

Meeting: 7/16/2026
Applicant: Jason Strange, Young Home Buyers
Owner: Highland Haven Orange LLC

Property Information

Location: 1726 Washington Ave. **Parcel ID:** 82 P G 007
District: Edgewood-Park City H
Zoning: RN-2 (Single-Family Residential Neighborhood)
Description: Craftsman, c.1910

Two-story frame residence with a hipped roof clad in asphalt shingles, an exterior of wood lap siding, and a front-gable roof centered on the façade. Double-hung, 3/1 wood windows.

Staff Recommendation

Staff recommends approval of Certificate 7-A-26-HZ, subject to the following conditions: 1) all wood lap siding to be replaced in-kind, with boards matching the original material, dimension, detail, and profile; 2) additional details on porch roof repair and reconstruction to be submitted to staff for approval (with any major repair or replacement to be delegated to the HZC for review), with new shingles to be compatible in style, scale, and material with the house; 3) additional information on rear deck roof's materials and pitch to be submitted to staff for review; 4) deck balusters to be set into the top and bottom rails.

Description of Work

Level II Major Repair or Replacement

Exterior rehabilitation, to include after-the-fact review of roof replacement, repair of existing windows, and siding repair. Applicant proposes to repair current wood siding by patching in LP Smart Siding brand composite siding boards with existing wood. New rear deck: deck measures 8' deep by 10' wide and will feature a shed roof above.

Comments

1. 1726 Washington Ave is a contributing resource to the Park City National Register Historic District and the Edgewood-Park City local overlay.
2. Review of the roof replacement is after-the-fact, though replacement of an existing asphalt shingle roof with new asphalt shingles is appropriate within the design guidelines. Any additional roof work should retain the wood rafter tails, fascia boards, and brackets.
3. Repair of the existing 3/1, double-hung wood windows meets the design guidelines. Should any window elements require replacement, the applicant should follow up with staff regarding further reviews.

4. The wood lap siding is deteriorated or broken in places. Guidelines recommend repairing and replacing siding materials “with components that match the original in material, dimension, detail, profile, and texture,” and allow for smooth-finished fiber cement boards as a replacement only when the wood has deteriorated beyond repair. Much of the existing wood siding is intact, and LP Smart Siding may not replicate the dimension, detail, and profile of the existing wood. Patching in LP Smart Siding boards with existing wood siding is not appropriate within the design guidelines; any rotten/missing wood siding should be replaced with wood boards.

5. The application proposes to “reinforce framing of front deck cover,” and “reuse scallop siding on the gable.” Additional information is necessary what the “framing reinforcement” entails. If the scope of work involved repair of existing elements or replacement in-kind, staff could approve as a Level 1.

The National Register nomination states the scallop-pattern siding in the gable field is asphalt shingles, which is a non-historic modification. Guidelines recommend replacing missing wood features with designs compatible in style, scale, and size. Smaller wood shingles reflective of similar houses in the neighborhood, or lap siding to match the house, would be more appropriate than the oversized asphalt shingle scallop siding.

6. A new wood deck in the dimensions and materials proposed meets the design guidelines. The deck railing should feature balusters set into the top and bottom rails. A new shed roof on the rear elevation is appropriate within the guidelines, though the applicant should submit additional details on the roof’s pitch and materials to staff for review.

Applicable Design Guidelines

Edgewood-Park City Design Guidelines, adopted by the Knoxville City Council on May 27, 2025.

Wood Features and Siding

1. Repair deteriorated wood elements as character-defining features.

a. Repair deteriorated wood surfaces by patching, consolidating, splicing, or otherwise reinforcing deteriorated sections.

b. Match repairs to original materials in appearance, profile, texture, and finish.

c. When repairing deteriorated components, retain unique details such as beaded edges, bevels, or fish scale patterns.

2. Maintain compatibility when replacing wood features that are deteriorated beyond repair.

a. Repair or replace, only as needed, materials and features with components that match the original in material, dimension, detail, profile, and texture.

b. Smooth-finished fiber cement board may be utilized as a replacement for wood siding only when it has deteriorated beyond repair and for any other type of siding, as long as the profile and exposure (visible width) is historically appropriate.

c. Existing vinyl or aluminum siding may be replaced in-kind as long as no further architectural detailing is covered or removed.

d. Utilize a replacement siding that matches the profile and exposure of any original existing siding or matches what is documented to be the original. In the absence of appropriate documentation, install siding with an exposure to match that of similar buildings in the district.

e. Replace missing wood features with elements based on historical, photographic, or physical evidence of the original feature. In the absence of such evidence, use a design that is compatible with the building in style, scale, and size.

Porches

4. Design new porches to be compatible with the character of the historic structure.

c. Design porches to be added to the rear of secondary elevations or on the rear elevation to be compatible with the building in terms of overall design and scale, as well as material and detail.

d. Design new balusters to be set into the top and bottom rails instead of overlapping them.

Windows

1. Retain the original window openings.

a. Retain the location, pattern, and size of original window openings.

b. It is not appropriate to reduce or enlarge original window openings.

c. It is not appropriate to close in original window openings.

2. Preserve original windows and associated features.

a. Retain early or original windows, including all functional and decorative elements such as the sash, hardware, and casing, as well as any decorative moldings or hoods.



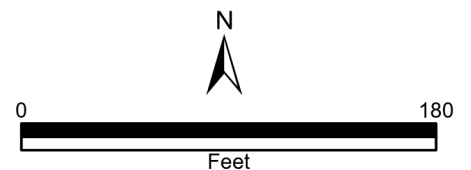
7-A-26-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



1726 Washington Ave. 37917
 Edgewood-Park City H

Original Print Date: 6/29/2026
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Jason Strange, Young Home Buyers





Submitted
by applicant



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by applicant

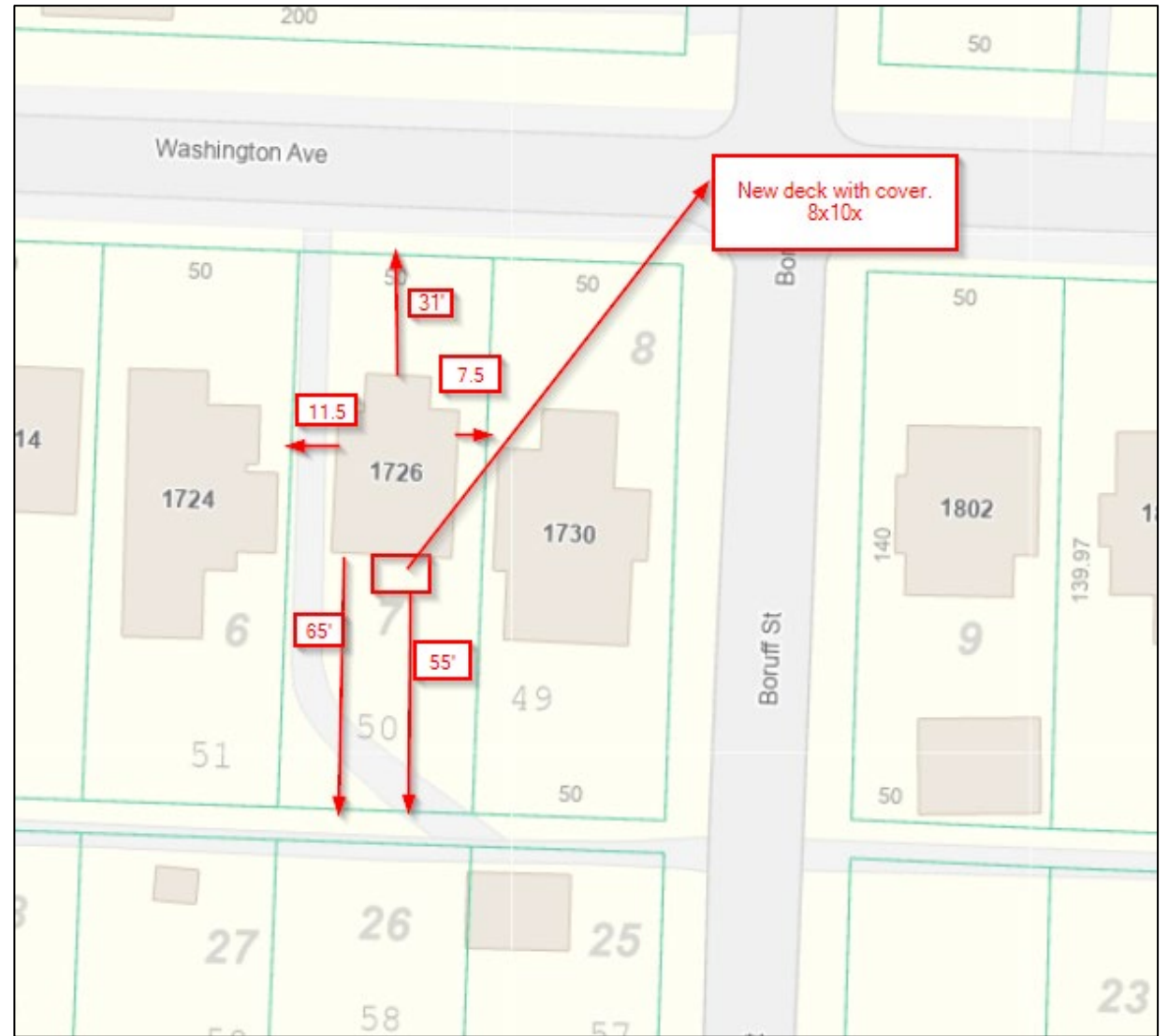
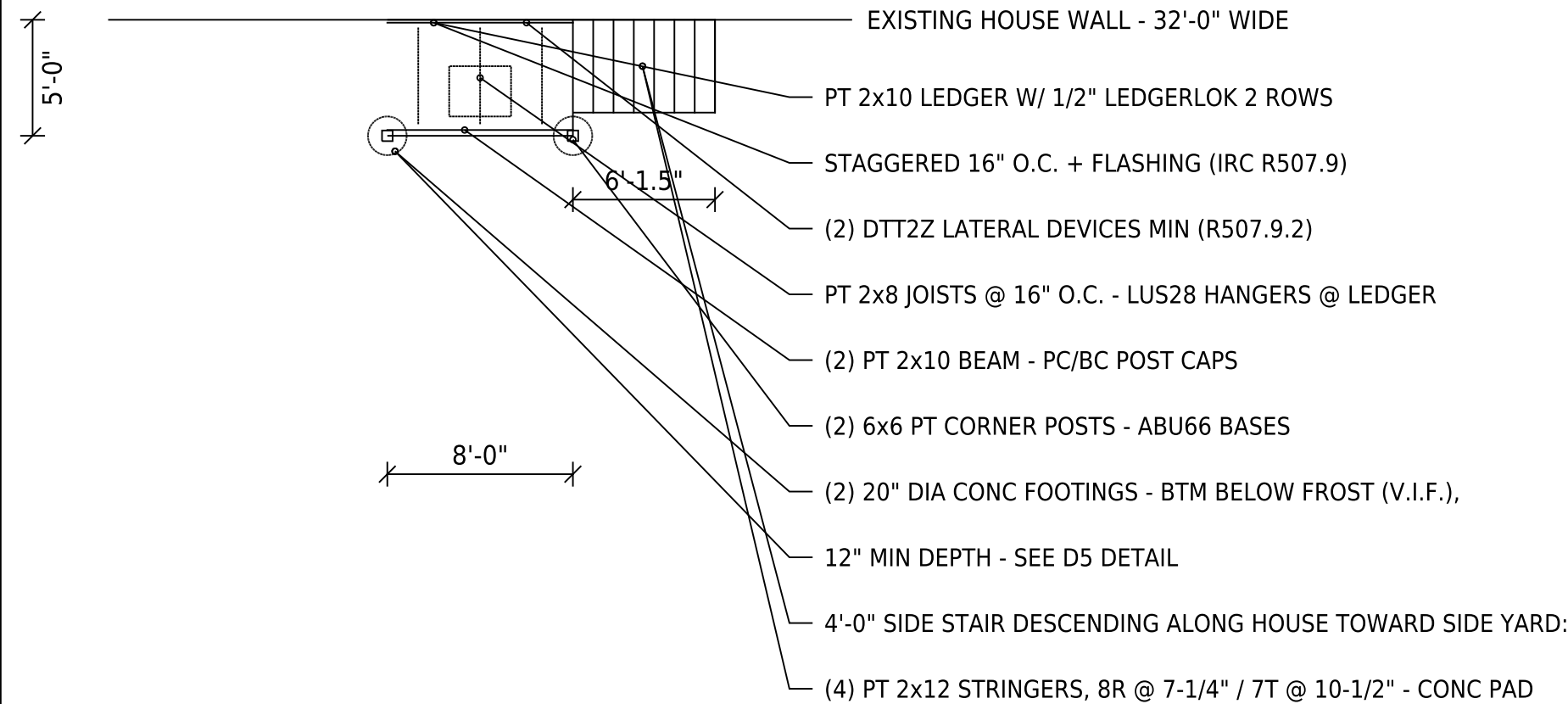
Submitted
by applicant



Photo by
staff

DECK FRAMING PLAN

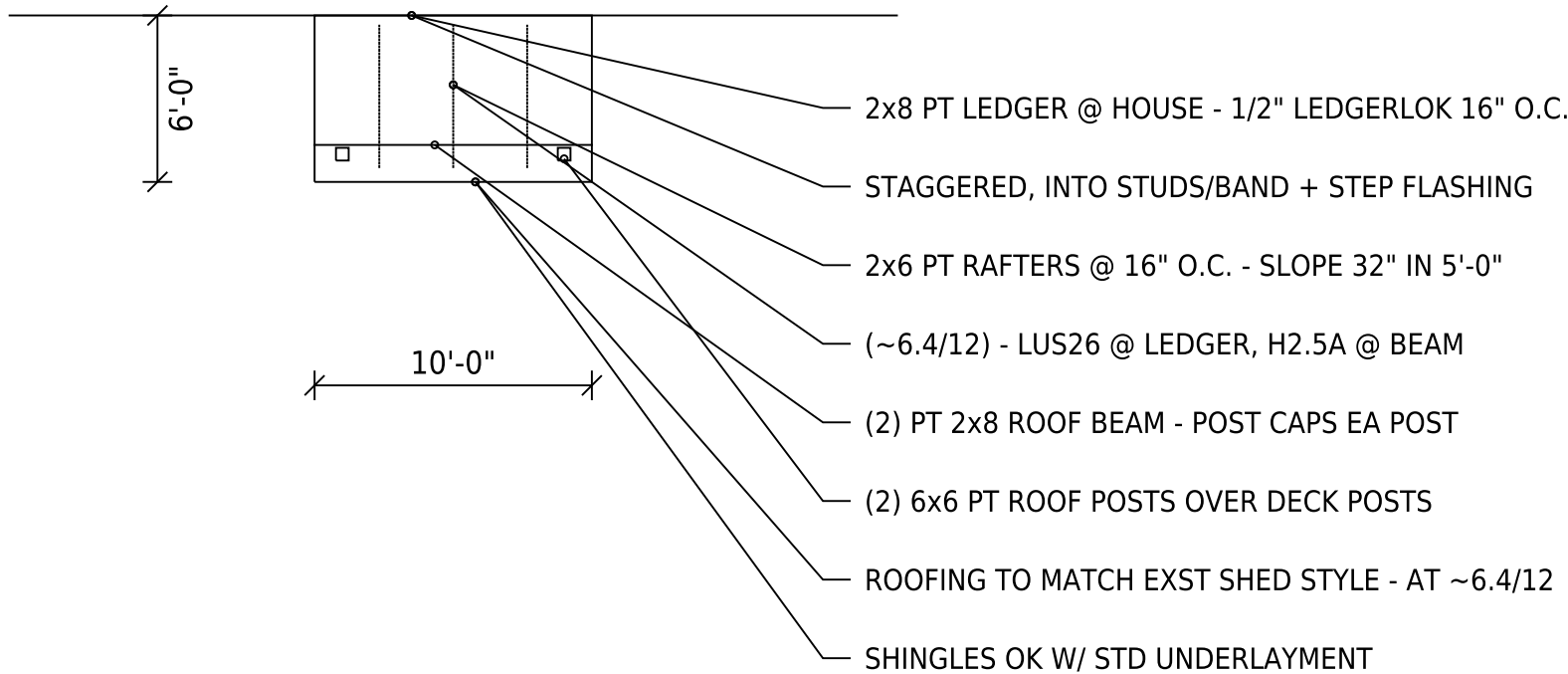


FRAMING NOTES

- 1. ALL LUMBER PT SYP #2 (GROUND CONTACT AT POSTS).
- 2. ALL HARDWARE/FASTENERS HDG OR SS (IRC R507.2.3).
- 3. DECKING: 5/4 PT OR COMPOSITE PERPENDICULAR TO JOISTS.
- 4. GUARDS ALL OPEN SIDES - FLOOR 58" ABOVE GRADE (R312).
- 5. ROOF POSTS ALIGN OVER DECK POSTS - CONTINUOUS LOAD PATH TO FOOTINGS. SEE D2.
- 6. DESIGN LOADS: DECK 40 PSF LL / 10 PSF DL,
ROOF 20 PSF LL / 10 PSF DL.
- 7. FIELD VERIFY HOUSE BAND CONDITION BEFORE LEDGER ATTACHMENT - IF DETERIORATED, USE FREESTANDING DESIGN W/ ADD'L POST ROW AT HOUSE.

D1 | DECK FRAMING PLAN

ROOF FRAMING PLAN - SHED COVER (~6.4/12)

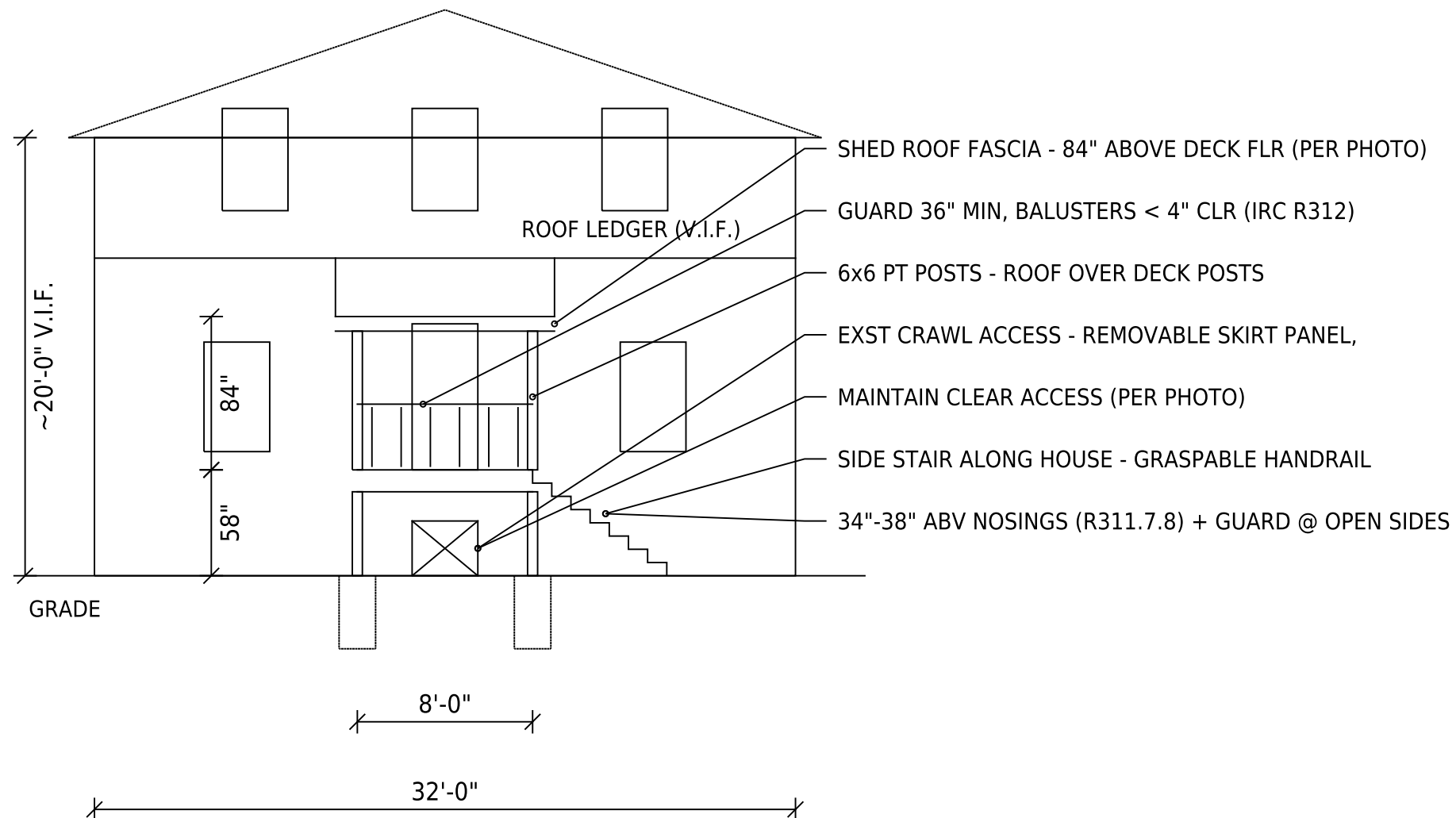


ROOF NOTES

1. ROOF GEOMETRY PER OWNER PHOTO: 116" ABOVE DECK FLOOR @ HOUSE, 84" @ FRONT BEAM = 32" DROP / 5'-0" = ~6.4/12 PITCH. HEADROOM @ FRONT 7'-0" - OK.
2. 7/16" OSB OR 1x SKIP TO MATCH EXST, SYN FELT, DRIP EDGE ALL EDGES.
3. FLASH ROOF-TO-WALL W/ STEP + COUNTERFLASHING.
4. VERIFY LEDGER LANDS ON SOLID FRAMING BELOW 2ND FLOOR WINDOWS - ADJUST HT AS REQ'D (V.I.F.).

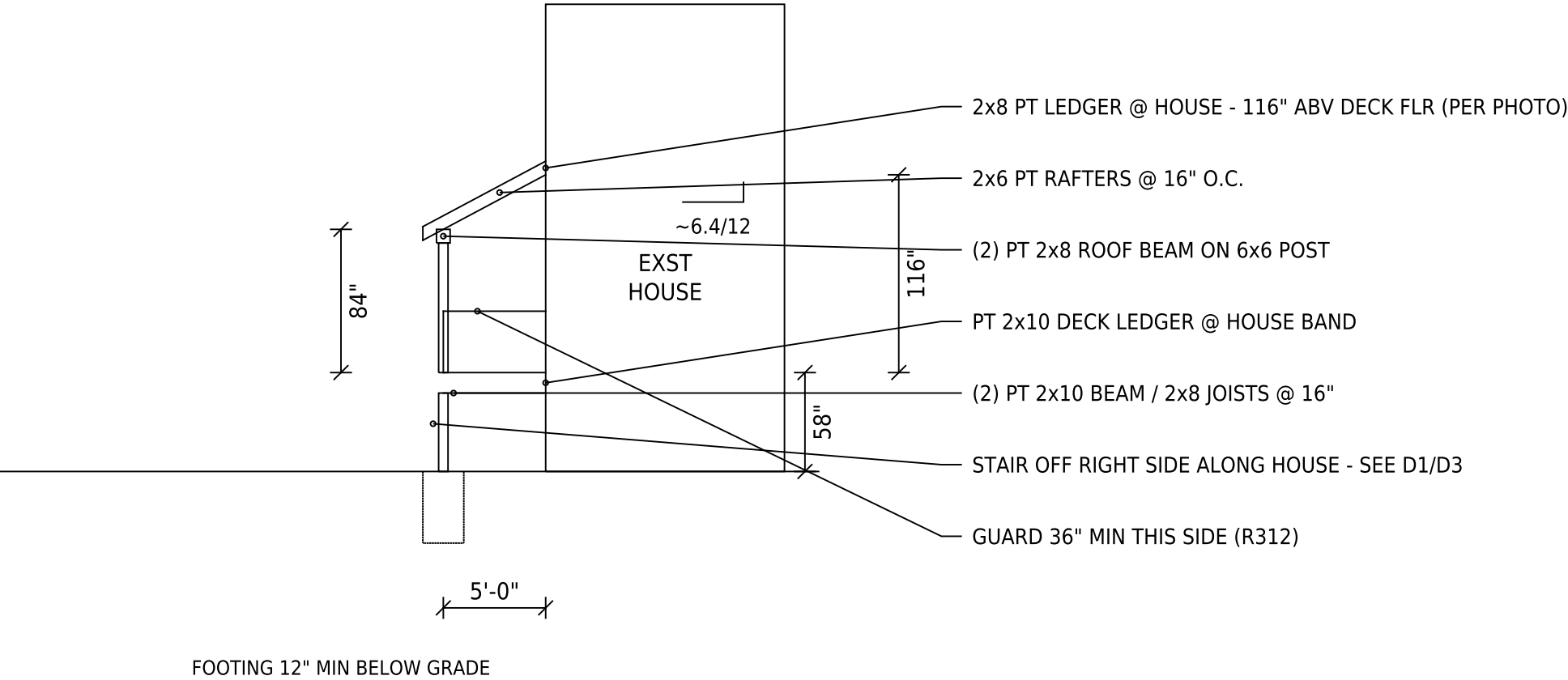
FRONT ELEVATION

EXST HOUSE - HEIGHTS SCALED FROM PHOTO (V.I.F.)



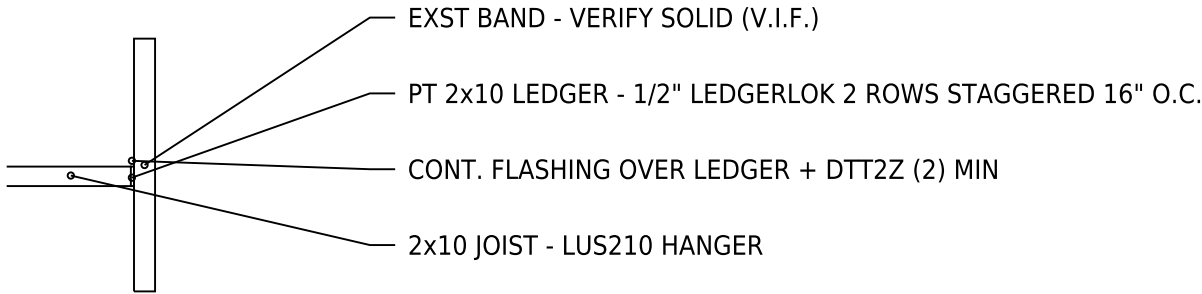
D3 | FRONT ELEVATION (FACING HOUSE REAR)

SIDE ELEVATION

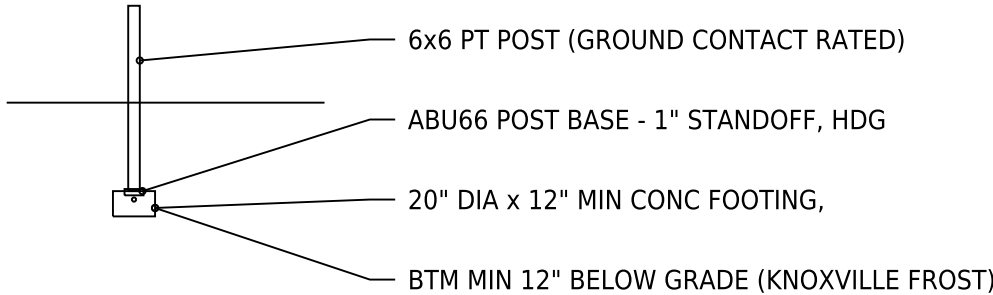


D4 | SIDE ELEVATION - SHED PROFILE

DECK LEDGER DETAIL



POST / FOOTING DETAIL



GENERAL NOTES

- 1. SITE: 1726 WASHINGTON AVE, KNOXVILLE TN - CITY OF KNOXVILLE JURISDICTION. CODE: 2024 IRC (ADOPTED EFF 1/1/2025) W/ CITY AMENDMENTS. FROST DEPTH 12".
- 2. DECK PER IRC R507 + AWC DCA6 PRACTICES.
- 3. GUARDS: 36" MIN HT, OPENINGS < 4" SPHERE (R312).
- 4. STAIRS: 7-3/4" MAX RISE, 10" MIN TREAD (LOCAL AMDS MAY DIFFER), GRASPABLE HANDRAIL 34"-38" (R311.7).
- 5. ALL FASTENERS/HARDWARE HDG OR SS FOR PT LUMBER.
- 6. ROOF STYLE/COVERING TO MATCH EXST SHED PER OWNER PHOTO.
- 7. DIMS 58"/84"/116" FROM OWNER PHOTO - FIELD VERIFY.
- 8. MAINTAIN EXST CRAWLSPACE ACCESS CENTERED BELOW DECK - REMOVABLE/HINGED SKIRT PANEL, NO FIXED FRAMING IN FRONT.
- 9. HOUSE CONDITION APPEARS DISTRESSED IN PHOTO - VERIFY BAND, SHEATHING & STUDS SOUND BEFORE LEDGER ATTACHMENT; OTHERWISE BUILD FREESTANDING (ADD POST ROW AT HOUSE).

LUMBER SCHEDULE

MEMBER	SIZE	SPACING	SPEC
DECK LEDGER	2x10	CONT.	SYP #2 PT
DECK JOISTS	2x8	16" O.C.	SYP #2 PT
DECK BEAM	(2) 2x10	-	SYP #2 PT
POSTS (DECK+ROOF)	6x6	(2) CORNERS	PT GC
ROOF LEDGER	2x8	CONT.	SYP #2 PT
RAFTERS	2x6	16" O.C.	SYP #2 PT
ROOF BEAM	(2) 2x8	-	SYP #2 PT
STRINGERS	2x12	(4) @ 4' STAIR	SYP #2 PT
GUARD POSTS	4x4	6'-0" O.C. MAX	PT