the porch is provided by round steel posts installed next to the decorative columns. The porch also incorporates dimensional lumber, concrete caps, and non-historic mortar patches. The masonry is noted as belonging to a later period of commercially-made brick, in comparison to the house’s original masonry elements. The submission also details the architectural character of the front porch, noting the “comparatively crude modern supports” as disproportionate to the overall size of the façade and design of the building. Finally, the porch is described as not representative of the overall period of significance for the Moses Armstrong House.

In the opinion of staff, the photographs and associated analysis of the front porch is sufficient to merit the removal of the front porch, as the house is moved and restored to the exterior appearance of its original construction. The front porch has not acquired historic significance in its own right and does not demonstrate distinctive materials or construction techniques. Removal of the front porch is appropriate within the design guidelines.

6. The existing and proposed elevation drawings and floor plans are sufficient to fulfill the request for documentation and initial plans. When the house is relocated, a new application should be submitted to the HZC or its staff detailing any necessary repair or rehabilitation scopes post-move, a landscaping and site plan showing the new access to the property, and any other new elements to the house (including any new window and door specifications, specs for new brick to be installed, access stair materials and railing design).

The application proposes to remove all additions from the twentieth century, including the rear additions, right side addition, front porch, and attached garage, and to relocate only the c.1805 core of the building with the ell added in approximately 1840. The application effectively requests the “restoration” approach detailed in the SOI Standards.

Restoration and relocation together would most likely remove NRHP eligibility. Restoration would also require any new elements (windows, stoops or porches, etc) to reflect early 1800s materials and designs, which should be reflected in subsequent rehabilitation scopes.

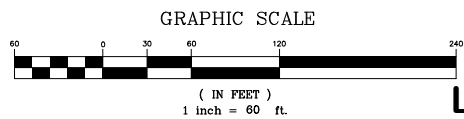
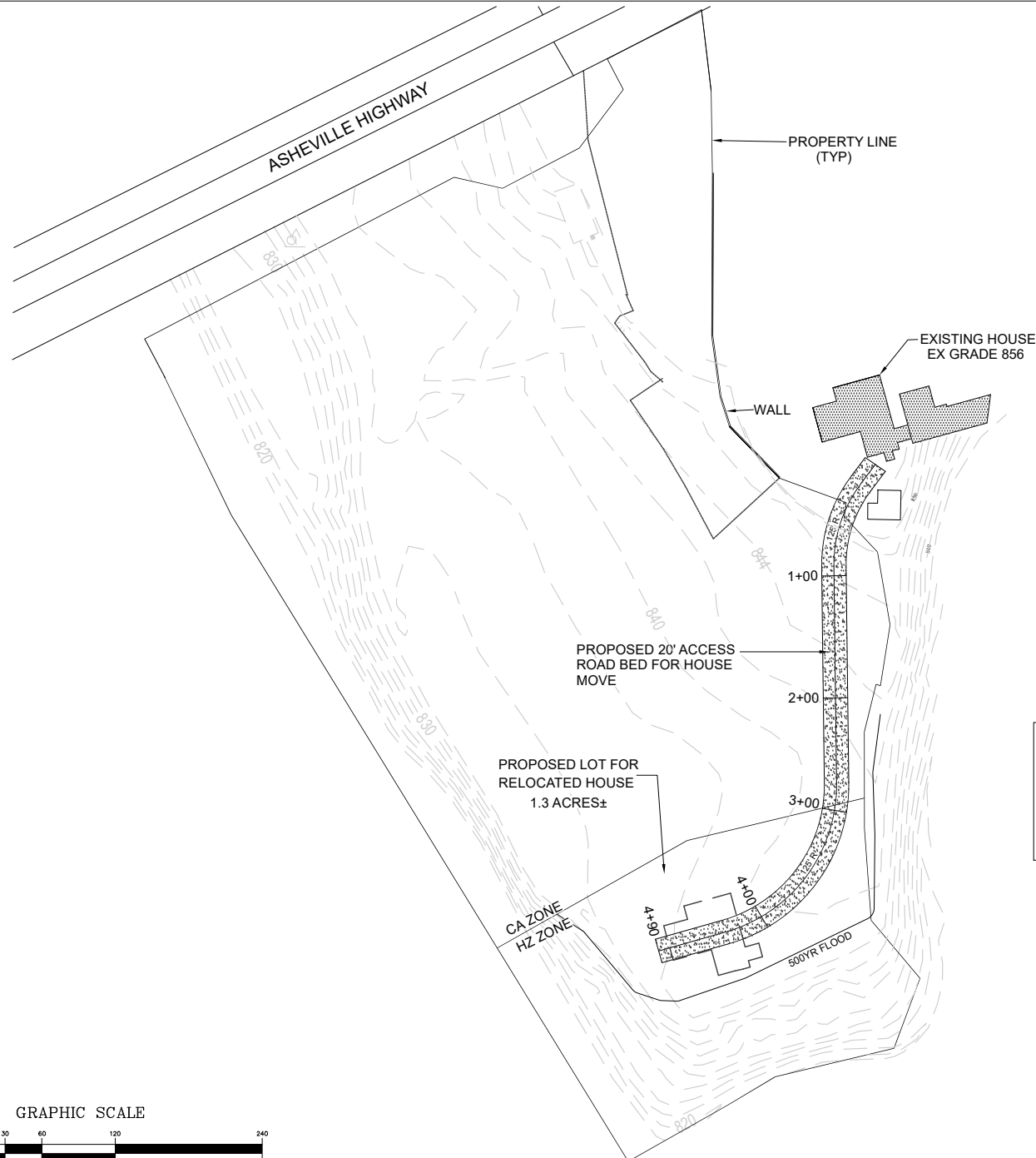
7. The application also proposes to reduce the existing HZ boundary to surround the house and the immediate vicinity. The revised HZ boundary is approximately 1.3 acres on the southern edge of the property. Retaining the historic zoning overlay on the house and surrounding property will allow the HZC to review all work on the house and any associated outbuildings or site improvements.

The HZC will make a recommendation to the Planning Commission on the reduced historic zoning overlay as part of this review. Formal rezoning to reduce the historic zoning overlay to the rear corner of the property prior to the actual relocation of the house would remove the house's protection. Staff recommends that the final legislative approval of the rezoning should not occur prior to the house's relocation.

Applicable Design Guidelines

Secretary of the Interior's Standards for Rehabilitating Historic Buildings.

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
7. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
8. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
9. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.
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LeMAY AND ASSOCIATES
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KNOXVILLE, TENNESSEE 37934
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CONSTRUCTION ROAD

MOSES ARMSTRONG HOUSE RELOCATION

SCALE: 1"= 60'	APPROVED BY: REL	DRAWN BY: RELjr
DATE: 08-25-2026	REV:	SHEET 1 OF 1
DISTRICT S8 KNOX COUNTY ----- TENNESSEE		
TAX MAP 71 E C, PARCEL 1.01		DRAWING NO.: 6723

[illegible]

top and bottom of any slope

100 YEAR FLOOD

500 YEAR FLOOD

2015 ±

PROPOSED HISTORIC HOME RELOCATION
BFE = 831±
FFE: 841±
EXISTING GRADE 838-839±

Ramp into excavated four

PROPOSED HZ ZONING LIMITS
PROPOSED CA ZONING LIMITS

PROPOSED PARCEL FOR HISTORIC HOME 1.3 ACRES±

PROPOSED 25' ACCESS EASEMENT TO RELOCATED HISTORIC HOME

Proposed move

EXISTING HZ ZONING LIMITS
EXISTING CA ZONING LIMITS

The ramp from the existing house location to the level and compacted fill and is to be 1.5"/ft (12.5%) grade or less bottom of any slope

TO BE REMOVED

EXISTING HISTORIC HOME (MAIN STRUCTURE TO BE RELOCATED TO REAR OF PROPERTY)

EXISTING GARAGE 1,001 sq ft

DRAINAGE SWALE

HOLSTON RIVER

FLOODWAY

500 YEAR FLOOD

500 YEAR FLOOD

top and bottom of any slope

100 YEAR FLOOD

500 YEAR FLOOD

2015 ±

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EXISTING GARAGE 1,001 sq ft

DRAINAGE SWALE

HOLSTON RIVER

FLOODWAY

500 YEAR FLOOD

500 YEAR FLOOD

Structural Lifting & Moving Procedure

1. Stage equipment around the jobsite
2. Wrap the structure with chains and angle irons if necessary
3. Excavate as necessary around the structure
4. Measure & mark out the foundation for steel
5. Cut or knock out holes in the foundation
6. Excavate as necessary under the structure.
7. Stack up crib piles/jacking towers where necessary
8. Install the main beams length-ways on the crib piles/jacking towers under the house
9. Install the cross beams on width-ways on top of the main beams and approximately 4" to 8" below the center beam/sill plates
10. Using wooden blocking and wedges, shim the beams up tight to the center beam, and mortar underneath the brick walls and chimneys
11. Set hydraulic jacks onto blocking in the center of each crib piles/jacking towers and hook them up to the Unified Jacking Machine
12. Using the Unified Jacking System, raise the house up to the desired elevation
13. Level off the ground under the house by pushing the foundation and surrounding dirt in or out according to need
14. Roll the Buckingham Power and Coaster Dollies in place under the house & hook them up to the Buckingham Power Unit
15. Extend the cylinders on the Buckingham Dollies to take the weight off of the supporting crib piles/jacking towers
16. Move the structure to the new location
17. Set up crib piles/jacking towers under the main beams to take the weight of the house.
18. Release the house onto the crib piles/jacking towers and remove the Buckingham Dollies

Preliminary Assessment of the Existing Porch

Moses Armstrong House

Purpose and Scope

This report provides a preliminary assessment of the existing porch at the Moses Armstrong House based upon an on-site visual inspection and photographic documentation. Its purpose is to evaluate whether the porch falls within the period of significance (1805-1933) associated with the house and if it should be regarded as historic architectural fabric associated with the house's principal period of significance, or whether the surviving structure represents a substantially later alteration or reconstruction.

The physical evidence strongly supports the conclusion that the existing porch is a later construction rather than surviving historic fabric associated with the house's principal period of significance. Although there may have been a front entrance or porch in the federal style consistent with original house, the structure now standing is composed predominantly of significantly later materials (likely post war construction), modern construction methods, and subsequent structural interventions. Its steel supports, boxed wooden elements, replacement masonry, cementitious repairs, and altered connections to the historic building collectively demonstrate a substantial loss of original fabric. As a result, the porch possesses little integrity of materials, workmanship, design, or association and should not be regarded as an intact historic architectural feature of the Moses Armstrong House.

Historic Background

The Moses Armstrong House, located at 6110 Asheville Highway in Knoxville, Tennessee, is an early nineteenth-century brick residence traditionally dated to 1805 in the federal style. It is the old brick structure in Knox County. The two-story house stands near the Holston River and is historically significant not only as an early surviving domestic, federal style building in Knox County, but also for its association with Armstrong Ferry, an important early transportation crossing on the Holston. Moses Armstrong was the son of Robert Armstrong, an early settler and Revolutionary War veteran, and Moses himself was a farmer and operator of the ferry. Knoxville-Knox County Planning has identified the property as a significant transportation-related historic resource because of that association, while broader historic documentation of Knox County notes the Armstrong House among the surviving residences connected with the network of ferries that served the region before the development of modern bridges and roads. The house therefore derives its significance from both its early architectural style and its relationship to the settlement and transportation history of East Knox County and the Holston River corridor

The Porch

Structural System

Some of the most significant evidence concerns the porch's structural system. Although the porch visually presents substantial square wooden columns, close examination indicates that these elements do not function as conventional load-bearing timber columns. Instead, the square members are essentially boxed or built-up wooden enclosures. This can be seen in the circular opening in one of these members permits observation into the cavity and demonstrates the hollow nature of the assembly. A removable circular tin grille associated with this opening further confirms that the member was constructed as an enclosed box rather than as a solid historic timber post which is consistent with post war mid-20th century construction.

The actual structural support for substantial portions of the porch roof is provided by round steel posts. These steel members are plainly visible adjacent to the decorative wooden elements. Their bases are welded and embedded in or attached to later cementitious work, and one support displays substantial corrosion around its lower welds. Photographs of the base condition indicate welded or fabricated metal connections inconsistent with traditional nineteenth-century porch construction.

The distinction between structural and decorative components is important. Rather than representing a traditional porch in which architecturally expressed wooden columns support the roof, the surviving porch employs modern steel supports while wooden elements provide the appearance of more traditional architectural columns. This construction method is consistent with much later reconstruction or remodeling which falls outside the period of historical significance.

Materials and Construction

The porch also incorporates a conspicuous mixture of materials that do not appear to belong to a single historic construction phase. These include steel pipe or tubular supports, boxed dimensional lumber, brick masonry piers, concrete or cementitious caps, and mortar patches. Moreover, the columns have cement toppers and are likely block with a modern brick façade.

A fragment of wood removed or detached from the porch shows machine-worked material characteristic of relatively modern dimensional lumber. It is clearly not virgin timber. While the fragment cannot independently establish a precise date, its character is consistent with twentieth-century construction and does not suggest the presence of an early solid timber structural member.

The various junctions between steel posts, paving, concrete, masonry, and wood also display evidence of repeated repair and alteration. Cementitious material has been placed around the bases of supports, while cracks, patching, corrosion, and irregular transitions occur throughout the assembly. These conditions suggest that the porch has undergone successive interventions rather than surviving as a coherent historic structure.

Masonry Evidence

Comparison between the brickwork of the original house and that of the porch provides another significant line of evidence.

The brick piers and low masonry portions associated with the porch are visibly different from the masonry of the principal house. Differences are apparent in brick color, surface texture, regularity, mortar composition, and workmanship. The porch brickwork generally displays the more uniform appearance expected of later commercial brick rather than the varied character found in the earlier wall.

More importantly, where the porch construction meets the historic exterior wall, the newer work appears to abut the earlier masonry rather than being integrally bonded into it. The construction joint is readily visible. This indicates that the porch masonry represents a separate building episode added after completion of the principal masonry wall.

The historic wall itself retains additional physical evidence of former attachments or alterations. Vertical areas of discoloration, residue, patching, and disturbance occur above and adjacent to the present porch roof. These marks may relate to an earlier porch configuration, flashing system, roof attachment, or other alteration. Their exact cause cannot be conclusively determined through visual inspection alone, but they reinforce the conclusion that this portion of the building has experienced multiple construction campaigns.

Architectural Character and Proportion

The present porch also differs substantially in scale and architectural character from the historic house.

Its large boxed columns, broad masonry pedestals, heavy porch roof, and comparatively crude modern supports create proportions that are unusually massive in relation to the house's historic facade. The porch therefore reads less as a surviving component of the original architectural composition than as a later attempt to create a conventional or historicized porch treatment.

Architectural proportion alone cannot conclusively date a structure. When considered alongside the steel structural system, later masonry, hollow wooden column enclosures,

modern lumber, cementitious work, and visible construction joints, however, the incongruous proportions become additional evidence that the porch represents a later alteration rather than intact historic fabric.

Integrity and Significance

The relevant preservation question is not whether a porch historically existed at this location. It is entirely possible, and perhaps probable, that an earlier, smaller porch, entrance covering, or related architectural feature in the federal style was once associated with the house.

The more important question is whether the **existing structure retains historic material capable of conveying that earlier configuration.**

Based upon the physical evidence documented during this inspection, it does not.

The principal structural members are modern steel supports. The prominent wooden columns are largely decorative boxed assemblies rather than traditional structural posts. The masonry piers represent a later construction campaign and are physically distinguishable from the historic brickwork of the house. Modern cementitious materials, paving, repairs, welding, and replacement lumber are present throughout the structure. Furthermore, evidence on the historic wall suggests that porch attachments or configurations have changed over time.

Taken collectively, these features indicate that the existing porch is best understood as a **substantially reconstructed or replaced twentieth-century feature, with construction characteristics consistent with the post–World War II period**, rather than as a surviving nineteenth-century or early twentieth century porch.

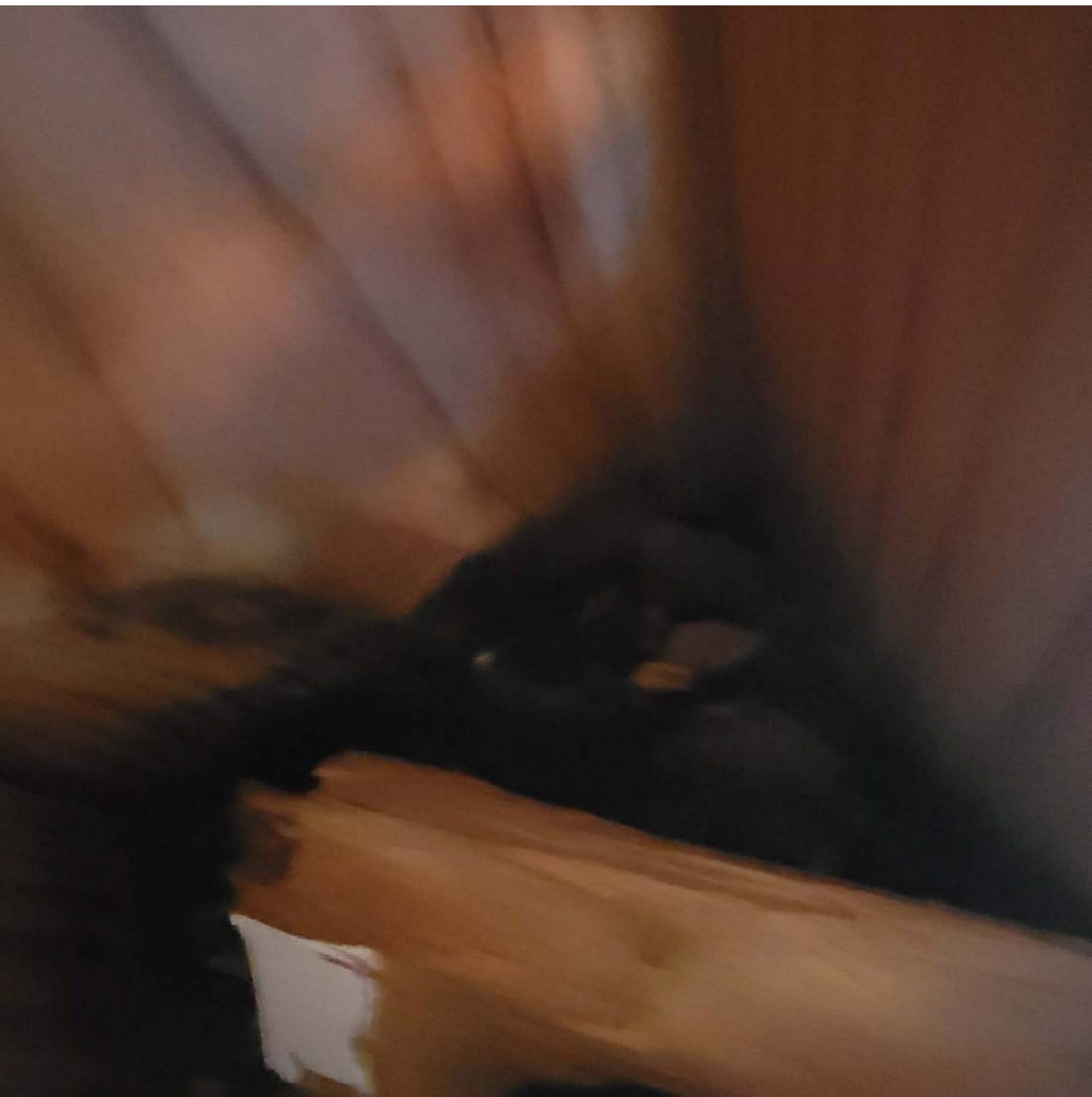
Conclusion

The existing porch possesses very limited historic integrity. Its surviving fabric appears overwhelmingly associated with later alteration and reconstruction. The structure therefore should not be treated as though it were intact historic material simply because of its location or superficially traditional appearance.

Removal or substantial reconstruction of the present porch would consequently result in little loss of authentic historic fabric associated with the Moses Armstrong House's principal period of significance (1815-1933). Indeed, removal of the existing assemblage may create an opportunity for subsequent architectural and documentary investigation to determine more accurately the configuration of an earlier porch and, if appropriate, develop a historically compatible replacement consistent with the federal style.

For preservation purposes, the important distinction is therefore between **the historic presence of a porch** and **the historic authenticity of the porch presently standing**. The available physical evidence strongly indicates that these are not the same thing.

































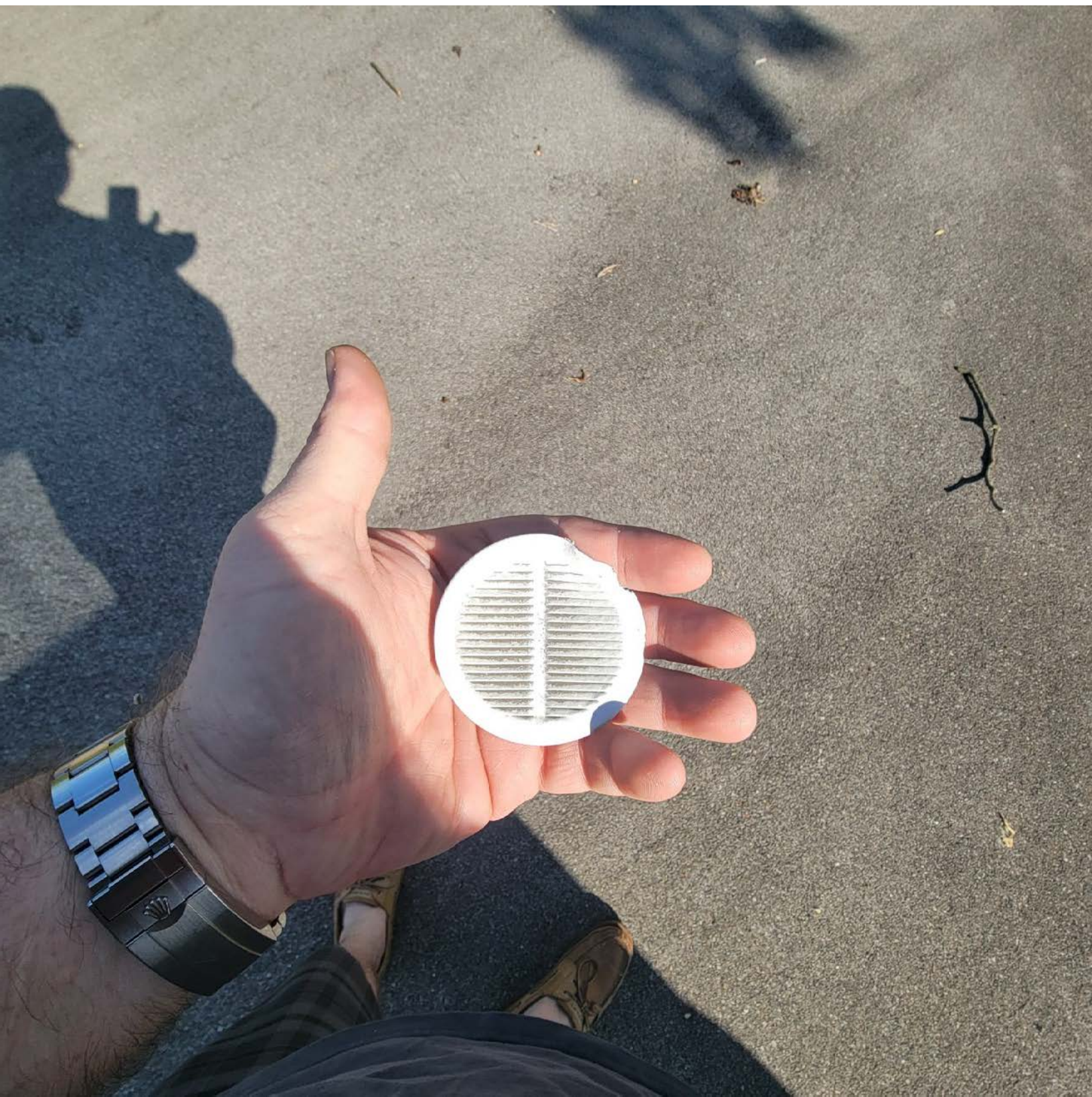






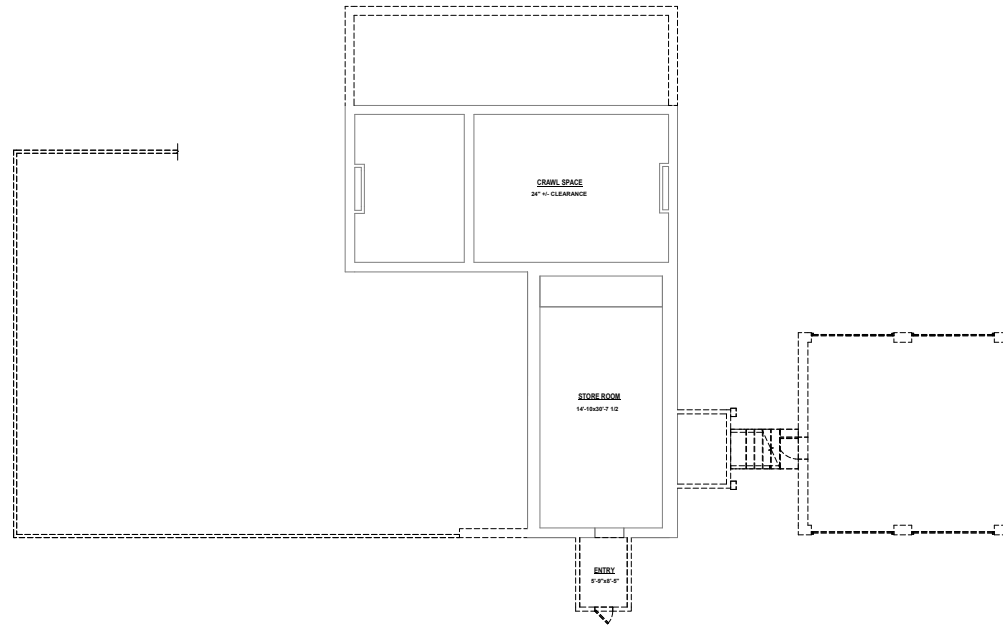




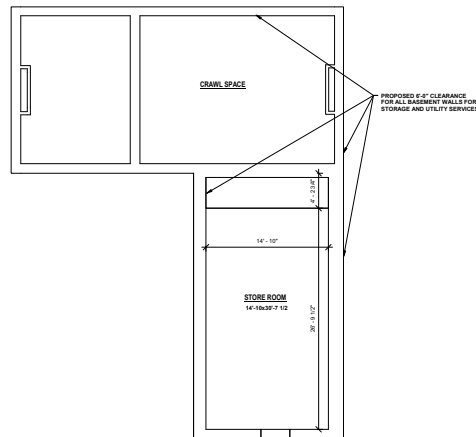








① BASEMENT FLOOR - EXISTING AND DEMO
3/16\"/>



② BASEMENT FLOOR - NEW CONSTRUCTION
3/16\"/>



MOSES ARMSTRONG HOUSE
6100 Asheville Highway
Knoxville, TN

Project # 2605

Issue Date 08/31/2026

CURRENT REVISION

Mark	Date	Description

BASEMENT
FLOOR PLAN

A100

MOSES ARMSTRONG HOUSE
6100 Asheville Highway
Knoxville, TN

Project # 2605

Issue Date 08/31/2026

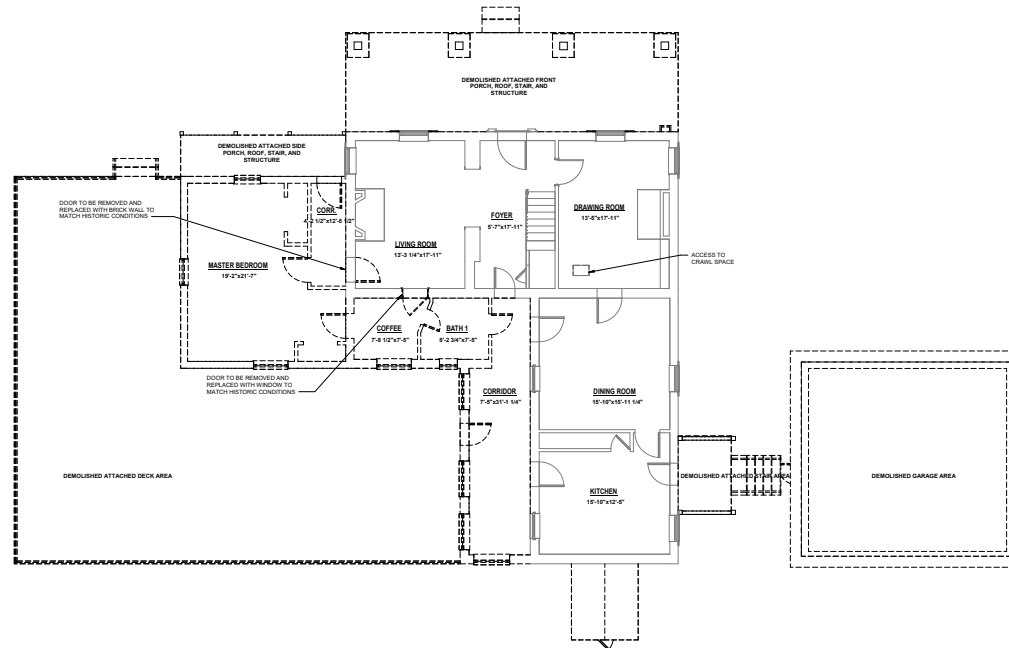
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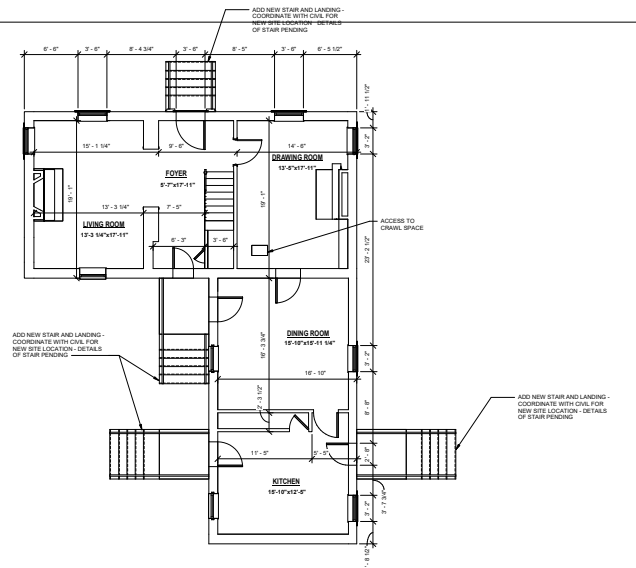
FIRST FLOOR PLAN

A101

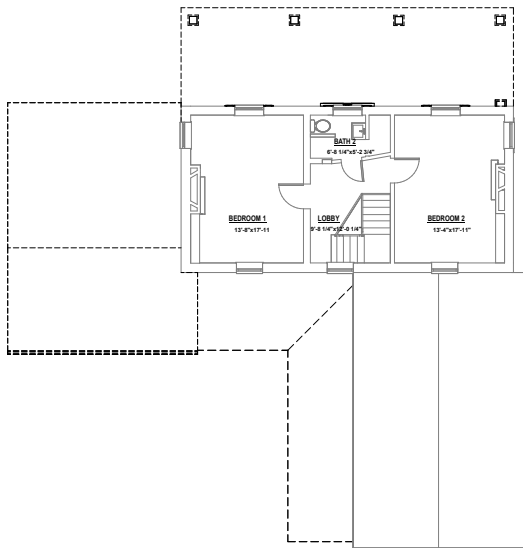
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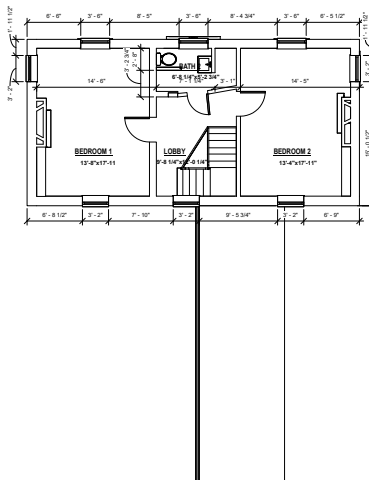
① FIRST FLOOR - EXISTING AND DEMO
3/16" = 1'-0"



② FIRST FLOOR - NEW CONSTRUCTION
3/16" = 1'-0"



1 SECOND FLOOR - EXISTING AND DEMO
3/16" = 1'-0"



2 SECOND FLOOR - NEW CONSTRUCTION
3/16" = 1'-0"



MOSES ARMSTRONG HOUSE
6100 Asheville Highway
Knoxville, TN

Project # 2605

Issue Date 08/31/2026

CURRENT REVISION

Mark	Date	Description
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SECOND FLOOR PLAN

A102

MOSES ARMSTRONG HOUSE
6100 Asheville Highway
Knoxville, TN

Project # 2605

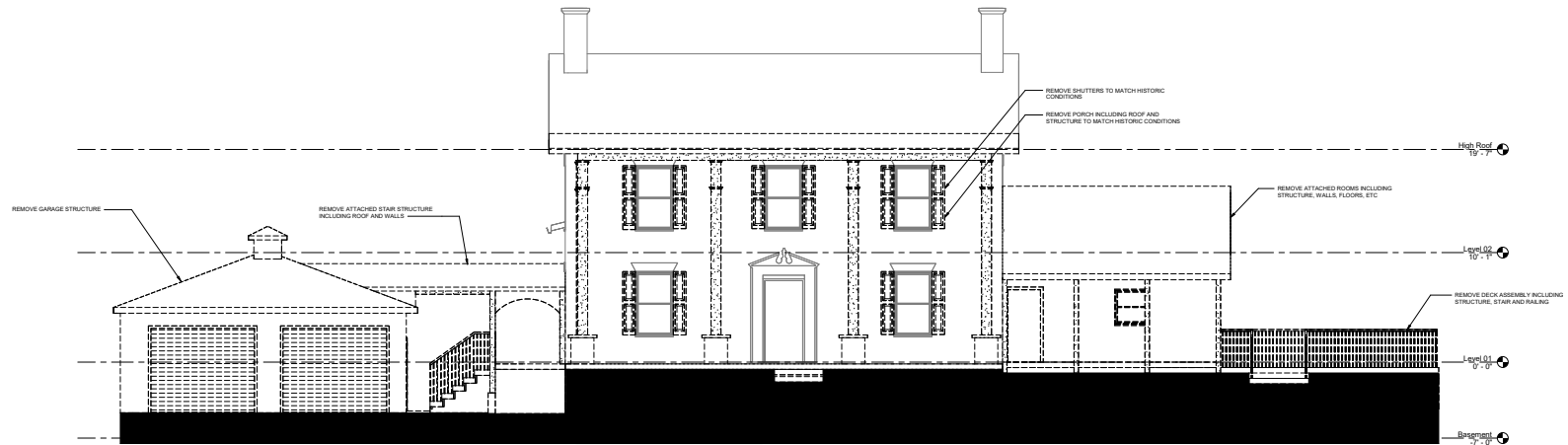
Issue Date 08/31/2026

CURRENT REVISION

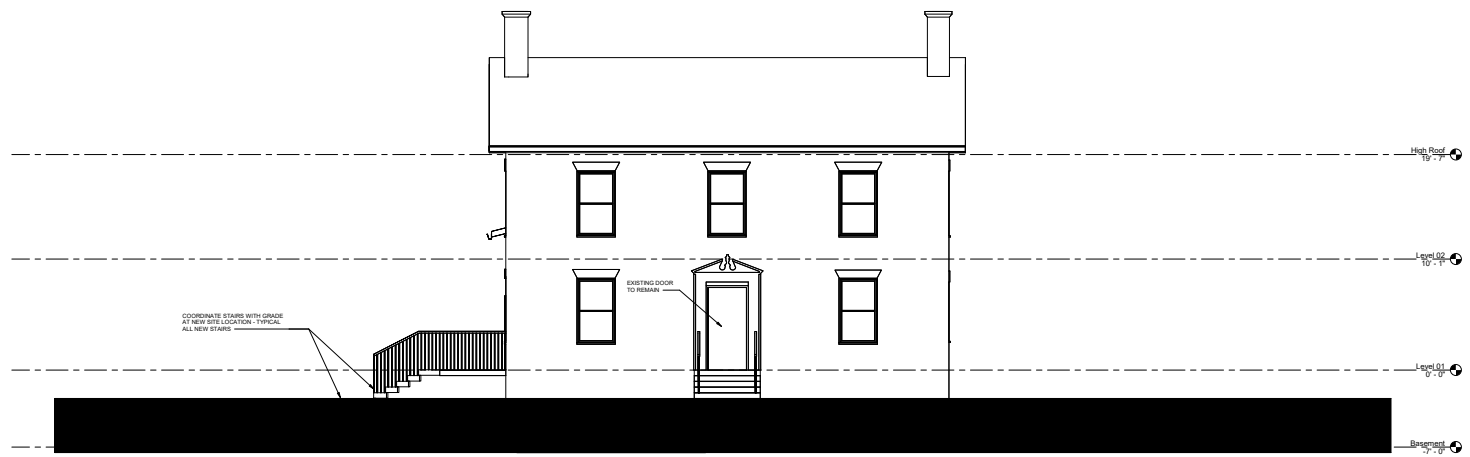
Mark	Date	Description

EXTERIOR
NORTH
ELEVATIONS

A400



① NORTH BUILDING ELEVATION - EXISTING AND DEMO
1/4" = 1'-0"



② NORTH BUILDING ELEVATION - NEW CONSTRUCTION
1/4" = 1'-0"

MOSES ARMSTRONG HOUSE
6100 Asheville Highway
Knoxville, TN

Project # 2605

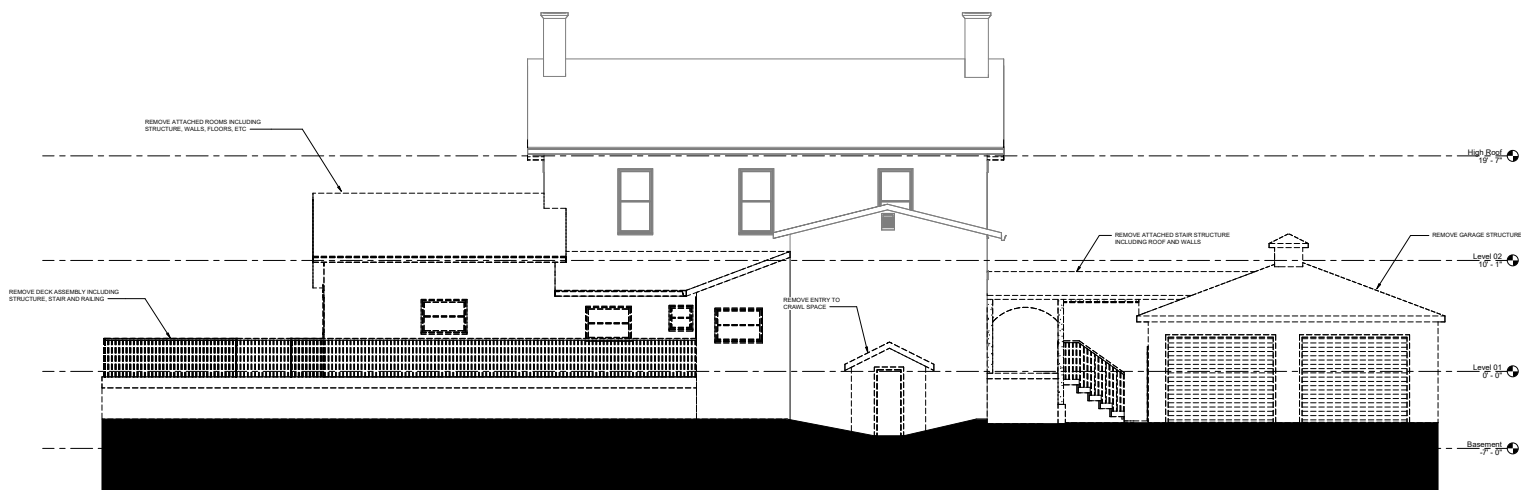
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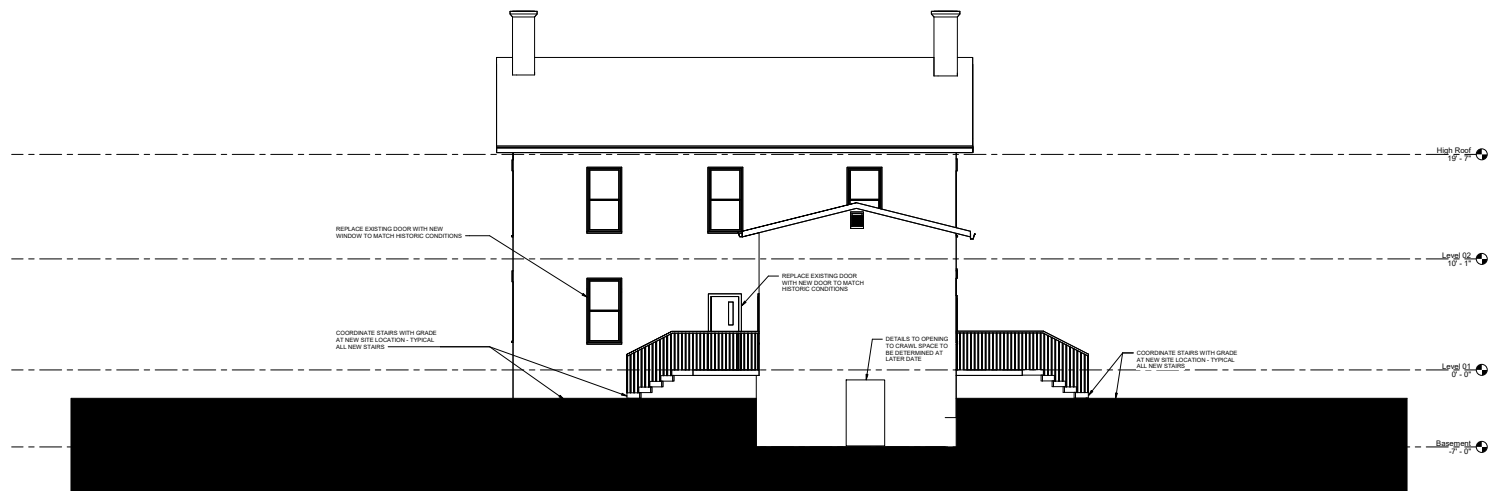
Mark	Date	Description

EXTERIOR
SOUTH
ELEVATIONS

A401



① SOUTH BUILDING ELEVATION - EXISTING AND DEMO
1/4" = 1'-0"



② SOUTH BUILDING ELEVATION - NEW CONSTRUCTION
1/4" = 1'-0"

MOSES ARMSTRONG HOUSE
6100 Asheville Highway
Knoxville, TN

Project # 2605

Issue Date 08/31/2026

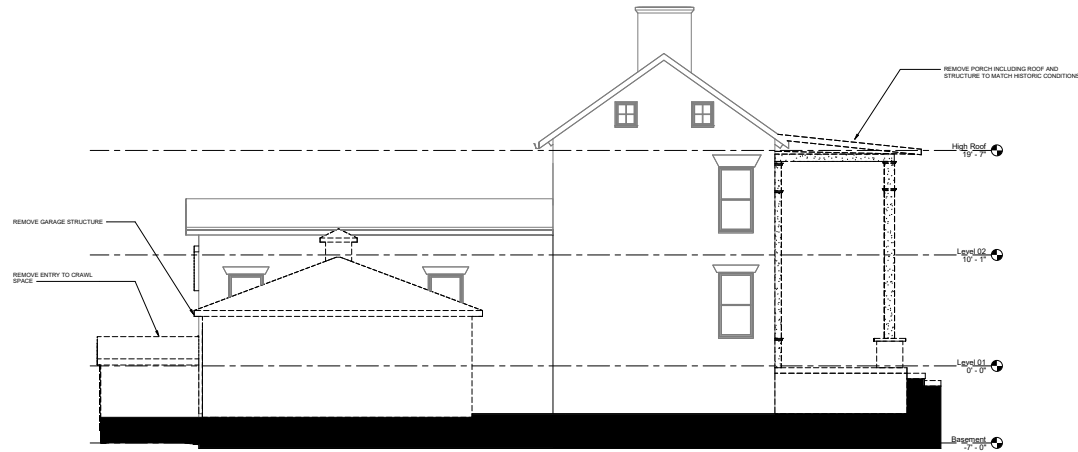
CURRENT REVISION

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EXTERIOR
EAST
ELEVATIONS

A402

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⊙ EAST BUILDING ELEVATION - EXISTING AND DEMO
1/4" = 1'-0"



⊙ EAST BUILDING ELEVATION - NEW CONSTRUCTION
1/4" = 1'-0"

MOSES ARMSTRONG HOUSE
6100 Asheville Highway
Knoxville, TN

Project # 2605

Issue Date 08/31/2026

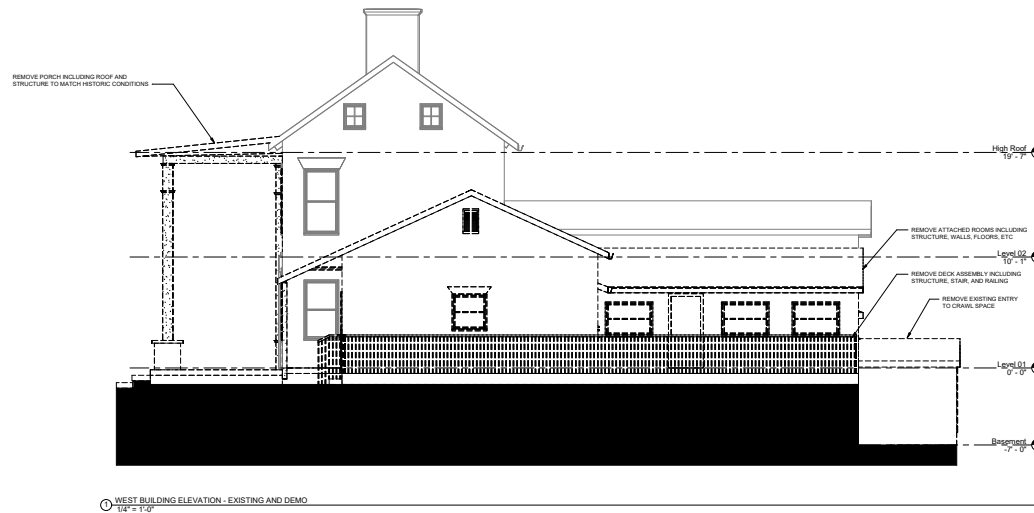
CURRENT REVISION

Mark Date Description

EXTERIOR
WEST
ELEVATIONS

A403

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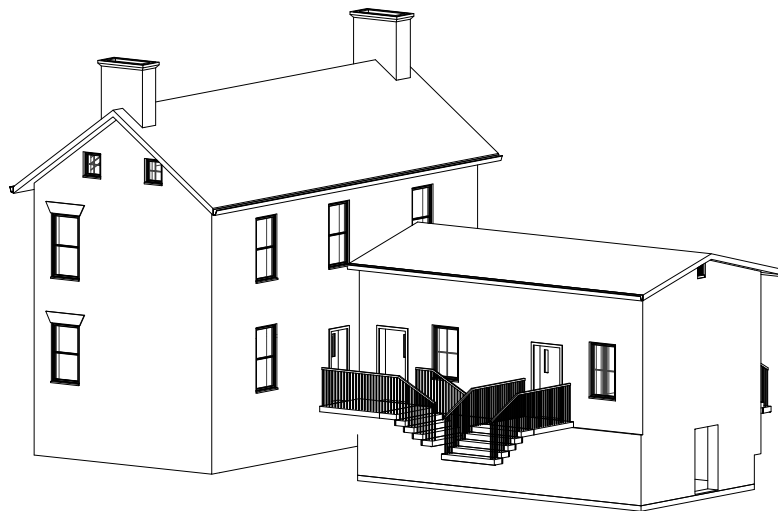




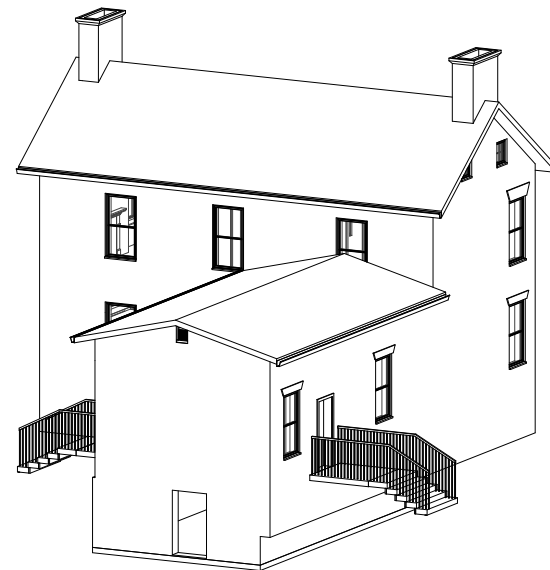
① FRONT 3D VIEW - COMPLETE 01



② FRONT 3D VIEW - COMPLETE 02



③ REAR 3D VIEW - COMPLETE 01



④ REAR 3D VIEW - COMPLETE 02



MOSES ARMSTRONG HOUSE
6100 Asheville Highway
Knoxville, TN

Project # 2605

Issue Date 08/31/2026

CURRENT REVISION

Mark	Date	Description
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EXTERIOR 3D
IMAGES

A600

[illegible]

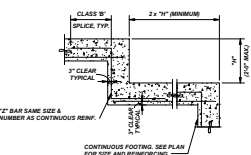
DESIGN LOADS		PEACE 1 - 14 AND 1502 - 120 FLOOR SYSTEM
DEAD LOADS		
ROOF	20 PSF (ASSUMED)	
LIVE LOADS		
FLOOR SLAB	20 PSF	10 PSF
	10 PSF	10 PSF
	10 PSF	10 PSF
WIND LOADS		
ULTIMATE DESIGN WIND SPEED	90 MPH	
EXPOSURE CATEGORY	B	
WIND DIRECTION	100 DEGREE	
IMPORTANCE FACTOR	1.0	
ENCLOSURE CLASSIFICATION	ENCLOSURE 1	
INTERNAL PRESSURE COEFFICIENT	0.18	
WIND WALL	0.18	
ROOF ZONE 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736,		

2.01 OWNER OR CONTRACTOR'S GEOTECHNICAL ENGINEER SHALL VERIFY CONDITION AND ADEQUACY OF ALL SURGRADE, FILLS, AND BACKFILLS BEFORE PLACEMENT OF FOUNDATIONS, FOOTING, SLABS, WALLS, BILLS, BENCHES, ETC. ALL FINDINGS SHALL FIRST BE CORRECTED OR REMOVED SO OR NEWLY PLACED STRUCTURE WILL BE PROTECTED FROM FUTURE DAMAGE. CONTRACTOR SHALL VERIFY ALL FINDINGS AND NECESSARY CORRECTING ACTION BEFORE CONTRACTOR'S PROCEEDS WITH FOUNDATION AND STRUCTURAL PLACEMENT. CONTRACTOR'S ABAUSEMENT OF CONTRACTOR'S RESPONSIBILITY FOR THE PROTECTION OF FOUNDATIONS BY ANY SOILS IN THE BOTTOM OF THE FOOTING TRENCHES LOOSEENED DURING THE EXCAVATION PROCESS.

2.02 SIDES OF THE FOUNDATIONS SHALL BE FORMED UNLESS CONDITIONS PERMIT EARTH FORMING. FOUNDATIONS FORMED AGAINST THE EARTH REQUIRE THE FOLLOWING PRECAUTIONS: SLOPE SIDES OF EXCAVATIONS AS APPROVED BY THE GEOTECHNICAL ENGINEER AND CLEAN UP SLOVING BEFORE AND DURING CONCRETE PLACEMENT.

2.03 CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY PROTECTING ALL EXCAVATION SLOPES.

2.04 WHERE FOOTING STEPS ARE NECESSARY THEY SHALL BE NO STEEPER THAN ONE VERTICAL TO TWO HORIZONTAL.



TYPICAL FOOTING STEP DETAIL
NOT TO SCALE

- 2.05 THE BOTTOM OF FOOTINGS SHALL BEAR BELOW THE FROST DEPTH AS SPECIFIED IN THE GEOTECHNICAL REPORT OR BY THE LOCAL MUNICIPALITY.
- 2.06 FOOTINGS MUST BE BACKFILLED BEFORE THE STRUCTURE IS CONSIDERED STABLE. CONCRETE SLAB SHALL REACH 28 DAY COMPRESSIVE STRENGTH BEFORE THE STRUCTURE IS CONSIDERED STABLE.
- 2.07 COORDINATE FOOTING STEPS WITH MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS.
- 2.08 SOIL SUPPORTED SLABS ON GRADE ARE DESIGNED TO BEAR ON A SUBGRADE WITH A MINIMUM MODULUS OF SUBGRADE REACTION OF 150 PSI. WHERE POSSIBLE, SEE GEOTECHNICAL REPORT FOR AREAS WHERE MINIMUM MODULUS OF SUBGRADE REACTION WILL DIFFER.
- 2.09 WHERE FOUNDATION EXCAVATIONS MUST REMAIN OPEN AND ARE SUBJECT TO RAINFALL, THE EXCAVATIONS SHALL BE UNDERCUT AND A 2' THICK WID MUD OF 2.08 PSI CONCRETE SHALL BE PLACED IN THE BOTTOM TO PROTECT THE REINFORCING.

2.01 ALL CONCRETE WORK SHALL CONFORM TO ACI 318, SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS. DESIGN IS BASED ON ACI 318, BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.

2.02 UNLESS NOTED OTHERWISE, ALL CONCRETE SHALL BE NORMAL WEIGHT AND HAVE THE FOLLOWING MINIMUM 28 DAY COMPRESSIVE STRENGTHS:

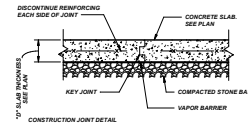
SPREAD FOOTINGS	5,000 PSI
INTERIOR SLAB ON GRADE	5,000 PSI U.O.
ALL OTHERS	4,000 PSI

ALL EXPOSED CONCRETE SHALL HAVE 75 - 7% ENTRAINED AIR, UNLESS NOTED OTHERWISE.

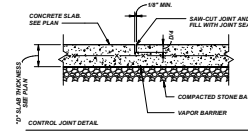
3.01 THE PROPOSED MATERIALS AND MIX DESIGN SHALL BE FULLY DOCUMENTED AND REVIEWED BY A REGISTERED PROFESSIONAL ENGINEER. THE CONTRACTOR SHALL SUBMIT THE MIX DESIGN TO THE CITY ENGINEER FOR REVIEW AND APPROVAL. CONCRETE PROPORTIONS SHALL BE ESTABLISHED ON THE BASIS OF FIELD TESTS. ALL MAJOR AND TENDR MIXTURES WITH MATERIALS TO BE EMPLOYED IN ACCORDANCE WITH ACI 318 AND 301.

4.01 USE OF CALCIUM CHLORIDE, CHLORIDE IONS, OR OTHER SALT IN CONCRETE IS NOT PERMITTED.

5.01 DETAIL CONSTRUCTION AND CONTROL JOINTS AS SHOWN IN DETAILS BELOW:



NOT TO SCALE



NOT TO SCALE

- [illegible]

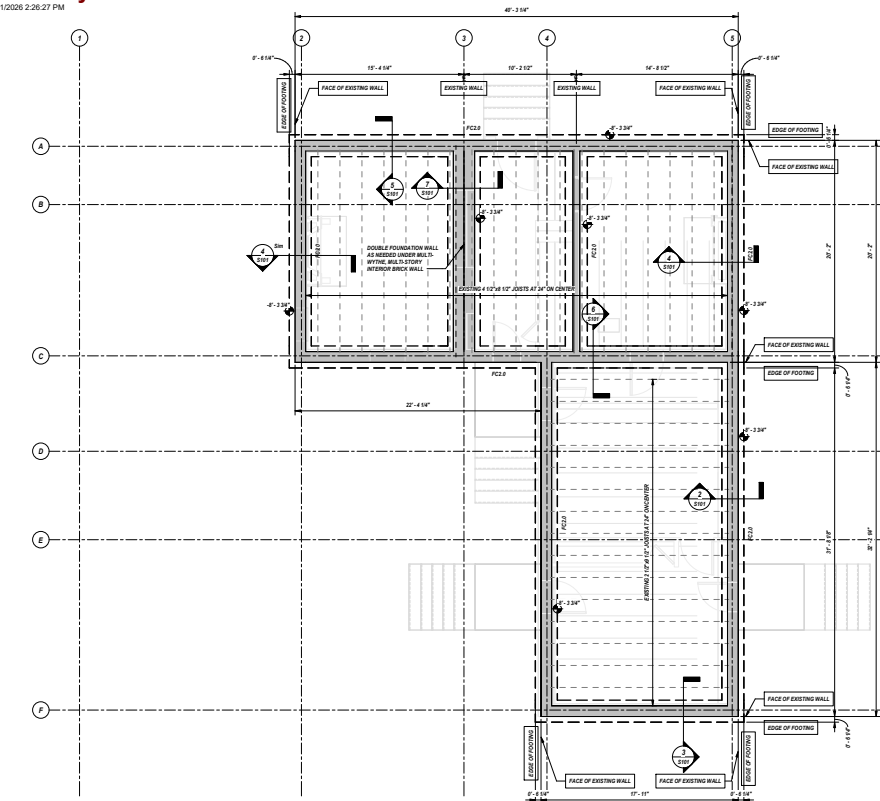
SIZE	MINIMUM SPLICE LENGTH (inches)
3	19
4	25
5	31
6	37

MOSES ARMSTRONG HOUSE

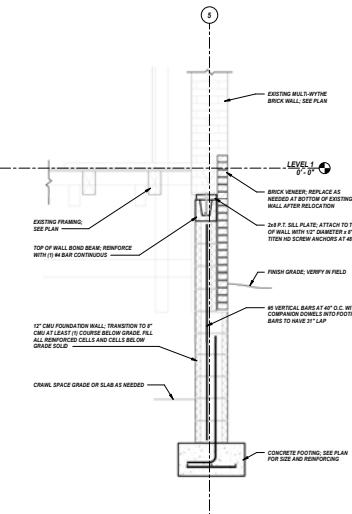
Project # 26032
Issue Date 08/31/2026
CURRENT REVISION
Mark Date Description

FOUNDATION
PLAN

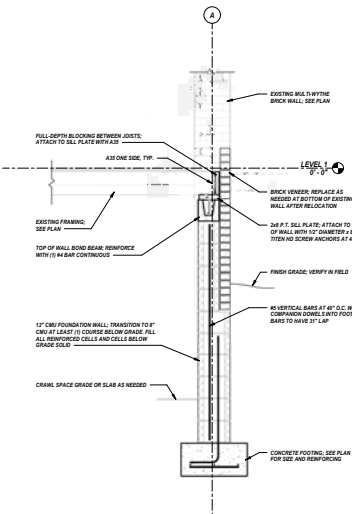
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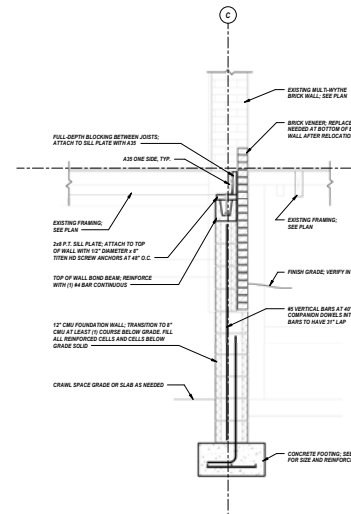
1 FOUNDATION PLAN
SCALE: 3/4" = 1'-0"



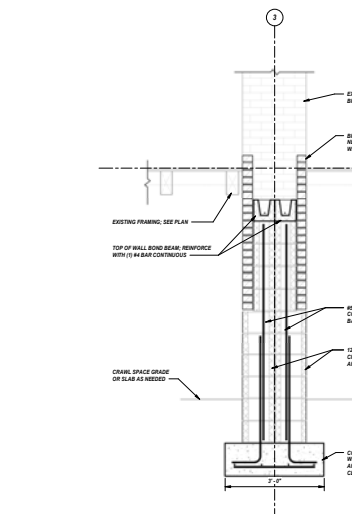
2 SECTION
SCALE: 3/4" = 1'-0"



3 SECTION
SCALE: 3/4" = 1'-0"



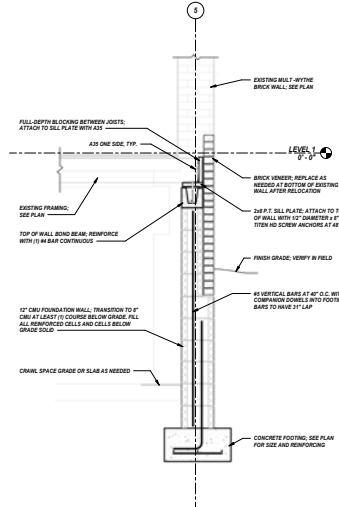
4 SECTION
SCALE: 3/4" = 1'-0"



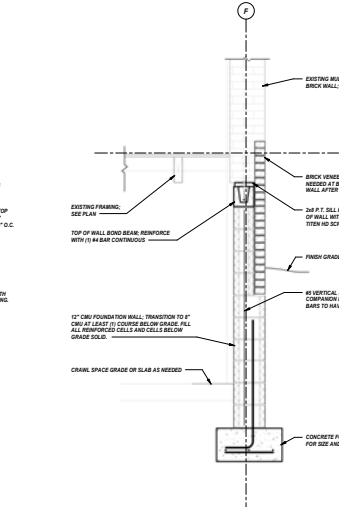
5 SECTION
SCALE: 3/4" = 1'-0"

STRUCTURAL FOUNDATION NOTES		
1	VERIFY ALL DIMENSIONS IN THE FIELD AND WITH ARCHITECTURAL DRAWINGS	
2	FOOTING ELEVATION IS BASED ON FINISHED FLOOR ELEVATION OF 0'-0"	
3	CMU SHALL BE CONSTRUCTED AFTER FOOTINGS ARE POURED AND HOUSE IS IN PLACE	

STRUCTURAL FOUNDATION SCHEDULE		
MARK	SIZE	REINFORCEMENT
FOOT	12" x 12" x 12"	10 #4 CONTINUOUS AND #4 #18 "C" TRANSVERSE



6 SECTION
SCALE: 3/4" = 1'-0"



7 SECTION
SCALE: 3/4" = 1'-0"

Meeting: 1/15/2026
Applicant: Benjamin C. Mullins
Owner: RBL, LLC

Property Information

Location: 6114 Asheville Hwy. **Parcel ID:** 71 E C 001 071EC00101
District: Moses Armstrong House Individual HZ Landmark
Zoning: CA (General Business)

Description: East Tennessee Vernacular form, Federal influences, c.1805

See attached architectural description in designation report. Two-story, three-bay, brick masonry house with a central passage plan built in 1805. The house is characterized by historic masonry, laid in Flemish bond on the main massing and common bond on the c.1840 addition, with a side-gable roof clad in terracotta tile. Mid-twentieth-century additions are located on the right side and rear, with a c.1950 garage on the left side. The roof features two interior brick chimneys. A two-story porch supported by square wood columns on brick piers, dating to the early- to mid- twentieth century, is located on the façade.

Staff Recommendation

Staff recommends: 1) preliminary approval of the proposed relocation and 2) preliminary approval of the reduced HZ overlay.

Approval of the relocation is subject to the following conditions:

- a) detailed moving plan to be provided to staff for approval;
- b) retention or reconstruction of front porch addition, unless additional research is presented to the HZC defining a later date of construction OR a clear period of significance associated with the house's history and architecture;
- c) current and proposed floor plans and architectural elevations of the house, including foundation design and details, to be submitted to the HZC prior to relocation;
- d) landscaping plan, site design, and additional repair and rehabilitation/restoration scopes to be reviewed after the relocation;

Approval of the reduced HZ overlay is subject to the condition: 1) final legislative approval of the rezoning should not be issued until the house is relocated.

Description of Work

Level IV Demolition/Relocation of Contributing Structure

Proposed relocation of primary structure. Relocation includes the proposed demolition of an existing non-historic garage, side and rear addition, and front porch. Primary structure is proposed to be relocated approximately 500' to the southeast, recessed to a rear corner of the property, adjacent to the Holston River. The provided estimate to move the house also includes the removal of the house from its existing foundation, and the construction of a new

foundation.

Proposed revision to historic zoning (HZ) overlay. Existing HZ overlay will be reduced to approximately 1.3 acres at the southern corner of the property.

Comments

HZ AND NRHP DESIGNATION

1. The Moses Armstrong House is an individual historic (HZ) overlay property. The intent of the HZ overlay “is to protect such structures in their present location or to provide for their moving to a special HZ, Historical Overlay Zone, location, and to require that new construction, alteration, or use shall be appropriate to their character.” The HZC has the purview to review rehabilitation, relocation, and/or demolition. The applicable design guidelines are the Secretary of the Interiors Standards for Rehabilitation, which are federal standards associated with the National Register of Historic Places.

2. The application proposes to reduce the existing HZ boundary to surround the house and the immediate vicinity. The revised HZ boundary is approximately 1.3 acres. Retaining the historic zoning overlay on the house and surrounding property will allow the HZC to review all work on the house and any associated outbuildings or site improvements.

The HZC will make a recommendation to the Planning Commission on the reduced historic zoning overlay as part of this review. Formal rezoning to reduce the historic zoning overlay to the rear corner of the property prior to the actual relocation of the house would remove the house’s protection. Staff recommends that the final legislative approval of the rezoning should not occur prior to the house’s relocation.

3. The National Register of Historic Places is an honorary federal designation that documents a site’s history and may qualify the property for federal grants or tax credits. There are no additional requirements for the property owner. Review of rehabilitation, relocation, and/or demolition is required by local zoning, which the house currently has and will retain. Local zoning is the most protective tool for a historic property.

4. Tennessee Historical Commission (THC) National Register staff provided a letter on 12/11/2025 [see Appendix 4] evaluating the house’s current eligibility. The Moses Armstrong House is currently eligible for the National Register of Historic Places under Criterion C for Architecture, representing an “evolved house” within Knoxville’s architectural context which was “originally built in the Federal style [and] expanded and changed to suit the owners’ new needs and style preferences.”

5. THC staff also note that ambiguities about the additions and their construction date “make it difficult to identify the best end for the property’s period of significance,” and “any additions more than fifty years old and communicate the Armstrong House’s architectural significance as an evolved property would be included in the Period of Significance.” To retain NRHP eligibility, THC recommends additional research on the building’s additions to inform any future rehabilitation work.

6. Properties that have been moved are typically not eligible for listing on the National Register of Historic Places (NRHP). Moved properties that are significant under Criterion C for Architecture must retain enough historic features to convey its architectural values and retain integrity of design, materials, workmanship, feeling, and association. To remain eligible for the NRHP, THC staff urge that “every effort should be made to reestablish its historic orientation, immediate setting, and general environment.”

7. Federal historic preservation guidance recommends that moving a historic house should be considered the last resort alternative to demolition. The application does not explore other alternatives to moving the house. The house is proposed to be relocated to accommodate a new proposed convenience store/gas station. The

construction of a convenience store (including gas pumps, a parking lot, and a utility building) approximately 60 feet away from the historic house (if the house remained in its current location) would also have a detrimental effect on the house's setting, feeling, and association, and could structurally impact the house. Relocation of a historic house is preferable to the house's demolition. Relocating the Moses Armstrong House within the same property will allow the house to continue to reflect early Knoxville history, construction techniques, and architectural styles.

SITE

8. The house is proposed to be moved approximately 500 feet to the south/southeast, to a corner of the property adjacent to the river. Moving a house within its original property is preferable to moving a house to a completely new site, which would fully sever the house from its context and historic association.

9. The overall setting of the historic resource is already significantly compromised. The proposed site features vegetation and trees to the south, east, and west, with an existing field (former c.1950 drive-in movie theater) to the north. The house's new setting will be similar to the existing setting, and the setting when the house was locally designated in 1993. THC staff noted that the setting of the house has already "changed drastically," particularly from the construction of the drive-in movie theater that levelled the riverbank from which the ferry departed. The house will now face the amphitheater area.

10. The house is significant for its association with Armstrong's (and later Ruggle's) Ferry across the Holston River. The house faced the road leading to the ferry, with the façade approximately 45' from the road. The road (an extension of present-day Ruggles Ferry Pike) is no longer extant, and both the current and proposed placements are recessed significantly from Asheville Highway. The house's proposed placement will maintain its association with the river.

11. The house is proposed to retain a similar orientation to the original, with the original façade facing north (towards the road) and the right side facing the river. Site plans show the house rotated slightly; all efforts should be taken to relocate the house in an orientation identical to the original.

12. The house is proposed to be located immediately adjacent to the 500-year flood zone. Knox County Codes staff have noted that the house would need to be placed at an elevation of 839.0' or over to be outside of the flood plain. This is currently reflected on the site plan but should be verified in the field and depicted on all final drawings. The Commission should discuss the proposed placement with regard to the floodplain and adjacent river.

MOVING

13. The contractor to complete the relocation has submitted a work write-up, including the demolition of the additions and porch, bracing the house, and an engineered inspection of the new foundation. See Appendix 3 for description of relocation work, including a unified jacking system and wood bracing. The application cites some experience with moving houses, primarily several dating to the twentieth century.

14. Additional information is necessary regarding the actual relocation work. The contractor should provide: a detailed plan indicating in which order and how additions will be removed, information on how materials will be secured (such as glass windows), a plan to navigate the adjacent power lines, information on how the new site will be graded and prepared (including any grading necessary for the route on which the house will be transported), details on supporting (or removing and reconstructing) the rear ell (and any other additions to be retained) during the relocation process, and specifics on interior and exterior shoring. These details should be submitted to staff for review.

15. The house most likely rests on a significant subterranean limestone foundation; additional information on the foundation is not included in the application. The contractor or a structural engineer should evaluate the existing foundation and provide details, along with how the house will be separated from the foundation and supported during the process. These details should be submitted to staff for review.

HOUSE

16. The house is architecturally significant as an example of early nineteenth-century East Tennessee Vernacular house with Federal detailing. The core of the house is a c.1805, two-story, brick masonry structure with a rear ell massing from approximately 1840. The front porch dates to approximately 1920, based on the designation report. The addition on the rear and right side, and the garage, date to the mid-twentieth century. The additions' chronology is largely based on visual assessment of materials and construction techniques and personal interviews with the property owner in the 1990s.

17. A period of significance is identified for listing on the NRHP and new local overlays. The local overlay designation report, dating to 1993, does not identify a specific period of significance. The historic statement focuses on associations with Moses Armstrong, the original owner who operated the ferry. The architectural description details the c.1805 core, c.1840 rear ell, the c. 1920 porch, and a mid-twentieth-century porch enclosure and addition. Further research could assist in identifying a specific period of significance associated with the house's early history.

18. The application proposes to remove all additions from the twentieth century— including the rear additions, right side addition, front porch, and attached garage— and to relocate the c.1805 core of the building with the ell added in approximately 1840. The application effectively requests the “restoration” approach detailed in the SOI Standards. Restoration and relocation together would most likely remove NRHP eligibility. Restoration would also require any new elements (windows, stoops or porches, etc) to reflect early 1800s materials and designs.

19. Federal preservation principles (reflected in the SOI Standards for Rehabilitation, the property's adopted design guidelines, and THC's determination of NRHP eligibility) recommend that changes that have acquired historic significance in their own right should be retained and preserved. THC describes the house as representative of an “evolved house” within Knoxville's architectural context and, without a specific period of significance, would consider any additions more than fifty years old as contributing for purposes of the NRHP.

20. With a local overlay, the HZC has the purview to determine the most appropriate approach: restoration to the 1805/1840 era or recognition of the house's evolution within a broader period of significance. The HZC may determine which additions are contributing to the house.

21. In the opinion of staff, the mid-twentieth century additions (including the garage, the right side addition, and the rear addition) do not contribute to the house's architectural integrity. The garage and right side/rear addition date to the late 1940s or 1950s, when the house's integrity of setting was compromised by the construction of the drive-in theater.

22. In the opinion of staff, a c.1920 front porch addition is a character-defining feature of the house. Many historic houses in Knoxville, from landmark examples to modest single-family houses in historic neighborhoods, feature front porches added in the early twentieth century. However, the porch's materials (brick piers and foundation, stone veneer flooring, thin wood-wrapped posts) may align with an even later date of construction; more information on the house's evolution and history could assist in designating the front porch as non-contributing and allowing for demolition.

23. Removal of the additions will necessitate new masonry infill, windows, and doors. Architectural drawings of all proposed elevations of the house, whether restored to its earliest period or with selected additions removed, should be submitted with a new application to the HZC for approval prior to the house's relocation. This application should also include information on the foundation, including the visible foundation height above the final grade and exterior finish of the new foundation. The application should also include specs for new masonry infill to be included. The application should also include current floor plan drawings to document the current house and multiple additions.

24. Additional necessary post-relocation repair and rehabilitation scopes (window replacement, roof work, masonry work, new stairs or stoops) could be submitted to the HZC or staff at a later date. The HZC should also review landscape design surrounding the site, including the design of the driveway and turnaround.

25. Masonry repair to the rear ell and any tuckpointing repairs to the main house should meet the standards in NPS Preservation Brief 2, with brick infill and mortar details to be submitted to staff for approval in a later phase.

Applicable Design Guidelines

Secretary of the Interior's Standards for Rehabilitating Historic Buildings.

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
7. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
8. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
9. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.