



Staff Report

Knoxville Historic Zoning Commission

File Number: 12-B-25-HZ

Meeting: 3/19/2026
Applicant: Cory King, Kingsize Homes LLC
Owner: Cory King, Kingsize Homes LLC

Property Information

Location: 218 Cansler Ave. **Parcel ID:** 94 K D 005
District: Mechanicsville H
Zoning: RN-2 (Single-Family Residential Neighborhood)
Description: N/A
Existing shotgun house approved for demolition in December 2025.

Staff Recommendation

Staff recommends approval of Certificate 12-B-25-HZ, subject to the following conditions:

- 1) Roof to feature at least 8" eave overhangs with the straight fascia boards as depicted on the elevation drawings;
- 2) Final siding specification to feature a 4-5" reveal, smooth finish, and cornerboards;
- 3) Porch to feature tongue-and-groove flooring, a beadboard ceiling, and any required porch railing to feature balusters set into top and bottom rails;
- 4) Final drawings to include a profile or section depicting window trim with projecting sills;
- 5) Final window and door specifications to be submitted to staff for review;
- 6) Foundation to be parge-coated or clad in brick veneer;
- 7) Final site plan to meet City Engineering and Zoning standards and include a walkway to the street.

Staff recommends approval of the proposed side setbacks and the proposed front setback, as depicted on the site plan.

Description of Work

Level III Construction of New Primary Building

New primary structure on a 25' wide lot interior lot fronting Cansler Avenue. The two-story residence measures 16'-6" wide by 51' deep overall, with a full-width porch measuring 8' deep. The front porch is set 10'-7" from the front property line. Side setbacks are proposed at 3'-6" and 3' at the closest points. The site plan does not currently include parking.

The house features an 8/12 pitch front-gable roof clad in asphalt shingles, an exterior of 6" fiber cement lap siding, and a CMU foundation. Gable fields are clad in fiber cement shingle siding with decorative gable vents and brackets. The house features a one-story front-gable massing projecting towards the front measuring 11'-6.25" deep, with the two-story massing located towards the rear. The porch features a hipped roof clad in asphalt shingles, supported by two 6 by 6 wood posts, with stained wood flooring and wood stairs. A similar hipped roof porch projects from the

rear. Windows are 1/1 single-hung aluminum-clad wood, fixed, and casement with 4" fiber cement trim.

Comments

1. The new house is proposed for a 25' wide lot that has historically held a one-story shotgun house of a similar width. Multiple applicants attempted to rehabilitate the original house but the house was substantially deteriorated and approved for demolition by the HZC in December 2025. The proposed house reflects the shape of the lot, with a rectangular form and the narrow side parallel to the street. The footprint is similar in width and depth to the previous house on the lot.
2. The house is proposed to be set 18'-7" from the front property line, with the full-width front porch at 10'-7" from the front property line. The average of the blockface is 19', and the new duplex recently approved at 216 Cansler Ave will be closer to the front property line at 15.5', with a front porch at 7.5'. Overall, the proposed front setback will be compatible with the street, and the taller two-story massing will be recessed towards the rear of the property.
3. The site plan proposes side setbacks of 3'-6" and 3'. The HZC may approve dimensional standards that would otherwise require a variance by issuing a COA, if the standards specifically recommended in the design guidelines. In the opinion of staff, the proposed side setbacks are supported by the guidelines that recommend "side yard setbacks shall be consistent with those of existing historic buildings." If building code requirements related to the side property lines require revisions to the design, any revisions would return to the HZC. The final site plan should meet City Engineering and zoning standards and include a walkway to the street.
4. The proposed building adapts the previous shotgun house's narrow rectangular form, along with a steeply-pitched front-gable roof and a full-width front porch. The modest housing form is compatible with the character of the block. The design includes a one-story massing reflective of the historic shotgun house towards the front of the lot, with a two-story massing recessed from the front property line.
5. The proposed house sufficiently "breaks up uninteresting boxlike forms into smaller varied masses" via a projecting one-story massing, a front porch, and projecting massings on the side elevations.
6. The 8/12 front-gable roof is compatible with existing buildings on the street. While the design guidelines specify a 12/12 pitch roof, the 8/12 pitch is sufficiently steep and will reduce the overall height of the house. Eave overhangs should be at least 8" to meet the design guidelines. The roof details should feature the straight fascia boards as indicated on the front and rear elevation drawings as opposed to the box eaves as indicated on the wall section.
7. The façade includes an 8' deep, full-width front porch, which reflects the previous porch on the property. The porch materials meet the design guidelines overall; wood porch flooring should be a tongue and groove design and ceilings should feature beadboard wood.
8. The foundation is proposed to be 2'-6" tall from the foundation to the finished floor level. While slightly taller than the immediate surroundings, the foundation is comparable to other houses in the neighborhood and a new duplex approved at 216 Cansler Ave. The exposed CMU foundation is described as "not acceptable for use on new buildings" and should be clad in stucco or parge-coated.
9. The use of smooth-finished fiber cement siding has been approved on new construction in Mechanicsville by the HZC and through support of the neighborhood. The neighborhood has also clarified a request for 4-5" exposure with a smooth finish. The final siding specifications should be 4-5" in exposure instead of the 6" shown on the plans, and feature appropriately sized cornerboards.
10. The application includes aluminum-clad wood, one-over-one, single-hung windows which have recently been

approved in the neighborhood. Final window and door specifications should be submitted to staff for review. The 4" flat window trim should include projecting sills in a design similar to historic window trim and sills. Sills are included on the drawings but only designed as 4" trim – final drawings should indicate the window trim via a trim profile drawing or window section and submitted with final elevations.

Applicable Design Guidelines

Mechanicsville Design Guidelines, adopted by the Knoxville City Council on September 20, 2011.

A. Rules for Roofs

1. The shape of replacement roofs or roofs on new construction shall imitate the shapes of roofs on neighboring existing houses or other houses of the same architectural style. Roof pitch must duplicate the 12/12 pitch most often found in the neighborhood, the roof pitch typical of the style being referenced by a new building, or the pitch of neighboring buildings. Roof shapes must be complex, using a combination of hips with gables, dormers, or where appropriate to the style, turrets, or other features that emphasize the importance of Victorian-era or Craftsman styling.
2. The eaves on additions or new buildings must have an overhang that mimics existing buildings near the property. A minimum eave overhang of at least eight inches must be retained or used on new buildings or additions to existing buildings.

C. Rules for Porches

2. Design elements to be incorporated in any new porch design must include tongue and groove wood floors, beadboard ceilings, wood posts and/or columns, and sawn and turned wood trim when appropriate. If balustrades are required, they must be designed with spindles set into the top and bottom rails.
3. In new construction, the proportion of the porches to the front facades must be consistent with the historic porches in the neighborhood.

D. Rules for Entrances

4. A new entrance or porch must be compatible in size, scale, or material.
6. Secondary entrances must be compatible with the original in size, scale, and materials, but clearly secondary in importance.

E. Rules for Wood Wall Coverings

1. Synthetic siding is inappropriate and is not allowed either as replacement siding on existing buildings or new siding in new construction.
4. New construction must incorporate corner and trim boards and appropriate door and window trim to be compatible with the adjacent historic buildings.
12. Concrete siding (also called Hardi-board) is allowed on outbuildings and garages for new construction only. The material can be used like board and batten if placed vertically. Batten strips of wood must be used, however, to preserve the look of historic materials. If used like normal siding, it must have a reveal of no more than 4.25 inches.

Rules for Parking

1. Parking in front yards should be avoided.
2. If parking is located in front yards, it should be confined to a tandem (single row of vehicles) arrangement.
3. If street parking is not feasible, access through alleys is preferable to adding curb cuts or to allowing front yard parking.

Rules for New Building Construction

New buildings constructed in historic areas should be compatible with the existing historic buildings and sensitive to the patterns of the environment where they will be placed. The use of similar materials can help in developing continuity...A new building's form and its placement on its lot help determine the compatibility of the building...The

form of the houses is also rectangular or irregular with the narrow sides facing the street. This development pattern should be respected if new buildings are built in the neighborhood. Also, the consistent setbacks of the buildings in the neighborhood create a visual order, help to define public and private space, provide privacy for the residents, and permit landscaping in front of a building.

O. Setbacks and Placement on the Lot

1. Maintain the historic façade lines of streetscapes by locating the front walls of new buildings in the same plane as those of adjacent buildings. If existing setbacks vary, a new building's setback shall respect those of adjacent buildings.
2. Do not violate the existing setback pattern by placing new buildings in front of or behind historic buildings on the street.
3. Do not place new buildings at odd angles to the street.
4. Side yard setbacks for new buildings shall be consistent with those of existing historic buildings, so gaps are not left in the streetscape.

P. Scale and Massing

1. Relate the size and proportions of new structures to the scale of adjacent buildings.
2. Break up uninteresting boxlike forms into smaller varied masses like those found on existing buildings by the use of bays, extended front porches, and roof shapes.
3. New buildings must reinforce the scale of the neighborhood by their height, width, and massing.
4. New buildings must be designed with a mix of wall areas with door and window elements in the façade like those found on existing buildings.
5. Roof shapes must relate to the existing buildings, as must roof coverings.

Q. Height of Foundation and Stories

1. Avoid new construction that varies in height, so that new buildings are equal to the average height of existing buildings.
2. The foundation height of new buildings shall duplicate that of adjacent buildings, or be an average of adjacent building foundation heights.
3. For new buildings with more than one story, beltcourses or other suggestions of divisions between stories that suggest the beginnings of additional stories shall be used.
4. The eave lines of new buildings shall conform to those of adjacent properties.

R. Materials

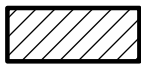
1. The materials used for new building exteriors shall be consistent with materials already found on buildings on the street.
2. Artificial siding and split face block are not acceptable materials for use on new buildings.

S. Features

1. Design new buildings with a strong sense of a front entry.
2. Use front porches in new designs, and make the size of those porches useable for sitting. New porches shall be at least eight feet deep, shall contain design features such as columns and balustrades that introduce architectural diversity, and shall extend across more than half of the front façade.



12-B-25-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



218 Canler Ave. 37921
Mechanicsville H

Original Print Date: 12/5/2025
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Cory King, Kingsize Homes LLC

