



Staff Report

Knoxville Historic Zoning Commission

File Number: 10-E-25-HZ

Meeting: 10/16/2025
Applicant: Catherine Abbott, Fourth and Gill Neighborhood Organization
Owner: Catherine Abbott, Fourth and Gill Neighborhood Organization

Property Information

Location: 800 N. Fourth Ave. **Parcel ID** 82 P A 011
District: Fourth and Gill H
Zoning: C-G-2 (General Commercial)
Description: Picturesque Vernacular, c. 1885

Two-and-one-half-story frame with weatherboard siding. Asphalt single roof covering on hipped roof with lower cross-gables. One-story hip-roofed front porch. Brick foundation. Irregular plan.

Description of Work

Level II Major Repair or Replacement

Installation of new 14' wide by 14' deep deck adjacent to the rear of the existing house with pressure-treated wood decking. It will be raised 21" from the ground on pressure-treated wood posts with concrete footings and will be accessed via two steps made from pressure-treated wood on the southern side of the deck.

Removal of an existing secondary entrance and small landing with steps from the rear elevation. Enclosure of existing door opening with wood lap siding, in-kind to the existing house.

Applicable Design Guidelines

Fourth and Gill Design Guidelines, adopted by the Knoxville City Council on April 20, 1999 and June 29, 1999.

Entrances

2. It may be appropriate to design or construct a new entrance if the historic one is missing. Any restoration should be based on historical, pictorial and physical documentation and should be compatible with the historic character of the building and with adjacent buildings. It should not create a false historic appearance. Entrances should not be removed when rehabilitating a building, either in adapting to a new use or continuing a historic one.
4. Secondary entrances should be compatible with the originals in size, scale or materials but should not give the appearance of a primary entrance.

Wall Coverings

2. Replacement siding should duplicate the original. Trim and patterned shingles should also duplicate the original.
4. Repair wooden features by patching, piecing-in, or otherwise reinforcing the wood. Repair may also include limited replacement with matching or with other compatible substitute materials, when elements remain and can be copied.

New Additions

2. Design new additions in a manner that makes clear what is historic and what is new.

4. Place new additions, such as balconies or solar greenhouses, on non-character-defining elevations, and limit the size and scale in relationship to the historic building.
 8. New additions should not cause a lessening or loss of historic character, including the historic building's design, materials, workmanship, location, or setting.
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Comments

Staff Findings

1. 800 N Fourth Avenue is a contributing resource to the Fourth and Gill National Register district and the local overlay.
 2. The house is on a corner, making the proposed rear deck visible from the right-of-way, but it will be screened by existing fencing. The size of the deck is proportional to the house, and it could be removed without adverse effects. Pressure-treated wood decking has been approved on rear decks within the overlay. The rear deck is appropriate.
 3. Although design guidelines discourage removing entrances, the removal of non-character-defining secondary entrances has been approved within the overlay on rear elevations. The location of the secondary entrance is not original, neither is the flat door, and it is directly adjacent to another similar secondary entrance. The door is visible from the right-of-way. Removal of the door is appropriate since it is on the rear elevation, is not original, and does not contribute to the building's historic character.
 4. Infilling the existing door opening with in-kind wood lap siding meets the design guidelines.
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Staff Recommendation

Staff recommends approval of Certificate 10-E-25-HZ as submitted.



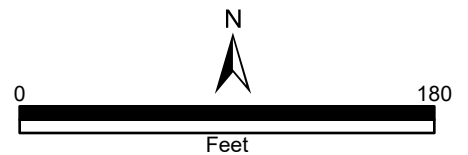
10-E-25-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



800 N. Fourth Ave. 37917
Fourth and Gill H

Original Print Date: 10/7/2025
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Catherine Abbott, Fourth and Gill
 Neighborhood Organization





DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Fourth & Gill Neighborhood Organization - Birdhouse Neighborhood Center

Applicant	15th	
September 29, 2025	October 16, 2025	10-E-25-HZ
Date Filed	Meeting Date (if applicable)	File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Catherine Abbott	Fourth & Gill Neighborhood Organization		
Name	Company		
800 N 4th Ave	Knoxville	TN	37917
Address	City	State	Zip
865-234-2208	birdhouse.knoxville@gmail.com		
Phone	Email		

CURRENT PROPERTY INFO

Owner Name (if different from applicant)	Owner Address	Owner Phone
800 N 4th Ave	082PA011	
Property Address	Parcel ID	
Fourth & Gill	C-G-2	
Neighborhood	Zoning	

AUTHORIZATION

<i>Malynda Wollert</i>	Malynda Wollert	10-1-25
Staff Signature	Please Print	Date
Catherine Abbott	Catherine Abbott	09/17/25
Applicant Signature	Please Print	Date

Digitally signed by Catherine Abbott
Date: 2025.09.29 11:16:45 -04'00'

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: Adding a 21"-high deck that is behind a fence, closing up a side door on the building that was not original to the house (another door is right beside it will be used instead)

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:

100.00

Level 2

FEE 2:

FEE 3:

TOTAL:

\$100.00

Pd. 09/29/2025, SG

Detailed Description of Proposed Work

The Birdhouse Neighborhood Center is owned and operated by the Fourth & Gill Neighborhood Organization, a registered 501(c)(3) nonprofit organization. This building is used as a community gathering space, hosting 438 events in our 2024-5 fiscal year. The Birdhouse also provides four office-space rentals on the second floor of the building.

Recently, the Birdhouse received a grant from Dow Chemical Company for \$24,000.00 to update the outdoor space and make it more usable for the community. One of the major projects planned for this grant is the building of a platform deck to function as a stage for bands as well as a gathering space. This platform deck will be 21" above the ground, not requiring a handrail (except along the stairs). The deck will be made of pressure-treated wood and sit next to, but not touch, the back (south-east) side of the house. Notably, the backyard is fully fenced-in, so the deck may not be visible from the road, but it will be visible from the sidewalk for those who can see over the fence. We have contracted Remy Hebert to complete the deck construction, and he will be obtaining a City permit and complying with all inspections.

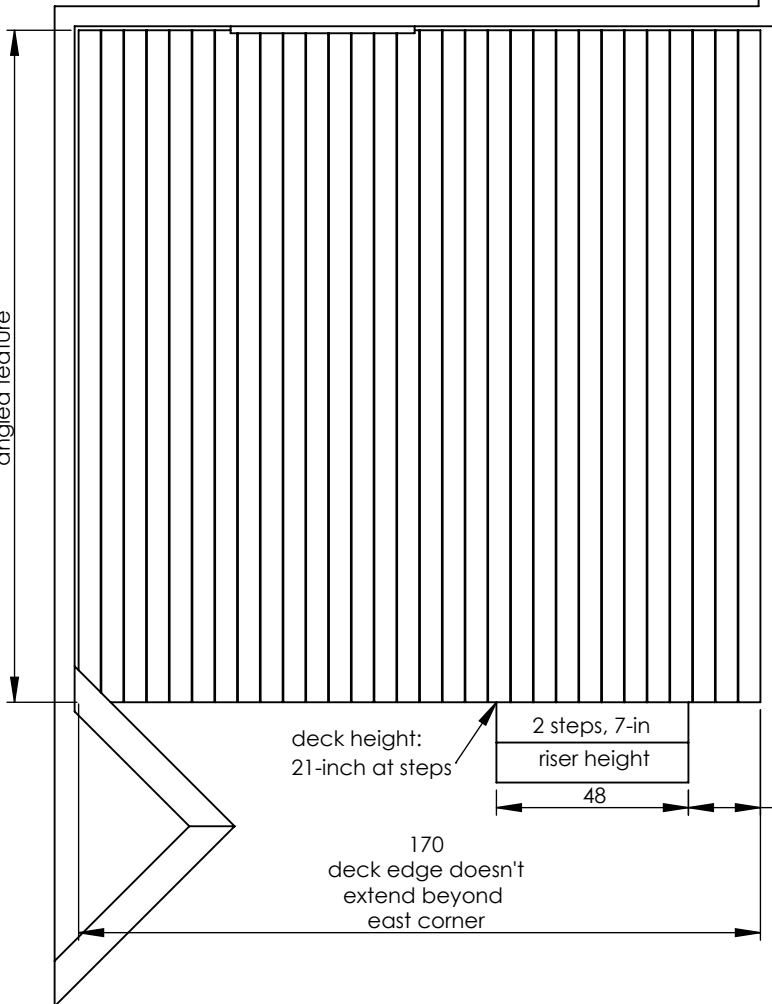
Additionally, to make entrance and egress as smooth as possible between the house and the backyard, especially with a new deck, the Birdhouse plans to close-off one of the exterior doors coming off the kitchen on the south side. The door frame will be filled-in with insulation and drywall on the inside, and then closed on the outside with poplar wood siding per historic guidelines; it will be painted to match the house, which was just repainted in fall 2024. The location of the existing door is visible from the road. Instead of using this door, there is another door just inches away on the east side that opens to the fire escape. This door will be used for all future entrance and egress. We believe that neither of the two catty-corner doors are original or significant to the history of the house, and thus we would like to use the door on the east side.

These building/grounds updates will greatly increase usability of the space without compromising the house's historic nature.

existing kitchen door and fire escape landing



168 field verify doesn't interfere with angled feature



deck height: 21-inch at steps

2 steps, 7-in riser height
48

18 verify w Catherine steps don't interfere with tree

170 deck edge doesn't extend beyond east corner

1 inch = 4 ft.

- Deck is not attached to the building.
- Concrete footings.
- 6x6 pressure treated posts, notched to support beams, fastened with 1/2-in carriage bolts to deck system.
- 2x12 pressure treated joists with a double 2x12 beam on both ends.
- Joist tape applied to tops of all joists and beams.

Constructed to code including hangers, hardware, and installation.

- Deck material: 2x6 pressure treated wood (non-kiln-dried)

TRI-CORNER RENOVATIONS



Remy Hebert

Tri-Corner Renovations

1109 Eleanor Street, Knoxville, TN 37917 | 423-329-4407 | remyh1983@gmail.com

Project Proposal: Deck Construction for the Birdhouse Neighborhood Center

Project Overview:

This proposal outlines the construction of an approximately 14 x 14 ft. exterior deck. The design incorporates durability, compliance with local codes, and best practices for treated lumber installation.

Scope of Work:

1. Lumber:

- All exterior 2x12 treated boards will be doubled for added structural strength.
- All framing to be constructed with kiln-dried boards, if available, to minimize shrinkage and warping.
- Ends of all boards will be coated with *Copper Green* preservative for extended protection against rot and decay.

2. Materials Procurement:

- A tax-free account will be established with Anderson Lumber (865-983-3060) for all material purchases related to this project.

3. Foundation & Structural Support:

- Existing steps will be removed, along with the door and surrounding siding.
- The door opening is to be closed by framing with proper lumber dimensions, and new primed siding is to be applied.
 1. Insulation will be installed in conjunction with the drywall.
 2. Drywall is filled and sanded, and baseboards are installed to prepare the space for painting.
- The existing concrete pad will serve as a footing with a post base mounted directly on its surface to secure a 6x6 support post.
- Additional posts and footings will be installed in accordance with code, with utility locations confirmed prior to digging.

4. Permits & Compliance:

- A building permit will be obtained before commencing construction.
- Approval will be initiated for H1 compliance as required.
- Tennessee 811 will be scheduled before any digging occurs.

5. Schedule:

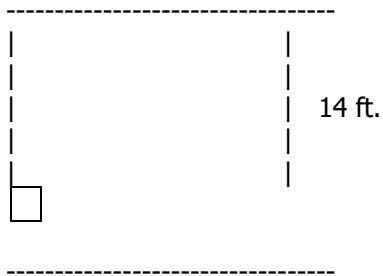
- o Work scheduling will be discussed and finalized in coordination with planned events.

6. Payment Terms:

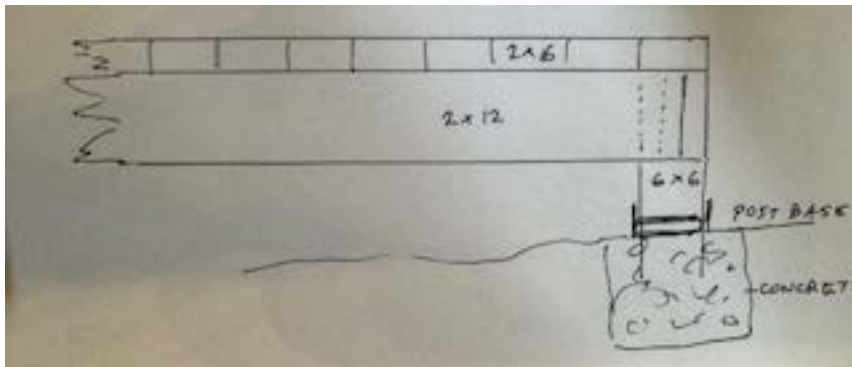
- o A 50% down payment will be required prior to project commencement.
- o Remaining balance to be paid upon project completion.

Basic Design Drawing:

14 ft. Deck (Approximate)



- Double 2x12 treated boards used on exterior framing.
- 6x6 posts secured with post bases on existing and new concrete footings.
- Joist framing to follow code spacing.



Notes:

- All construction will follow local building codes and safety standards.
- Adjustments may be made based on-site conditions and permit office requirements.

Additional Details to Explain Differences in Costs for Using Kiln-Dried versus Non-Kiln-Dried Materials:

*Pricing quotes from the supplier (Anderson Lumber Company).

1-2x6x16 Pressure Treated Pine (not kiln dried) = \$15.91

1-2x12x16 Pressure Treated Pine (not kiln dried) = \$35.93

1-2x6x16 Pressure Treated Kiln-Dried Pine = \$67.69

1-2x12x16 Pressure Treated Kiln-Dried Pine= \$195.69

Options for Pricing Deck Construction:

- 1. Project completed with pressure-treated, not kiln-dried lumber = \$8,450.00.**
- 2. Project completed with non-kiln-dried 2x12s and kiln-dried 2x6s = \$10,392.00.**
- 3. Project completed with 2x12s and 2x6s kiln-dried = \$12,892.00.**

Pricing for Door Removal and Closure (including materials and labor) = \$1,158.00.

Please note that kiln-dried lumber will be thinner in dimension than non-kiln-dried lumber and will require a lead time of three weeks for ordering.

Project acceptance includes the following: 50% of the cost due at the start of the project, with the remaining balance upon project completion.



09/08/25

Customer Consent

Date

Project Manager Signature

Date





















LEVEL 1

ROUTINE REPAIR OF FEATURES; REPLACEMENT OF FEATURES IN-KIND; INSTALLATION OF GUTTERS, STORM WINDOWS/DOORS, SCREEN DOORS, SATELLITE DISHES; REMOVAL OF ADDITIONS LESS THAN 50 YEARS OLD

- Detailed description of proposed work
- Photographs of existing conditions to be modified
- Sketches, illustrations, manufacturer's specifications of proposed materials and architectural features
- Other information needed to explain your request

SIGNS

- Scaled drawings for proposed signs
 - Wall signs: scaled drawings on the elevation on which the signs will be placed
 - Free-standing signs: site plan, with location of signs and relationship to existing buildings and other site features on the property
- Labeled color photographs of the elevation
- List of proposed materials and colors, including manufacturer's specifications
- Information illustrating the design and type of lighting, if any

LEVEL 2

MAJOR REPAIR, REMOVAL, OR REPLACEMENT OF ARCHITECTURAL ELEMENTS OR MATERIALS

- Detailed description of proposed work
- Photographs of existing conditions to be modified
- Sketches, illustrations, manufacturer's specifications of proposed materials and architectural features
- Other information needed to explain your request

ADDITIONS AND ACCESSORY STRUCTURES

- Site plan: dimensioned, scaled site plan.
 - Scale must be noted. Minimum scale: 1" = 40'-0".
- Dimensioned, scaled, elevation drawings for all sides, to clearly depict exterior appearance of project
 - Drawings should illustrate relationship to the existing structure; should show relationship to buildings on the property and adjacent lots.
 - Elevations should have scale noted. Minimum scale: 1" = 40'-0".
- Samples, descriptions, and manufacturer's specifications for proposed materials and architectural features

LEVEL 3

CONSTRUCTION OF A NEW PRIMARY BUILDING

- Site plan: dimensioned, scaled site plan.
 - Scale must be noted. Minimum scale: 1" = 40'-0".
- Dimensioned, scaled, elevation drawings for all sides, to clearly depict exterior appearance of project
 - Should show relationship to any existing buildings on the property and adjacent lots
 - Elevations must have scale noted. Minimum scale: 1" = 40'-0".
- Samples, descriptions, and manufacturer's specifications for proposed materials and architectural features
- Fully labeled color photographs of the property
- Description and drawings or photos of site improvements such as fences, walls, and sidewalks
- Description of precedent for design and relationship to neighborhood context

LEVEL 4

RELOCATION OF CONTRIBUTING STRUCTURE

- Description of the condition of the structure
- Reason for proposed relocation
- Photos of overall structure and its details
- Photos and site plan of proposed location

- Description of site features that will be disturbed such as topography, retaining walls, fences, trees

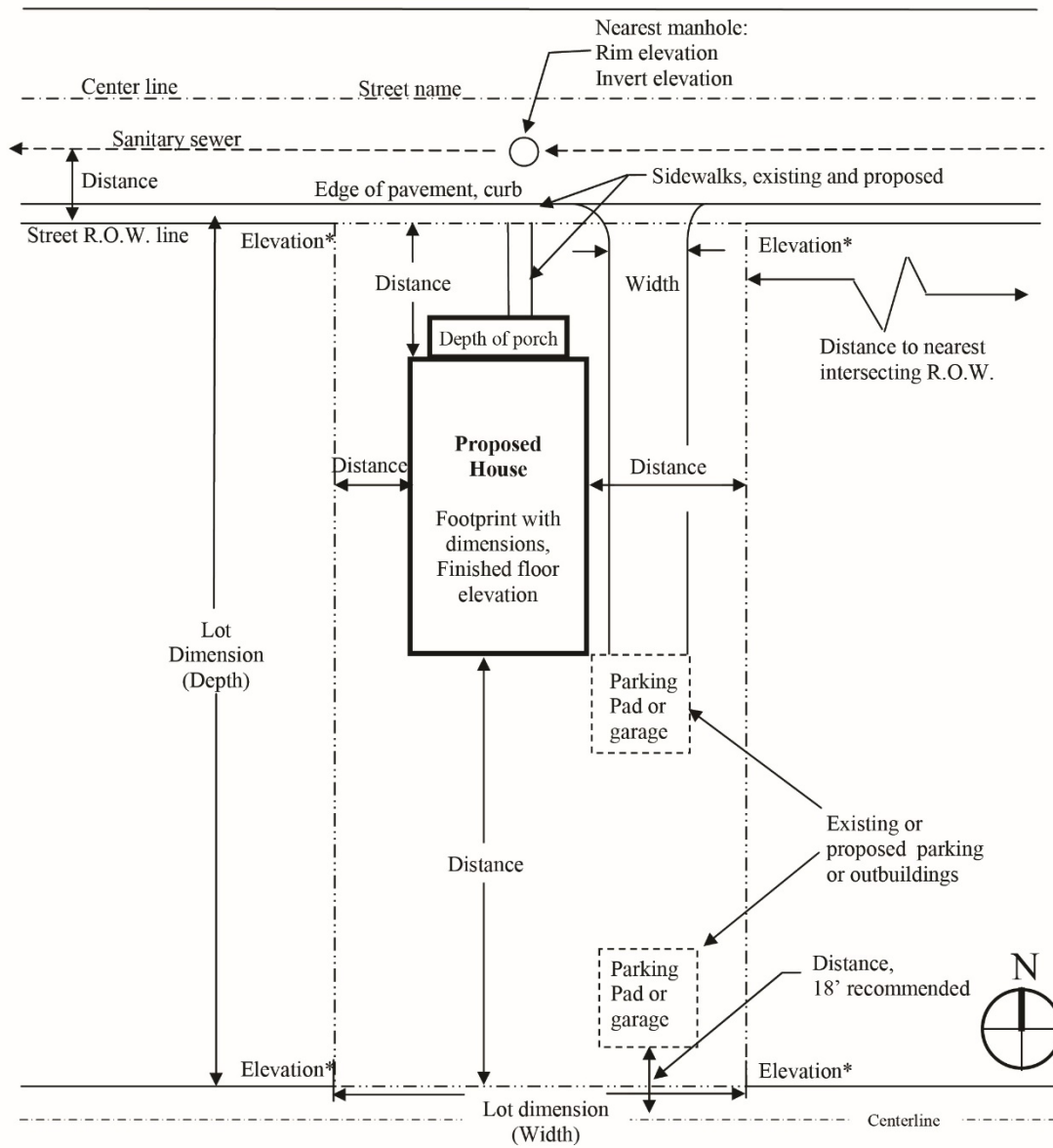
DEMOLITION OF CONTRIBUTING STRUCTURE

- Description of the condition of the structure
- Reason for proposed demolition
- Photos of overall structure and its details

PLOT PLAN REQUIREMENTS

NOTE: This image is an example, submitted plans and elevations need to be created by applicant.
Provide the information which is shown on the example below on a site plan.

Minimum scale: 1"=40'-0"



* Corner elevations should show existing and proposed if applicable. Existing and proposed contours are required for two-family dwellings.

Alley – if alley access is available driveway and parking must enter from alley.

Ward and Lot number

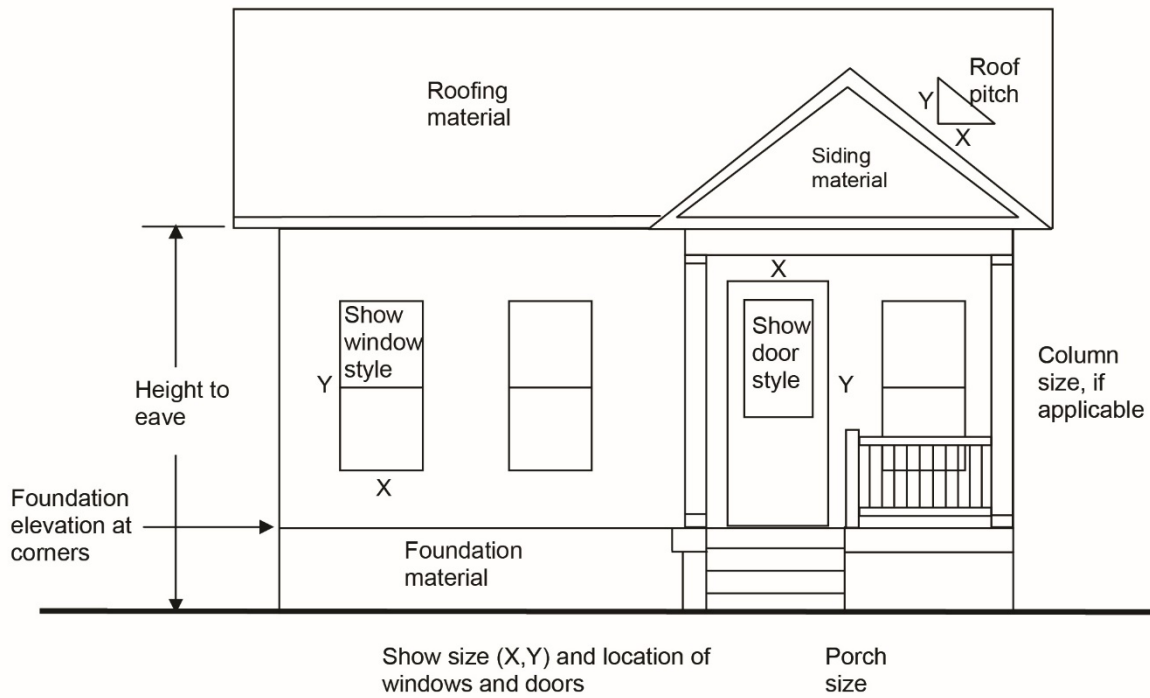
ELEVATION REQUIREMENTS

NOTE: This image is an example, submitted plans and elevations need to be created by applicant.

Provide the information which is shown on the elevation.

Indicate additions and existing unless all the features are new construction.

FRONT ELEVATION (Street)



FRONT ELEVATION

ELEVATION REQUIREMENTS (CONTINUED)

NOTE: This image is an example, submitted plans and elevations need to be created by applicant.

Provide the information which is shown on the elevation.

Indicate additions and existing unless all the features are new construction.

SIDE ELEVATIONS

