

**Meeting:** 7/16/2026  
**Applicant:** Allison Peek  
**Owner:** The Chic Peek LLC

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## Property Information

**Location:** 720 Scenic Dr. **Parcel ID:** 107 M E 038  
**District:** Scenic Drive NC  
**Zoning:** RN-1 (Single-Family Residential Neighborhood)  
**Description:** Neoclassical, 1929

Two-story frame residence with a side-gable roof clad in asphalt shingles, an exterior of brick veneer, and a centrally-located gabled portico with partial cornice returns.

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## Staff Recommendation

Staff recommends all alternatives to new front yard parking be exhausted prior to approval of the new circular driveway; documentation of a rear yard branch turnaround's viability (via an accurately scaled and dimensioned site plan and site photos) could be submitted to staff for review. Staff recommends denial of a circular driveway.

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## Description of Work

Level II Major Repair or Replacement

New circular driveway in front yard. Driveway extends south from existing side driveway and wraps around front yard, measuring approximately 13' wide and set 8'-6" from the house's façade at the closest point.

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## Comments

1. 720 Scenic Drive is a contributing resource to the Scenic Drive Neighborhood Conservation overlay.
2. The property currently features an approximately 15' wide driveway on the north (left) side of the property, that extends approximately 110' along the left side of the house, towards an existing driveway. City inspectors visited the site in early May after gravel was poured in the front yard to prepare for the circular driveway, without a permit or COA.
3. The design guidelines state that "parking pads and circular driveways should not be placed in the front yard except in extraordinary cases where a driveway to the rear of a property is impractical or unsafe." There is a driveway and sufficient parking, which is not near any other major intersections on Scenic Drive, and the property is relatively flat.
4. Placing a new circular driveway in the front of the house will result in the majority of the front yard serving as paved parking, which detracts from the "lawns, plantings, and semi-wooded areas that are essential to maintaining" the overlay. The new circular driveway will be close to Scenic Drive and very visible from the street. A new circular

driveway in the front yard does not meet the guidelines.

5. The application was postponed by the HZC at the June 2026 meeting to allow for further input from City Engineering. Scenic Drive is classified as a minor collector, and the subdivision regulations require collector streets to have a vehicular turnaround on the lot in order to eliminate backing out into the street. Engineering has stated a turnaround is required and the circular driveway would satisfy the requirement. The Zoning code prohibits front yard parking, so the only other option in the front yard would be a branch-type turnaround, which would be similar to a circular driveway in terms of covering the yard with pavement.

6. If space allows, the applicant could also pursue a branch-type turnaround behind the house, to align with the guidelines which discourage front yard parking and circular driveways. The site plan already shows an existing branch-type turnaround between the house and garage. All alternatives should be explored prior to approving a new circular driveway, which does not meet the guidelines.

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## **Applicable Design Guidelines**

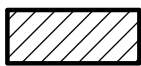
Scenic Drive NC-1 Design Guidelines, adopted by the Knoxville City Council on September 26, 2006.

2. Parking pads and circular driveways should not be placed in the front yard except in extraordinary cases where a driveway to the rear of the property is impractical or unsafe. In those cases, a small parking area may be constructed pervious paving material is encouraged and landscaping should conceal the parking area from the street.

6. When driveways are constructed, they should be as narrow as possible.



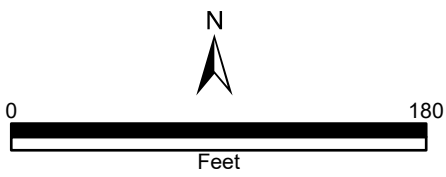
**6-E-26-HZ**  
**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

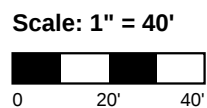


720 Scenic Dr. 37917  
Scenic Drive NC

Original Print Date: 6/2/2026  
Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Allison Peek





**Property Info**  
APN: 107ME038  
Zoning: --  
Lot Size: 0.41 acres



April 2026



June 2026



April 2026