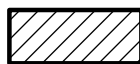




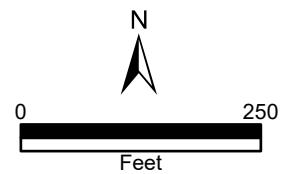
5-A-25-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



2341 Jefferson Ave. 37917
Edgewood-Park City H

Original Print Date: 5/5/2025
Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Jerry Wright, Linden Baptist Church





Staff Report

Knoxville Historic Zoning Commission

File Number: 5-A-25-HZ

Meeting: 5/15/2025
Applicant: Jerry Wright, Linden Baptist Church
Owner: Linden Baptist Church Congregation

Property Information

Location: 2341 Jefferson Ave. **Parcel ID:** 82 J U 013
District: Edgewood-Park City H
Zoning: RN-2 (Single-Family Residential Neighborhood)
Description: Colonial Revival, c. 1954

Front-gabled symmetrical brick façade. Double-leaf central front doors. Full façade pedimented front porch supported by four rectangular columns with Doric trim. Wide concrete front steps. Round-arched stained-glass windows with fanlights in arches. Clapboard central steeple. (Noncontributing)

Description of Work

Level II Major Repair or Replacement

Installation of new ribbed metal roof above asphalt shingle cladding. The ribbed metal panel roof features 36" panels with 9" between ribs; the ribs project 0.75". The metal panels feature exposed fasteners and will be dark gray or "burnished slate" in color.

Applicable Design Guidelines

Edgewood-Park City Design Guidelines, adopted by the Knoxville City Council on July 29, 1997.
Revised Edgewood-Park City Design Guidelines to be adopted by Knoxville City Council on May 13, 2025.

Roofs, Roof Features, and Chimneys

4. Replace deteriorated roofing materials with compatible counterparts.
 - a. Preserve the original roof shape and configuration when installing new cladding materials.
 - b. Replace deteriorated roofing with in-kind materials, matching original materials in appearance, pattern, color, and composition.
 - c. Compatible substitute materials can be used if determined an appropriate match for traditional roofing materials. Low-profile asphalt or fiberglass shingles in dark shades may be an appropriate substitute.
 - h. Corrugated or wide sheet metal is not appropriate on the roof of the main building or on front porches.

Comments

N/A

Staff Findings

1. 2341 Jefferson Avenue is listed as a non-contributing building in the local overlay and the National Register Historic District. The church was constructed in approximately 1955.
2. The newly adopted design guidelines recommend replacing deteriorated roofing in-kind, with compatible substitute materials to be approved if an appropriate match. The guidelines also discourage the use of corrugated or wide sheet metal. The proposed ribbed metal paneling is not identical to the explicitly discouraged corrugated metal panels, nor does it closely approximate a historic standing-seam metal roof. The darker color may somewhat reduce the visual effect of the smaller ribs.
3. Work on non-contributing buildings is typically evaluated by how the project will affect the overall district. Due to the size of the roof, the building's larger scale, and its placement on the lot, the ribbed metal panel roof will be significantly visible in the surrounding district.

Staff Recommendation

Staff recommends denial of the proposed ribbed metal panel cladding, and approval of roof replacement with asphalt or architectural roof shingles, or a true standing-seam metal roof, which could be approved with final specifications submitted to staff. An alternate profile of metal roofing panel could be proposed to the Commission.

(1) Download and fill out this form at your convenience. (2) Sign the application digitally (or print, sign, and scan). (3) Either print the completed form and bring it to the Knoxville-Knox County Planning offices or email it to applications@knoxplanning.org.

Reset Form



DESIGN REVIEW REQUEST

- ☐ DOWNTOWN DESIGN (DK)
☒ HISTORIC ZONING (H)
☐ INFILL HOUSING (IH)

LINDEN BAPTIST CHURCH CONGREGATION

Applicant

4-14-25

5-A-25-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

☒ Owner ☐ Contractor ☐ Engineer ☐ Architect/Landscape Architect

Jerry Wright

Name

Linden Baptist Church

Company

4420 Turnerway

Address

Kodak

City

TN

State

37764

Zip

865-621-7257

Phone

Jerry Wright 9879@gmail.com

Email

CURRENT PROPERTY INFO

Linden Baptist Church 2341 Jefferson Ave

Owner Name (if different from applicant)

Owner Address

Owner Phone

Same

Property Address

08250013

Parcel ID

Edgewood-Park City

Neighborhood

RW-2

Zoning

AUTHORIZATION

Lindsay Lanais

Staff Signature

Lindsay Lanais

Please Print

4/4/25

Date

Jerry Wright

Applicant Signature

Jerry Wright

Please Print

4-14-2025

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- ☐ Signs ☐ Alteration of an existing building/structure

Level 2:

- ☐ Addition to an existing building/structure

Level 3:

- ☐ Construction of new building/structure ☐ Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

- ☐ Brief description of work: _____

HISTORIC ZONING

Level 1:

- ☐ Signs ☒ Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- ☐ Major repair, removal, or replacement of architectural elements or materials ☐ Additions and accessory structures

Level 3:

- ☐ Construction of a new primary building

Level 4:

- ☐ Relocation of a contributing structure ☐ Demolition of a contributing structure

See required Historic Zoning attachment for more details.

- ☐ Brief description of work: INSTALL METAL ROOF OVER SHINGLE ROOF

INFILL HOUSING

Level 1:

- ☐ Driveways, parking pads, access point, garages or similar facilities ☐ Subdivisions

Level 2:

- ☐ Additions visible from the primary street ☐ Changes to porches visible from the primary street

Level 3:

- ☐ New primary structure
☐ Site built ☐ Modular ☐ Multi-Sectional

See required Infill Housing attachment for more details.

- ☐ Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- ☐ Downtown Design Checklist
☐ Historic Zoning Design Checklist
☐ Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- ☐ Property Owners / Option Holders

Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500

FEE 1:

FEE 2:

FEE 3:

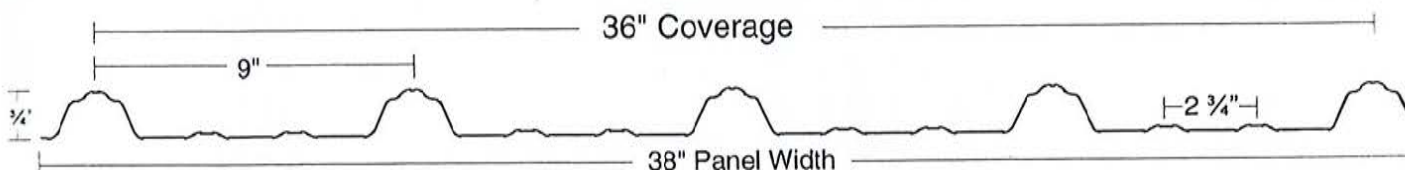
TOTAL:

MAC-RIB PANEL 29GA' TECHNICAL SPECIFICATIONS

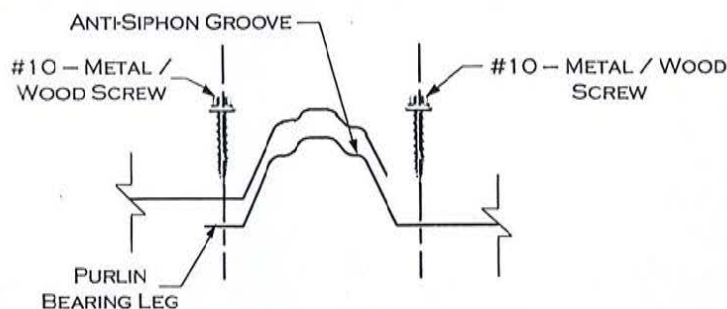
LIFETIME WARRANTY PAINTED

MAC-TEN

GALVALUME

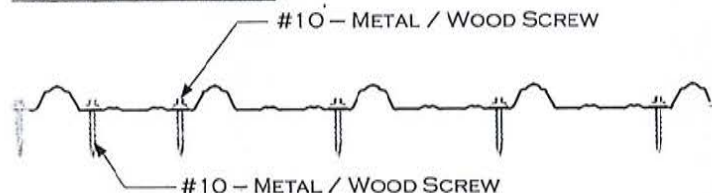


ATTACHMENT DETAIL

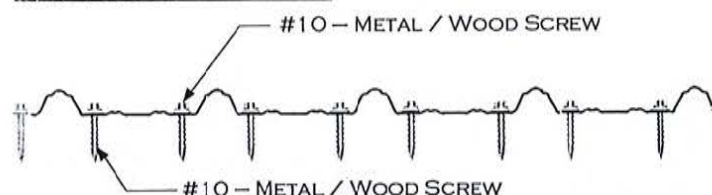


SCREW PATTERNS

MIDDLE OF PANEL



EAVE EDGE OF PANEL



GENERAL INFORMATION

SLOPE

THE MINIMUM RECOMMENDED SLOPE FOR MAC-RIB PANELS IS 1:12. MAC METAL SALES RECOMMENDS THAT IN ROOF APPLICATIONS WITH A SLOPE OF 3:12 OR LESS, MASTIC TAPE BE USED ON ALL SIDE LAPS.

SUBSTRUCTURE

MAC-RIB PANELS ARE DESIGNED TO BE UTILIZED OVER OPEN STRUCTURAL FRAMING OR A SOLID SUBSTRATE.

COVERAGE

MAC-RIB PANELS ARE OFFERED IN A 3/4" RIB HEIGHT WITH A COVERAGE OF 36".

LENGTH

MINIMUM FACTORY CUT LENGTH IS 3'-0". MAXIMUM RECOMMENDED PANEL LENGTH IS 48'-0". LONGER PANELS REQUIRE ADDITIONAL CONSIDERATION IN MANUFACTURING, PACKAGING, SHIPPING AND ERECTION. SHORTER PANELS ALSO REQUIRE ADDITIONAL CONSIDERATIONS. PLEASE CONSULT MAC METAL SALES FOR RECOMMENDATIONS.

FASTENERS

THE FASTENERS SELECTION GUIDE SHOULD BE CONSULTED FOR CHOOSING THE PROPER FASTENER FOR SPECIFIC APPLICATIONS. QUANTITY AND TYPE OF FASTENERS MUST MEET NECESSARY LOADING AND CODE REQUIREMENTS.

NOTE: PANELS ARE SUBJECT TO SURFACE DISTORTION DUE TO IMPROPERLY APPLIED FASTENERS. OVERDRIVEN FASTENERS WILL CAUSE STRESS AND INDUCE OIL CANNING ACROSS THE FACE OF THE PANEL. SEE FASTENER DETAIL.

CUT FEE

A CUT FEE OF \$1.00 WILL BE APPLIED TO ALL PANEL LENGTHS LESS THAN 3'0".

SECTION PROPERTIES

GA.	FY (KSI)	WEIGHT (LN.FT.)	Va kip/ft.	Pa_end lbs/ft.	Pa_int lbs/ft.	TOP IN COMPRESSION			BOTTOM IN COMPRESSION		
						Ix (in. ⁴ /ft.)	Se (in. ³ /ft.)	Ma kip in./ft.	Ix (in. ⁴ /ft.)	Se (in. ³ /ft.)	Ma kip in./ft.
29	80.0	2	0.4160	193.50	253.70	0.0100	0.0172	0.6170	0.0060	0.0173	0.5100

1. SECTION PROPERTIES ARE CALCULATED IN ACCORDANCE WITH THE 2001 AISI NORTH AMERICAN SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS.

2. Va IS THE ALLOWABLE SHEAR.

3. Pa IS THE ALLOWABLE LOAD FOR WEB CRIPPLING ON END AND INTERIOR SUPPORTS.

4. Ix IS FOR DEFLECTION DETERMINATION.

5. Se IS FOR BENDING

6. Ma IS THE ALLOWABLE BENDING MOMENT.

7. ALL VALUES ARE FOR ONE FOOT OF PANEL WIDTH.

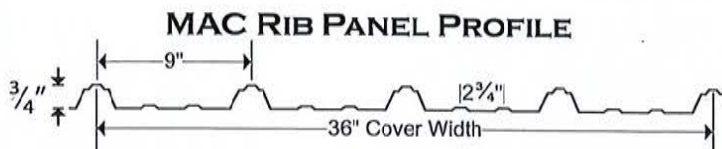
*MAC-RIB PANEL IS ALSO AVAILABLE IN 26 GA. PLEASE SEE A MAC METAL ASSOCIATE FOR DETAILS.



WWW.MACMETALSALES.COM



METAL ROOFING & SIDING COLOR SELECTIONS



MAC LIFE (A) - WEATHERXL™ 29 GAUGE

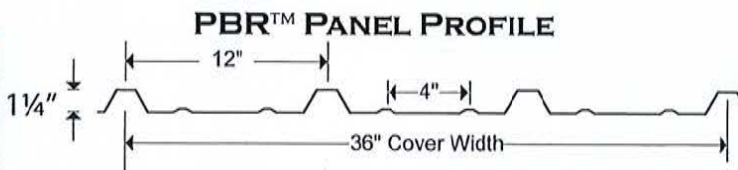
- ◆ Lifetime Paint Adhesion warranty
- ◆ 30 Year chalk / 30 year fade resistance
- ◆ 25 Year Galvalume® substrate warranty
- ◆ Residential Applications
- ◆ Increased Hail Resistance

MAC 20 (B) - SUPER DYNAPON® 29 GAUGE

- ◆ 20 Year Paint Adhesion warranty
- ◆ 5 Year chalk / 5 year fade protection
- ◆ Galvalume® substrate
- ◆ Agricultural Applications

MAC 10 (C) - 29 GAUGE

- ◆ Most Economical Panel
- ◆ 10 Year Paint Adhesion warranty
- ◆ Agricultural & Interior Liner Panel Applications



HI-RIB (D) - WEATHERXL™ 26 GAUGE

- ◆ Lifetime Paint Adhesion warranty
- ◆ 30 Year chalk / 30 year fade resistance
- ◆ 25 Year Galvalume® substrate warranty
- ◆ Commercial & Interior Liner Panel Applications
- ◆ Increased Hail Resistance



Bright White A,B,C



Gray A,B,C,D



Charcoal A,B,C,D



Burnished Slate A,D



Brown A,B,C,D



Gallery Blue A



Blue A



Sapphire Blue PREMIUM A



Bright Red PREMIUM A



Copper Penny ELITE A

These colors are as representative of our paint as is technologically possible. For an exact match, please request a paint chip from your salesperson.

Premium & Elite color selections are subject to preferred pricing schedules.

WeatherXL™ is a trademark of the Sherwin-Williams Company.



White A,B,C,D



Light Stone A,B,C,D



Clay A,B,C,D



Green A,B,C,D



Buckskin A



Tan A,B,C



Plum A



Red A,B,C,D



Dark Red A



Black A,B,C,D



Galvalume® A,D