



**2-D-26-HZ**  
**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**



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1511 Fairmont Blvd. 37917  
Fairmont-Emoriland NC

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Original Print Date: 1/27/2026  
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Elizabeth Goodson

  
  
 Feet



# Staff Report

Knoxville Historic Zoning Commission

File Number: 2-D-26-HZ

**Meeting:** 2/19/2026  
**Applicant:** Elizabeth Goodson  
**Owner:** Bryan Dove

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## Property Information

**Location:** 1511 Fairmont Blvd. **Parcel ID:** 69 M B 035  
**District:** Fairmont-Emoriland NC  
**Zoning:** RN-2 (Single-Family Residential Neighborhood)  
**Description:** Tudor Revival, c. 1929

One and one-half story frame with brick veneer wall covering and dormers with stuccoed surface and applied half-timbering. Steeply pitched side gable roof with shed roofed front and rear dormers, gabled dormer, hipped roof porte cochere and asphalt shingle roof covering. Gabled portico with stucco and half-timbering, marking front entry and supported by brick posts and tripled square wood posts. Porte cochere supported by brick piers and tripled wood posts. Sun porch on west elevation. Exterior front brick chimney. Brick foundation.

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## Staff Recommendation

Staff recommends approval of Certificate 2-D-26-HZ, subject to the following condition: 1) the final site plan to meet City Engineering standards and applicable zoning requirements, with minor revisions to be approved by staff.

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## Description of Work

Level II Construction of Addition or Outbuilding

New secondary structure. Pavillion measures 23' wide by 19' deep and will be placed behind the house in the east side yard, 30' from the rear lot line and 60' from the eastern side lot line. The pavilion features a hipped roof supported by paired 8" wood posts that rise from a stone knee wall. It features a stone fireplace and chimney.

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## Comments

1. 1511 Fairmont Avenue is a contributing resource to the local overlay. The landscaping and paving scopes of work depicted in the application materials do not require review within a NC (Neighborhood Conservation Overlay).
  2. The pavilion meets design guidelines for placement, and its scale is compatible with the primary house.
  3. The stone cladding, asphalt shingles, and wood posts align with the material recommendations for a Tudor Revival house from the design guidelines. The paired wood posts are comparable with the supports for the existing stoop and carport.
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## Applicable Design Guidelines

Fairmont Park Neighborhood Conservation District Design Guidelines, adopted by the Knoxville City Council on November 26, 2002.

A. New Development and Additions

1. The design of additions and accessory buildings should be consistent with the character of the main structure.
9. Accessory buildings should be located at least fifteen feet to the rear of the front facade line.

C. Materials

3. Board and batten and materials noted on the matrix can be used on accessory buildings located in the side or rear yards.
4. The following wall cladding materials should not be used on primary buildings or on accessory structures visible from Fairmont or Emoriland Boulevards:
  - T-111 or similar products.
  - Exposed concrete blocks

D. Access and Parking

4. If driveways are built they should be 9-12' wide. Separate tire strips of aggregate exposed concrete are encouraged.
5. Parking pads should not be placed in the front yard.

HIP ROOF | PITCH 7/12  
 6 DOUBLE (12) 8"x8" POSTS  
 MATCH EXISTING POST STYLE ON HOUSE  
 FREESTANDING POSTS  
 WRAPPED IN MATCHING VENEER  
 2"x8" RAFTERS  
 TONGUE AND GROOVE CEILING  
 EXPOSED RAFTERS

3'x6' METAL ROOF  
 WOOD STORAGE RACK  
 SEE P-3 FOR REFERENCE IMAGE

6' WOOD FIREPLACE  
 SUPPORT POST  
 HIDDEN IN FIREPLACE WALL

3'x3' OPEN WOOD STORAGE  
 ON BOTH SIDES

VENEER EXISTING WALL

23' L.F. STEPPING  
 STONE PATH

8' L.F. STEPPING STONE PATH  
 ORIENT IN RELATION TO  
 EXISTING STAIRS IN SLOPE

IMPLEMENT BAMBOO ROOT  
 MANAGEMENT BARRIER  
 ALONG EDGE OF WORK  
 TBD BY INSTALLER

GRILL WRAP AROUND ISLAND  
 WITH SINK  
 FIT GRILL SPACE  
 TO CLIENTS EXISTING GRILL

(3) 4' STEPS  
 TREAD: 1'  
 RISE: 8"

REPLACE EXISTING STAIRS  
 (8) 4' STEPS  
 TREAD: 1'  
 RISE: 8"

6'x8' GREENHOUSE  
 RAISED TO EXISTING  
 PATIO ELEVATION  
 REFER TO P-3 FOR  
 REFERENCE IMAGE

MATERIAL LIST:  
 PAVERFIELD: UNILOCK | BEACON HILL FLAGSTONE | BIRCH  
 PAVER BORDER: UNILOCK | HOLLANDSTONE PREMIER | MOCHA BROWN  
 WALL VENEER: UNILOCK | BEACON HILL COPING | OAT BEIGE  
 WALL VENEER: STONEHOUSE SOLUTIONS | EUROPEAN COBBLESTONE  
 COUNTER: NATURAL STONE  
 STEP TREAD: NATURAL STONE  
 \*ALL MATERIALS TO BE REVIEWED BY OWNER. ANY  
 SUBSTITUTIONS TO BE APPROVED BY OWNER OR OWNER  
 REPRESENTATIVE.



UNILOCK | HOLLANDSTONE  
 PREMIER | MOCHA BROWN



UNILOCK | BEACON HILL  
 COPING | OAT BEIGE



STONEHOUSE SOLUTIONS |  
 EUROPEAN COBBLESTONE



UNILOCK | BEACON HILL  
 COPING | OAT BEIGE

1717 S.F. PAVERFIELD  
 327 S.F. PAVER BORDER  
 \*TOTAL AREA: 1935 S.F.

548 S.F. PAVERFIELD  
 65 S.F. PAVER BORDER  
 \*TOTAL AREA: 615 S.F.

35 S.F. PAVERFIELD  
 18 S.F. PAVER BORDER  
 \*TOTAL AREA: 53 S.F.  
 \*ELEVATION: TBD BY ENGINEERING

(1) 5' STEP  
 TREAD: 1'  
 RISE: 8"

35 S.F. PAVERFIELD  
 18 S.F. PAVER BORDER  
 \*TOTAL AREA: 53 S.F.  
 STEP LANDING

10'x13' EXISTING PATIO  
 INSTALL 'COVER YOUR PERGOLA'  
 SYSTEM

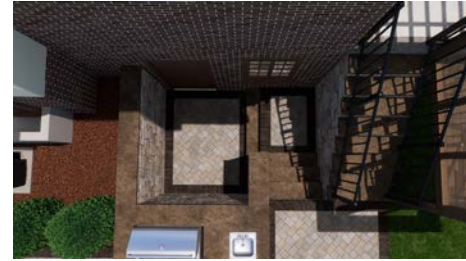
EXISTING RESIDENCE

EXISTING CONCRETE DRIVE

REMOVE EXISTING WALL  
 ALONG NEW DRIVE

EXISTING CONCRETE DRIVE

MATCH EXISTING  
 ELEVATION OF DRIVEWAY  
 AT CONNECTION POINTS



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CAREX  
 OUTDOOR  
 DESIGNS



**DOVE RESIDENCE**  
 1511 FAIRMONT BLVD,  
 KNOXVILLE, TN 37917  
**HARDSCAPE PLAN**

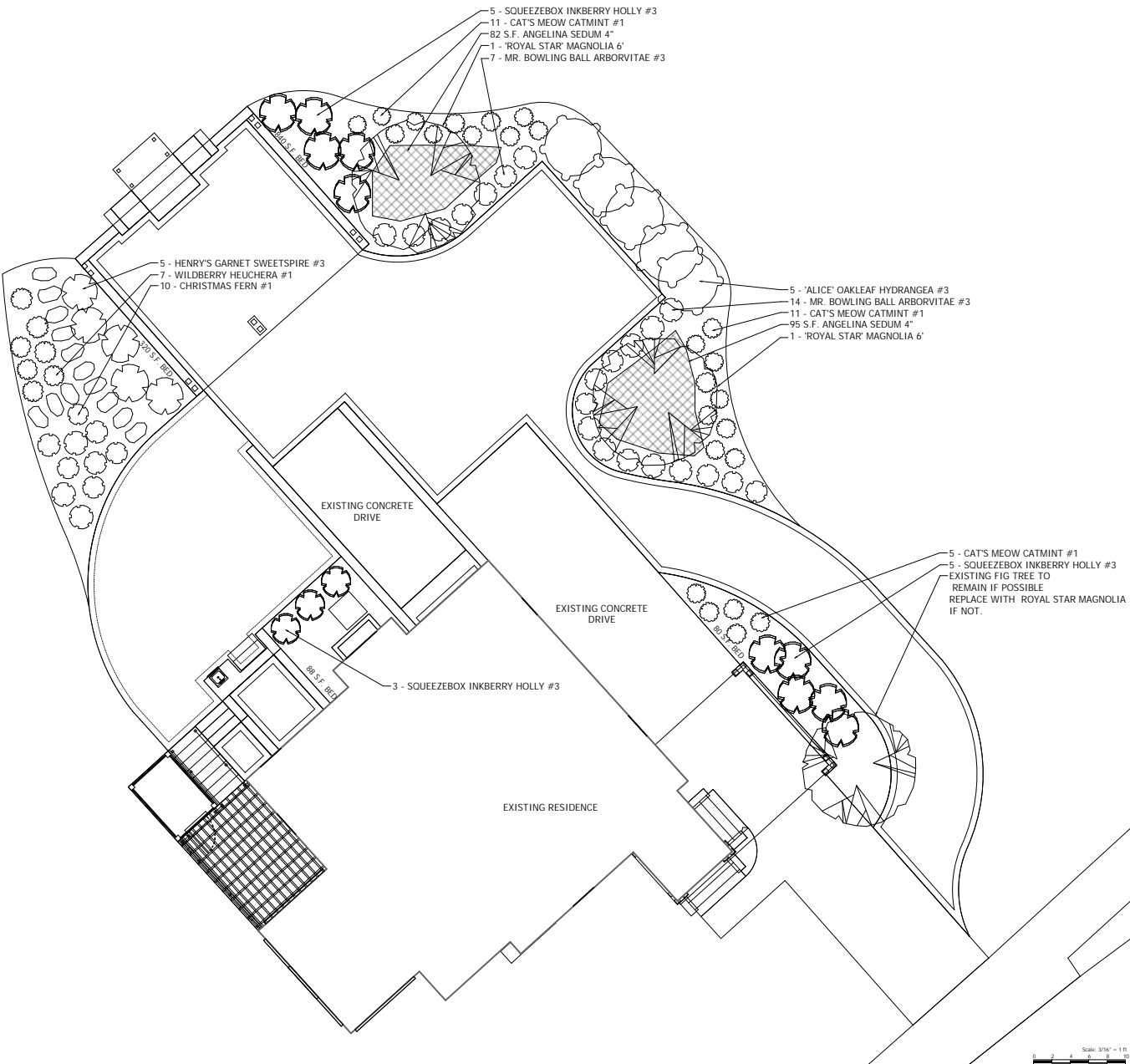


SCALE: 1/8" = 1'-0"

DATE: 10.29.25  
 DRAWN BY: C.M.

REV	DATE	BY

**P-1**



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Carex **OUTDOOR DESIGNS**



**DOVE RESIDENCE**  
 1511 FAIRMONT BLVD,  
 KNOXVILLE, TN 37917  
**LANDSCAPE PLAN**



SCALE: 1/8" = 1'-0"

DATE: 10.29.25  
 DRAWN BY: C.M.

REV	DATE	BY

**P-2**



**GENERAL PLANTING NOTES**

**PLANT MATERIAL**

All plant material planted shall be guaranteed by the Contractor for a minimum of six (6) months, and begins at the time of acceptance by the Designer or Owner. Any plant or sodding not found in a healthy growing condition at the end of the guarantee period shall be removed from the site and replaced within 10 days.

**PROTECTION**

*Protection of Existing Structures:* All existing buildings, walks, walls, paving, piping (and other items of construction) and planting (trees, shrubs, ground covers, etc.) already completed or established shall be protected from damage by the Contractor. All damage resulting from negligence shall be repaired or replaced to the satisfaction of the Designer or Owner.

*Protection of Existing Plant Materials:* The Contractor shall be responsible for all unauthorized cutting or damage to existing trees, shrubs, and ground covers caused by operation of equipment, stockpiling of materials, careless labor, etc. This shall include compaction by driving or parking inside the drip-line of trees or the spilling of oil, gasoline, or other deleterious materials within the drip-line of trees.

**MAINTENANCE**

*Plant Material Maintenance:* All plants and planting included under the Contract shall be maintained by watering, cultivating, spraying, and all other operations necessary to ensure a healthy condition by the Contractor until accepted by the Designer.

*Plant Grading:* Plant species and size shall conform to those indicated on the drawings.

Nomenclature shall conform to *Standardized Plant Names*, 1942 Edition. All plants not otherwise specified as being specimen, shall be excellent quality or better, as determined by the local plant industry. All plants shall be freshly dug, sound, healthy, vigorous, well branched and free of disease and insect eggs and larvae and shall have adequate root systems.

*Planting Soil:* Planting soil shall be fertile, friable without mixture of subsoil materials, and obtained from a well-drained, industry acceptable site. It shall be free from heavy clay, stones, lumps, plants, root or other foreign materials, or noxious grass (such as Torpedo, Bermuda or nut grass) and noxious weeds. The PH range shall be 5.0 to 7.0 inclusive. Soil conditioner is to be mixed into soil as shown on planting details. All planting beds are to grade away from any structure or building to ensure proper drainage.

**PLANTING PROCEDURES**

*Cleaning Up Before Commencing Work:* The Contractor shall clean-up work and planting areas of all rubbish or objectionable matter and it shall be removed from the surface of all plant beds. These materials shall not be mixed with the soil. Should this Contractor find conditions beneath the soil which will in any way adversely affect the plant growth, he shall immediately call it to the attention of the Owner. Failure to do so before planting shall make the corrective measure the responsibility of this Contractor.

underground construction, utilities or obstructions are encountered during the excavation of planting areas, or pits, alternate locations for the plant material shall be selected and approved by the Designer.

*Plant Material Layout:* It is suggested that Contractor stake tree or plant locations from the planting plans prior to digging pits, making any necessary adjustments.

*Tree Guying and Bracing:* Procedure shall be at the discretion of the Contractor in accordance with sound nursery practices and by the approval of Designer to insure stability and maintain plants in an upright position. See planting details for specific procedure for each plant requirement. Staking the trees is at the discretion of the Contractor, however any plants showing adverse growth at end of warranty period due to not staking will need to be replaced at Contractors cost.

*Mulching:* Provide a three (3) inch minimum layer of specified mulch over the entire area of each shrub bed, ground cover and vine bed and tree pit or as otherwise specified.

*Digging and Handling:* Protect roots or balls of plants at all times from sun and drying winds, excess water and freezing, as necessary until planting. No plants moved with a ball shall be planted if the ball is cracked or broken.

*Watering:* Water plants in thoroughly upon planting. Contractor is responsible for watering all plant material until project is complete.

**LAWN SODDING**

*Work:* Work consists of soil preparation, lawn bed preparation, and sodding complete, in strict accordance with the specifications and the applicable drawings, to produce a grass lawn acceptable to the Owner/Designer.

*Soil Preparation:* All areas that are to be sodded, shall be cleared of any rough grass, weeds, and debris, and the ground brought to a smooth and even grade.

*Fertilizer:* Fertilizer shall be a commercial type, 12-6-8, complying with local fertilizer laws and applied at a rate consistent with industry standards.

*Sodding:* The Contractor shall sod all the areas as designated on the drawings within the contract limits, unless specified otherwise. The sod shall meet all local specifications, absolutely true to variety type, and free from weeds, fungus, insects and disease of any kind. Each sod panel shall have sufficient root and soil base to assure proper sod growth. Sod panels shall be laid tightly together so as to make a solid sodded lawn area. Sod shall be laid uniformly against the edges of all buildings, paved and planted areas. Immediately following sod laying, the law areas shall be rolled with a lawn roller, and then thoroughly watered. After rolling it, in the opinion of the Designer, top-dressing and over-seeding may be necessary to fill the voids between the sod panels and to even out inconsistencies in the sod. For top-dressing, clean sand as approved by the Designer shall be uniformly spread over the entire surface of the sod and thoroughly watered in. During delivery, prior to and during the planting of the lawn areas, the sod panels shall at all times be protected from excessive drying and unnecessary exposure of the roots to the sun. Any sod damaged as noted shall not be used on the site.

**PLANTING DETAILS**

Refer to drawings.

**HARDSCAPING MATERIAL**

All materials to be installed according to manufactures specifications unless otherwise stipulated. Contractor to provide a minimum of one (1) year warranty on all hardscape construction, including but not limited to retaining walls, pavers, steps, raised patios and pool decks. Refer to manufacturer warranty on hardscape products. All hardscape construction to adhere to rules and regulations of ICPI and NCMCA. Any details are for general reference. Refer to local codes for information on railings, raised patio heights, etc.

**LIGHTING MATERIAL**

All materials to be installed according to manufactures specifications unless otherwise stipulated. Contractor to provide a minimum of one (1) year warranty on installation and parts. Refer to manufacturer warranty on product warranties. Project consists of low voltage LED lighting, either drop-in or solid state.

All wire gauges sized for proper installation voltage. Connections to be made with heat-shrink type connections. Owner to provide electrical outlet for transformer installation. If transformer is located on an interior wall Contractor will be responsible for hiding wires within conduit. Electrical conduit to be used where wire crosses bed edges, minimum of 12" sections. All lighting installed simultaneously with hardscapes should be within conduit in appropriate locations, i.e. under pavers, through walls etc.

**DRAINAGE MATERIAL**

All materials to be installed according to manufactures specifications unless otherwise stipulated. Contractor to provide a minimum of one (1) year warranty on installation and parts. Refer to manufacturer warranty on product warranties.

4" PVC pipe under all hardscape elements. 4" perforated corrugated black pipe for French drains behind walls, 4" schedule 200 pipe for downspout lines. White PVC gutter connections for standard gutters, regular pipe overlap for round gutters.

**IRRIGATION MATERIAL**

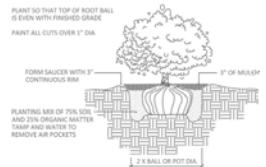
All materials to be installed according to manufactures specifications unless otherwise stipulated. Contractor to provide a minimum of one (1) year warranty on installation and parts. Refer to manufacturer warranty on product warranties. Warranty for lightning damage to controller is provided by manufacturer's stipulations.

System requires a minimum flow of 25 gallons per minute at a minimum of 50 pounds per square inch at point of connection. Owner to provide a 110 power source for the controller.

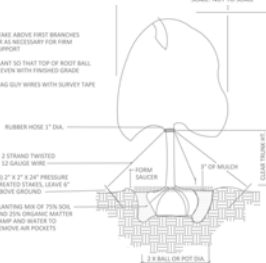
All irrigation construction to be done according to industry standards, including typical zone sizes, materials used and method of construction. All components to be Rainbird, Hunter or Toro. All valves installed within NDS valve boxes. Back flow to include unions for removal and blow-out valve for maintenance. No 'daisy chain' heads with poly tubing. Poly connections no longer than 6" in length.

**CLEAN UP**

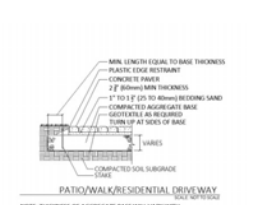
During Construction: Contractor is responsible for clean-up of all areas affected by construction. This includes roadways, driveways, parking lots, sidewalks, lawn and planting areas. No bulk materials to be stored on street unless approved by Owner. Any materials in roadways, driveways etc. shall be clearly visible with tape, cones etc. Any open holes left shall be covered with plywood or other safety device. All areas not constructed, planted or sodded shall receive grass seed and straw unless otherwise stipulated.



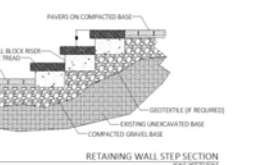
**SHRUB PLANTING**  
SCALE: NOT TO SCALE



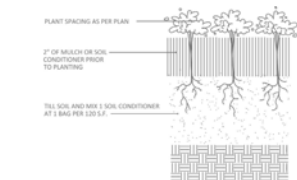
**TREE PLANTING - GUY WIRES**  
SCALE: NOT TO SCALE



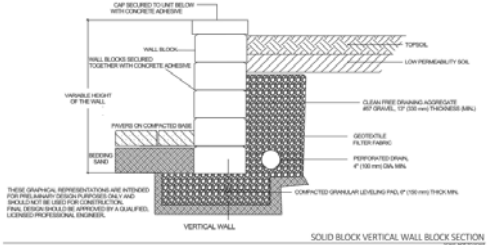
**PATIO/WALK/RESIDENTIAL DRIVEWAY**  
SCALE: NOT TO SCALE



**RETAINING WALL STEP SECTION**  
SCALE: NOT TO SCALE



**ANNUAL & GROUND COVER PLANTING**  
SCALE: NOT TO SCALE

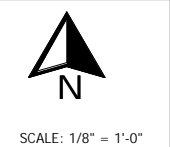


**SOLID BLOCK VERTICAL WALL BLOCK SECTION**  
SCALE: NOT TO SCALE

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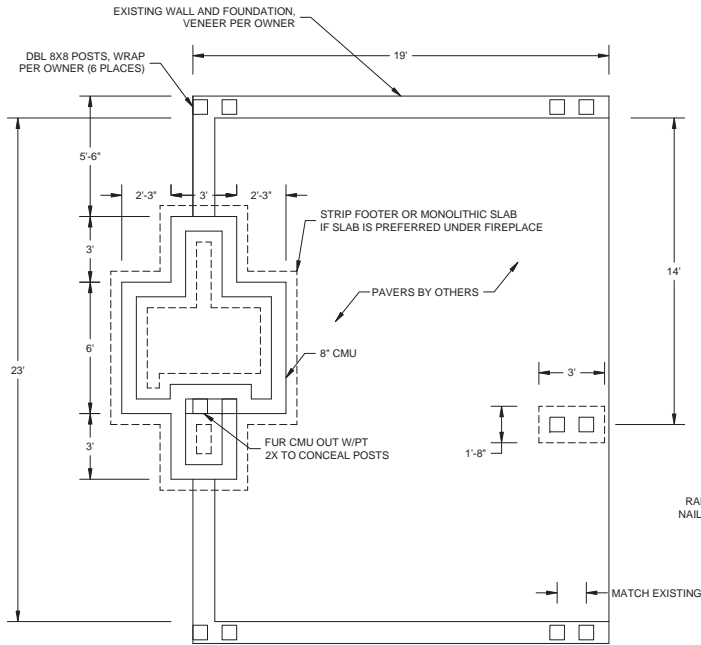


**DOVE RESIDENCE**  
1511 FAIRMONT BLVD,  
KNOXVILLE, TN 37917  
**NOTES AND DETAILS**

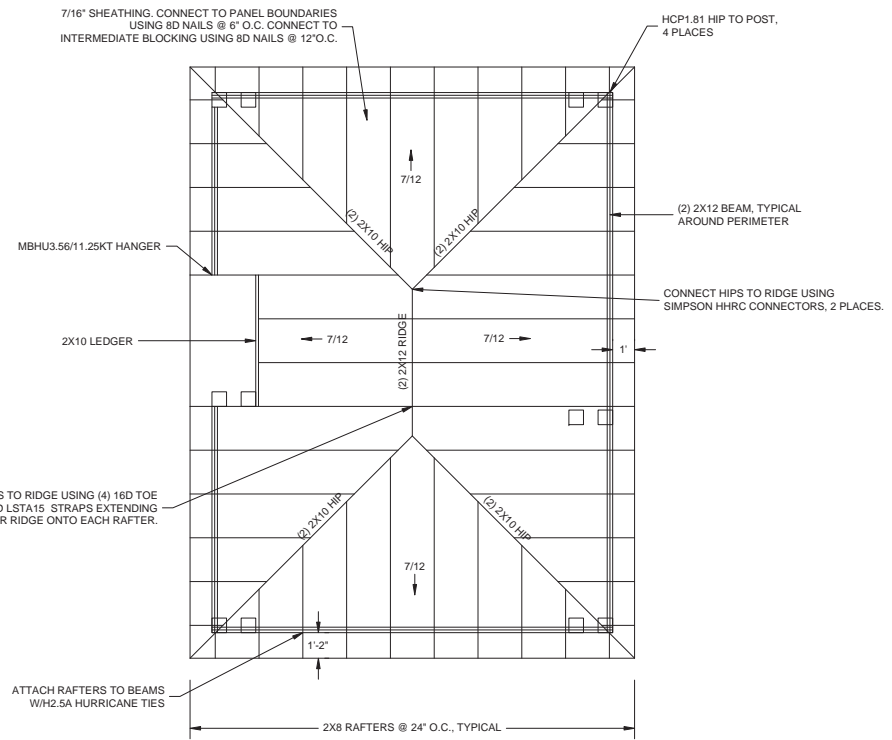


DATE: 10.29.25	DRAWN BY: C.M.	
REV	DATE	BY

**P-4**



1 FOUNDATION PLAN  
S1 SCALE: 3/8" = 1'-0"



2 ROOF FRAMING PLAN  
S1 SCALE: 3/8" = 1'-0"

- GENERAL NOTES:
1. CODE OF RECORD: 2024 INTERNATIONAL RESIDENTIAL CODE.
  2. SEE ARCH. DWGS FOR MORE INFORMATION.
  3. VERIFY ALL DIMENSIONS AND CONDITIONS.
  4. WORKER SAFETY DURING CONSTRUCTION IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

5. DESIGN LOADS:
- DEAD LOAD - WEIGHT OF MATERIALS
  - ROOF LIVE - 20 PSF
  - BASIC WIND SPEED: 105 MPH
  - GROUND SNOW LOAD - 10 PSF

- CONCRETE NOTES:
1. CONCRETE TO HAVE MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI.
  2. REBAR TO CONFORM TO ASTM A615 GR 60 DEFORMED BARS.

- SOIL NOTES:
1. ASSUMED BEARING CAPACITY = 2000 PSF.
  2. NEW FOOTERS TO BEAR ON VIRGIN, UNDISTURBED SOIL.

- WOOD NOTES:
1. WOOD TO BE SOUTHERN PINE GRADE 2 OR EQUAL.
  2. WOOD EXPOSED TO MOISTURE SHALL BE PRESSURE TREATED.
  3. ROOF SHEATHING TO BE BLOCKED ALONG PANEL EDGES.



SMITH ENGINEERING SOLUTIONS  
RYAN@SMITHEENGINEERINGSOLUTIONS.COM  
865-742-6738



LUCAS OUTDOOR DESIGNS

PAVLISON  
1511 FARMWOOD BLVD  
KNOXVILLE, TN 37917

CLIENT PROJECT

REVISION LOG

0 INITIAL ISSUE

DRAWN/CHECKED

RS

DATE

12/26/25

SCALE

AS NOTED

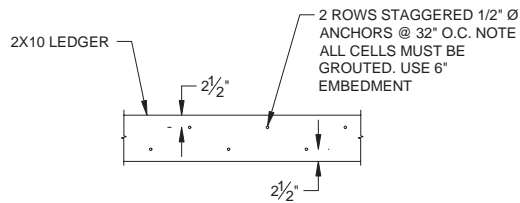
DESCRIPTION

PLANS, NOTES

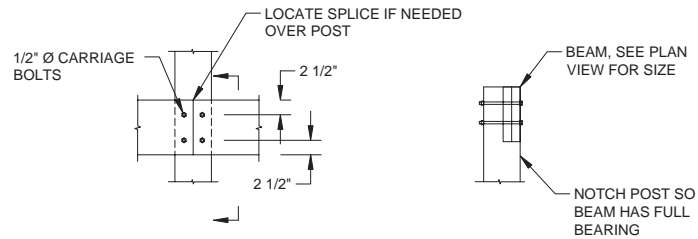
SES JOB # 3066

SHEET

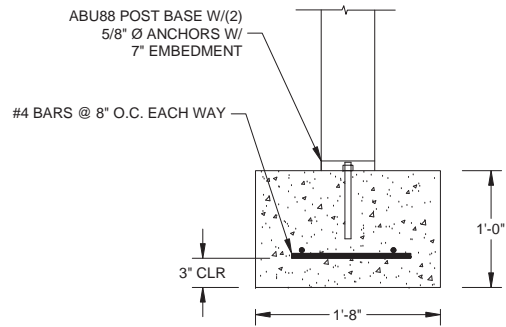
S1



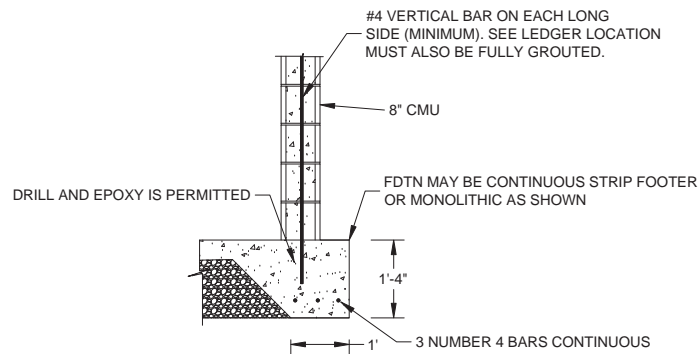
1  
S2 **LEDGER BOARD**  
SCALE: 1" = 1'-0"



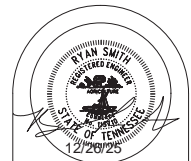
2  
S2 **BEAM TO POST**  
SCALE: 1" = 1'-0"



3  
S2 **FOUNDATION**  
SCALE: 2" = 1'-0"



4  
S2 **FIREPLACE FOUNDATION**  
SCALE: 2" = 1'-0"



Smith Engineering Solutions  
Ryan Smith, P.E. | Structural Engineer

SMITH ENGINEERING SOLUTIONS  
RYAN@SMITHEENGINEERING SOLUTIONS.COM  
865-742-8738

LUCAS OUTDOOR DESIGNS

PAVILION  
1511 FAIRMONT BLVD  
KNOXVILLE, TN 37917

CLIENT PROJECT

REVISION LOG

0 INITIAL ISSUE

DRAWN/CHECKED

RS

DATE

12/26/25

SCALE

AS NOTED

DESCRIPTION

DETAILS

SES JOB # 3066

SHEET

S2



Outlook

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## 1511 Fairmont Drive

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**From** elizabeth goodson <goodson140@gmail.com>

**Date** Wed 1/21/2026 3:39 PM

**To** Malynda Wollert <malynda.wollert@knoxplanning.org>

You don't often get email from goodson140@gmail.com. [Learn why this is important](#)

60' from the side

30' from the back