



Staff Report

Knoxville Historic Zoning Commission

File Number: 10-D-25-HZ

Meeting: 10/16/2025
Applicant: Fatima Al-Athari, Tuff Shed
Owner: Frank Janssen

Property Information

Location: 225 E. Oklahoma Ave. **Parcel ID** 81 L S 017
District: Old North Knoxville H
Zoning: RN-2 (Single-Family Residential Neighborhood)
Description: Queen Anne, c.1900

Two story frame with weatherboard wall covering. Hip roof with lower cross gables, asphalt shingle covering. Double hung one over one windows. One story wrap around front and side porch with round wood posts on brick piers and spindled wood balustrade. Brick foundation. Irregular plan. Recessed sidelights and transom at front entry.

Description of Work

Level II Construction of Addition or Outbuilding

New secondary structure. New shed will be placed behind the house, 21' from the rear lot line and relatively centered between the side lot lines. It will be 12' wide by 8' deep with a 4/12 pitch side-gable roof clad in asphalt shingles, an exterior of vertical wood composite ("Smartside") siding, and will feature a steel foundation that will not be visible. The southeast elevation features a door with perimeter trim and a small sliding window (materials unspecified).

Applicable Design Guidelines

Old North Knoxville Design Guidelines, adopted by the Knoxville City Council on November 25, 2004.
Auxiliary or Outbuildings

2. The design of features like garage doors that face the street shall mimic carriage house doors from an era consistent with the primary building on the lot.
3. Garages shall be located to the rear of the primary building on the lot.
4. Materials used in constructing outbuildings or accessory buildings may only use materials and design characteristics selected from the following list: wood lap siding with a four inch lap or board and batten; a 12/12 roof pitch; overhanging eaves; exposed rafter tails; wood windows; masonry but not exposed concrete block or split-face block; garage doors appearing to be carriage doors or plank doors with x-bracing or perimeter reinforcing timbers.

Comments

Staff Findings

1. 225 E Oklahoma Avenue is a contributing resource to the Old North Knoxville National Register district and the local overlay.

2. The proposed shed will not be visible from the right-of-way due to its placement on the lot, which meets the design guidelines.

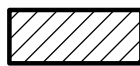
3. The shed door, wood composite siding, and roofing material meet the design guidelines. While the roof is not 12/12 pitch, as recommended by the design guidelines, sheds with a similar pitch have been approved in Old North Knoxville. The proposed sliding window is not a historic window form, and the material is unspecified but is likely vinyl. Wood, aluminum-clad wood, and fiberglass windows have been approved on outbuildings within the overlay, but no window material on an outbuilding has been denied outright within the overlay. The Board should discuss whether the proposed window form and vinyl material are appropriate.

Staff Recommendation

Staff recommends approval of Certificate 10-D-25-HZ, subject to one condition: 1) the window to be omitted or be made from wood, aluminum-clad wood, or fiberglass.



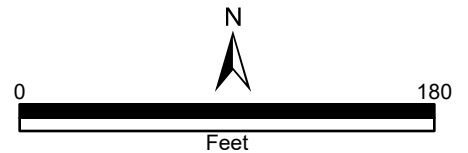
10-D-25-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



225 E. Oklahoma Ave. 37917
Old North Knoxville H

Original Print Date: 10/7/2025
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Fatima Al-Athari, Tuff Shed





DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Fatima Al-Athari

Applicant

09/22/2025

10/16/2025

10-D-25-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Fatima Al-Athari

Name	Company	City	State	Zip
2701 Eugenia Ave		Nashville	TN	37211
Address		City	State	Zip
6152905344	540_permits@tuffshed.com			
Phone	Email			

CURRENT PROPERTY INFO

Frank Janssen	225 East Oklahoma Ave	(850) 830-2453
Owner Name (if different from applicant)	Owner Address	Owner Phone
225 East Oklahoma Ave	081LS017	
Property Address	Parcel ID	
MT VIEW ADD	RN-2	
Neighborhood	Zoning	

AUTHORIZATION

<i>Malynda Wollert</i>	Malynda Wollert	9-22-25
Staff Signature	Please Print	Date
<i>Fatima Al-Athari</i>	Fatima Al-Athari	09-22-2025
Applicant Signature	Please Print	Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: _____
 NO MEP install of a 8 x 12 prefabricated accessory storage shed with shed floor on grass.

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

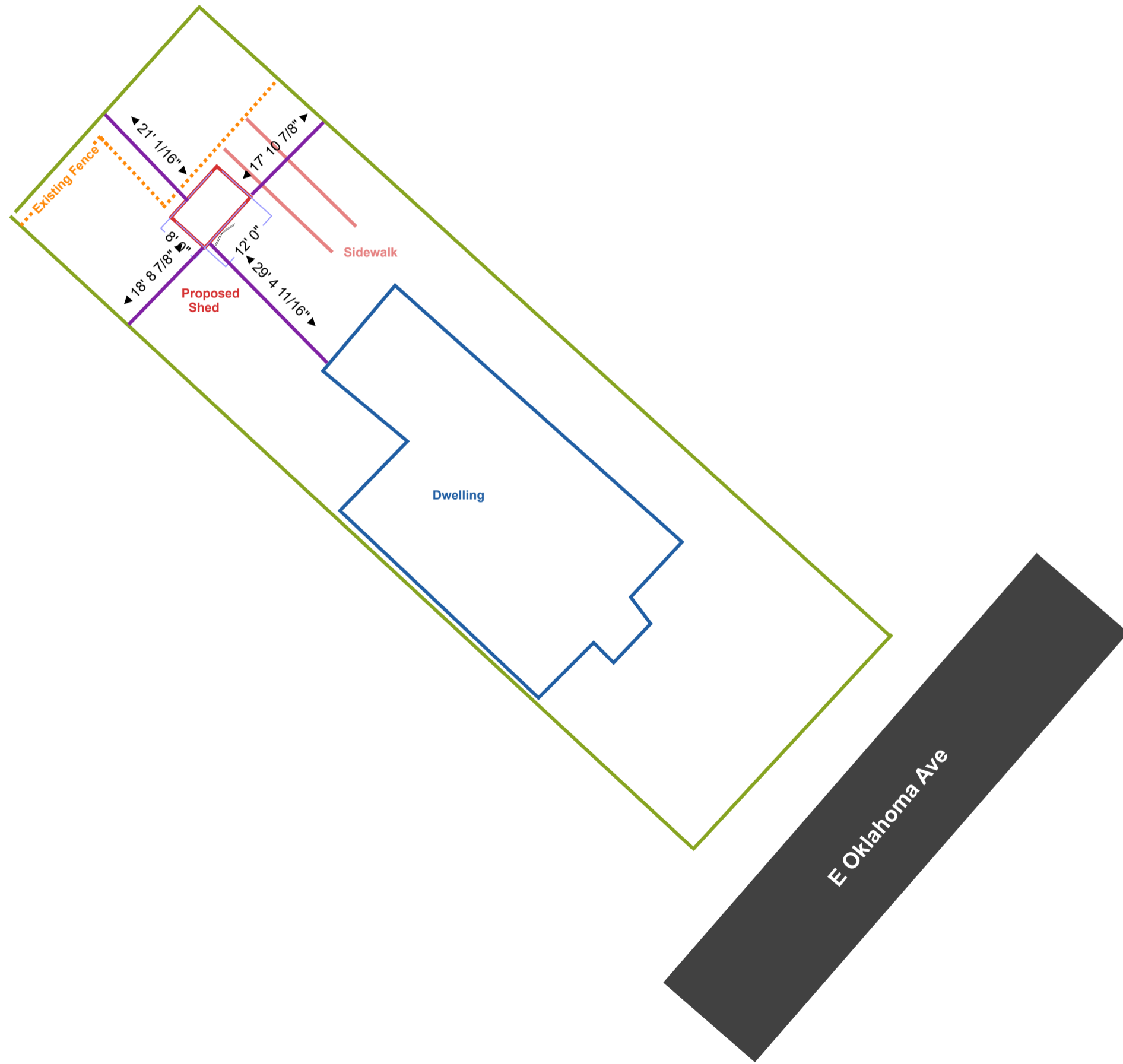
Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500

FEE 1:	\$100	TOTAL:
FEE 2:		
FEE 3:		
Pd. 09/26/2025, SG		\$100.00

BUILDING DATA:

- 1. CONSTRUCTION TYPE: VB
- 2. OCCUPANCY GROUP: U
- 3. USE: STORAGE SHED
- 4. FIRE SPRINKLERS: NONE

NO MEP UNDER THIS PERMIT



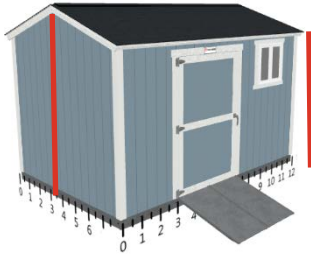
Owner:	Frank Janssen		Drawn:	Fatima Al-Athari	Purpose of building: Storage
Address:	225 East Oklahoma Avenue Knoxville, TN 37917	Scale: 1" : 20' 0"	Date:	09/09/2025	



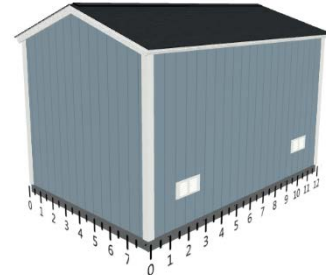


Frank Janssen
225 East Oklahoma Avenue
Knoxville TN 37917
Q-3277230

Peak Roof Height: 9' 2"

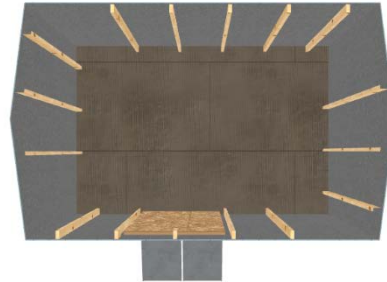


Wall Height: 7' 0"



Wall D

Wall A



Wall C

Wall B

Base Details/Permit Details

Building Size & Style

Premier Ranch - 8' wide by 12' long

Door

4' x 6'2" Single Shed Door, Left Hinge Placement, Keyless Handle Upgrade, Heavy Duty Ramp Pair

Paint Selection

Base: Seastone, Trim: Delicate White

Roof Selection

Charcoal 3 Tab

Drip Edge

White

Is a permit required for this job?

No, If local jurisdiction requires a permit, fees will be added before installation can take place

Optional Details

Windows

2'x2' Insulated Horizontal Sliding Window

Roof

12 Lin Ft Ridge Vent

Vents

2 Ea 16"x8" Wall Vent - White

Custom Services

Knox County Review

Jobsite/Installer Details

Do you plan to insulate this building after Tuff Shed installs it?

No

Is there a power outlet within 100 feet of installation location?

Yes

The building location must be level to properly install the building. How level is the install location?

Within 5"-8" of level

Will there be 18" of unobstructed workspace around the perimeter of all four walls?

Yes

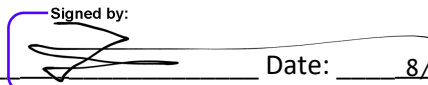
Can the installers park their pickup truck & trailer within approximately 200' of your installation site?

Yes

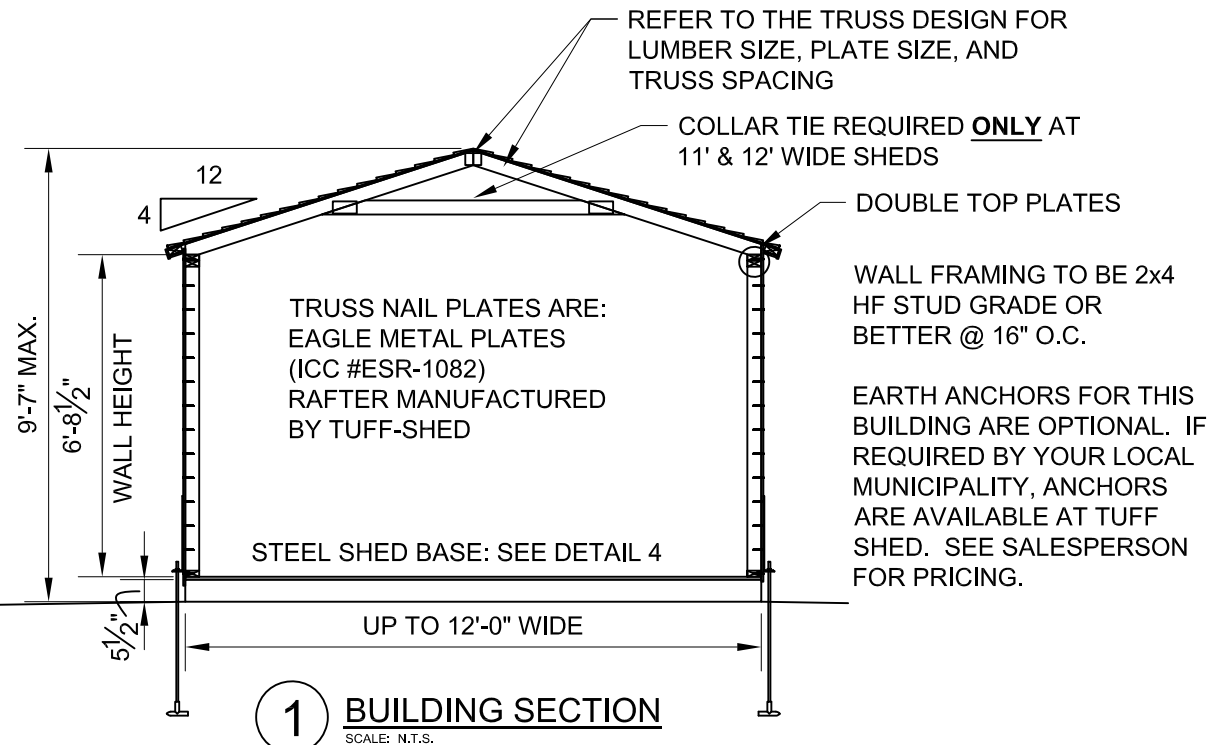
Substrate Shed will be installed on?

Grass

Customer Signature: _____ Date: 8/30/2025

Signed by: 
A08BEF7591D84FF...

PR & TR700 SHEDS UP TO 12' WIDE x UP TO 24' LONG

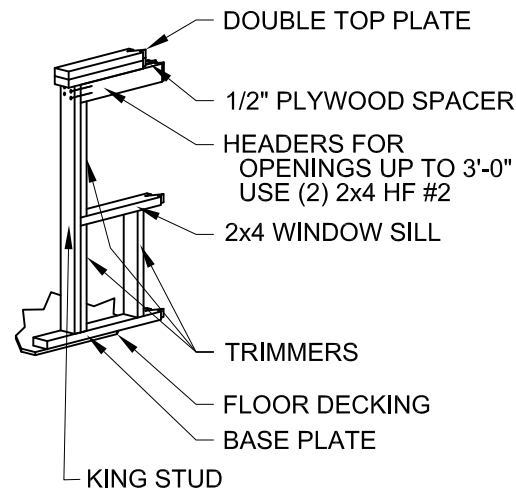
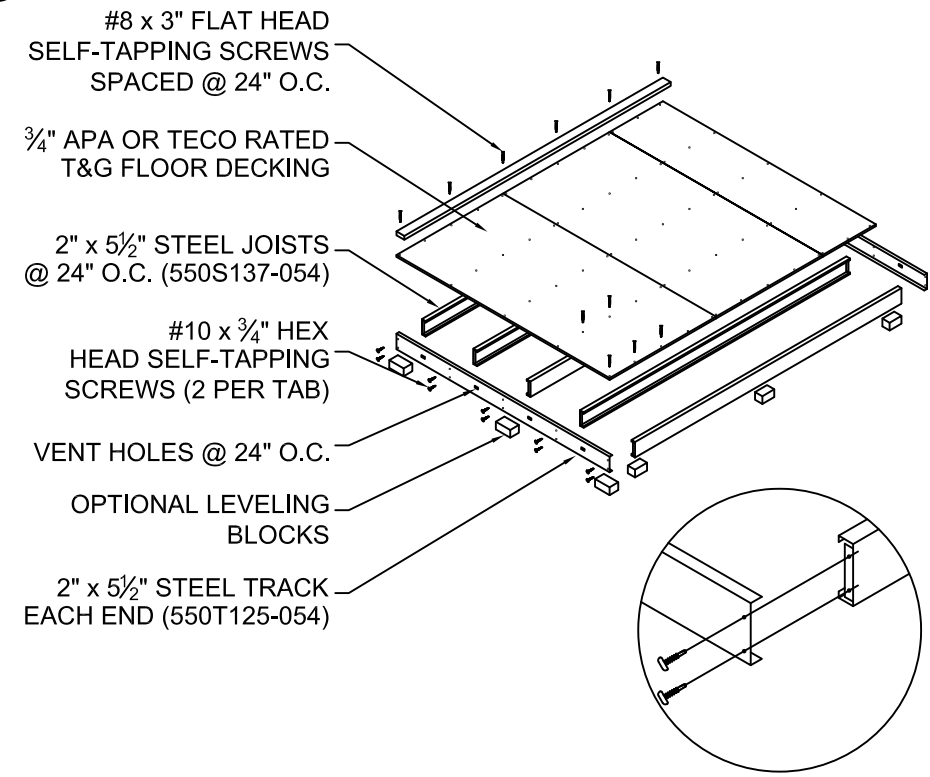


NOTES:

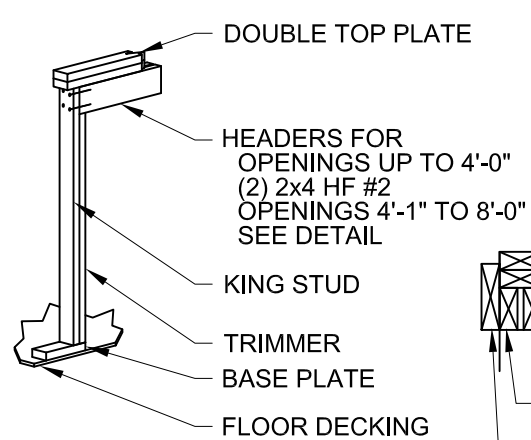
- BUILDING CODE:** 2021 IBC AND 2021 IRC
- DESIGN LOADING:**
WIND SPEED & EXPOSURE: 115C
ROOF LIVE LOAD: 40 PSF
ROOF DEAD LOAD: 10 PSF
- FOR SHEDS WHICH OTHERWISE MEET THE PRESCRIPTIVE REQUIREMENTS OF THE 2021 IBC AND 2021 IRC ALL SHEDS CONSTRUCTED ACCORDING TO STANDARD CONVENTIONAL CONSTRUCTION METHODS.

NAILING:

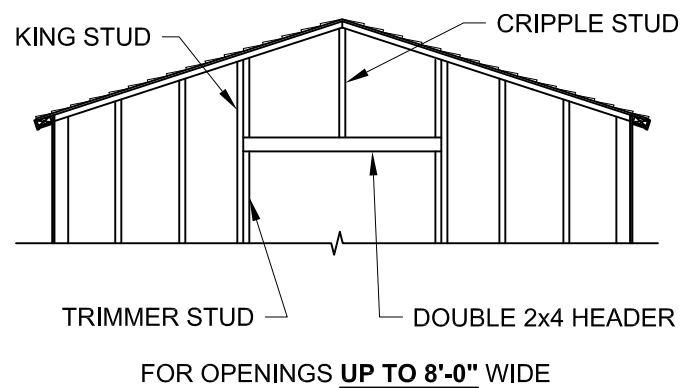
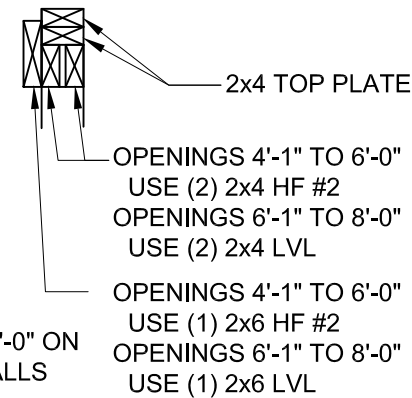
- ROOF:**
ATTACH 7/16" OSB SHEATHING TO TRUSSES WITH:
6d NAILS @ 6" O.C. AT EDGES
6d NAILS @ 12" O.C. IN FIELD
- WALLS:**
ATTACH 3/8" SMARTSIDE TO WALL FRAMING WITH:
6d NAILS @ 6" O.C. AT EDGES
6d NAILS @ 12" O.C. IN FIELD
- HEADERS:**
ATTACH HEADER TO STUD WITH:
(4) 8d TOENAIL OR (4) 16d END NAIL
DOUBLED HEADER:
16d @ 16" STAGGERED FACE NAIL



2A WINDOW HEADER DETAIL FOR LOAD BEARING WALLS
SCALE: N.T.S.



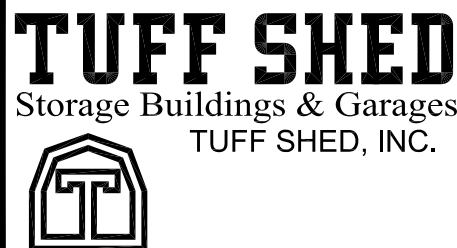
2B DOOR HEADER DETAIL FOR LOAD BEARING WALLS
SCALE: N.T.S.



3 HEADER DETAIL FOR NON-LOAD BEARING WALLS
SCALE: N.T.S.

- STEEL SHED FOUNDATION:**
2" x 5 1/2"-16 GAUGE STEEL TRACKS G140 ZINC COATED
2" x 5 1/2"-16 GAUGE STEEL JOISTS G140 ZINC COATED @ 24" O.C. (SUPPLIER: ALLIED STUDCO - JOIST: 550S137-054 / TRACK: 550T125-054).
- 3/4" APA OR TECO RATED TONGUE AND GROOVE FLOOR DECKING. 24" MAX PANEL SPAN. STAGGER PANEL LAYOUT.
- FASTEN FLOOR DECKING TO JOIST & TRACKS USING #8 x 1 5/8" LONG MIN. SELF-DRILLING SCREWS @ 12" O.C. NO BLOCKING REQUIRED. ALL EDGES SHALL LIE ON FLOOR JOISTS. STAGGER PANEL LAYOUT PER APA CONDITION 1.
- FASTEN SOLE PLATE THROUGH FLOOR DECKING INTO JOISTS OR TRACKS WITH #8 x 3" GALVANIZED SELF-TAPPING SCREWS @ 24" O.C.
- ALLOWABLE FLOOR LIVE LOAD: 75 PSF FOR STEEL JOISTS CONTINUOUSLY SUPPORTED. 50 PSF FOR JOISTS ON BLOCKS AS SHOWN.
- USE OPTIONAL CONCRETE BLOCKS AS REQUIRED TO LEVEL BUILDING: SUGGESTED SIZES: 2" x 8" x 16", 4" x 8" x 16", OR 8" x 8" x 16". BLOCKS UNDER JOISTS SPACED @ 8'-0" O.C. MAXIMUM. BLOCKS UNDER TRACK SPACED @ 4'-0" O.C. MAXIMUM.

4 SHED BASE DETAIL
SCALE: N.T.S.



Order #. _____

Customer: _____

Site Address: _____

Building Size: WIDTH - LENGTH - HEIGHT - SQ. FT. AREA _____

P.O. # _____

Drawn By: SJ

Date: 6/16/23

Checked By: _____

Date: _____

Scale: N.T.S.

THESE DRAWINGS AND THE DESIGN ARE THE PROPERTY OF TUFF SHED, INC. THESE DRAWINGS ARE FOR A BUILDING TO BE SUPPLIED AND BUILT BY TUFF SHED. ANY OTHER USE IS FORBIDDEN BY TUFF SHED INC & THE ENGINEER OF RECORD.

IN HOUSE DRAFTING DEPARTMENT
1777 S. HARRISON STREET
DENVER, COLORADO 80210
(303) 753-TUFF

DRAWINGS BY:
TUFF SHED, INC.

TUFF SHED INC. ASSUMES ALL RESPONSIBILITY FOR THE CONTENT OF THESE DRAWINGS AND THE CONSTRUCTION OF THE BUILDINGS SHOWN HEREIN.

TITLE

BUILDING SECTIONS

SHED BASE DETAILS

HEADER FRAMING DETAILS

NOTES - 2021 IBC & IRC - 115C

DRAWING NO.
PR/TR700-01

REV. LEVEL 01

SHEET **1**

PAGE 1 OF 1