

Meeting: 5/15/2025
Applicant: Daniel and Sarah Sanders
Owner: Daniel and Sarah Sanders

Property Information

Location: 911 Eleanor St. **Parcel ID:** 81 M L 009
District: Fourth and Gill H
Zoning: RN-2 (Single-Family Residential Neighborhood)
Description: N/A
Vacant lot.

Description of Work

Level III Construction of New Primary Building

New primary structure fronting Eleanor Street. The two-story single-family house will measure 60' wide, and it is proposed to be set 20' from the front property line. The house features a cross-gable roof (9/12 pitch) clad in either low-profile standing seam metal or dimensional asphalt shingles with overhanging eaves (all over 12"), pressure-treated wood gable brackets, faux rafter tails, and trim. The roof also features an internal brick chimney. The house and its foundation will be clad in brick veneer, with gable fields clad in fiber cement shakes with vertical trim. The roof features shed-roof dormers on the façade and left elevation. The application proposes fiberglass, Fibrex composite, or aluminum-clad casement windows as three options for window materials, and includes specific products.

The house features a partial-width front-porch recessed under the front-gable massing, supported by four tapered square columns on brick bases, with a brick guardrail. The porch is accessed by stone steps with a metal railing with simple square balusters. The porch flooring and ceiling materials are not specified.

The façade (west) features five bays. The leftmost bay is located on a projecting, one-story shed roof massing. The façade features three bays of single-light casement or fixed windows, with one bay featuring three adjoining windows adjacent to a quarter-light Craftsman door with a transom. The rightmost bay is recessed in plan to create the deepest portion of the front porch.

The right (north) side elevation features four bays of single-light fixed or casement windows on the main story, with a centrally located pair of single-light casement windows on the upper gable field. The rear deck is accessed by paired French doors. The rear elevation (east) features four bays on the first story, with the left two bays accessing a rear deck recessed under the primary roofline. A second-story balcony is accessible via a single-light door. The rightmost bay features steps leading to the basement level. The left (south) side elevation features five bays of single-light fixed or casement windows. A shed-roof extension clad in shingles projects from the center of the elevation.

The project also includes a new secondary structure, featuring a garage on the first story and an accessory dwelling unit on the second story. The carriage house two-story carriage house will be set 12' from the rear lot line and 5' from the southern side lot line, and it will be accessed via the rear alley. The carriage house features a side-gable roof with shed

dormers, with one-story shed roof massings that will be clad in either asphalt shingles or low-profile standing seam metal, and the rooflines feature overhanging eaves, exposed faux rafter tails, and decorative brackets. The exterior is clad in fiber cement shakes with fiber cement board-and-batten accents, and it has a block foundation. The alley-facing (west) elevation features two carriage-style wooden garage doors recessed under a shed roof.

Applicable Design Guidelines

Fourth and Gill Design Guidelines, adopted by the Knoxville City Council on April 20, 1999 and June 29, 1999.

Roofs

1. The shape and pitch of roofs on new construction should imitate the shape and pitch of roofs on neighboring existing houses or other houses of the same architectural style. Replacement roofs should copy the shape and pitch of original roofs, and the soffit, fascia and trim detail between roof and wall should mimic the original.
2. The eaves on additions or new buildings should have an overhang that mimics the original eave, or where this is not feasible, mimics the existing buildings near the property. A minimum eave overhang of at least eight inches should be used on new construction. Fascia boards should be included on the gables.
3. Repair or replace roof details (chimneys, roof cresting, finials, attic vent windows, molding, and other unique roof features). Use some of these details in designing new buildings.
4. Materials used in roofing existing buildings or new construction should duplicate the original roofing materials if possible. Asphalt or fiberglass shingles can be appropriate, as are slate, standing seam metal or metal shingle roof coverings. The color of roofing materials should be a dark green, charcoal gray, black or dark reddish brown to simulate the original roof colors.

Porches

3. New front porches in Fourth and Gill must be large enough to provide seating, i.e., six to eight feet in depth.
4. In new construction, the proportion of the porches to the front facades should be consistent with the historic porches in the neighborhood. Details such as columns, posts, piers, balustrades and porch flooring must use materials that present a visually and physically appropriate appearance historically.

Entrances

4. Secondary entrances should be compatible with the originals in size, scale or materials but should not give the appearance of a primary entrance.

Wall Materials

Wood

3. New construction should use wood materials rather than aluminum or vinyl siding. New buildings should also use corner and trim boards and appropriate door and window trim. Concrete composition planks may be appropriate for new construction.
12. Siding or pressboard or particle board, and vertical siding (including T-111) is not appropriate for primary structures in the Fourth & Gill Historic District and should not be used.

Infill Buildings

Width of Houses and Lots

1. Maintain the historic facade lines of streetscapes by locating the front walls of new buildings in the same plane as the facades of adjacent buildings. A new building should continue and reinforce the alignment established by its neighbors. Never violate the existing setback pattern by placing new buildings in front of or behind the historic facade line.
2. Avoid placing buildings at odd angles to the street.

Scale and Massing

1. Relate the size and proportions of new structures to the scale of adjacent buildings.
2. Break up uninteresting boxlike forms into smaller, varied masses like those of most buildings from the historic period.

Variety of form and massing are essential to the character of the streetscape.

3. New buildings should be designed with a mix of wall areas with door and window elements in the facade like those found on the neighborhood's historic houses. Also consider the width-to-height ratio of bays in the facade. The placement of openings with respect to the facade's overall composition, symmetry, or balanced asymmetry should be carefully imitated.
4. Relate the vertical, horizontal, or nondirectional façade character of new buildings to the predominant directional alignment of nearby buildings. A new building should continue and reinforce the alignment established by its neighbors.
5. Relate the roof forms of the new buildings to those found in the area. Duplication of the existing or traditional roof shapes, pitches, and materials on new construction is one way of making new structures more visually compatible.

Height of Foundations and Stories

1. As a general rule, construct new buildings to equal the average height of existing buildings on the street.
2. Raised foundations, or the appearance of raised foundations, must be designed for any new housing constructed in Fourth and Gill. The height of the foundation should replicate those of adjoining buildings.
3. If building new structures, the eave lines should conform to those of adjacent properties. Divisions between stories should either be omitted, or should mimic neighborhood buildings.

Materials

1. The materials used for new buildings should be consistent with existing historic building materials along the street.

Features

1. Always design front facades with a strong sense of entry. Strongly emphasized side entries, or entries not defined by a porch or similar transitional element, result in an incompatible flat first-floor facade.
2. Avoid replicating or imitating the styles, motifs, or details of older periods. Such attempts can present a confusing picture of the true character of the historical area.

Outbuildings

1. Buildings resembling servants' quarters or carriage houses, work buildings, or simple one story garages are appropriate to be constructed in the Fourth and Gill Historic District. Their size and construction should use materials that correspond to the original primary buildings on the lot.

Demolition

3. Demolition may be considered if the building does not contribute to the historical or architectural character of the district.

Comments

N/A

Staff Findings

1. The lot to receive new construction is a 75' wide lot that has been vacant since at least the mid-1970s.
2. The proposed 1.5-story house employs a Craftsman style, including typical roof forms, front porch design, brick veneer cladding, window proportion and placement, and thorough architectural elements. The house's style is compatible with the historic context but uses contemporary materials and proportions to be sufficiently differentiated from original buildings.
3. Guidelines encourage maintaining the historic façade lines of the streetscape and aligning new buildings with the existing alignment. The house is proposed to be set 20' from the front property line at the closest point. The average of

the blockface is 30', with the 923 Eleanor St at 29' and 905 Eleanor St at 28', and the closest house at 25' from the front property line. The house should be recessed towards the rear at least 5' to align with the existing pattern of the blockface.

4. The proposed parking is located at the rear of the property and accessed from the alley, which will preserve the existing streetscape along Eleanor St and avoid new curb cuts or front yard parking. The final site plan should meet City Engineering standards, with minor revisions to be approved by staff.

5. The 1.5-story house is proposed for a block characterized by a range of 1 to 2-story Craftsman and Queen Anne-style houses. The block features many of the neighborhood's larger houses, and the proposed house is proportionate to the existing context.

6. Guidelines recommend "break[ing] up uninteresting boxlike forms into smaller, varied masses," and using a "mix of wall areas with door and window elements" like those found on existing buildings. The house's overall form is broken up via multiple projecting massings and bays, along with dormers on the roof slope. The design also incorporates a sufficient amount of transparency on each elevation, with a consistent rhythm of windows on the façade.

7. The proposed 9/12 cross-gable roof is compatible with other Craftsman-style roof forms in the area. The roof is sufficiently complex for the style and context and also incorporates typical Craftsman details such as triangular brackets, wide eave overhangs, and exposed rafter tails. Both submitted roofing materials meet the design guidelines.

8. The house incorporates a true raised foundation to accommodate a basement level below, which will meet the design guidelines for foundation height.

9. Guidelines recommend that materials for new buildings be consistent with materials on the street. The proposed brick veneer cladding will be compatible with other Craftsman houses in the neighborhood. Fiber cement siding has been previously approved for new construction in the Fourth and Gill neighborhood, and the proposed fiber cement shakes and trim elements are compatible with the proposed style and assist in breaking up the overall massing.

10. The house incorporates a substantial front porch recessed under the primary front-gable roof, featuring tapered wood columns with brick bases and a well-detailed brick guardrail that are compatible with the overall design of the house. Final drawings should incorporate material specifications for porch flooring and ceiling.

11. Overall, all elevations demonstrate a sufficient amount of transparency. While single-light casement windows would not always be appropriate replacement windows for a historic house, they serve to differentiate the new house from surrounding original houses and do not detract from the overall design. The applicant has included three material specifications as options for the window materials; in the opinion of staff, the fiberglass, Fibrex composite, and aluminum-clad wood products are all compatible with the context and appropriate within the design guidelines and precedent for new houses. Final selections should be submitted to staff for approval.

12. The drawings include a Craftsman-style, quarter-light door. Final specifications should be submitted to staff for approval.

13. The proposed garage and accessory dwelling unit meets the design guidelines as it is designed to be secondary to, but compatible with, the primary structure, and resembles typical secondary structures that were original to the neighborhood. The size and materials correspond with the house on the lot. The final site plan and elevation drawings should meet City Engineering and City Zoning standards; minor revisions to meet the code could be approved by staff.

Staff Recommendation

Staff recommends approval of Certificate 5-C-25-HZ, subject to the following conditions: 1) front setback to be recessed towards rear property line to align with existing blockface; 2) final site plan, including garage and accessory dwelling unit, to meet City Engineering standards, with minor revisions to be approved by staff; 3) final window, door, and garage door specifications to be submitted to staff for approval.



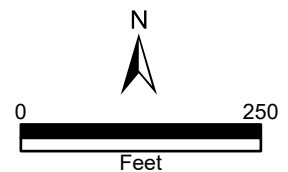
5-C-25-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



911 Eleanor St. 37917
Fourth and Gill H

Original Print Date: 5/5/2025
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Daniel and Sarah Sanders





DESIGN REVIEW REQUEST

- ☐ DOWNTOWN DESIGN (DK)
☒ HISTORIC ZONING (H)
☐ INFILL HOUSING (IH)

Daniel and Sarah Sanders

Applicant

4/28/2025

Date Filed

June 12, 2025
Meeting Date (if applicable)

5-C-25-HZ

~~5-C-25-HZ~~
File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

☒ Owner ☐ Contractor ☐ Engineer ☐ Architect/Landscape Architect

Daniel A. Sanders

Name

Company

714 Haynes Place

Knoxville

TN

37917

Address

City

State

Zip

(865) 316-9626

das@lyb.law

Phone

Email

CURRENT PROPERTY INFO

Owner Name (if different from applicant)

Owner Address

Owner Phone

911 Eleanor Street

081ML009

Property Address

Parcel ID

Fourth & Gill

RN-2

Neighborhood

Zoning

AUTHORIZATION

Staff Signature

SHEILEY GRAY
Please Print

4/28/2025
Date

Applicant Signature

DANIEL A. SANDERS
Please Print

4/28/2025
Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- ☐ Signs ☐ Alteration of an existing building/structure

Level 2:

- ☐ Addition to an existing building/structure

Level 3:

- ☐ Construction of new building/structure ☐ Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

- ☐ Brief description of work:

HISTORIC ZONING

Level 1:

- ☐ Signs ☐ Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- ☐ Major repair, removal, or replacement of architectural elements or materials ☒ Additions and accessory structures

Level 3:

- ☒ Construction of a new primary building

Level 4:

- ☐ Relocation of a contributing structure ☐ Demolition of a contributing structure

See required Historic Zoning attachment for more details.

- ☐ Brief description of work: New Primary Structure and Accessory Structure

INFILL HOUSING

Level 1:

- ☐ Driveways, parking pads, access point, garages or similar facilities ☐ Subdivisions

Level 2:

- ☐ Additions visible from the primary street ☐ Changes to porches visible from the primary street

Level 3:

- ☐ New primary structure
☐ Site built ☐ Modular ☐ Multi-Sectional

See required Infill Housing attachment for more details.

- ☐ Brief description of work:

STAFF USE ONLY

ATTACHMENTS

- ☐ Downtown Design Checklist
☐ Historic Zoning Design Checklist
☐ Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- ☐ Property Owners / Option Holders

Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500

FEE 1:

1006

FEE 2:

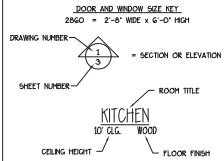
FEE 3:

TOTAL:

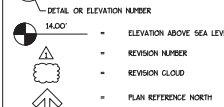
\$250.00

Pd. 04/28/2025, SG

SYMBOLS + KEYS



1 DRAWING TITLE



1404	SINGLE POLE SWITCH
1405	THREE WAY SWITCH
1406	FOUR WAY SWITCH
1407	SPEED SWITCH
1408	SPEED CONTROL
1409	DUPLEX OUTLET
1410	1/2 HOT OUTLET
1411	WATER PROOF OUTLET
1412	GROUND FAULT OUTLET
1413	QUADRUPLY OUTLET
1414	SPECIALTY OUTLET
1415	FLOOR OUTLET
1416	TELEPHONE JACK
1417	TELEVISION JACK
1418	WENT
1419	WENT w/ LIGHT
1420	SURFACE MOUNTED PICTURE
1421	RECEIVED PICTURE
1422	WALL MOUNTED PICTURE
1423	FLOOR LIGHT
1424	LED PICTURE
1425	CEILING FAN
1426	TRIP LIGHTING
1427	CEILING BOX
1428	BOOK SHOPS
1429	ELECTRICAL PANEL
1430	SMOKE DETECTOR
1431	CARBON MONOXIDE DETECTOR



CONCEPTUAL RENDERING

DRAWING INDEX

- 0 COVER SHEET
- 5 SITE PLAN
- 1 FOUNDATION PLAN
- 2 FIRST FLOOR PLAN
- 3 SECOND FLOOR PLAN
- 4 ELEVATIONS
- 5 ELEVATIONS
- 6 WALL SECTIONS/ DETAILS/ ROOF PLAN
- 7 FIRST FLOOR ELECTRICAL LAYOUT
- 8 SECOND FLOOR ELECTRICAL LAYOUT
- G1 GARAGE PLANS
- G2 GARAGE ELEVATIONS
- SP SPECIFICATION SHEETS (SEPARATE)

GENERAL INFO.

AREA CALCULATIONS
FIRST FLOOR HEATED = 2167 S.F. SCREENED PORCH = 499 S.F.
SECOND FLOOR HEATED = 1915 S.F. COVERED PORCH = 369 S.F.
TOTAL HEATED = 3682 S.F. GARAGE AND STORAGE = 744 S.F.
BASEMENT = 1950 S.F. ADD OVER GARAGE = 510 S.F.
TOTAL BUILDING COVERAGE = 2681 S.F.
TOTAL BUILDING COVERAGE = 2682

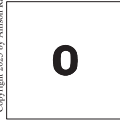


SANDERS
RESIDENCE
911 ELEANOR STREET, KNOXVILLE, TN

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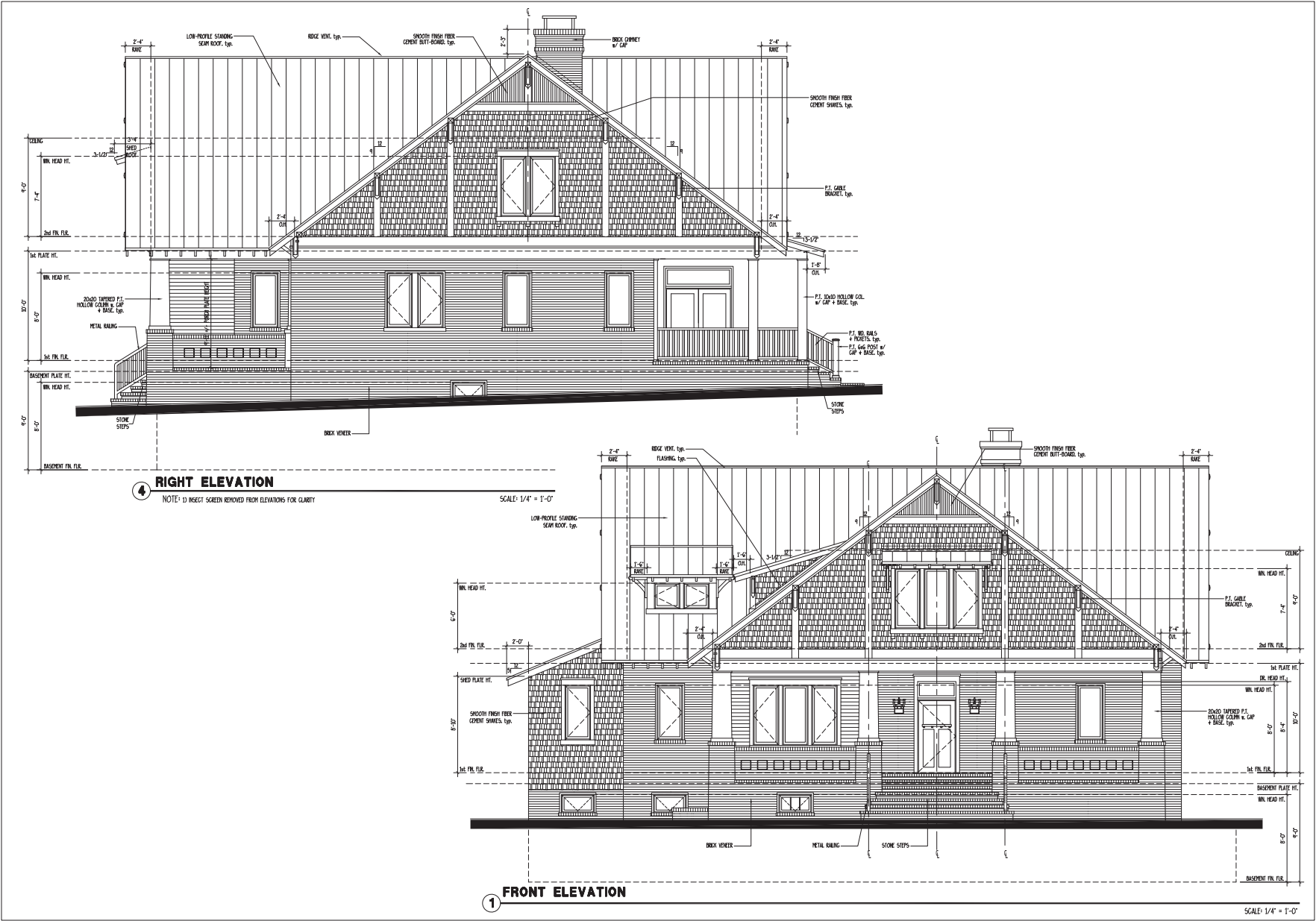
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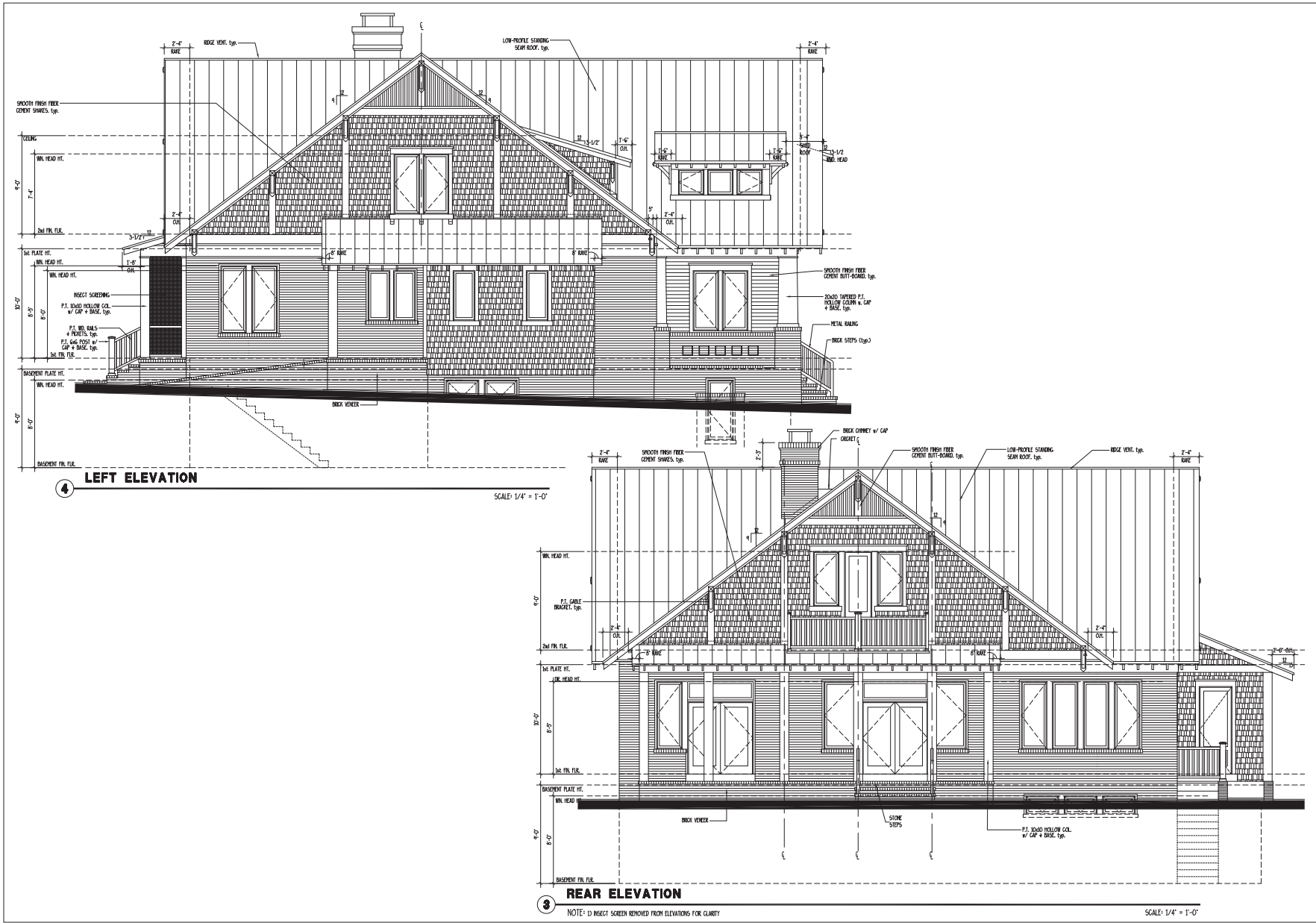


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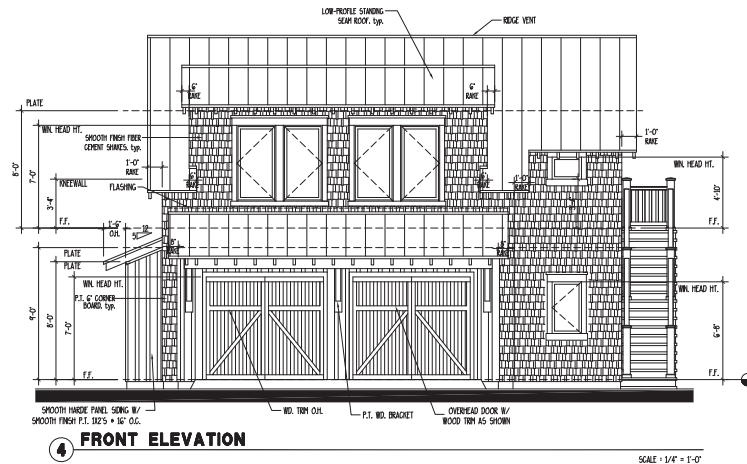
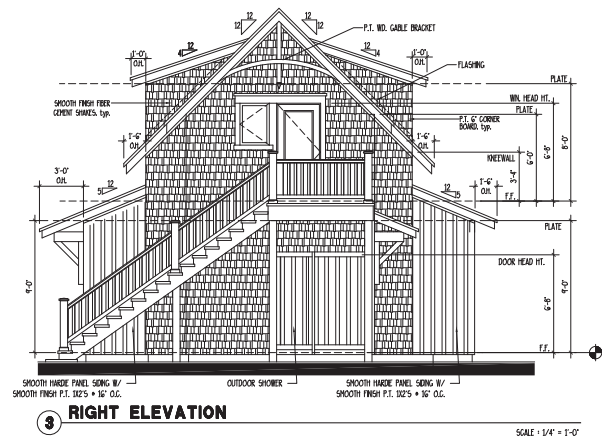
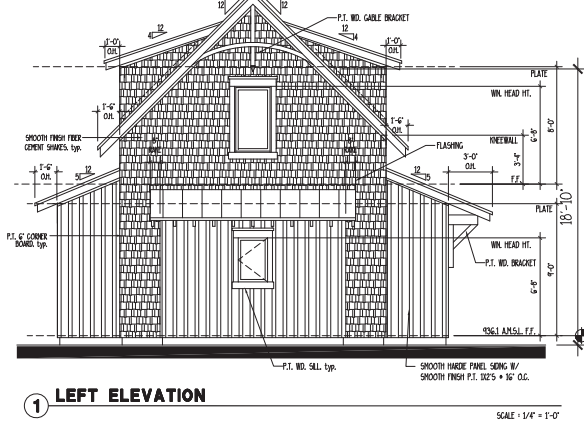
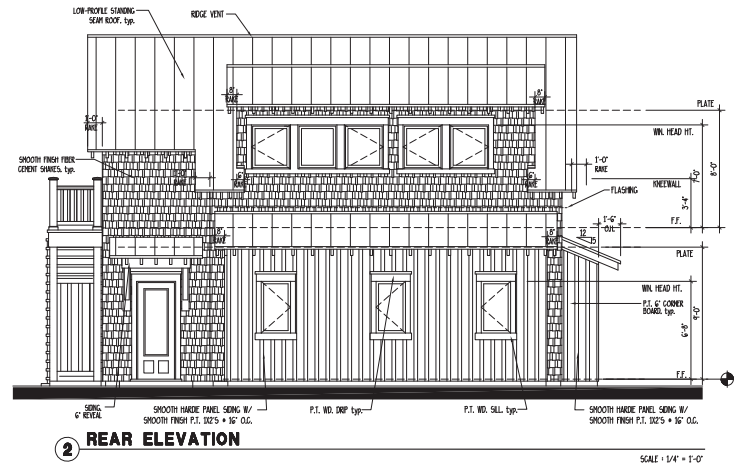


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DWG. NAME: EXTERIOR

5



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Materials Supplement

Knoxville Historic Zoning Commission

Certificate of Appropriateness Application

6-A-25-HZ

Daniel & Sarah Sanders

Windows

Style – Single Light Casement

Window Materials

Option 1 – Marvin - Elevate Casement Window or similar

<https://www.marvin.com/products/windows/casement/elevate-casement-window>

Ultrex® pultruded fiberglass exterior finish; wood interiors in bare pine

Option 2 – Andersen A Series Casement Windows or similar

<https://www.andersenwindows.com/windows-and-doors/windows/casement-windows/a-series-casement-window/>

combination of solid wood, fiberglass and innovative Fibrex® composite material

Option 3 – Pella - Aluminum-Clad Wood Casement Windows or similar

<https://www.pella.com/shop/windows/lifestyle-series/casement-windows/>

Cladding

First floor brick veneer as indicated

Accent for first floor and gables Hardie® Shingle Siding

<https://www.jameshardie.com/product-catalog/exterior-siding-products/hardie-shingle-siding/straight-edge-panel/statement-collection-colors/?color=arctic-white>

fiber cement with staggered or straight edge

Accent for Garage - Hardie® Panel

<https://www.jameshardie.com/product-catalog/exterior-siding-products/hardie-panel-siding/smooth/statement-collection-colors/?color=arctic-white>

fiber cement board and batten

Trim

Hardie® Trim

<https://www.jameshardie.com/product-catalog/trim-products/hardie-trim-boards/smooth/statement-collection-colors/>

Hardie® Trim Batten Boards or similar

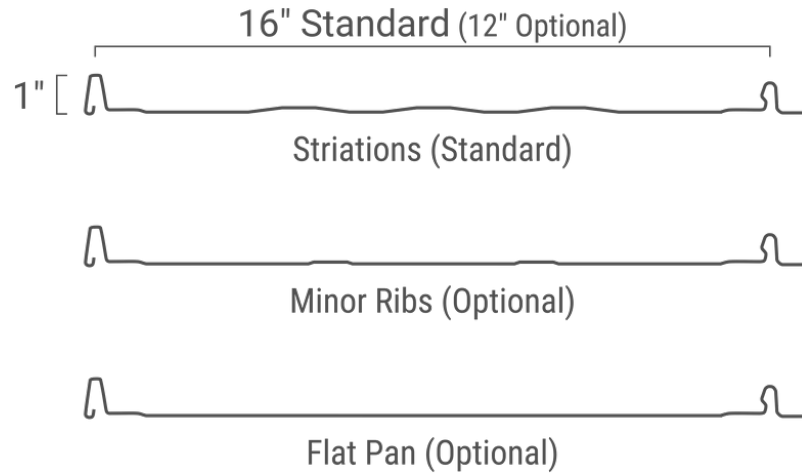
<https://www.jameshardie.com/product-catalog/trim-products/hardie-trim-batten-boards/smooth-grain/statement-collection-colors/>

Cement fiber batten boards

Roofing

Option 1 - Titan-Loc 100 Standing Seam or similar with striations or minor ribs

https://www.bestbuymetalroofing.com/standing-seam-panels/titan-loc-100/?gad_source=1&gbraid=0AAAAAD9TJ_h1_3DhNbP1n97PfaLE3r907&gclid=Cj0KCQjw2tHABhCiARIsANZzDWp8CueNjjhMV7eIO60dQHdWbRBL6WxyPdoG2eeOAPjNUxnROCfrTfk_aAsYrEALw_wcB



Option 2 – Asphalt Dimensional Shingle

