

Meeting: 11/20/2025
Applicant: Devon Rodriguez, Red Door Homes of East Tennessee
Owner: Richard and Miranda Brewer

Property Information

Location: 700 Morgan St. **Parcel ID** 94 D J 029
District: Fourth and Gill H
Zoning: RN-3 (General Residential Neighborhood)
Description: N/A
Vacant lot.

Staff Recommendation

The Commission should discuss the front and corner side setbacks, window placement and sizing on the side and rear elevations, and whether additional detail is necessary on the side elevations.

Along with any necessary revisions or conditions, staff recommends approval of Certificate 7-G-25-HZ, subject to the following conditions:

- 1) final site plan to meet City Engineering standards;
 - 2) final material specifications for the roofing, secondary entrances, porch columns, and porch ceiling to be approved by staff and included in final drawings;
 - 3) the porch columns to feature trim at the top and base, as depicted;
 - 4) the projecting sills, trim on the windows to be retained, and the windows to use simulated divided lites;
 - 5) the final drawings to depict the foundation height and front steps as-built and a handrailing on the front porch if required by code, to be approved by staff;
 - 6) the placement of the window and door on the right elevation to be aligned; and
 - 7) a beltcourse with the same color as the window trim be introduced to divide the stories.
-

Description of Work

Level III Construction of New Primary Building

New single-family house fronting Morgan Street, with a side elevation along E. Fourth Avenue. The two-story house will measure 26' wide (32'-8" with side porch) by 57.5' deep, and the main massing is proposed to be set 22'-8" from the front property line (16' to the front porch), with a 17.5' corner side setback and a 10.5' interior side setback. Parking is a 26.3' wide by 28.7' deep concrete pad at the rear of the lot and is accessed via the alley.

The house features an 8/12 pitch, hipped roof with a hipped roof dormer centered on the front roof slope, an exterior of fiber cement lap siding (smooth, 4" reveal) and a raised block foundation clad in brick veneer. The design features cornerboards, fascia, a frieze board, and 1' overhanging eaves. The façade features a full-length, wrap-around, 6'-8" deep front porch with a 4/12 pitch, hipped roof supported by 8" square columns, and it will be

accessed via full-length brick steps. The materials for the porch columns and ceiling are not specified. The porch flooring will be wood tongue-and-groove, and no railing is proposed.

The façade (southwest) features three bays, with paired 3/1 double-hung windows on each story of the left and right bays, flanking a quarter-lite wood paneled door on the first story. The right elevation features three irregular bays of 3/1, double-hung windows on both the first and second stories, with the front-porch wrapping around the front corner and a deck with a wood handrailing recessed under the primary roofline at the rear corner with a full-lite door. The left elevation features two and a pair of 3/1 double-hung windows on the second story and three 3/1 double-hung windows on the first story. The rear elevation features three 2/2 double-hung windows on the second story, and there are two 2/2 double-hung windows and a secondary entrance with steps leading to the deck on the first-story. All windows will be made from fiberglass-clad wood or aluminum-clad wood (Marvin Elevate “wood clad” product), and the window profiles on the elevation drawings and renderings conflict, with the drawings showing 2/2 windows in the place of the 3/1 windows.

Comments

1. This case was postponed by the Historic Zoning Commission in July 2025 to allow the applicant to work with the neighborhood to introduce more architectural detail, particularly on the highly visible side elevations. The front porch design has been revised to wrap around the right corner, and revisions have been made to window placement and profiles.

2. The new house is proposed for a 54' wide lot in Fourth and Gill that has been vacant since at least the 1980s and historically held a rectangular, two-story, wood frame residence with an exterior of wood and a one-story corner porch. The proposed house reflects the shape of the lot, with a rectangular form and the narrow side parallel to the street. The subject property is a corner lot, which typically necessitates additional elaboration on the side elevation.

3. The average front setback of the blockface is 16' (approximately 12' to the front porches), and the adjacent house at 704 Morgan Street is set 17' from the front property line, with a corner porch that's flush with the main massing. The proposed setback measures 16' to the full-length front porch, with the main massing set 23' from the front lot line. The house will be placed slightly further from the street than most of the buildings on the block but will be generally aligned.

The 10.5' interior side setback is consistent with the historic development pattern. Most corner lots in Fourth and Gill have smaller corner side setbacks than the proposed 17.5' or the 12' required by the zoning code, typically ranging between 5'-13'. The large corner side setback is driven by a slightly narrower house form. The Commission should discuss whether the front and corner side setbacks are compatible with the context.

4. The proposed parking is a concrete pad at the rear of the lot and is accessed via the alley, which will preserve the existing streetscapes along Morgan Street and E. Fourth Avenue by avoiding curb cuts and reducing visibility. The final site plan should meet City Engineering standards, with minor revisions to be approved by staff.

5. The proposed two-story house employs the American Four-Square style, including typical roof forms, brick veneer cladding, and the three-bay façade. Although guidelines recommend that new construction not attempt to replicate historic styles, recent new construction in Fourth and Gill has included contemporary interpretations of historic styles. Overall, the house's style is compatible with the historic context and uses contemporary materials to be sufficiently differentiated from original buildings. However, additional architectural details and elaborations may be necessary on the side and rear elevations, particularly the street-facing right elevation, to align with the detail and historic proportions of the context.

6. The 26' wide by 57.5' deep two-story house is proposed for a block featuring two-story houses in the Vernacular, Queen Anne, and Craftsman styles, and the opposite side of the street features a historic brick apartment building,

contemporary new construction, and a cinderblock commercial building outside of the overlay. The block features some of the neighborhood's narrower and more modest houses, and the proposed house is comparable in size and form to the houses at 712-722 Morgan Street.

7. The proposed 8/12 pitch hipped roof with a hipped roof dormer on the façade and 1' overhanging eaves is compatible with other American Four-Square houses in the neighborhood and is overall comparable in height and complexity to other houses on the street. However, the design may benefit from additional variation and design elements present on other American Four-Square houses in the neighborhood and houses on the block. The roofing material is not specified, but appears to be asphalt shingles and should be indicated on the final drawings.

8. The façade features a full-length, wrap-around 6'-8" deep front porch with 8" square columns (material unspecified but likely wood) and will be accessed via full-length brick steps. The proposed front porch is compatible with the dimensions of the house and other porches on the block, and it meets the minimum depth recommended by the guidelines. The wrap-around porch is similar to that of the previous structure on the site and provides additional interest to the highly visible right elevation. The tongue-and-groove flooring is appropriate, and the final drawings should include a handrailing if required by code, ideally a wood handrailing with balusters set in the top and bottom rails. The porch columns have been revised from Craftsman-style tapered columns with wood bases, but they are similar to those on other houses on the block. The materials for the porch columns and ceiling should be included in the final drawings, and the porch columns should feature trim at the top and base.

9. Guidelines recommend "break[ing] up uninteresting boxlike forms into smaller, varied masses" organized into bays and using a "mix of wall areas with door and window elements" like those found on existing buildings. The façade achieves this with its consistent bays, hipped roof dormer, and full-length front porch. Although the number of windows and their placement have been revised, the side and rear elevations are not organized into bays that are compatible with historic forms, and the side elevations feature large swaths of blank siding. The side elevations will be highly visible due to the house's narrow width and placement on a corner lot. The placement of the window and secondary entrance on the right elevation should be aligned. The Commission should discuss whether additional windows should be added to the side elevations, whether the right elevation has sufficient interest for its visibility, and whether the window placement on the rear elevation should be aligned.

10. The house incorporates a raised block foundation clad in brick veneer, which meets the design guidelines. Final drawings should indicate the foundation height. The proposed gray brick will provide a modern contrast with the historic brick in the neighborhood but will remain compatible.

11. Guidelines recommend that windows on new construction be similar in material, operation, and muntin profile to historic houses in the neighborhood. The design primarily features 3/1 (on renderings but 2/2 in elevation drawings) double-hung fiberglass-clad wood or aluminum-clad wood windows, which are appropriate for Craftsman styling and use proportions that will differentiate the house from the historic buildings on the block. The windows feature projecting sills and trim that should be retained, and the final windows should feature simulated divided lites, to be approved by staff. However, the design features six different window sizes and irregular placement on the side elevations; the Commission should discuss if the window sizing and placement on secondary elevations is appropriate.

12. Guidelines recommend that materials for new buildings be consistent with materials on the street. Brick cladding on the foundation is appropriate; the applicant should submit a section indicating the brick foundation aligning with the face of the siding above, instead of protruding outwards from the siding. The proposed siding is fiber cement lap siding with a smooth finish and 4" reveal, which has been approved on new construction in Fourth and Gill. Different siding colors are proposed for the first and second stories, and a beltcourse with the same color as the window trim should be introduced to divide the stories.

13. The drawings include a quarter-lite, Craftsman-style wooden front door and two full-lite doors as secondary

entrances, which will be visible from the right-of-way. The proposed front door is appropriate. Final door selections for the secondary entrances should be sent to staff for review.

Applicable Design Guidelines

Fourth and Gill Design Guidelines, adopted by the Knoxville City Council on April 20, 1999 and June 29, 1999.

Roofs

1. The shape and pitch of roofs on new construction should imitate the shape and pitch of roofs on neighboring existing houses or other houses of the same architectural style. Replacement roofs should copy the shape and pitch of original roofs, and the soffit, fascia and trim detail between roof and wall should mimic the original.[MW1.1]
2. The eaves on additions or new buildings should have an overhang that mimics the original eave, or where this is not feasible, mimics the existing buildings near the property. A minimum eave overhang of at least eight inches should be used on new construction. Fascia boards should be included on the gables.
3. Repair or replace roof details (chimneys, roof cresting, finials, attic vent windows, molding, and other unique roof features). Use some of these details in designing new buildings.
4. Materials used in roofing existing buildings or new construction should duplicate the original roofing materials if possible. Asphalt or fiberglass shingles can be appropriate, as are slate, standing seam metal or metal shingle roof coverings. The color of roofing materials should be a dark green, charcoal gray, black or dark reddish brown to simulate the original roof colors.

Porches

3. New front porches in Fourth and Gill must be large enough to provide seating, i.e., six to eight feet in depth.
4. In new construction, the proportion of the porches to the front facades should be consistent with the historic porches in the neighborhood. Details such as columns, posts, piers, balustrades and porch flooring must use materials that present a visually and physically appropriate appearance historically.

Entrances

4. Secondary entrances should be compatible with the originals in size, scale or materials but should not give the appearance of a primary entrance.

Wall Materials

Wood

3. New construction should use wood materials rather than aluminum or vinyl siding. New buildings should also use corner and trim boards and appropriate door and window trim. Concrete composition planks may be appropriate for new construction.
12. Siding or pressboard or particle board, and vertical siding (including T-111) is not appropriate for primary structures in the Fourth & Gill Historic District and should not be used.

Infill Buildings

Width of Houses and Lots

1. Maintain the historic facade lines of streetscapes by locating the front walls of new buildings in the same plane as the facades of adjacent buildings. A new building should continue and reinforce the alignment established by its neighbors. Never violate the existing setback pattern by placing new buildings in front of or behind the historic facade line.
2. Avoid placing buildings at odd angles to the street.

Scale and Massing

1. Relate the size and proportions of new structures to the scale of adjacent buildings.
2. Break up uninteresting boxlike forms into smaller, varied masses like those of most buildings from the historic period. Variety of form and massing are essential to the character of the streetscape.
3. New buildings should be designed with a mix of wall areas with door and window elements in the facade like

those found on the neighborhood's historic houses. Also consider the width-to-height ratio of bays in the facade. The placement of openings with respect to the facade's overall composition, symmetry, or balanced asymmetry should be carefully imitated.

4. Relate the vertical, horizontal, or nondirectional façade character of new buildings to the predominant directional alignment of nearby buildings. A new building should continue and reinforce the alignment established by its neighbors.

5. Relate the roof forms of the new buildings to those found in the area. Duplication of the existing or traditional roof shapes, pitches, and materials on new construction is one way of making new structures more visually compatible.

Height of Foundations and Stories

1. As a general rule, construct new buildings to equal the average height of existing buildings on the street.

2. Raised foundations, or the appearance of raised foundations, must be designed for any new housing constructed in Fourth and Gill. The height of the foundation should replicate those of adjoining buildings.

3. If building new structures, the eave lines should conform to those of adjacent properties. Divisions between stories should either be omitted, or should mimic neighborhood buildings.

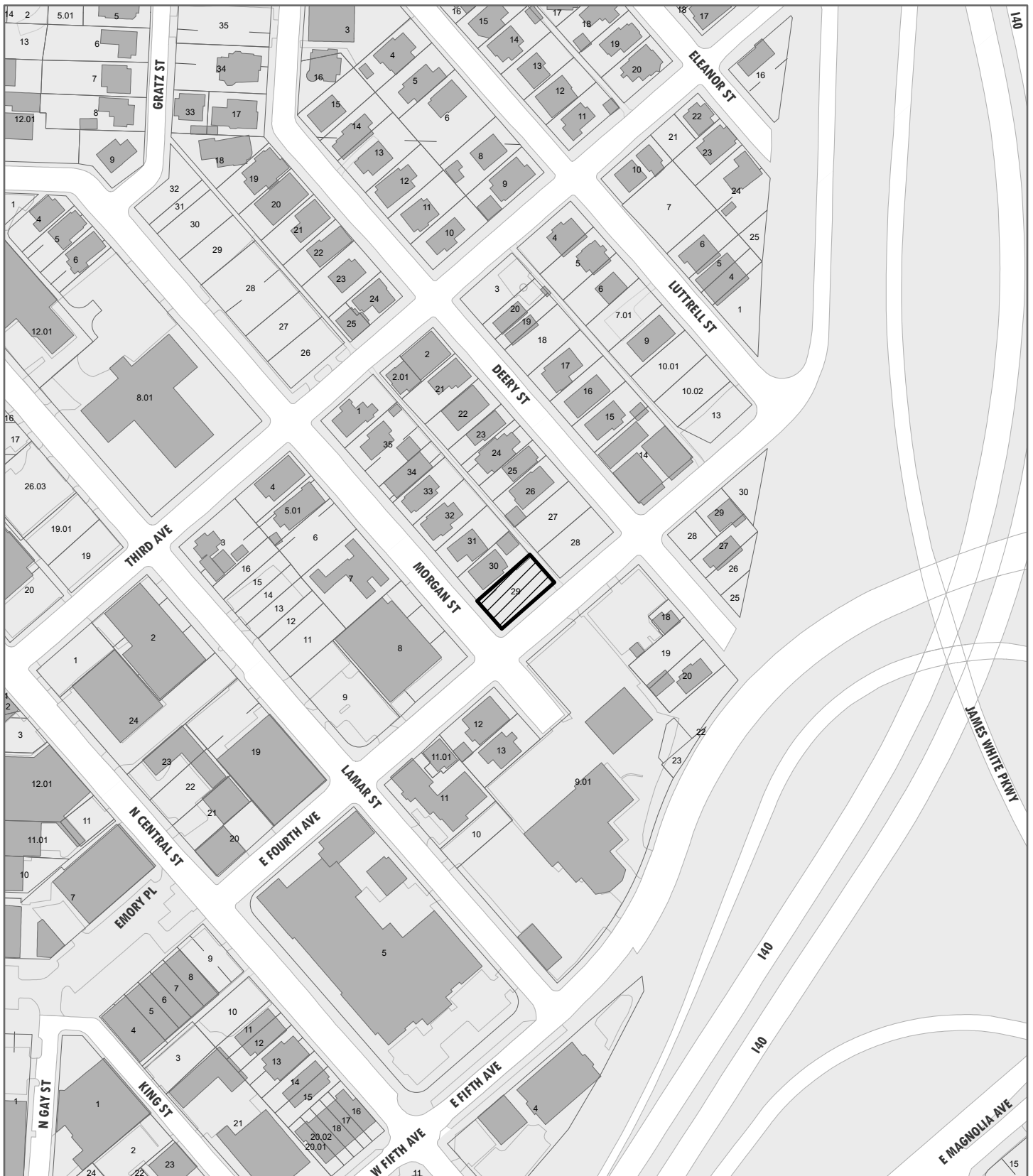
Materials

1. The materials used for new buildings should be consistent with existing historic building materials along the street.

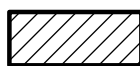
Features

1. Always design front facades with a strong sense of entry. Strongly emphasized side entries, or entries not defined by a porch or similar transitional element, result in an incompatible flat first-floor facade.

2. Avoid replicating or imitating the styles, motifs, or details of older periods. Such attempts can present a confusing picture of the true character of the historical area.



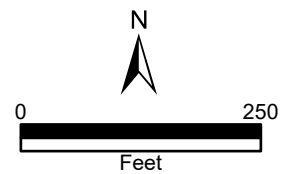
7-G-25-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



700 Morgan St. 37917
Fourth and Gill H

Original Print Date: 7/9/2025
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Devon Rodriguez, Red Door Homes
 of East Tennessee





DESIGN REVIEW REQUEST

- ☐ DOWNTOWN DESIGN (DK)
☒ HISTORIC ZONING (H)
☐ INFILL HOUSING (IH)

Red Door Homes of East Tn

Applicant

6/24/25

7/17/25

7-G-25-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

☐ Owner ☒ Contractor ☐ Engineer ☐ Architect/Landscape Architect

Devon Rodriguez

Red Door Homes of East Tn

Name

Company

115 Circle Lane,

Knoxville

TN

37919

Address

City

State

Zip

865-531-1880

drodriguez@reddoorhomes.com

Phone

Email

CURRENT PROPERTY INFO

Richard and Miranda Brewer

3432 Sprucewood Rd, Knoxville, Tn 37921

865-385-9083

Owner Name (if different from applicant)

Owner Address

Owner Phone

700 Morgan Street

094DJ029

Property Address

Parcel ID

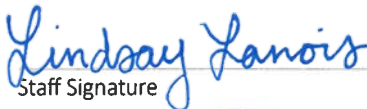
Fourth & Gill

RN-3

Neighborhood

Zoning

AUTHORIZATION



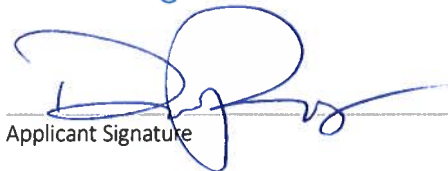
Staff Signature

Lindsay Lanois

6.25.25

Please Print

Date



Applicant Signature

Devon Rodriguez

6/24/25

Please Print

Date

REQUEST

DOWNTOWN DESIGN	Level 1: <input type="checkbox"/> Signs <input type="checkbox"/> Alteration of an existing building/structure Level 2: <input type="checkbox"/> Addition to an existing building/structure Level 3: <input type="checkbox"/> Construction of new building/structure <input type="checkbox"/> Site design, parking, plazas, landscape <i>See required Downtown Design attachment for more details.</i> <input type="checkbox"/> Brief description of work: _____ _____ _____
	Level 1: <input type="checkbox"/> Signs <input type="checkbox"/> Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors Level 2: <input type="checkbox"/> Major repair, removal, or replacement of architectural elements or materials <input type="checkbox"/> Additions and accessory structures Level 3: <input checked="" type="checkbox"/> Construction of a new primary building Level 4: <input type="checkbox"/> Relocation of a contributing structure <input type="checkbox"/> Demolition of a contributing structure <i>See required Historic Zoning attachment for more details.</i> <input type="checkbox"/> Brief description of work: <u>Construction of new residential home</u> _____ _____
	Level 1: <input type="checkbox"/> Driveways, parking pads, access point, garages or similar facilities <input type="checkbox"/> Subdivisions Level 2: <input type="checkbox"/> Additions visible from the primary street <input type="checkbox"/> Changes to porches visible from the primary street Level 3: <input type="checkbox"/> New primary structure <input type="checkbox"/> Site built <input type="checkbox"/> Modular <input type="checkbox"/> Multi-Sectional <i>See required Infill Housing attachment for more details.</i> <input type="checkbox"/> Brief description of work: _____ _____ _____

STAFF USE ONLY	ATTACHMENTS <input type="checkbox"/> Downtown Design Checklist <input type="checkbox"/> Historic Zoning Design Checklist <input type="checkbox"/> Infill Housing Design Checklist ADDITIONAL REQUIREMENTS <input type="checkbox"/> Property Owners / Option Holders Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500	FEE 1: 250.00	TOTAL: 250.00 Pd., 06/26/2025, SG
		FEE 2:	
		FEE 3:	

STERLING
ENGINEERING, INC.

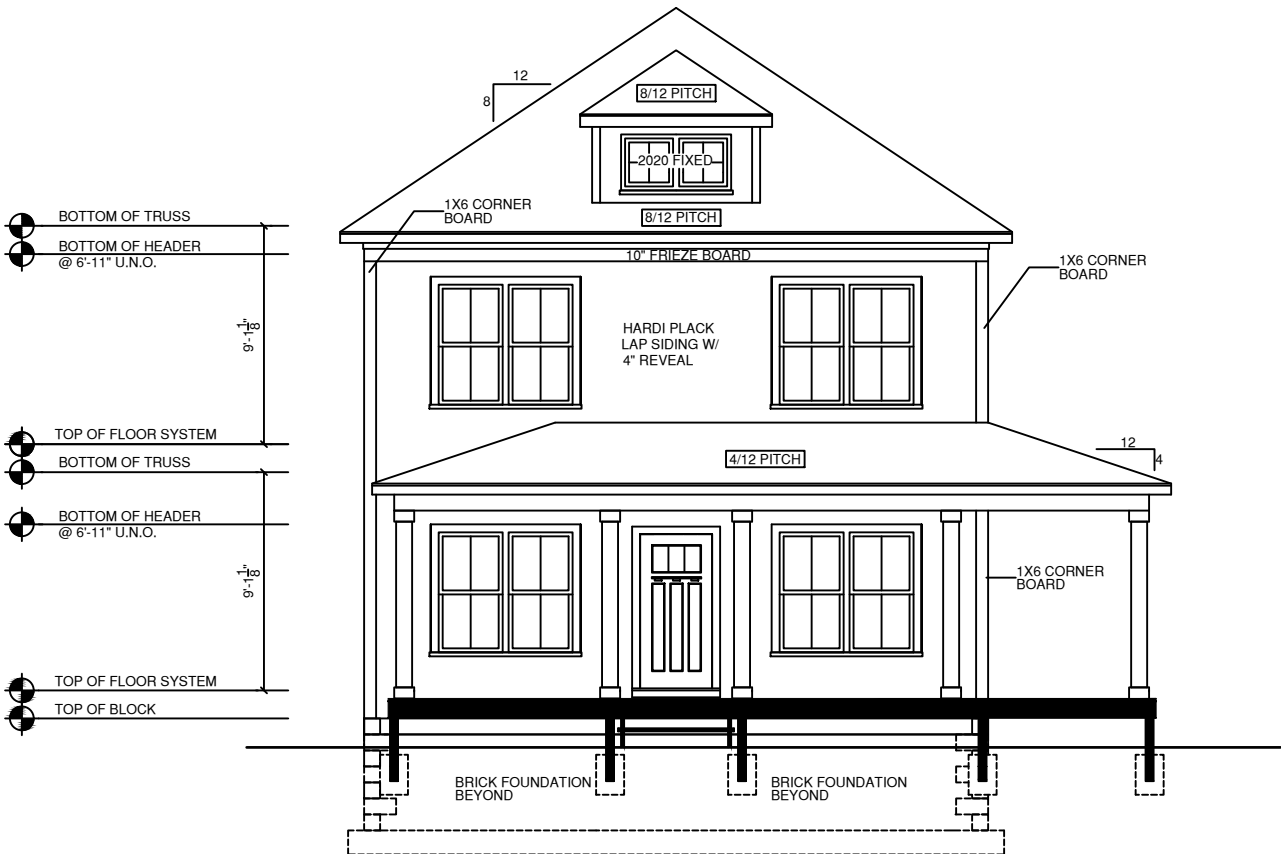
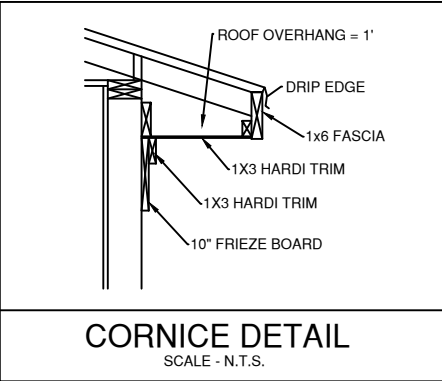
www.sterling.us.com

**STAUB, VANGILDER &
HENDERSON'S ADDITION
TO KNOXVILLE - LOT 247R
700 MORGAN ST, KNOXVILLE, TN 37917**

SEI#8197B



- 9'-0" CEILINGS FIRST FLOOR
- 9'-0" CEILINGS SECOND FLOOR



FRONT ELEVATION
SCALE: 1/8" = 1'-0"

NOTE:
FLOOR SYSTEM TO CANTILEVER
BLOCK FOUNDATION WALL BY 5"
ALL THE WAY AROUND SO THAT
BRICK SKIRT WILL BE FLUSH W/
EXTERIOR HOUSE WALLS.

FINAL V
08-1202 BREWER

GENERAL NOTES

- 1.) MAIN FLOOR PLATE HEIGHT TO BE 9'-0" UNLESS NOTED OTHERWISE.
- 2.) OPTIONAL BONUS PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE.
- 3.) INTERIOR & EXTERIOR WALLS TO BE DRAWN @ 3 1/2" UNLESS NOTED OTHERWISE.
- 4.) ALL ANGLES TO BE DRAWN AT 45° OR 90° UNLESS NOTED OTHERWISE.
- 5.) WINDOW HEADER HEIGHT TO BE SET @ 6'-11" UNLESS NOTED OTHERWISE. HEADER SIZE AND MATERIAL TO BE DETERMINED & VERIFIED BY FRAMER, BUILDER, TRUSS SHOP OR BY A LICENSED ENGINEER.
- 6.) SIZE, LOCATION AND MATERIALS OF BEAMS TRUSSES, GIRDERS AND HEADERS TO BE DETERMINED & VERIFIED BY BUILDER, FRAMER TRUSS SHOP OR LICENSED ENGINEER.
- 7.) FOOTER SIZE, MATERIAL & LOCATIONS TO BE VERIFIED AND DETERMINED BY BUILDER, FOOTER CONTRACTOR OR LICENSED ENGINEER.
- 8.) ROOF VENTELLATION TO BE DETERMINED & VERIFIED BUILDER, ROOFING COTRACTOR OR LICENSED ENGINEER.
- 9.) ALL MECHANICAL SYSTEMS DESIGNS, LOCATIONS AND SIZING TO BE DETERMINED & VERIFIED BY BUILDER, APPROPRIATE TRADE CONTRACTOR AND OR LICENSED ENGINEER.
- 10.) BUILDER RESPONSIBLE FOR VERIFYING AND COMPLYING WITH ALL LOCAL, STATE & NATIONAL CODES.
- 11.) LOCAL, STATE AND NATIONAL CODES TAKE PRECEDENCE OVER DRAWINGS.
- 12.) BUILDER TO VERIFY ALL DIMENSIONS.

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KNOXVILLE TN.



SQUARE FOOTAGE CHART	
FIRST FLOOR PLAN AREA:	1241
SECOND FLOOR PLAN:	1262
HEATED AND COOLED AREA:	2503
FRONT PORCH AREA:	308
REAR PORCH AREA:	72
TOTAL UNDER BEAM AREA:	2883

SUBDIVISION NAME:
XXXXXXXXXX

CITY:
XXXXXXXXXX

PHASE:
XXXXXXXXXX

BLOCK:
XXXXXXXXXX

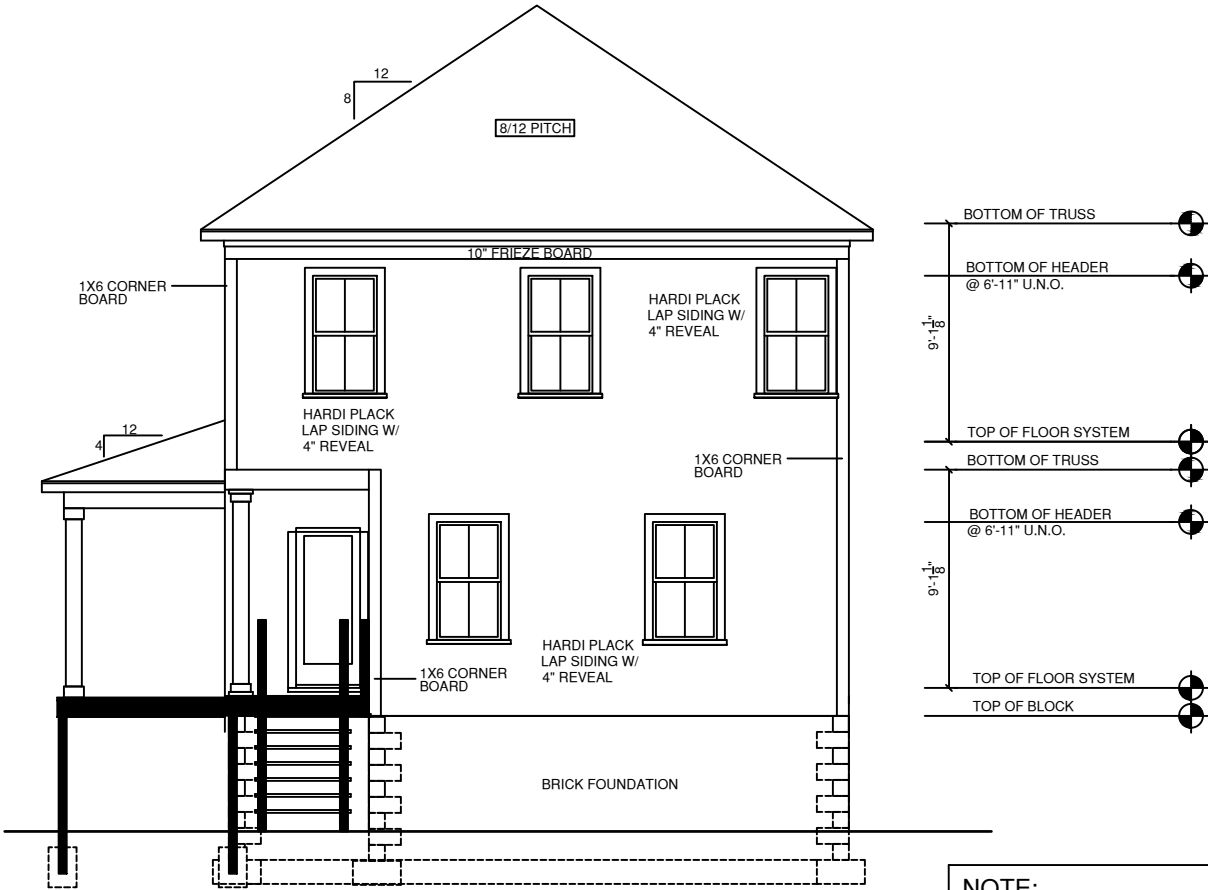
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DRAFTING DATES:
PERM: 05/02/25 PJM*
FINAL: 06/09/25 PJM*
FINAL II: 07/03/25 PJM*
FINAL III: 08/04/25 PJM*
FINAL IV: 10/02/25 PJM*
FINAL V: 10/31/25 JPH*

Front Elevation

Oak
"A"

- 9'-0" CEILINGS FIRST FLOOR
- 9'-0" CEILINGS SECOND FLOOR



REAR ELEVATION
SCALE: 1/8" = 1'-0"

NOTE:
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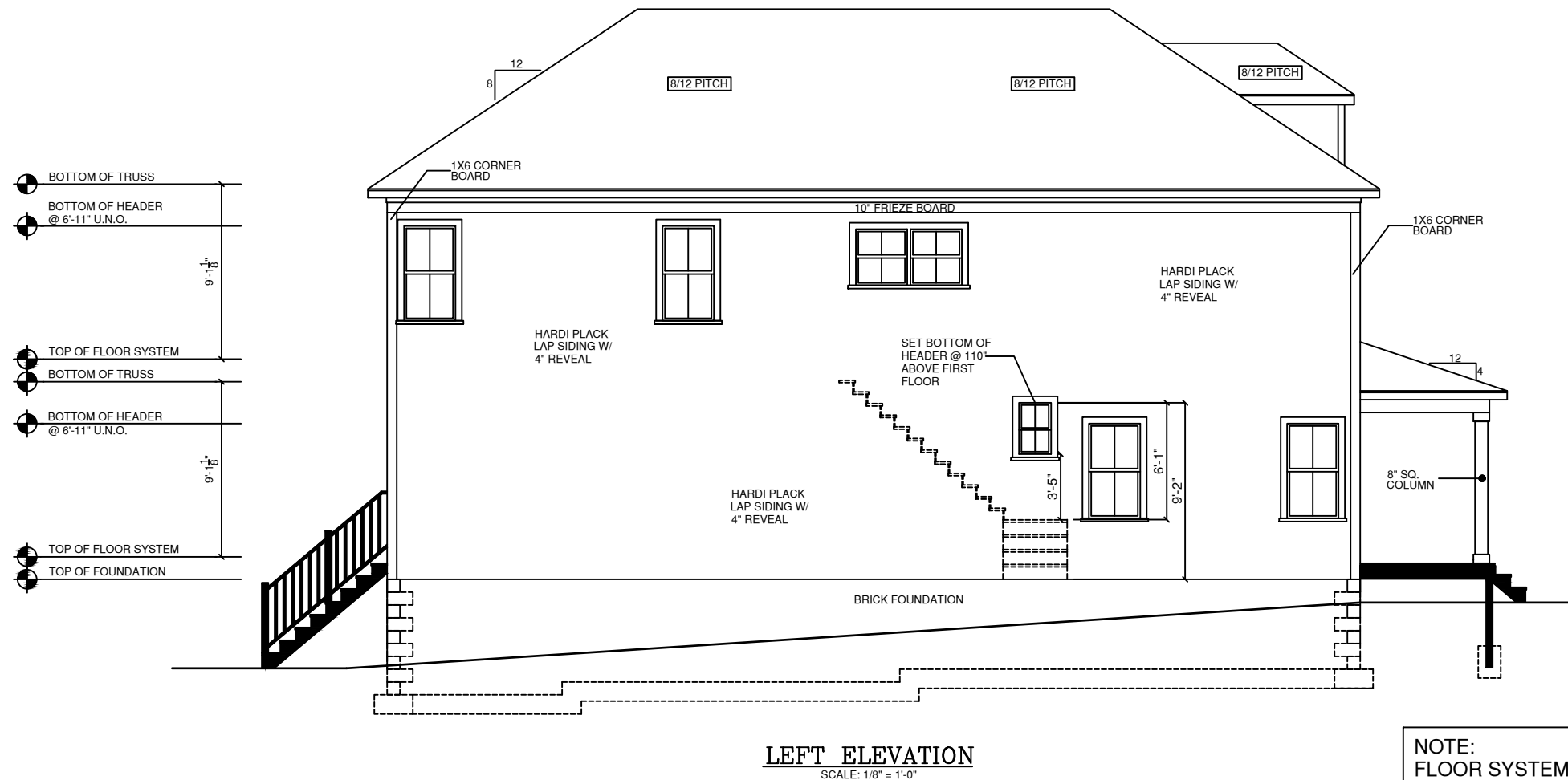
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FINAL IV: 10/02/25 PJM*
FINAL V: 10/31/25 JPH*

Rear Elevation

Oak
"A"

FINAL V
08-1202 BREWER

- 9'-0" CEILINGS FIRST FLOOR
- 9'-0" CEILINGS SECOND FLOOR



NOTE:
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FINAL V
08-1202 BREWER

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PHASE:	XXXXXXXXXXXX
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BLOCK:	XXXXXXXXXX
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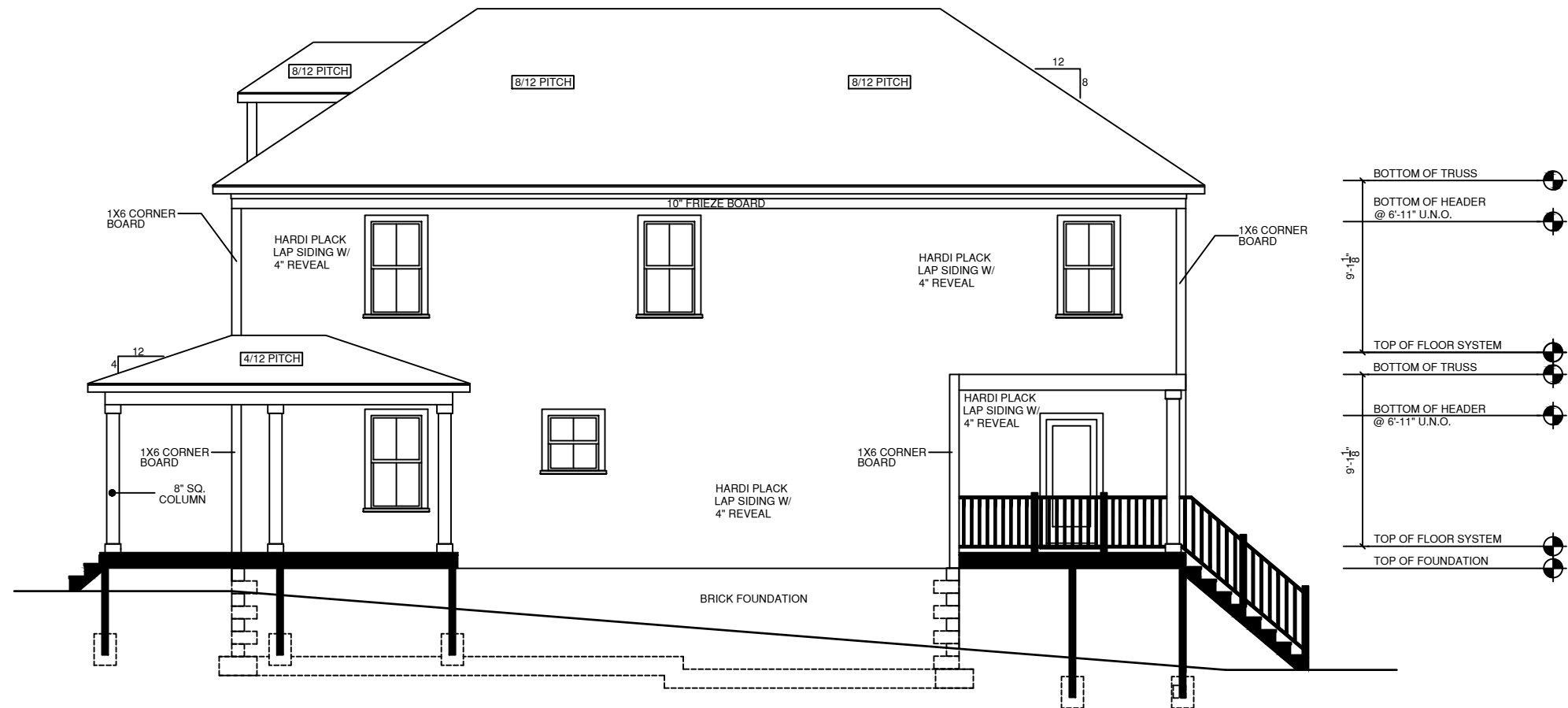
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 FINAL V: 10/31/25 JPH*

Left Elevation

Oak
"A"



NOTE:
FLOOR SYSTEM TO CANTILEVER
BLOCK FOUNDATION WALL BY 5"
ALL THE WAY AROUND SO THAT
BRICK SKIRT WILL BE FLUSH W/
EXTERIOR HOUSE WALLS.

RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

- 9'-0" CEILINGS FIRST FLOOR
- 9'-0" CEILINGS SECOND FLOOR

GENERAL NOTES

1.) MAIN FLOOR PLATE HEIGHT TO BE 9'-0" UNLESS NOTED OTHERWISE.

2.) OPTIONAL BONUS PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE.

3.) INTERIOR & EXTERIOR WALLS TO BE DRAWN @ 3 1/2" UNLESS NOTED OTHERWISE.

4.) ALL ANGLES TO BE DRAWN AT 45° OR 90° UNLESS NOTED OTHERWISE.

5.) WINDOW HEADER HEIGHT TO BE SET @ 6'-11" UNLESS NOTED OTHERWISE. HEADER SIZE AND MATERIAL TO BE DETERMINED & VERIFIED BY FRAMER, BUILDER, TRUSS SHOP OR BY A LICENSED ENGINEER.

6.) SIZE, LOCATION AND MATERIALS OF BEAMS TRUSSES, GIRDERS AND HEADERS TO BE DETERMINED & VERIFIED BY BUILDER, FRAMER TRUSS SHOP OR LICENSED ENGINEER.

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12.) BUILDER TO VERIFY ALL DIMENSIONS.

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KNOXVILLE TN.

RED DOOR

homes

SQUARE FOOTAGE CHART

FIRST FLOOR PLAN AREA:	1241
SECOND FLOOR PLAN:	1262
HEATED AND COOLED AREA:	2503
FRONT PORCH AREA:	266
REAR PORCH AREA:	72
TOTAL UNDER BEAM AREA:	2841

SUBDIVISION NAME:

XXXXXXXXXX

CITY:

XXXXXXXXXX

PHASE:

XXXXXXXXXX

BLOCK:

XXXXXXXXXX

LOT:

XXXXXXXXXX

DRAFTING DATES:

PERM: 05/02/25 PJM*
FINAL: 06/09/25 PJM*
FINAL II: 07/03/25 PJM*
FINAL III: 08/04/25 PJM*
FINAL IV: 10/02/25 PJM*
FINAL V: 10/31/25 JPH*

RIGHT Elevation

Oak
"A"

FINAL V
08-1202 BREWER

Front Elevation



Siding – Hardie Siding 4” Reveal Smooth Profile in Cavern and Sand Dune

Windows – Marvin Elevate Wood Clad in Black 3/clear

<https://www.marvin.com/products/windows/wood>

Porch Flooring – 1x4 Tongue and Groove porch wood floor Porch Depth – 6’ 7 1/2”

Rear Balcony – Same floor as above, Wood Hand rail

Front Door – Fir Wood – Craftsmen with 3 lite windows, Stained. <https://www.tuckerdoor.com/exterior/>

Brick - <https://shop.generalshale.com/generalshale/en/USD/Product-Types/Brick/Everest-Gray-Tudor/p/6042026985>



Door 4632FPFRE (IG) Flat Panel in Fir with Modified Ovolo Sticking



Two distinctive Dentil Shelf designs (FSHELFFRE) are available for most any Rogue Valley Door Design.

BREWER





Left Elevation



Right Elevation

Back Elevation



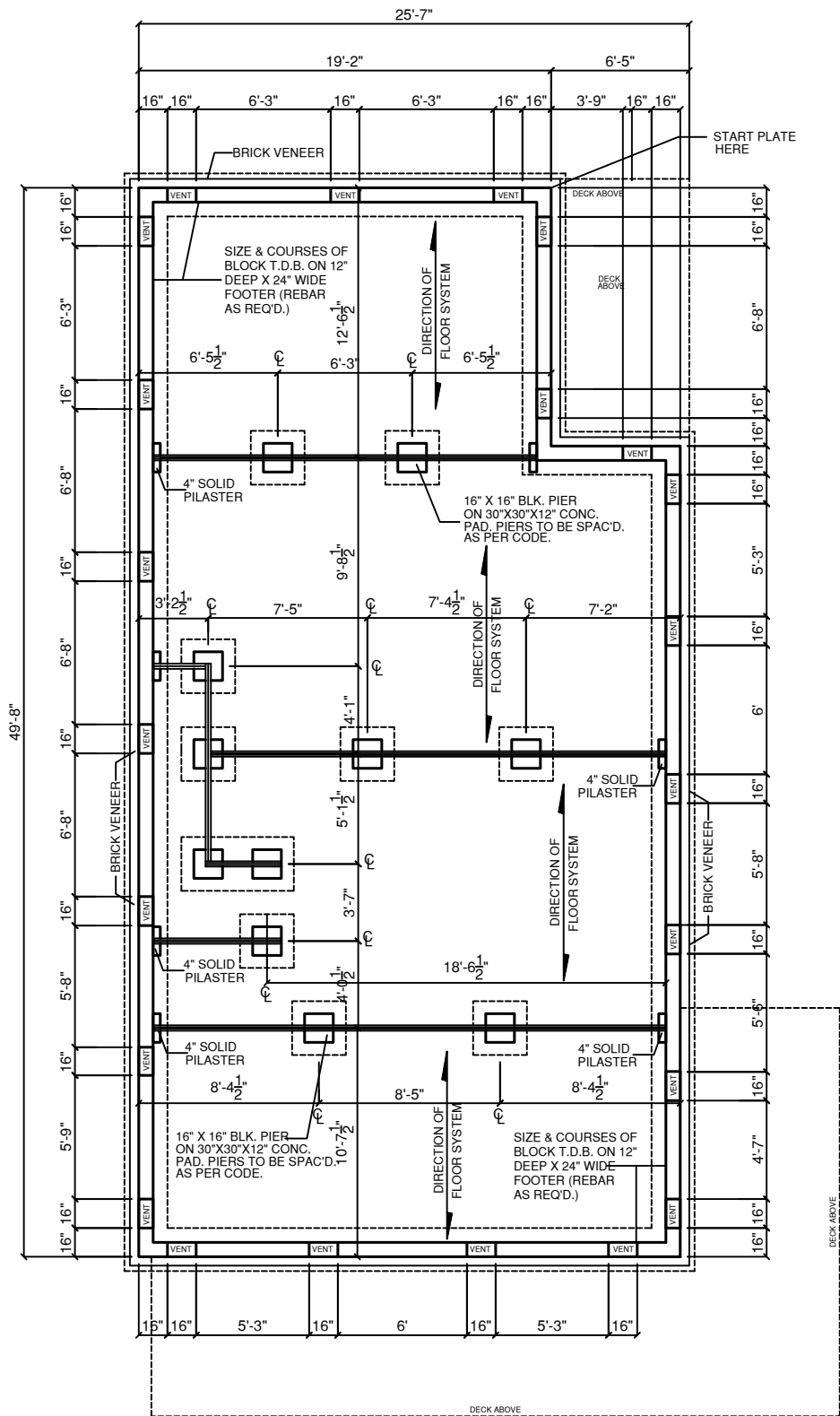
NOTE: BEAM (S) TO BE SIZED TO LOCAL & STATE CODES BY BUILDER (TYP).

NOTE: LOCATION AND SIZE OF CRAWL ACCESS DOOR T.B.D. AT PRE-CONSTRUCTION / LOT INSPECTION

NOTE: PIER SIZE AND LOCATION T.B.D. BY CODE, TRUSS SHOP & BY BUILDER (TYP).

NOTE: LOCATION AND NUMBER OF CRAWL VENTS TO BE VERIFIED PRIOR TO CONST.

NOTE: FLOOR SYSTEM TYPE, SIZE AND SPACING T.B.D. BY BUILDER & TRUSS SHOP.



NOTE:
FLOOR SYSTEM TO CANTILEVER
BLOCK FOUNDATION WALL BY 5"
ALL THE WAY AROUND SO THAT
BRICK SKIRT WILL BE FLUSH W/
EXTERIOR HOUSE WALLS.

CRAWL SPCA FOUNDATION PLAN
SCALE 1/8" = 1'-0"

FINAL V
08-1202 BREWER

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RED DOOR

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SQUARE FOOTAGE CHART

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SECOND FLOOR PLAN:	1262
HEATED AND COOLED AREA:	2503
FRONT PORCH AREA:	308
REAR PORCH AREA:	72
TOTAL UNDER BEAM AREA:	2883

SUBDIVISION NAME:

XXXXXXXXXX

CITY:

XXXXXXXXXX

PHASE:

XXXXXXXXXX

BLOCK:

XXXXXXXXXX

LOT:

XXXXXXXXXX

DRAFTING DATES:

PERM: 05/02/25 PJM*

FINAL: 06/09/25 PJM*

FINAL II: 07/03/25 PJM*

FINAL III: 08/04/25 PJM*

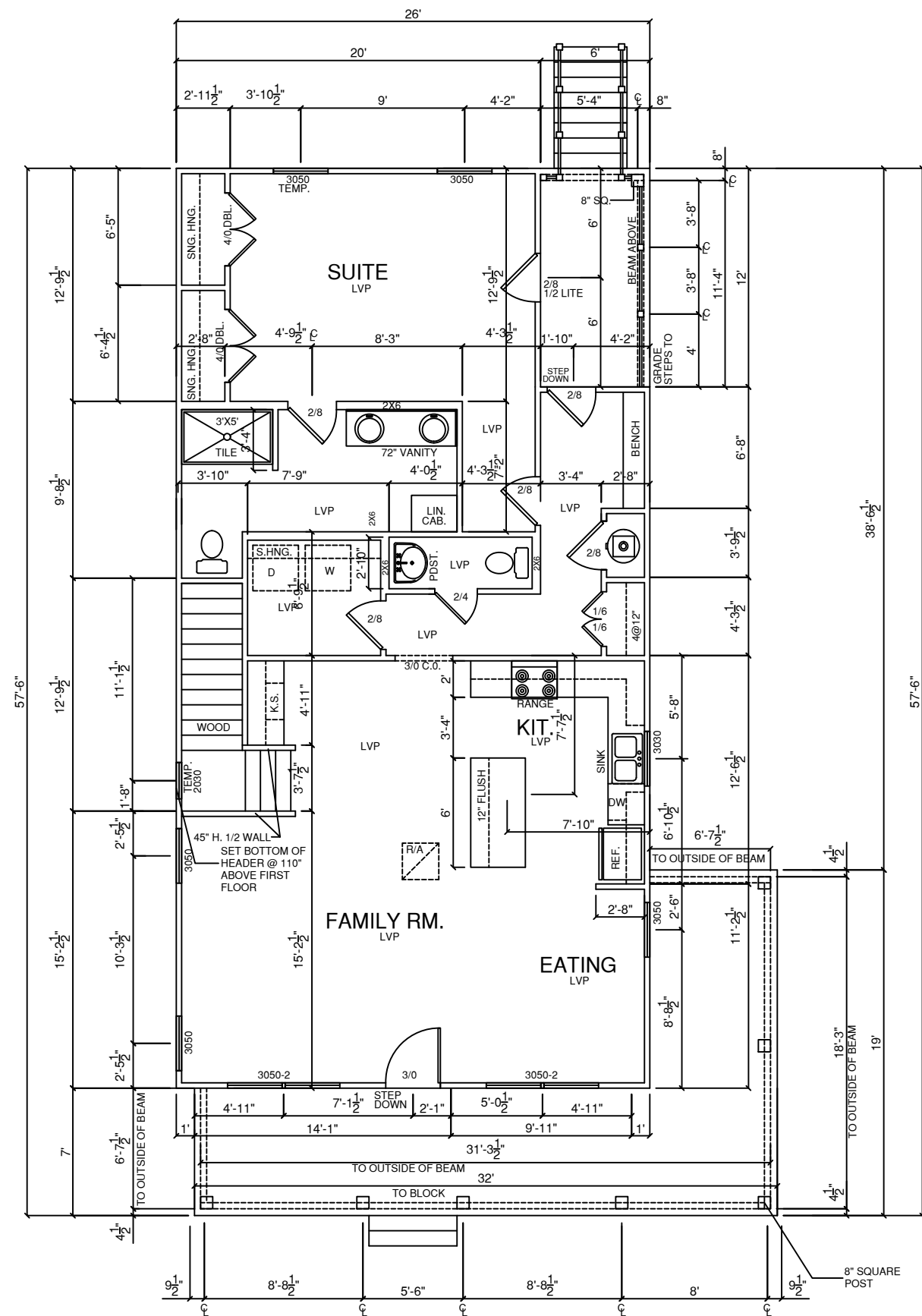
FINAL IV: 10/02/25 PJM*

FINAL V: 10/31/25 JPH*

Crawl Space Foundation

Oak

"A"



FIRST FLOOR PLAN

FINAL V
08-1202 BREWER

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BLOCK:	XXXXXXXXXXXX
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LOT:	XXXXXXXXXXXX
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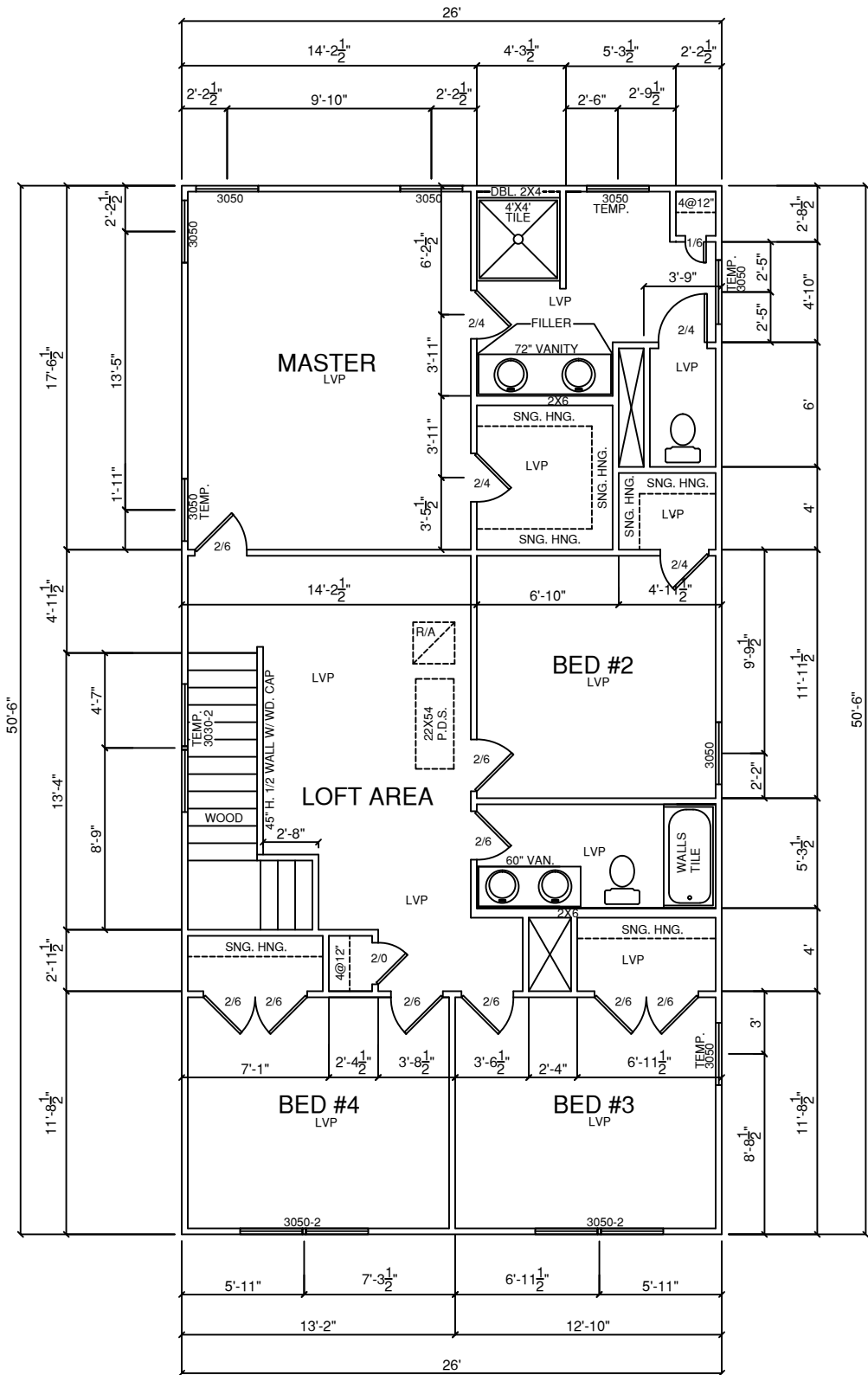
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 FINAL V: 10/31/25 JPH*

First Floor Plan

Oak
"A"

- 9'-0" CEILINGS FIRST FLOOR
- 9'-0" CEILINGS SECOND FLOOR



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

FINAL V
08-1202 BREWER

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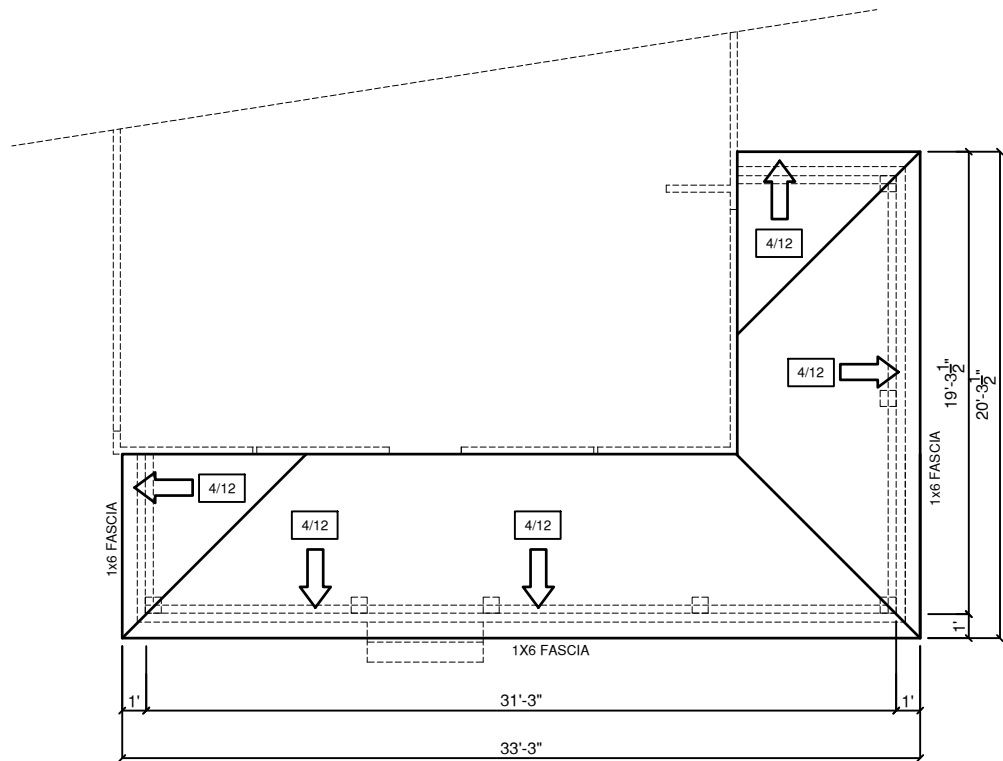
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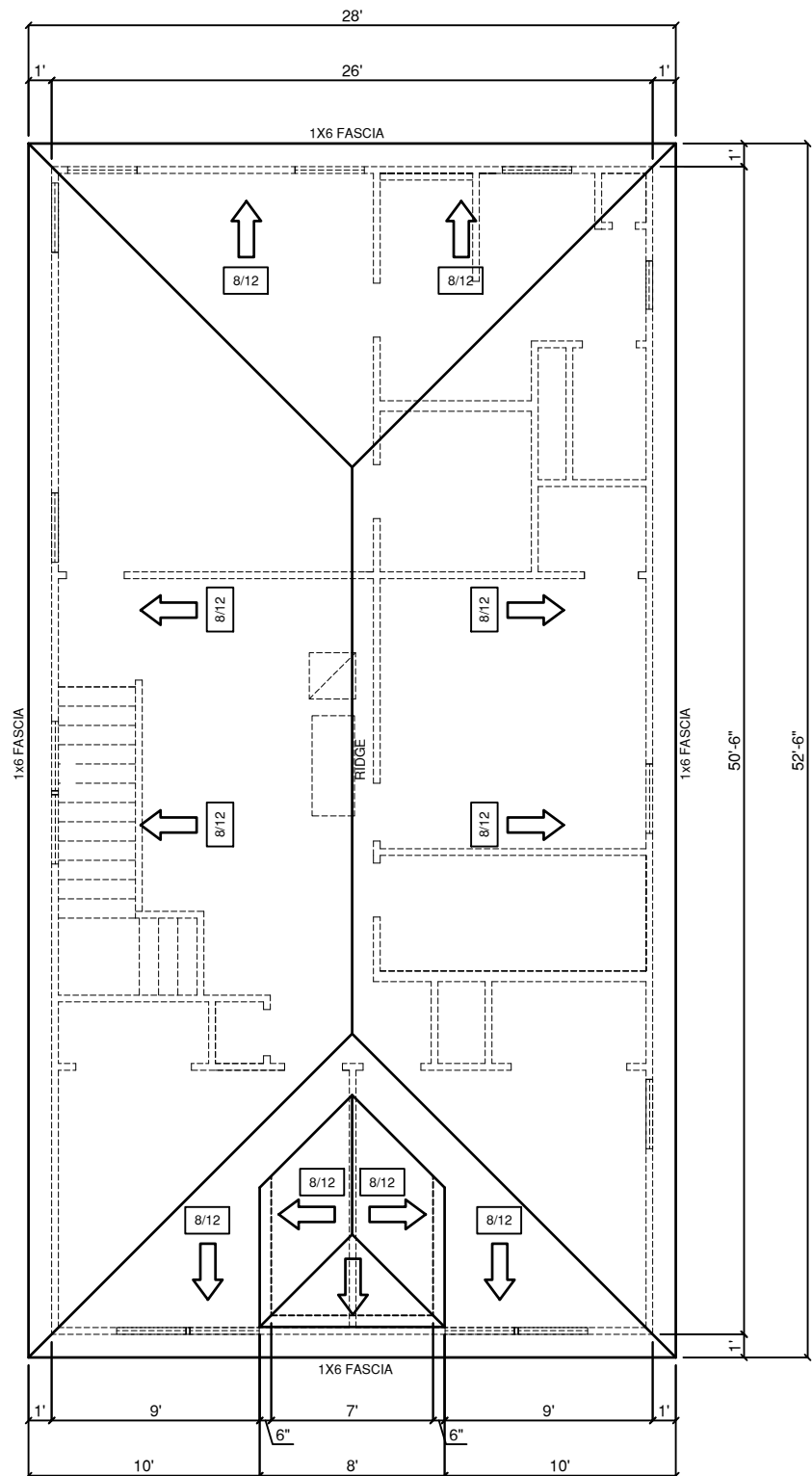
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FINAL V: 10/31/25 JPH*

Second Floor Plan

Oak
"A"



LOWER ROOF PLAN
SCALE: 1/8" = 1'-0"



- 9'-0" CEILINGS FIRST FLOOR
- 9'-0" CEILINGS SECOND FLOOR

FINAL V
08-1202 BREWER

GENERAL NOTES

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 FINAL IV: 10/02/25 PJM*
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Roof Plan

Oak
"A"