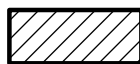




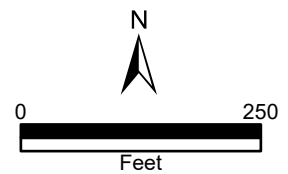
5-D-25-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



1618 Clinch Ave. 37916
Ft. Sanders NC

Original Print Date: 5/5/2025
Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Brian Dennison, Goss Design/
Development



Meeting: 5/15/2025
Applicant: Brian Dennison, Goss Design/Development
Owner: Clinch Development Group LLC

Property Information

Location: 1618 Clinch Ave. **Parcel ID:** 94 N H 013
District: Ft. Sanders NC
Zoning: O (Office)
Description: Craftsman, c.1907

2.5-story, side-gable roof house with wide eave overhangs and partial cornice returns, clad in shingle siding on the second story and stuccoed on the first story, with a flat-roof porch.

Description of Work

Level II Construction of Addition or Outbuilding

Proposed roofline reconstruction, addition of a new rear dormer, and new rear elevation addition, along with an exterior rehabilitation.

The existing 9/12 pitch, side gable roof will be removed and reconstructed with the same overall height, pitch, eave overhangs, and partial cornice returns. An existing shed-roof dormer on the rear roof slope will be removed and reconstructed as a four-bay dormer with a 4.5/12 pitch shed roof, with an exterior clad in fiber cement shake siding. The pitch and design of the front gable on the façade elevation will be reconstructed.

The flat-roof, two-story deck and rear addition are proposed to be removed. A new flat-roof addition with a similar small footprint to be constructed, below the existing enclosed flat-roof massing. The new section will be clad in stucco to match the existing, with a centrally-located secondary access door on the lowest level.

The project also includes the installation of new double-hung windows in existing fenestrations, repair and repointing of existing stucco cladding, new fiber cement lap siding on side elevations and shake siding on the façade, and repair to existing front porch elements. Some windows on the side elevations will be revised in size and placement, with the removed windows enclosed with siding to match.

Applicable Design Guidelines

Fort Sanders NC-1, adopted by the Knoxville City Council on September 13, 2000.

H. Additions to Existing Buildings

1. Additions should be made to the rear or side of the building.
3. Transitional space shall be provided between the addition and the existing structure. This should include a courtyard or a connecting structure. The wall of the new connecting structure should not be continuous with the wall of the existing building, but have a minimum 4' by 6' indentation.

5. Windows or French doors and balconies shall provide 10% to 20% transparency on the sides of buildings.
 9. Expansion to the front with a bay and/or a porch is acceptable.
- A. Height, Scale, & Massing
2. Single-family detached infill housing should be proportional to other pre-1940 houses in terms of height and width.
- B. Roofs
1. Select a roof pitch that is in keeping with other pre-1940 houses of the neighborhood, not being less than an 8/12 pitch.
 2. Use variations in the form of the roof above the second story such as gables at different angles, hipped roofs, and dormers.
 3. Use roofing materials that are in keeping with the historic development styles. Asphalt, shingle, tile, pressed metal, and slate were used.
 4. Darker shades of shingles were historically used and should be selected in new construction.
- D. In making additions to existing buildings, wall cladding should complement the original wall covering. Acceptable materials are clapboard, vinyl siding, cement fiber board, brick, and stucco.
- E. Windows and Entrances
1. Window proportions and symmetry should be similar to the pre-1940 styles in the neighborhood.
 2. Windows should be double hung, sash windows. Vinyl or metal-clad windows may be used in place of wood frame windows.
 4. Double-hung sash windows are recommended for two- to three-story new construction.
 6. The proportions of upper level windows should not exceed the proportion of the first level.
 7. Upper level windows should be provided and aligned with doors.

Comments

N/A

Staff Findings

1. 1618 Clinch Avenue is a contributing resource to the Fort Sanders National Register Historic District and Neighborhood Conservation Overlay.
 2. Guidelines recommend that “additions should be made to the side or rear of the building.” Dormer additions have been approved in Fort Sanders, and the proposed new dormer will be located on the rear roof slope. The new dormer will be proportionate to the overall building and feature siding which meets the guidelines. The height and pitch of the reconstructed roof will be retained, and drawings indicate the eave overhangs and partial cornice return details will be reconstructed.
 3. Overall, the proposed window replacements are appropriate within the design guidelines. The proposed windows to be enclosed or shifted are on secondary elevations, and are not character-defining features of the building. The façade window arrangement will be retained. If at all possible, the 9/1 window pattern should be replicated as character-defining features.
 4. The application does not currently include a site plan or revisions to the parking. If parking is added, all efforts should be taken to place new parking areas beside or behind the primary building, avoiding the front yard.
-

Staff Recommendation

Staff recommends approval of Certificate 5-D-25-HZ as submitted.



DESIGN REVIEW REQUEST

☐ DOWNTOWN DESIGN (DK)

☒ HISTORIC ZONING (H)

☐ INFILL HOUSING (IH)

Goss Design/Development

Applicant

April 28, 2025

May 15, 2025

5-D-25-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

☐ Owner ☐ Contractor ☐ Engineer ☒ Architect/Landscape Architect

Brian Dennison

Goss Design/Development

Name

Company

110 W. Summit Hill Drive

Knoxville

TN

37902

Address

City

State

Zip

703.855.5619

brian@marblealley.com

Phone

Email

CURRENT PROPERTY INFO

Clinch Development Group LLC

110 W. Summit Hill Drive, Knoxville, TN 37902

865-230-1860

Owner Name (if different from applicant)

Owner Address

Owner Phone

1618 Clinch Ave

094NH013

Property Address

Parcel ID

Fort Sanders

Office

Neighborhood

Zoning

AUTHORIZATION

Malynda Wollert

Staff Signature

Malynda Wollert

Please Print

4/28/25

Date

Brian M. Dennison

Applicant Signature

Brian Dennison

Please Print

04/28/25

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- ☐ Signs ☐ Alteration of an existing building/structure

Level 2:

- ☐ Addition to an existing building/structure

Level 3:

- ☐ Construction of new building/structure ☐ Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

- ☐ Brief description of work: _____

HISTORIC ZONING

Level 1:

- ☐ Signs ☐ Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- ☒ Major repair, removal, or replacement of architectural elements or materials ☐ Additions and accessory structures

Level 3:

- ☐ Construction of a new primary building

Level 4:

- ☐ Relocation of a contributing structure ☐ Demolition of a contributing structure

See required Historic Zoning attachment for more details.

- ☒ Brief description of work: Removal of existing roof structure as required to add rear dormer. Existing pitches and roof height to remain unchanged.
All fenestration at front facade to remain, no proposed changes. Windows at side and rear to be removed or modified as shown.
Basement area below larger First Floor footprint to be enclosed.

INFILL HOUSING

Level 1:

- ☐ Driveways, parking pads, access point, garages or similar facilities ☐ Subdivisions

Level 2:

- ☐ Additions visible from the primary street ☐ Changes to porches visible from the primary street

Level 3:

- ☐ New primary structure
☐ Site built ☐ Modular ☐ Multi-Sectional

See required Infill Housing attachment for more details.

- ☐ Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- ☐ Downtown Design Checklist
☐ Historic Zoning Design Checklist
☐ Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- ☐ Property Owners / Option Holders

Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500

FEE 1:

1005

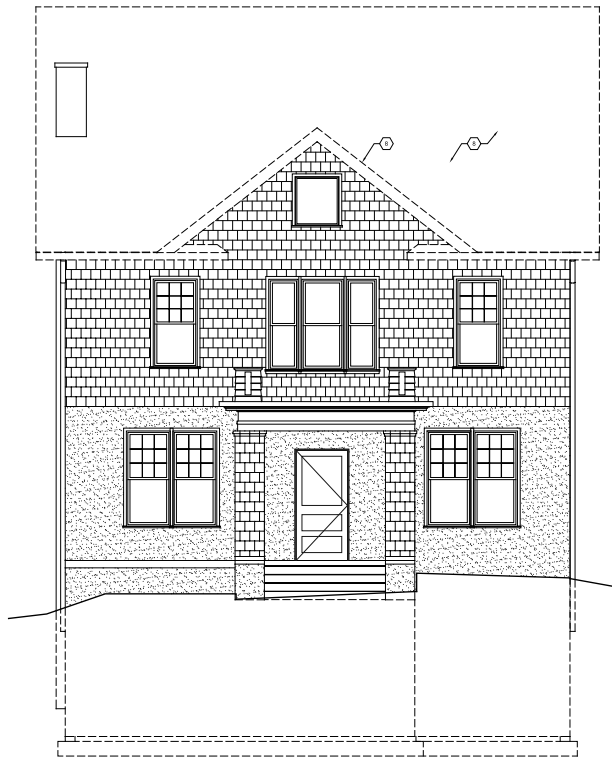
FEE 2:

FEE 3:

TOTAL:

\$100.00

(Pd. 05/01/2025, SG)



1
A1.3
DEMOLITION ELEVATION - FRONT
SCALE: 1/4" = 1'-0"
1618 CLINCH

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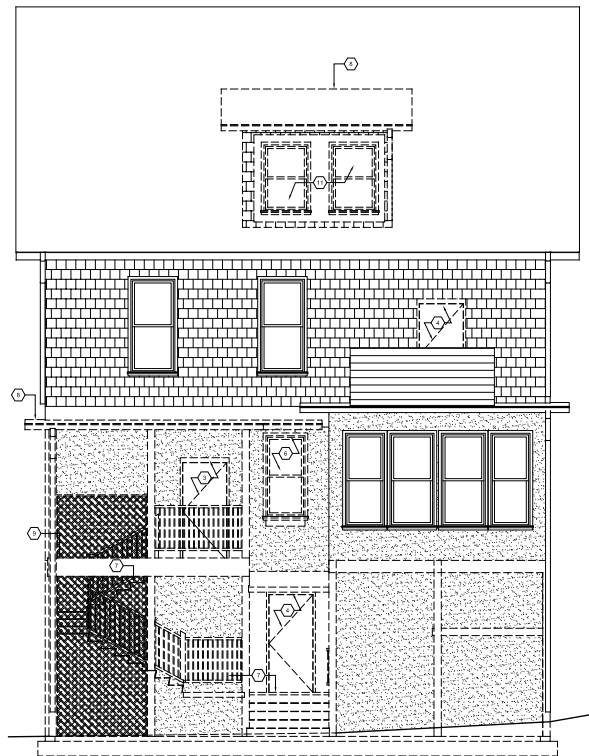
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CLINCH AVENUE APARTMENTS
1618 CLINCH AVENUE
KNOXVILLE, TENNESSEE 37916

Job No:
Date: 04.25.2025
Title: DEMOLITION
ELEVATION - FRONT
Redlines:

SHEET
A1.3



1 DEMOLITION ELEVATION - REAR
SCALE: 1/4" = 1'-0"
1618 CLINCH

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Job No:
Date: 04.25.2025
Title: DEMOLITION
ELEVATION - REAR
Redlines:

SHEET
A1.4



1 DEMOLITION ELEVATION - LEFT
A1.5 SCALE: 1/4" = 1'-0"
1618 CLINCH

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SHEET
A1.5



1
A1.6
DEMOLITION ELEVATION - RIGHT
SCALE: 1/4" = 1'-0"
1618 CLINCH

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- ALL ABATEMENT, REMOVAL, AND FINAL DISPOSAL OF HAZARDOUS MATERIALS FOUND ON SITE SHALL BE REMOVED IN ACCORDANCE TO ALL APPLICABLE OSHA AND AESTHETIC REGULATIONS, AND REQUIREMENTS IN ADDITION TO ANY OTHER ADOPTED ORDINANCES THAT MAY BE PRESENTLY OBSERVED.
- PRIOR TO COMPLETION OF DEMOLITION PHASE, REMOVE ALL LOOSE MATERIALS AND DEBRIS FROM ALL FLOOR LOCATIONS.



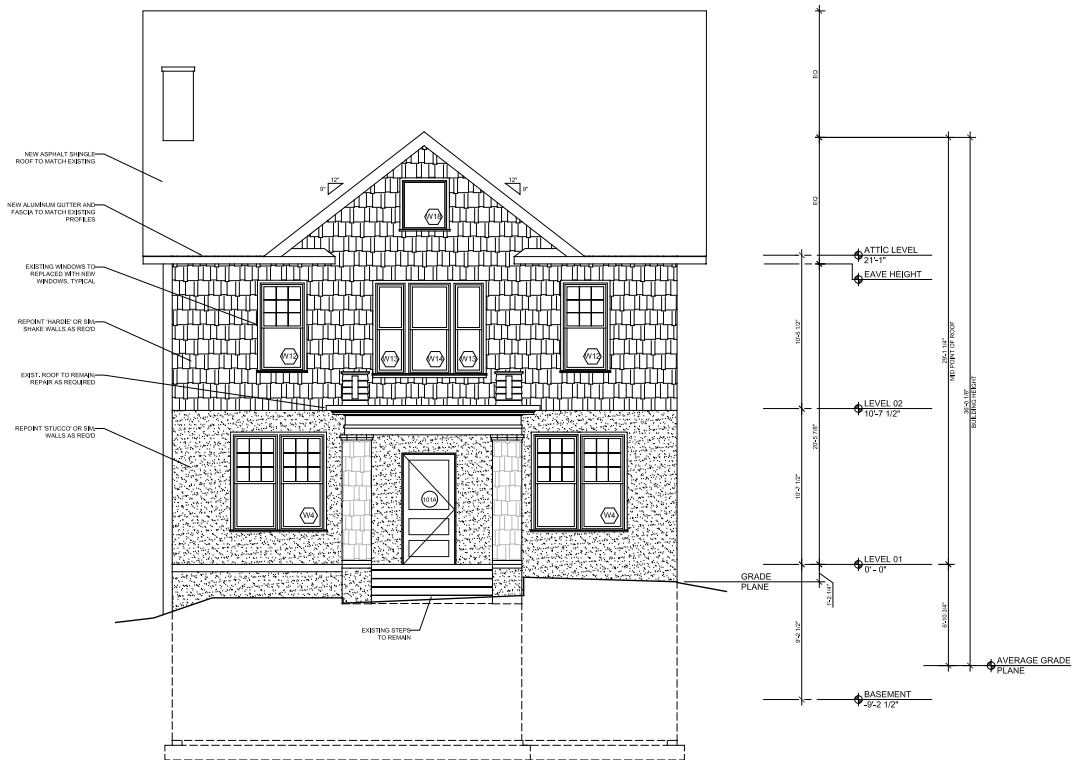
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CONSTRUCTION DOCUMENTS FOR:
CLINCH AVENUE APARTMENTS
1618 CLINCH AVENUE
KNOXVILLE, TENNESSEE 37916

Job No:
Date: 04.25.2025
Title: DEMOLITION
ELEVATION - RIGHT
Redlines:

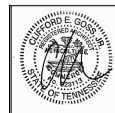
SHEET
A1.6



1
A4.0
ELEVATION - FRONT
SCALE: 1/4" = 1'-0"
1618 CLINCH



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CONSTRUCTION DOCUMENTS FOR:
CLINCH AVENUE APARTMENTS
1618 CLINCH AVENUE
KNOXVILLE, TENNESSEE 37916

Job No:
Date: 04.25.2025
Title: ELEVATION - FRONT
Revisions:

SHEET
A4.0



1
A4.1
ELEVATION - REAR
SCALE: 1/4" = 1'-0"
1616 CLINCH



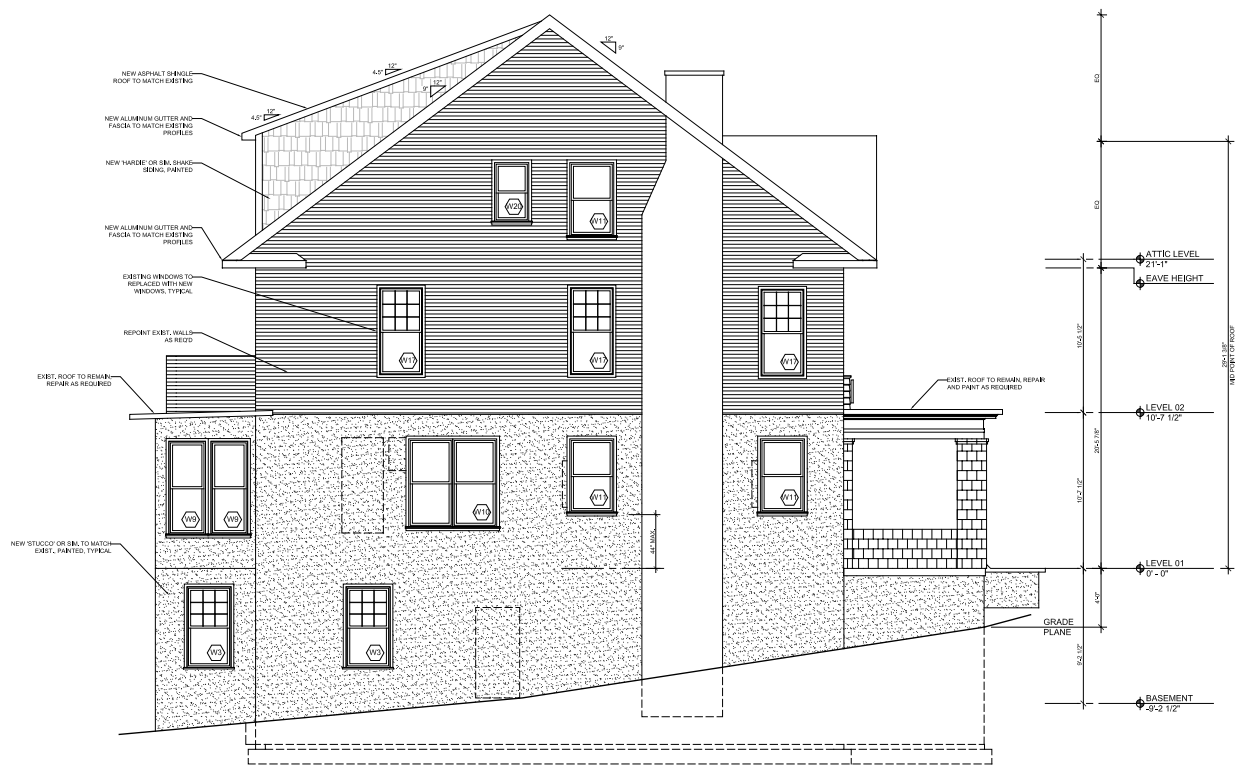
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CONSTRUCTION DOCUMENTS FOR:
CLINCH AVENUE APARTMENTS
1618 CLINCH AVENUE
KNOXVILLE, TENNESSEE 37916

Job No:
Date: 04.25.2025
Title: ELEVATION - REAR
Revisions:

SHEET
A4.1



1
A4.2 ELEVATION - LEFT
SCALE: 1/4" = 1'-0"
1618 CLINCH



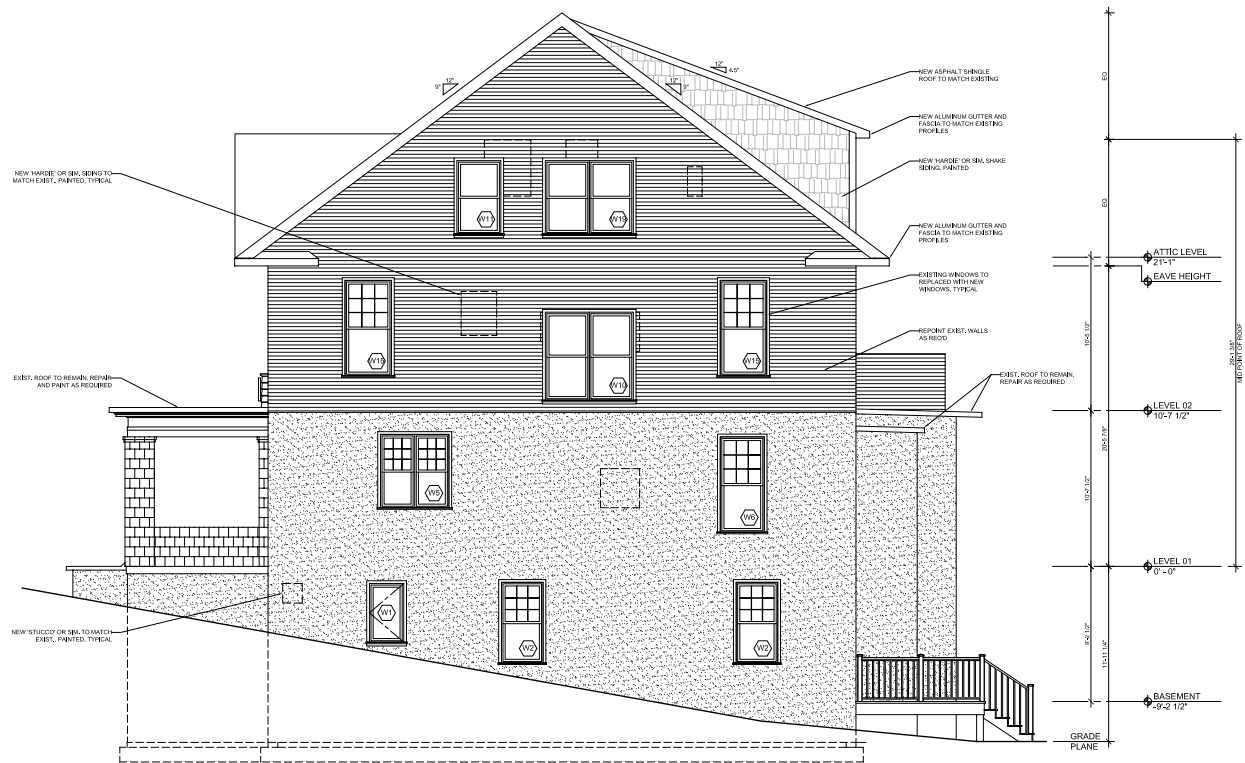
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CLINCH AVENUE APARTMENTS
1618 CLINCH AVENUE
KNOXVILLE, TENNESSEE 37916

Job No:
Date: 04.25.2025
Title: ELEVATION - LEFT
Revisions:

SHEET
A4.2



1
A4.3 ELEVATION - RIGHT
SCALE: 1/4" = 1'-0"
1618 CLINCH



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CONSTRUCTION DOCUMENTS FOR:
CLINCH AVENUE APARTMENTS
1618 CLINCH AVENUE
KNOXVILLE, TENNESSEE 37916

Job No:
Date: 04.25.2025
Title: ELEVATION - RIGHT
Revisions:

SHEET
A4.3



1618





