

Meeting: 9/18/2025
Applicant: John Holmes, Evian Partners
Owner: John Holmes, Evian Partners

Property Information

Location: 210 S. Seventeenth St. **Parcel ID** 94 N E 034
District: Ft. Sanders NC
Zoning: RN-5 (General Residential Neighborhood)
Description: Queen Anne, c.1910

Two-story, aluminum siding, wood trim, glass doors with wood mullions, transom over main door, bay window, latticed porch.

Description of Work

Level II Construction of Addition or Outbuilding, Major Repair or Replacement

Exterior rehabilitation scopes include removal of aluminum siding and installation of fiber cement lap siding, with a fiber cement diamond-pattern siding on the front gable field, corner boards, fascia, and soffits. Replacement of non-original front door with half-lite paneled door. Replacement of all existing windows (non-original), with in-kind profile, size, and window trim. Reestablishing windows that were previously enclosed. On the south side elevation, installation of two new windows, revised placement of second-story window, and removal of first-story window.

Removal of enclosed front porch. Reconstruction of original open air front porch with the same footprint as the existing porch, to feature partial hipped roof, 6" square wood posts, wood railings with 2" balusters, stained tongue-and-groove ceiling, a concrete floor, and re-built foundation re-using historic brick.

Construction of second-story addition on rear elevation over existing one-story addition, using the same footprint, with a shed roof ending below the primary roofline. Addition will feature in-kind asphalt shingles, in-kind siding, a new 1/1 window on the first story, and a fixed window on the second.

Applicable Design Guidelines

Fort Sanders NC-1, adopted by the Knoxville City Council on September 13, 2000.

B. Roofs

3. Use roofing materials that are in keeping with the historic development styles. Asphalt, shingle, tile, pressed metal and slate were used.
4. Darker shades of shingles were historically used and should be selected in new construction.

C. Porches

1. Provide porches with proportions and materials that complement pre-1940 housing. For clapboard type construction wood is the most appropriate primary material. Brick or cut stone are appropriate as foundations or in column supports.

2. Porches should be no less than 6 feet deep and no more than 10 feet deep. They may be recessed behind the main setback line or alternatively can extend 10 feet into the front setback line.

D. Wall Materials

2. Clapboard (or clapboard-like materials such as aluminum or vinyl), shingle (or shingle-like material), or brick should be used.

5. In making additions to existing buildings, wall cladding should complement the original wall covering. Acceptable materials are clapboard, vinyl siding, cement fiber board, brick and stucco.

E. Windows and Entrances

1. Window proportions and symmetry should be similar to the pre-1940 styles in the neighborhood.

2. Windows should be double hung, sash windows. Vinyl or metal-clad windows may be used in place of wood frame windows.

6. The proportions of upper level windows should not exceed the proportion of the first level.

7. Upper level windows should be provided and aligned with doors.

9. Entrances to the building should be provided from the street, using doors that have similar proportions and features to pre-1940 architecture.

10. When parking areas are provided behind buildings, rear entrances are also allowed.

F. Parking

2. Provide parking access off the alley or off a side street.

7. Surface parking area shall always be to the rear of the building.

8. Primary or secondary entrances to the building from parking areas are allowable.

G. Landscaping, Fencing, & Retaining Walls

1. Plant one native shade tree (e.g. oak or maple) and one ornamental tree (e.g. dogwood) in both the front and rear yards for every 50 feet of lot width.

H. Additions to Existing Buildings

1. Additions should be made to the rear or side of the building.

Comments

Staff Findings

1. 210 S. 17th Street is a contributing resource to the Fort Sanders National Register Historic District and the local overlay.

2. The proposed exterior rehabilitation scopes meet the design guidelines. The re-activation of enclosed window openings, addition of new windows, and revised placement of existing windows is appropriate. Any remaining original exterior details should be retained, including the eave overhangs, the siding detail and partial cornice returns in the front gable field, and the window and louvered vents on the front gable.

3. The existing enclosed front porch no longer retains historic integrity and removal is appropriate. The proposed replacement porch matches the footprint of the original porch and will rest on a reconstructed foundation using the existing brick, which is appropriate. The proposed materials are compatible with the house, apart from the supports. The porch posts should be at least 10" square, with the final design sent to staff for review. Reducing the number of posts and including brick bases could also be appropriate.

4. The location of the rear, second-story addition is appropriate. The new shed roof will have a lower slope than one removed but is similar in nature and not visible from the public street. It could be removed without adverse effect

to the historic structure.

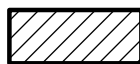
Staff Recommendation

Staff recommends approval of Certificate 9-C-25-HZ, subject to the following conditions:

- 1) final site plan to meet City Engineering requirements for parking;
- 2) retention or replication of corner boards and window trim, as depicted on the elevation drawings;
- 3) retention of character-defining features such as partial cornice returns and façade gable details; and
- 4) the porch supports shall be at least 10" square posts, with the option of reducing the number of posts and including brick bases, with final design sent to staff for review.



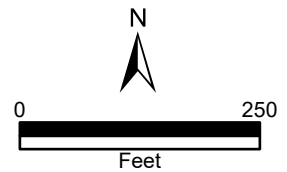
9-C-25-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



210 S. Seventeenth St. 37916
Ft. Sanders NC

Original Print Date: 9/8/2025
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: John Holmes, Evian Partners





DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

John Holmes

Applicant

8/12/25

9/12/2025

9-C-25-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

John Holmes

Name

Company

PO Box 1335

Morristown

tn

37816

Address

City

State

Zip

423-231-4980

jholmes6@gmail.com

Phone

Email

CURRENT PROPERTY INFO

Evian partners

PO Box 1335, Morristown, TN 37814

Owner Name (if different from applicant)

Owner Address

Owner Phone

210 17th st

094NE034

Property Address

Parcel ID

Ft Sanders

RN-5, NC-1

Neighborhood

Zoning

AUTHORIZATION

Dallas DeArmond

8/13/25

Staff Signature

Please Print

Date

John Holmes

8/12/25

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: new siding, fascia, soffits, all exterior replaced, windows, doors, Remove enclosed front porch and rebuild as the original open porch
Replace brick foundation Rebuild front stairs, porch and railings, remove all shutters.

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

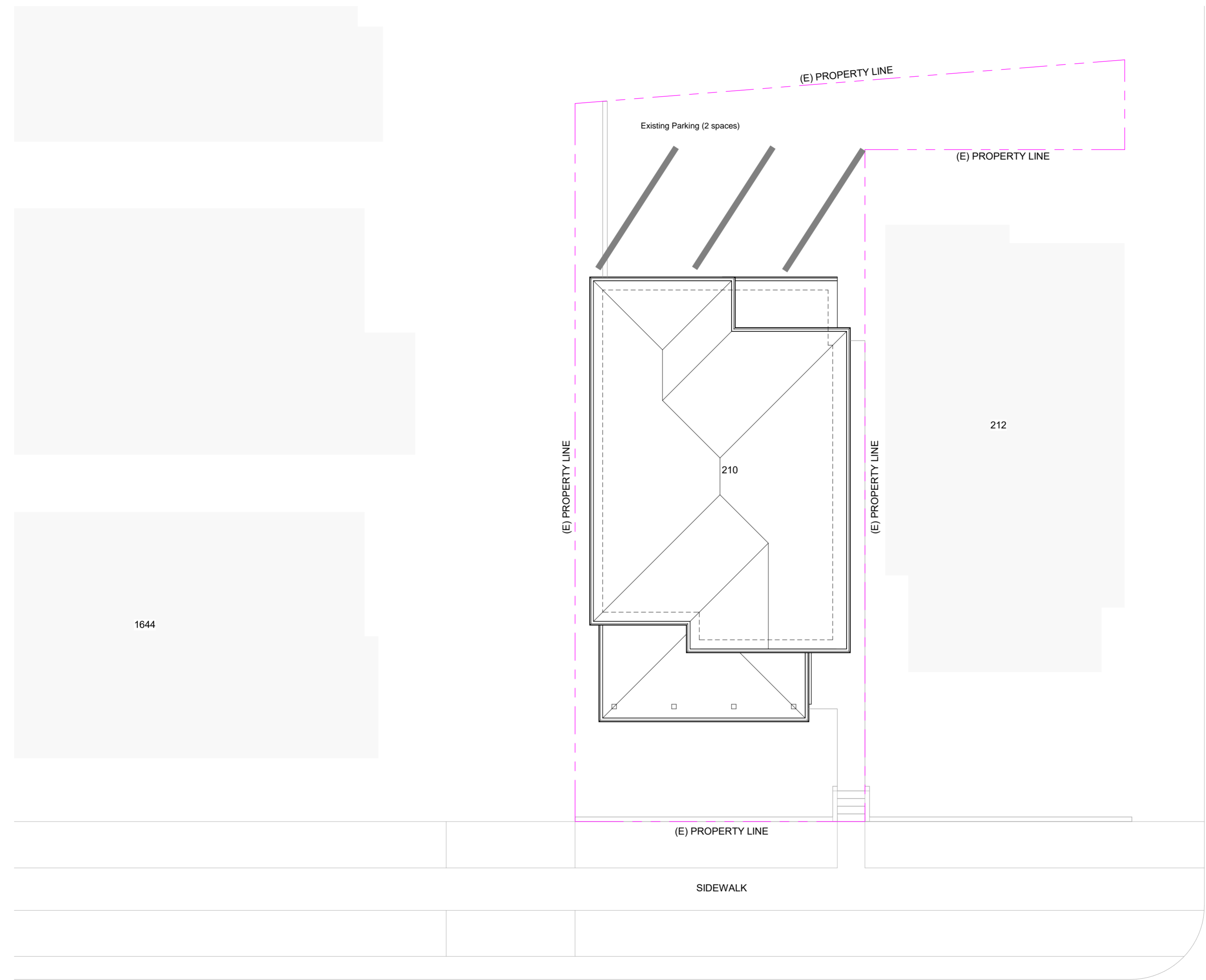
Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:		TOTAL: 100.00
100.00		
FEE 2:		
FEE 3:		

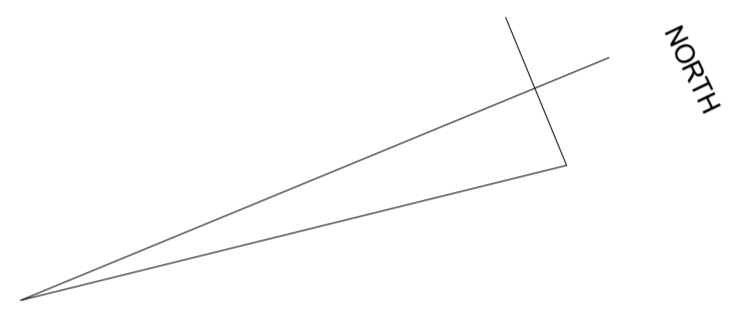
PROPOSED DWELLING AT 210 17TH AVE



Owner	
Project Name	
COVER	
Project Number	Project Number
Date	08/07/2025
Drawn By	
Checked By	
A200	
Scale	

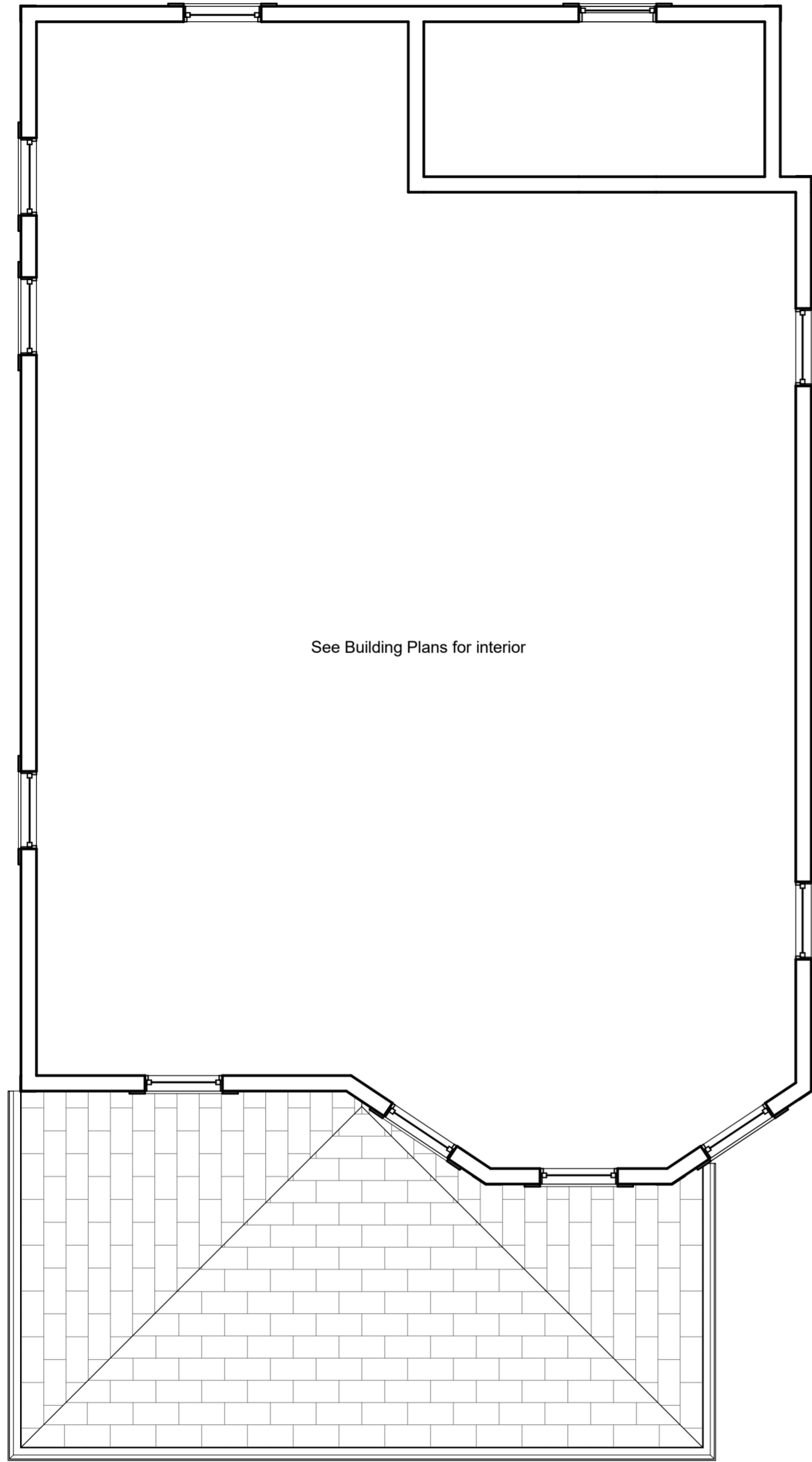


① SITE PLAN
1/8" = 1'-0"



Owner Project Name	
SITE PLAN	
Project Number	Project Number
Date	08/07/2025
Drawn By	Author
Checked By	Checker
A201	
Scale	1/8" = 1'-0"

(E) PROPERTY LINE

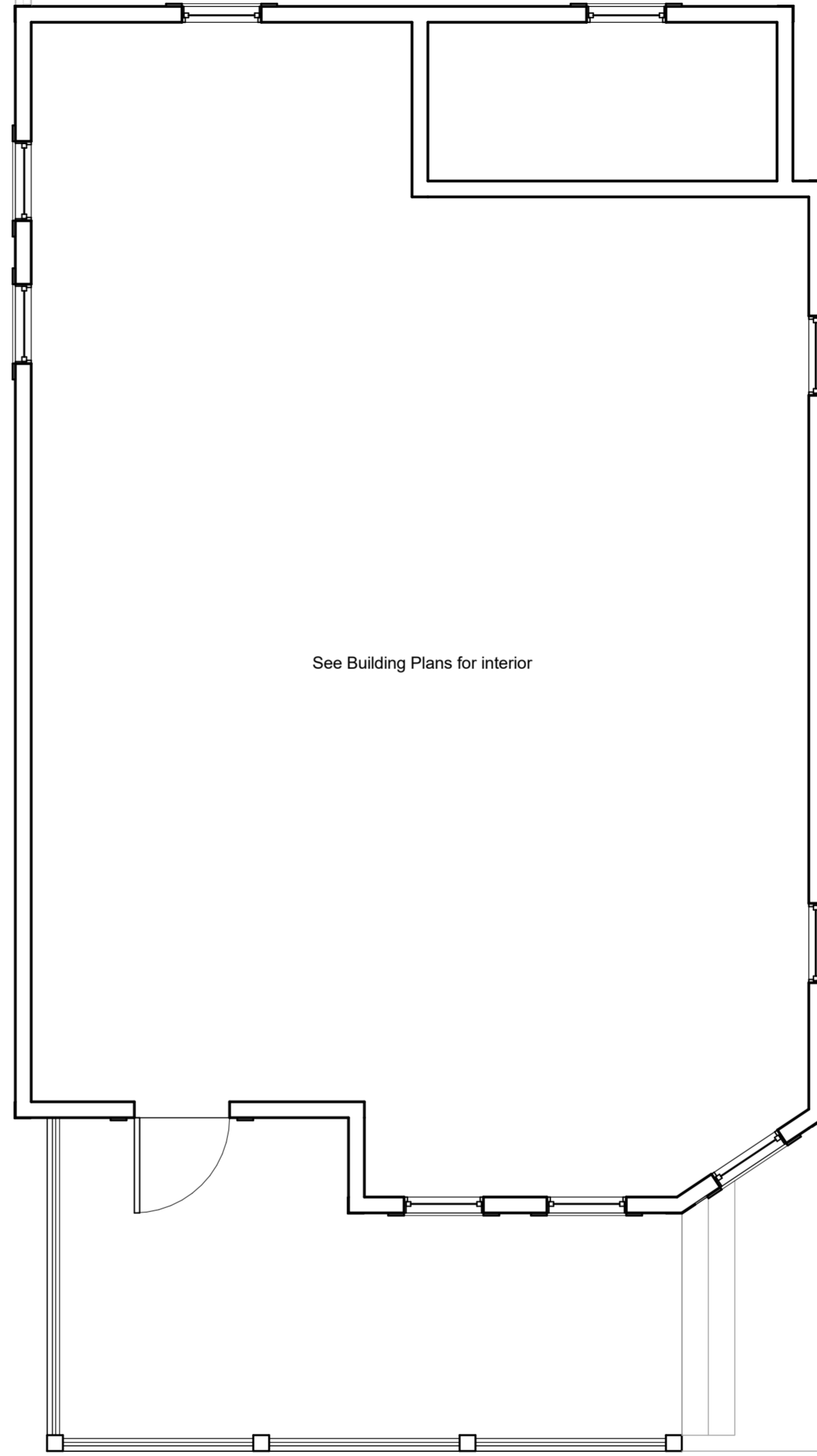


(E) PROPERTY LINE

② SECOND FLOOR
1/4" = 1'-0"

(E) PROPERTY LINE

(E) PROPERTY LINE



(E) PROPERTY LINE

① FIRST FLOOR
1/4" = 1'-0"

(E) PROPERTY LINE

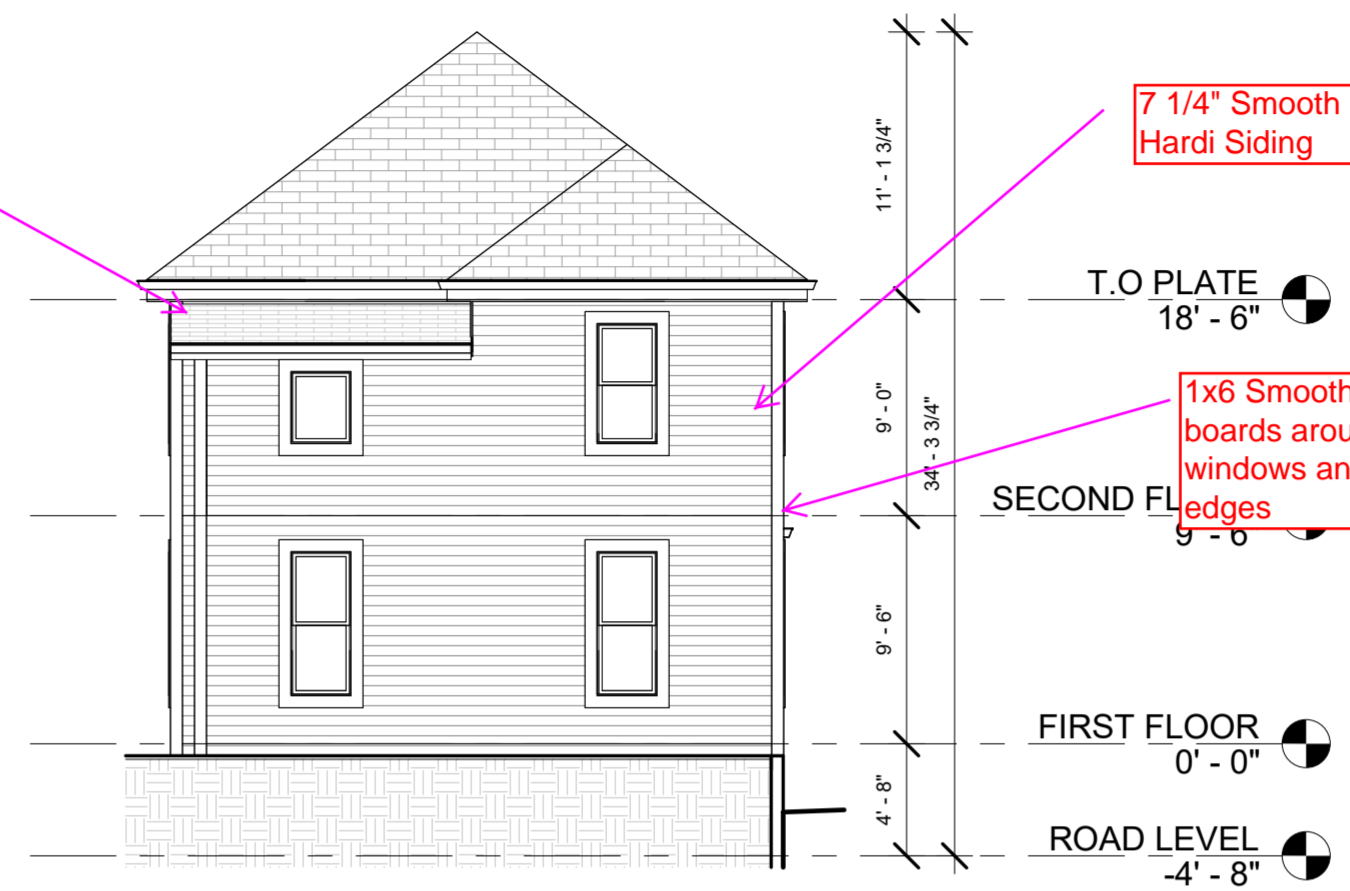
Owner Project Name	
FLOOR PLANS	
Project Number	Project Number
Date	08/07/2025
Drawn By	Author
Checked By	Checker
A202	
Scale	1/4" = 1'-0"



3 SIDE ELEVATION 2
1/8" = 1'-0"

Reuse existing brick to rebuild facade

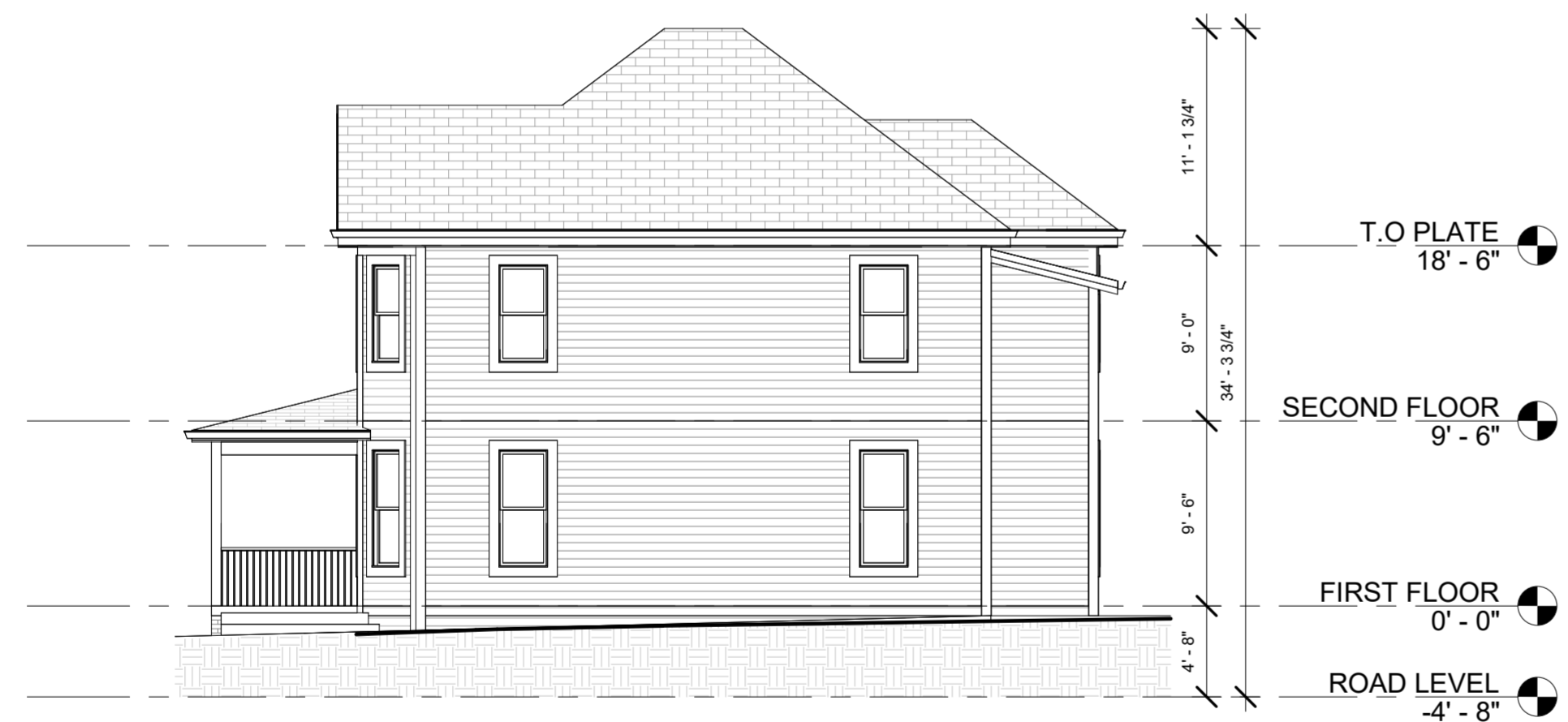
Extend dormer roof up



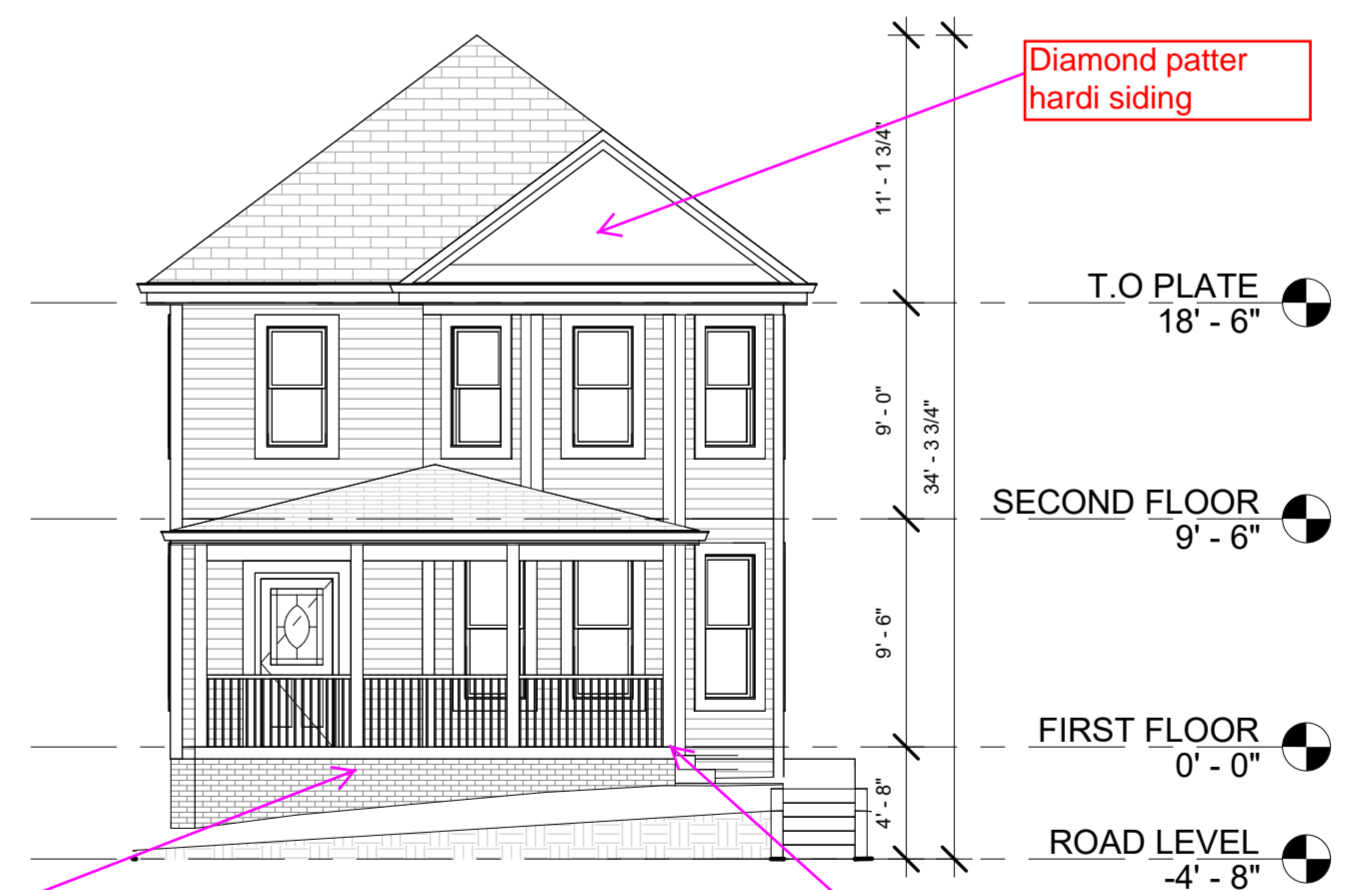
2 REAR ELEVATION
1/8" = 1'-0"

7 1/4" Smooth Hardi Siding

1x6 Smooth corner boards around all windows and edges



3 SIDE ELEVATION 1
1/8" = 1'-0"



1 FRONT ELEVATION
1/8" = 1'-0"

Diamond pattern hardi siding

6x6 square posts

Remove and rebuild front porch with historic brick

Owner	
Project Name	
ELEVATIONS	
Project Number	Project Number
Date	08/07/2025
Drawn By	Author
Checked By	Checker
A203	
Scale	1/8" = 1'-0"











210

210