



Staff Report

Knoxville Historic Zoning Commission

File Number: 10-C-25-HZ

Meeting: 10/16/2025
Applicant: Jordan and Luke Wilkerson
Owner: Jordan and Luke Wilkerson

Property Information

Location: 1334 Grainger Ave. **Parcel ID** 81 L G 007
District: Old North Knoxville H
Zoning: RN-2 (Single-Family Residential Neighborhood)
Description: Folk Victorian with Queen Anne Influence, c. 1885

Two story frame two family dwelling with weatherboard and sawn wood shingle wall covering. Steeply pitched hip roof with lower cross gables, and fish scale shaped asphalt shingle roof covering, square wood louvered attic vents, and centered gabled attic dormer with sawn wood shingles. One over one double hung windows with Queen Anne stained glass transoms on front façade. One story three-quarter front porch with round wood columns with Ionic capitals, sawn wood balustrade. Stuccoed brick foundation. Irregular plan. Double front entry.

Description of Work

Level I/II Routine Repair, Major Repair or Replacement

Removal of all potentially original, round, wooden front-porch columns with Ionic capitals with acanthus detailing that rest on a square plinth. Installation of 8" round, wooden, smooth-finished, tapered, and painted columns with cementitious Ionic capitals with acanthus detailing and circular trim at the base in their place.

Other porch rehabilitation scopes were approved administratively on 9/16/2025

Applicable Design Guidelines

Old North Knoxville Design Guidelines, adopted by the Knoxville City Council on November 25, 2004.

C. Porches

The individual design elements of the neighborhood porches – turned wood columns, elaborate railing and balusters, heavy wood posts or columns, wood bead board ceilings and tongue in groove floors, gingerbread or sawn wood trim – all are important to the style of the houses. These individual details should be repaired and preserved, or replicated if good documentation of the original porch exists.

1. Historic porches on houses in Old North Knoxville should be repaired, or may replicate the original porch if documentation of its size and design can be discovered.

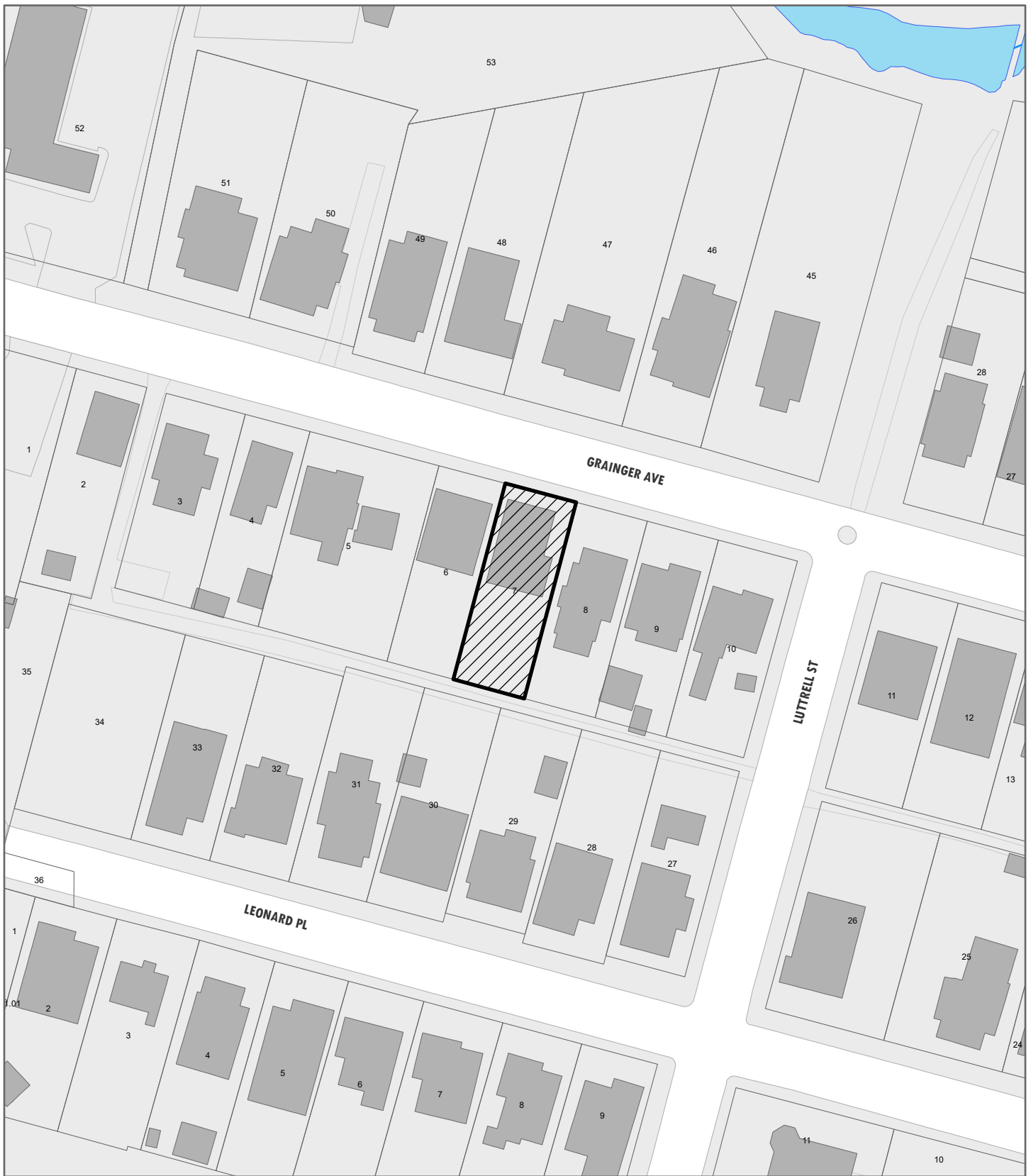
Comments

Staff Findings

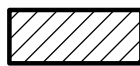
1. 1334 Grainger Avenue is a contributing resource to the Old North Knoxville overlay and the National Register-eligible Brownlow district.
2. The disassembly, reconstruction, and repairs to the brick foundation on the front porch and brick wing walls, in accordance with Preservation Brief 2, were approved administratively on 9/16/2025, along with the in-kind replacement and repair of deteriorated porch elements including flooring, ceiling, skirt boards, trim, box beam, soffit, and wooden handrailing. The replacement of the character-defining front porch columns, which might be original, requires review by the Historic Zoning Commission.
3. The applicant stated that the porch columns and capitals are likely made of deteriorated wood composite material with a faux grain and composite capitals, indicating that they are not original to the house. Survey records and historic photographs of the property indicate that the existing Ionic columns are original to the building or at least closely replicate the originals. Regardless of whether or not they are original, the front porch columns are character-defining features that the design guidelines recommend should be replicated if they are too deteriorated to repair.
4. The front porch columns and capitals are in poor condition and have experienced decay from moisture damage that renders them unsalvageable, so replacement is appropriate. The proposed 8" round, wooden, smooth-finished, tapered, and painted replacement columns are a close match to the existing columns, and the new cementitious capitals are an exact replica of the current Scamozzi-variant Ionic capitals. The replacement columns and capitals are appropriate, but should rest on a square plinth with the same profile to match the existing, instead of a circular one. The applicant should verify that the replacement columns and capitals match the diameter and width of the existing.

Staff Recommendation

Staff recommends approval of Certificate 10-C-25-HZ, subject to one condition: 1) the columns rest on a square plinth with the same profile as the existing and to have the same diameter, and the capitals to have the same width as the existing.



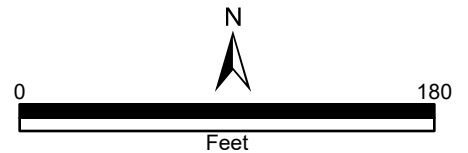
10-C-25-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



1334 Grainger Ave. 37917
Old North Knoxville H

Original Print Date: 10/7/2025
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Jordan and Luke Wilkerson





DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Jordan Wilkerson

Applicant

7/16/25

October 16

10-C-25-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Jordan

Wilkerson

Name

Company

2516 Maple Dr

Knoxville

TN

37928

Address

City

State

Zip

865-661-9097

jordan@rdcbuild.com

Phone

Email

CURRENT PROPERTY INFO

Jordan

Wilkerson

865-661-9097

Owner Name (if different from applicant)

Owner Address

Owner Phone

1334 Grainger Ave Knoxville, TN 37917

Property Address

Parcel ID

Historic

Neighborhood

Zoning

AUTHORIZATION

Malynda Wollert
Staff Signature

Malynda Wollert

9-4-25

Please Print

Date

Jordan Wilkerson
Applicant Signature

Jordan Wilkerson

7/16/25

Please Print

Date

DOWNTOWN DESIGN

Level 1:

- Signs
- Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure
- Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs
- Routine repair of siding, windows, roof, or other features, in-kind; installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials
- Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure
- Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: _____

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities
- Subdivisions

Level 2:

- Additions visible from the primary street
- Changes to porches visible from the primary street

Level 3:

- New primary structure
 - Site built
 - Modular
 - Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
- Historic Zoning Design Checklist
- Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500

FEE 1:

100

FEE 2:

FEE 3:


TOTAL:

\$100.00

Pd., 09/05/2025, SG

Re: Application Form for 1334 Grainger Ave

From Luke Wilkerson <luke@rdcbuild.com>
Date Tue 9/9/2025 2:13 PM
To Malynda Wollert <malynda.wollert@knoxplanning.org>
Cc Hannah Rich <hannah@rdcbuild.com>

 4 attachments (23 MB)

20250909_123734.jpg; 20250909_123728.jpg; 20250909_123637.jpg; 20250909_123624.jpg;

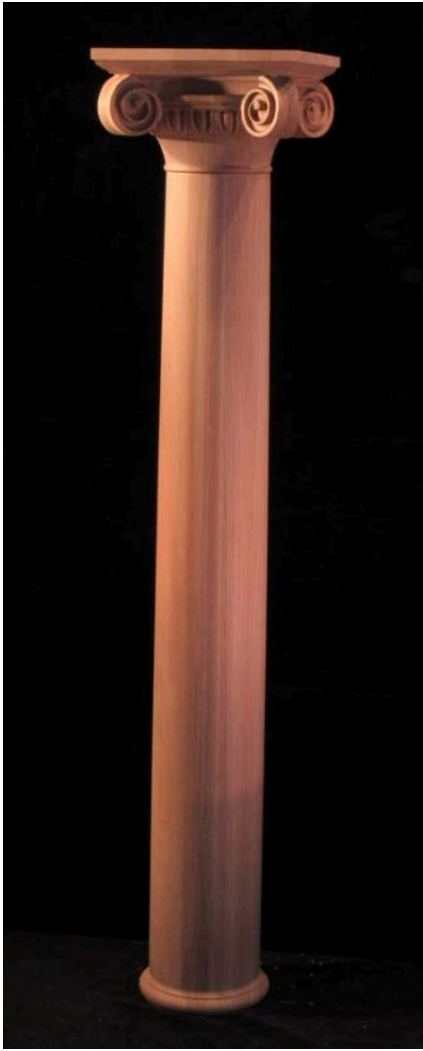
You don't often get email from luke@rdcbuild.com. [Learn why this is important](#)

Hi Malynda,

Thanks so much for your quick response. Let me see if I can answer your questions concisely. I have dropped in my responses below intermittently among your questions with my responses in red.

For the handrailing, are you replacing the wood railing on the porch itself and/or the metal railing on the porch steps? **I'm only proposing to replace the wooden handrails on the porch. Not the metal rails on the steps.** What material are you replacing it with? Please provide the product specification if you plan to purchase the railing instead of designing and constructing it yourself. I do not need information on wood species. If you are using pressure-treated wood for the handrailing railing and columns, it will need to be painted. **I'm planning to use a clear grain SYP KDAT (kiln dried after treated). I am planning to paint the handrails after installation.**

For the porch columns, what will the "period-appropriate" design be? We require detail drawings or product specifications when character-defining front porch columns are replaced. Our records of historic photos and surveys indicate that the columns are probably original, so please provide some more pictures of the columns. The porch column replacement is the only scope of work that requires review by the HZC instead of staff. **I attached some tighter photos of the columns that are there now. It seems to me that they're made of a material that feels and looks like LP Smart Siding. It has a faux grain on it. I am planning to buy an 8", smooth, tapered, wooden column and planning to paint it . Like this:**



I would also like to replace the Schamozzi Capitals because the ones that are there now are in really bad shape (see pics attached) . I can get one that is an exact replica. It we be cementitious. Will look like this:



For the brick masonry, what is the composition of the mortar you will use? You can send a product specification or state that you will use a mix with a certain ratio of sand, lime, and Portland cement. The design guidelines require that replacement mortar has the same composition as the original mortar to prevent long term damage, which is of particular importance when rebuilding and repairing a brick foundation.

The best option I could find was in ASTM C270 which calls for 1 part portland cement, 2 parts lime, and 9 parts sand.

With that additional information provided on the handrailing and mortar, I should be able to approve all scopes of work for the project administratively, with the exception of the front porch columns, which should be retained until the HZC meeting. This is assuming that all the other materials proposed for replacement are replaced with in-kind design and material, which is generally wood. Let me know if you have any questions.

Yes, everything else will be in kind, meaning the before picture and the after picture will be virtually indistinguishable and no modern synthetic products are being used.

Thanks so much for your help.

Luke

On Fri, Sep 5, 2025 at 4:35 PM Malynda Wollert <malynda.wollert@knoxplanning.org> wrote:

Mr. Wilkerson,

For the handrailing, are you replacing the wood railing on the porch itself and/or the metal railing on the porch steps? What material are you replacing it with? Please provide the product specification if you plan to purchase the railing instead of designing and constructing it yourself. I do not need information on wood species. If you are using pressure-treated wood for the handrailing railing and columns, it will need to be painted.

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Master Lock



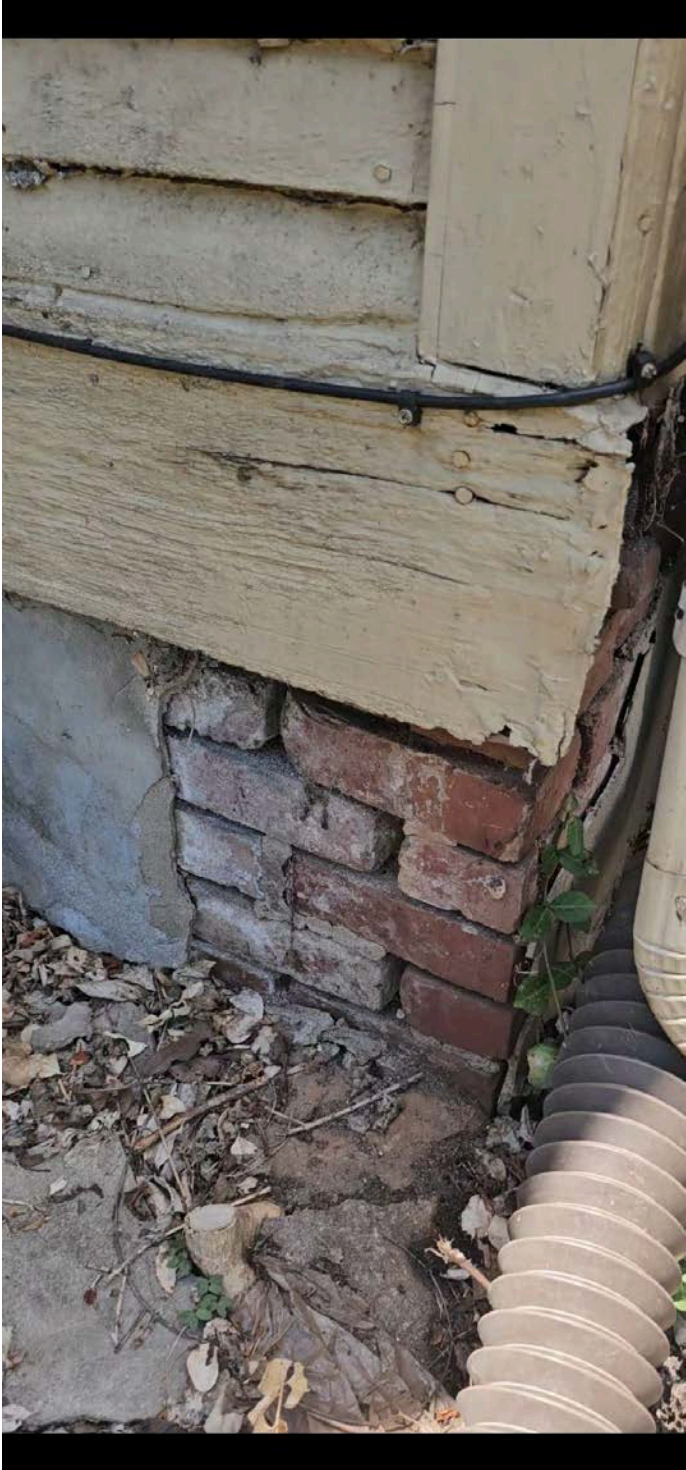




Foundation:

Front Left Corner:

Support wall of house and unstack existing brick down to below grade where mortar has turned to powder making bricks are stable.



Replace rotten mud sill at front left corner of house.



Front Porch

Re-build brick wall of porch foundation on all three sides by supporting the roof and porch floor, disassembling bricks one by one (mortar has turned to powder) setting aside, cleaning, and re-using brick. Also, dig out and install concrete footings to support front porch foundation wall before re-laying bring back in place.



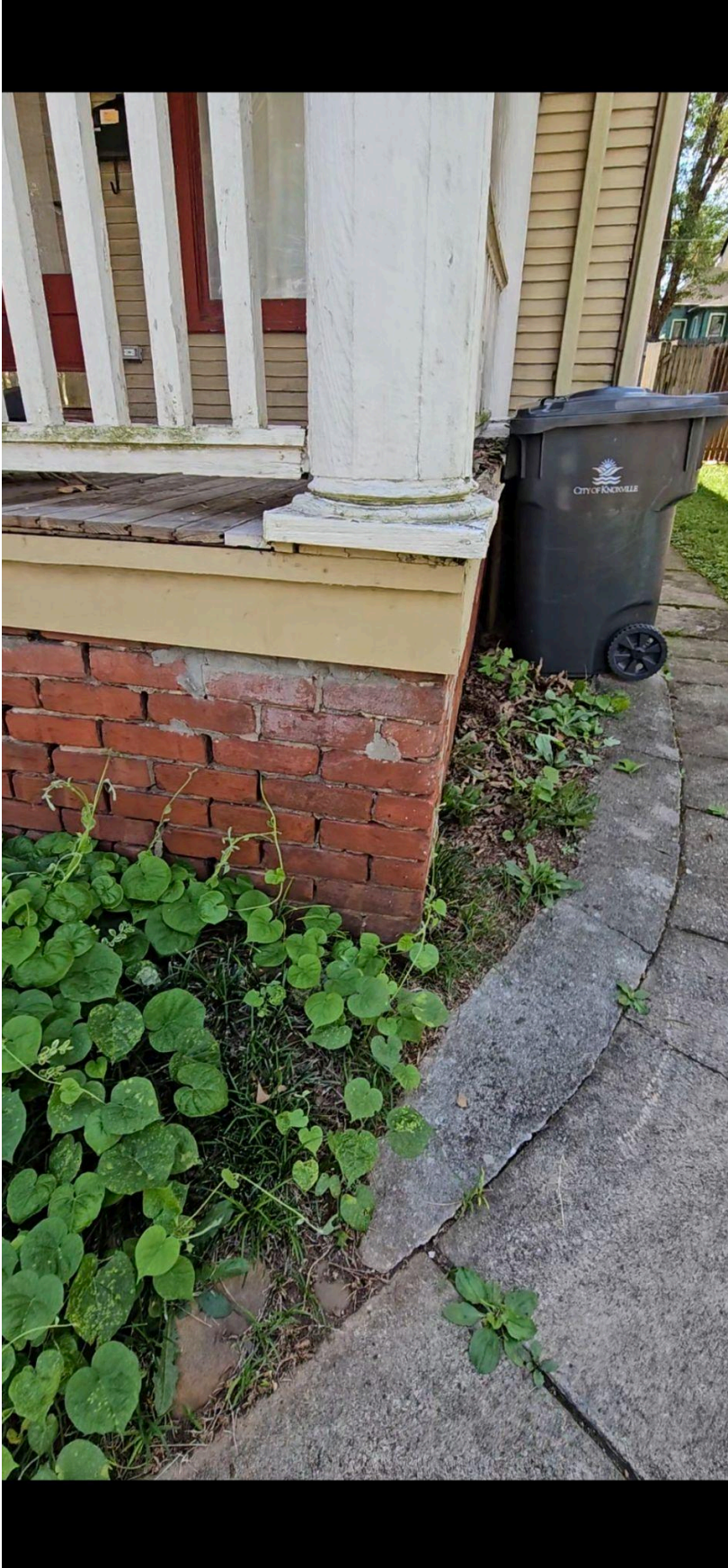
Remove concrete caps over left and right masonry "wing" walls at sides of concrete stair and set aside, then disassemble brick wing walls, dig and pour footing, and then rebuild wing walls, and re-set existing concrete caps.



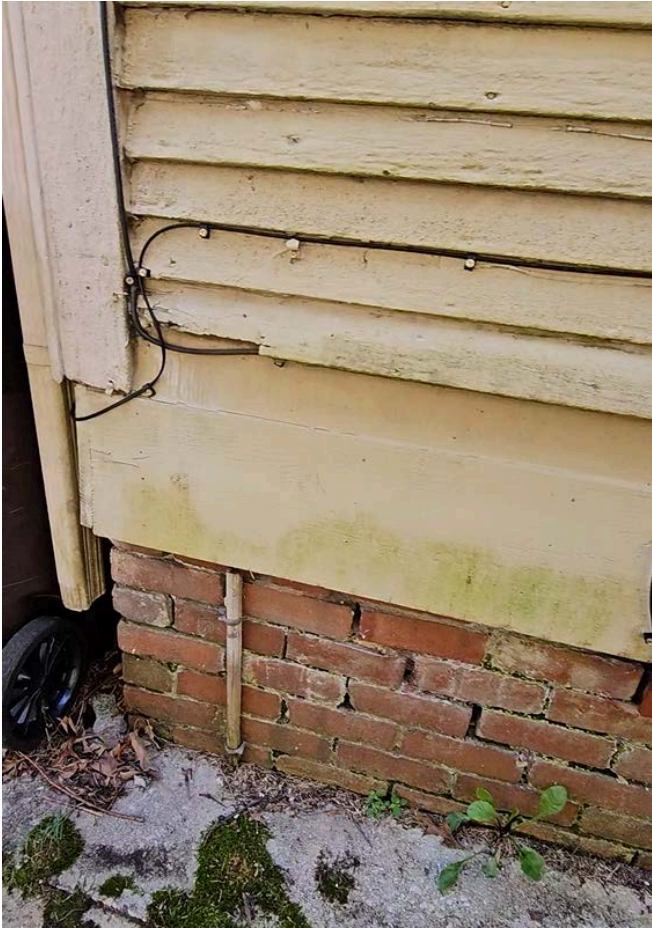
Remove all old, rotten, T&G porch flooring and discard, along with all skirt boards and trim. Replace T&G flooring with new.

Remove existing (non-original), composite support columns and discard. Replace with period-appropriate, wooden columns.

Remove dilapidated handrail and replace with new handrail, identical to what is there now.



Repair and tuck point deteriorated portions of foundation at right front corner and along right side all the way to back right porch.



Repair rotten portions of TnG porch ceiling, as well as rotten or missing portions of box beam and soffit.





Certificate of Appropriateness

Knoxville Historic Zoning Commission

File Number: 10-C-25-HZ

A Certificate of Appropriateness is hereby granted for the following property by the Knoxville Historic Zoning Commission:

Property Address: 1334 Grainger Ave.
Parcel ID: 81 L G 007
District: Old North Knoxville H
Owner: Jordan and Luke Wilkerson
Applicant: Jordan and Luke Wilkerson

Level of Work: Level I/II
Routine Repair, Major Repair or Replacement

Work Items:
Architectural Feature, Masonry Repair or Painting, Porch Elements, Other: Foundation

Description of Work:

Structural repair, reconstruction, and tuckpointing of deteriorated sections of brick foundation, bringing brick below-grade in the front-left corner of the house. In-kind replacement of rotten wood mud sills and foundation trim. Disassembly of existing brick porch foundation and in-kind reconstruction using the existing brick and installing concrete footings. Disassembly and in-kind reconstruction of brick and concrete walls on front porch steps, installing concrete footings for support; retention of existing metal handrailing. Brick foundation will be reassembled and tuckpointed with a mortar mix with a 1/2/9 ratio of portland cement, lime, and sand, in accordance with National Park Service Preservation Brief 2.

Removal and in-kind wood replacement of tongue-and-groove porch flooring, skirt boards, and trim. Removal of existing wood handrailing from front porch and replacement with new handrailing made from painted kiln-dried pressure-treated wood, constructed with in-kind profile. Repair rotten sections of wood tongue-and-groove front porch ceiling, with in-kind replacement as necessary. Repair deteriorated sections of wooden box beam and soffit on front-porch, with in-kind replacement as necessary.

NOTE: The front-porch column replacement requires HZC approval and a new COA. The porch columns can be removed but should be retained until the replacement is approved.

Action: Approved

Certified By: Malynda Wollert

Date Certified: 9/16/2025

COA Expiration Date (3 years): 9/15/2028

This Certificate Is Not A Building Permit

To obtain a building permit, drawings stamped as approved by the Historic Zoning Commission (HZC) staff must be submitted along with this Certificate of Appropriateness to the City of Knoxville Plans Review and Inspections Department or the Knox County Codes Administration Department, as appropriate. Any deviation from the drawings and written conditions approved by the HZC will require subsequent review and approval by the HZC or its staff.

Contact the appropriate building inspections office for permit requirements:

City of Knoxville Development Services: 865-215-2992 or 865-215-2991

Knox County Building Codes Administration: 865-215-2325