

Meeting: 6/18/2025
Applicant: Falcon Belew
Owner: Sean Baker

Property Information

Location: 2040 Emoriland Blvd. **Parcel ID** 69 L G 017
District: Fairmont-Emoriland NC
Zoning: RN-2 (Single-Family Residential Neighborhood)
Description:

Description of Work

Level II Construction of Addition or Outbuilding

Installation of new 6' deep and 26' wide (155 sq. ft.) addition flush with the rear of the existing house. The existing exterior rear walls and concrete patio will be demolished to allow for the addition, which will extend the existing gable-roof massing, with a concrete block foundation to be clad in brick veneer to match the existing. The siding will be fiber cement shake siding to match the existing house. The application includes two design options. On the rear elevation, both options feature a 6/6 double-hung window with trim on the left bay and a central full-lite door with a 5'-8" wide pressure-treated wood deck recessed under a shed roof and supported by two 6" square posts. One proposal contains a projecting 28" wide by 36" tall "garden window unit" in the right bay, and the other proposal does not include the window. The window contains a single pane box bay with a smaller angled pane on top.

Applicable Design Guidelines

Fairmont Park Neighborhood Conservation District Design Guidelines, adopted by the Knoxville City Council on November 26, 2002.

A. New Development and Additions

1. The design of additions and accessory buildings should be consistent with the character of the main structure.
4. The recommended location for additions is to the rear or side of existing buildings. Additions to the front of buildings are not encouraged, because they obscure the original architectural designs.
8. If additions are to be made to the existing building they should be located at least five feet behind the front facade of the existing building.

B. Building and Roof Form

2. A matrix of the primary architectural designs and their features found in the Fairmont-Emoriland neighborhood is shown on page 6 of this report. New designs should interpret one of these design types, with features drawn from the matrix and appropriate to that style.

C. Materials

2. If an addition is made to an existing house, the wall cladding materials should duplicate those on the existing house, or as shown on the matrix on page 00.

Comments

Staff Findings

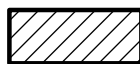
1. While the inventory in the design guidelines erroneously omits this building, the Minimal Traditional house was constructed c.1935, and is a contributing structure to the local overlay.
2. The 155 sq. ft. proposed rear addition meets the design guidelines for size, placement, and design, and it will not be visible from the street.
3. The extension of the existing roof, foundation, and exterior walls using in-kind materials is appropriate, along with the 6/6 double-hung window. However, design guidelines encourage that new designs, including additions, follow the architectural style matrix, which recommends multi-pane double-hung windows on Minimal Traditional houses. The proposed projecting garden window unit does not reflect the typical double-hung form recommended by the guidelines. However, the projecting windows will be minimally visible from the right-of-way, if visible at all, and do not detract from the house's overall integrity.

Staff Recommendation

Staff recommends approval of Certificate 6-D-25-HZ as submitted.



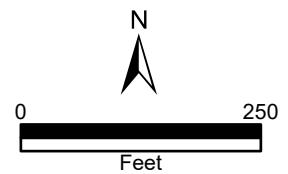
6-D-25-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



2040 Emoriland Blvd. 37919
Fairmont-Emoriland NC

Original Print Date: 6/9/2025
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Falcon Belew





DESIGN REVIEW REQUEST

- ☐ DOWNTOWN DESIGN (DK)
☒ HISTORIC ZONING (H)
☐ INFILL HOUSING (IH)

Falcon Belew

Applicant

5/14/25

6-D-25-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

☐ Owner ☒ Contractor ☐ Engineer ☐ Architect/Landscape Architect

Falcon Belew

Earthadelic

Name

Company

5937 Middlebrook Pike

Knoxville

TN

37909

Address

City

State

Zip

7314874135

Falconbelew@earthadelic.com

Phone

Email

CURRENT PROPERTY INFO

Sean Baker

20240 Emoriland Blvd

Owner Name (if different from applicant)

Owner Address

Owner Phone

20240 Emoriland Blvd

Property Address

Parcel ID

Fairmont Park

Neighborhood

Zoning

AUTHORIZATION

Lindsay Lanois

Staff Signature

Please Print

Date

Falcon Belew

Applicant Signature

Falcon Belew

5/14/25

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- ☐ Signs ☐ Alteration of an existing building/structure

Level 2:

- ☐ Addition to an existing building/structure

Level 3:

- ☐ Construction of new building/structure ☐ Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

- ☐ Brief description of work: _____

HISTORIC ZONING

Level 1:

- ☐ Signs ☐ Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- ☐ Major repair, removal, or replacement of architectural elements or materials ☒ Additions and accessory structures

Level 3:

- ☐ Construction of a new primary building

Level 4:

- ☐ Relocation of a contributing structure ☐ Demolition of a contributing structure

See required Historic Zoning attachment for more details.

- ☒ Brief description of work: Adding 6' to rear of home to increase size of existing kitchen and existing bedroom.
All exterior cladding/roofing to match existing.

INFILL HOUSING

Level 1:

- ☐ Driveways, parking pads, access point, garages or similar facilities ☐ Subdivisions

Level 2:

- ☐ Additions visible from the primary street ☐ Changes to porches visible from the primary street

Level 3:

- ☐ New primary structure
☐ Site built ☐ Modular ☐ Multi-Sectional

See required Infill Housing attachment for more details.

- ☐ Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- ☐ Downtown Design Checklist
☐ Historic Zoning Design Checklist
☐ Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- ☐ Property Owners / Option Holders

Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500

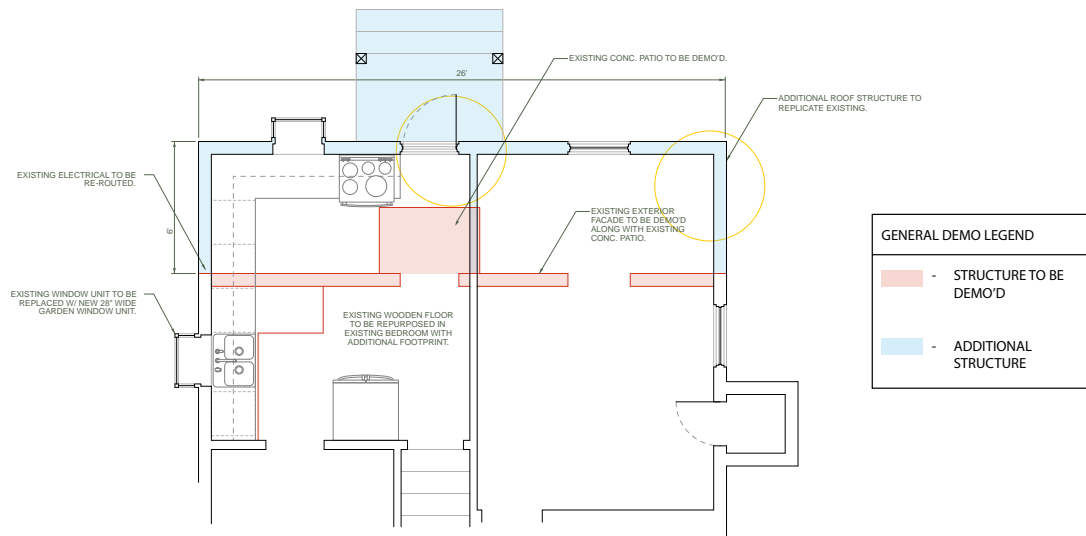
FEE 1:

TOTAL:

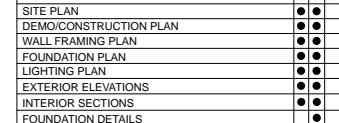
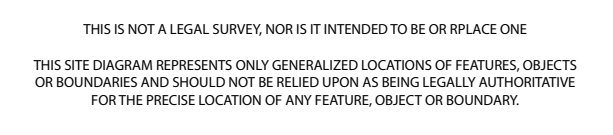
FEE 2:

FEE 3:

05/14/2025, SG



SCALE = CONSULT GRAPHIC SCALE ON DRAWING	
THIS IS NOT A LEGAL SURVEY, NOR IS IT INTENDED TO BE OR REPLACE ONE	
THIS SITE DIAGRAM REPRESENTS ONLY GENERALIZED LOCATIONS OF FEATURES, OBJECTS OR BOUNDARIES AND SHOULD NOT BE RELIED UPON AS BEING LEGALLY AUTHORITATIVE FOR THE PRECISE LOCATION OF ANY FEATURE, OBJECT OR BOUNDARY.	



FORMATTED FOR: 18" X 24"
DESIGNER: PATRICK KEOGH

A	AND	MBR	MANUFACTURER
AC	ACROSS	MM	MM MM
ACC	ACCORDIONING	ML	MLWORK
AD	ADLAN	MSC	MISCELLANEOUS
ADJ	ADJUST PASH FLOOR	MTC	MOUNTED
ALUM	ALUMINUM	NIC	NOT IN CONTRACT
ALT	ALTERNATE	NIS	NECESSARY
APPRO	APPROXIMATE	NO	NUMBER
BOARD	BOARD	NORM	NORMAL
BUILD	BUILDING	N.T.S.	NOT TO SCALE
BWS	BLOCKING	O.A.	OVERALL
BM	BEAM	O.C.	ON CENTER
BTM	BOTTOM	O.D.	OUTSIDE DIAMETER
BU	BUT BY OTHERS	OPN	OPENING
CE	CENTERLINE	OPT	OPTICAL
CL	CEILING	PL	PLATE
CLNG	CONSTRUCTION MANAGER	PLM	PLASTIC LAMINATE
CM	CONCRETE MASONRY UNIT	PLM	PLUMBS
CML	COLUMN	PLYMD	PLYWOOD
CONC	CONCRETE	PM	PAV
CONT	CONTINUOUS	PROP	PROPERTY
CORR	CORROSION	PSF	PER SQUARE FOOT
DEPT	DEPARTMENT	PRI	PER SQUARE INCH
DET	DETAIL	PRINTD	PRINTED
D.F.	DRAINING FOUNTAIN	PVC	POLYVINYL CHLORIDE
DM	DIAMETER	QU	QUANTITY
DN	DOWN	QTY	QUANTITY
DISP	DISPOSER	RAD	RADIALS
DOWN	DOWN	REF	REFLECTOR
DR	DRIP	REFR	REFRIGERATOR
D.S.	DOWN SPOUT	REINFORC	REINFORCED
DWG	DRAWING	REV	REVISION
E	EACH	RQ	REQUIRED
EL	ELEVATION	RESL	REBELIST
ELECT	ELECTRICAL	RH	RADIUM
EQ	EQUAL	R.O.	ROUGH SCHEDULE
EQUIP	EQUIPMENT	SCHED	SCHEDULE
EXT	EXTENDING	SEC	SECURITY
EXT	EXTERIOR	SECT	SECTION
F.D.	FLOOR DRAIN	SF	SQUARE FOOT
F.F.	FREE EXTINGUISHER	SH	SHIRT
F.H.C.	FREE HOSE CABINET	S	SILAR
FN	FINISH	SPEC	SPECIFICATION
FLOOR	FLOOR	SQ	SQUARE
FR	FRAM	ST	STAINLESS STEEL
FT	FEET	STD	STANDARD
FP	FABRIC WRAPPED PANEL	STL	STEEL
G	GAUGE	STRUCT	STRUCTURAL
GALV	GALVANIZED	SUPP	SUPPLEMENT
G.B.	GYP BOARD	T.B.D.	TO BE DETERMINED
GYB	CERTIFICATION INSTITUTE	T	TELEPHONE
GYR	GYRUM BOARD	TH	THICK
H	HARDWOOD MILL BOARD	THOUGH	THOUGH
H.D	HARDWOOD	T.O.	TO ORDER
HD	HEADER	T.O.P.	TOP OF
H.M.	HOLLOW METAL	T.O.S.	TOP OF STEEL
HORIZ	HORIZONTAL	T.S.	TYPICAL
HQ	HQ	V.F.	VERY FLY
I	INTERIOR DIAMETER	VP	VERY
INS	INSULATION	W	WITH
INT	INTERIOR	WV	WATER
J	JUNE	WY	WITH
K	KITCHEN	WC	WATER CLOSET
L	LAMINATE	W	WOOD
LAV	LAVATORY	WO	WITHOUT
LEED	LEADING IN ENERGY AND ENVIRONMENTAL DESIGN	WP	WATERPROOFING
LT	LOAD	WT	WEIGHT
LM	LOADING	WLM	WELDED IRON MESH
MA	MAINTENANCE	W	W
MAX	MAXIMUM	WON	WOUNDED
MCH	MACHINERY	US	US GREEN BUILDING
METL	METAL	USBC	NOTED

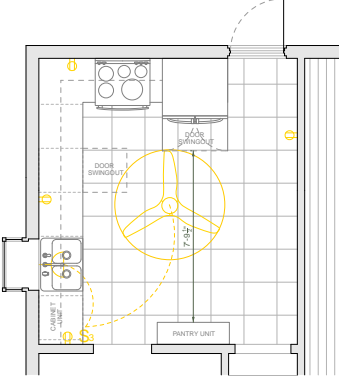
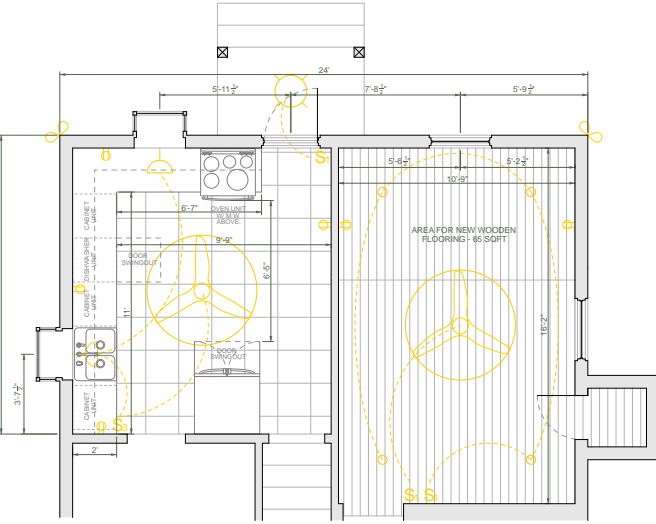
KEYNOTES








SITE PLAN	PRELIM SET 4/24/25	REV SET 01 5/7/25	REV SET 02	REV SET 03
DEMO/CONSTRUCTION PLAN	●	●	●	●
WALL FRAMING PLAN	●	●	●	●
FOUNDATION PLAN	●	●	●	●
LIGHTING PLAN	●	●	●	●
EXTERIOR ELEVATIONS	●	●	●	●
INTERIOR SECTIONS	●	●	●	●
FOUNDATION DETAILS	●	●	●	●

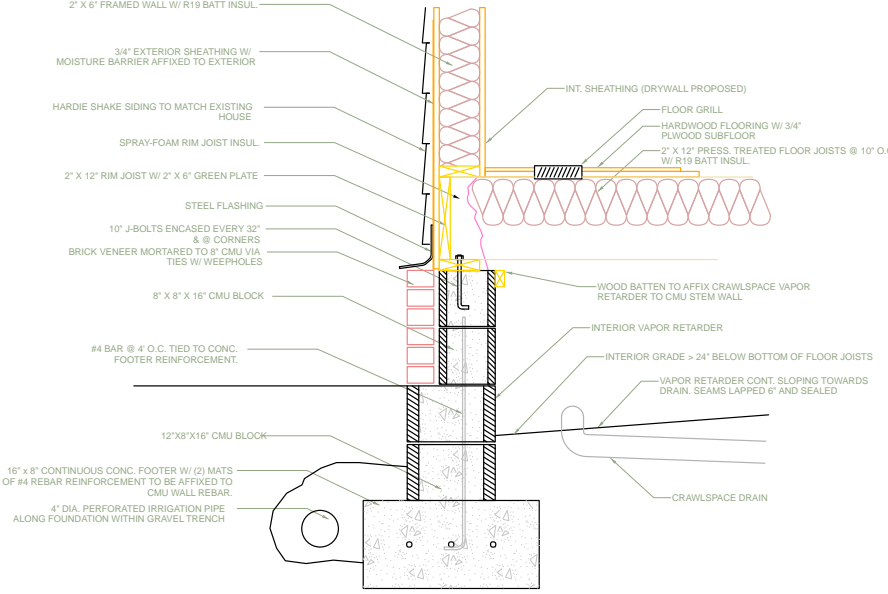
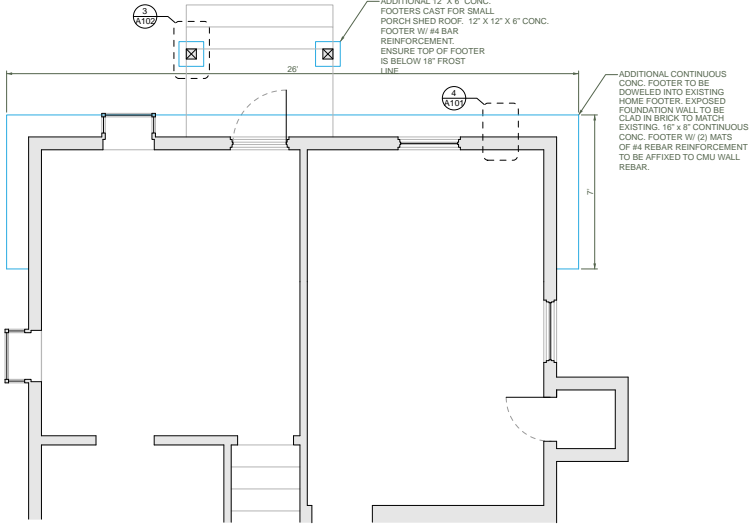
ELDRIDGE
2040 EMORILAND BLVD, KNOXVILLE, TN
37917

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A101 PLANS



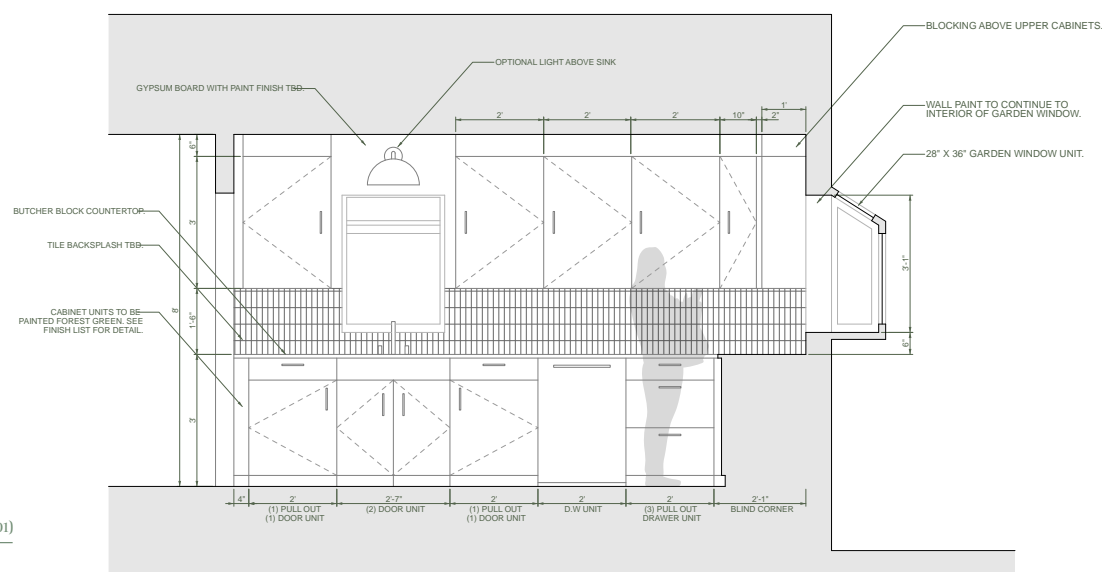
LIGHTING LEGEND	
	- GFCI OUTLET
	- CEILING FAN (5" DIA.)
	- SWITCHES (SINGLE AND TRIPLE)
	- WALL-MOUNTED OVERHEAD LIGHT
	- 5" CAN LIGHT
	- MOTION SENSOR SECURITY LIGHT
	- EXTERIOR-RATED FLUSH-MOUNTED LIGHT



KEYNOTES



01 Elevation: South East Facade (proposal 01)
Scale: 1/2" = 1'



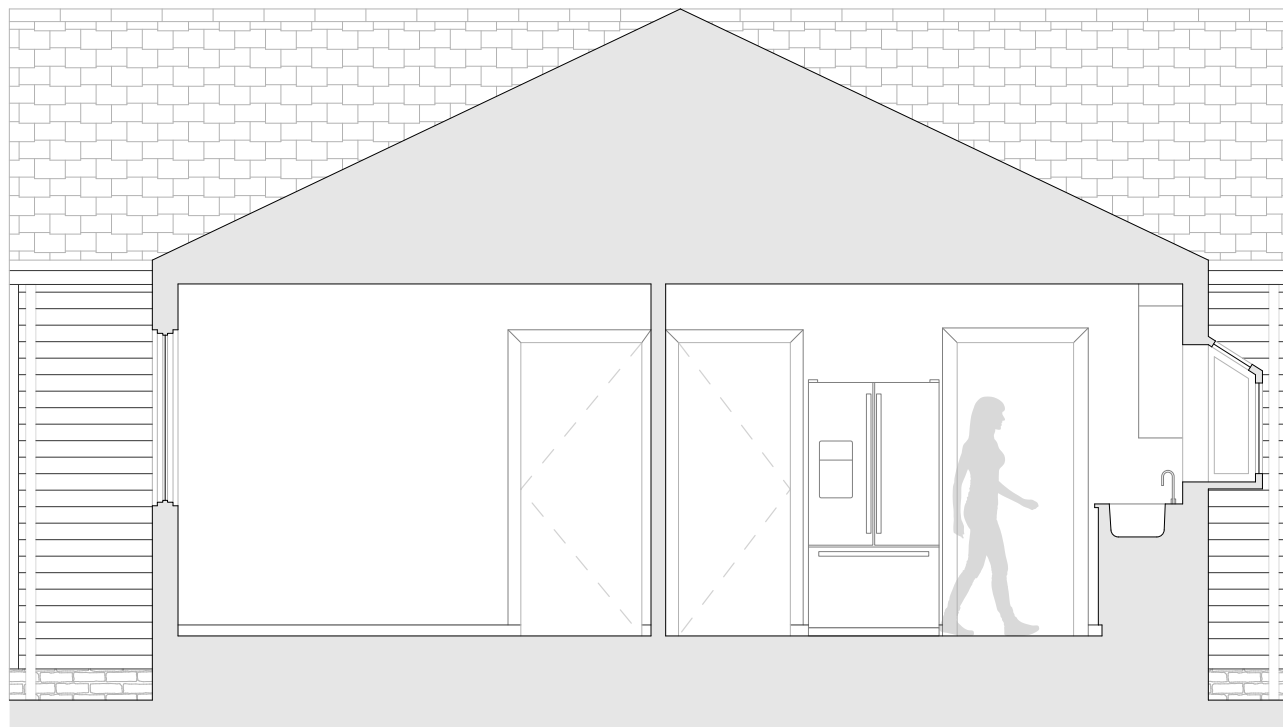
02 Interior Elevation: Looking North East (proposal 01)
Scale: 1/2" = 1'

SITE PLAN	●	PRELIM SET 4/24/25
DEMO/CONSTRUCTION PLAN	●	REV SET 01 5/7/25
WALL FRAMING PLAN	●	REV SET 02
FOUNDATION PLAN	●	REV SET 03
LIGHTING PLAN	●	
EXTERIOR ELEVATIONS	●	
INTERIOR SECTIONS	●	
FOUNDATION DETAILS	●	

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A103
ELEVATIONS



	A	B	C
SITE PLAN	●	●	●
DEMO/CONSTRUCTION PLAN	●	●	●
WALL FRAMING PLAN	●	●	●
FOUNDATION PLAN	●	●	●
LIGHTING PLAN	●	●	●
EXTERIOR ELEVATIONS	●	●	●
INTERIOR SECTIONS	●	●	●
FOUNDATION DETAILS	●	●	●

	A	B	C
SITE PLAN	●	●	●
DEMO/CONSTRUCTION PLAN	●	●	●
WALL FRAMING PLAN	●	●	●
FOUNDATION PLAN	●	●	●
LIGHTING PLAN	●	●	●
EXTERIOR ELEVATIONS	●	●	●
INTERIOR SECTIONS	●	●	●
FOUNDATION DETAILS	●	●	●

A104

ELEVATIONS

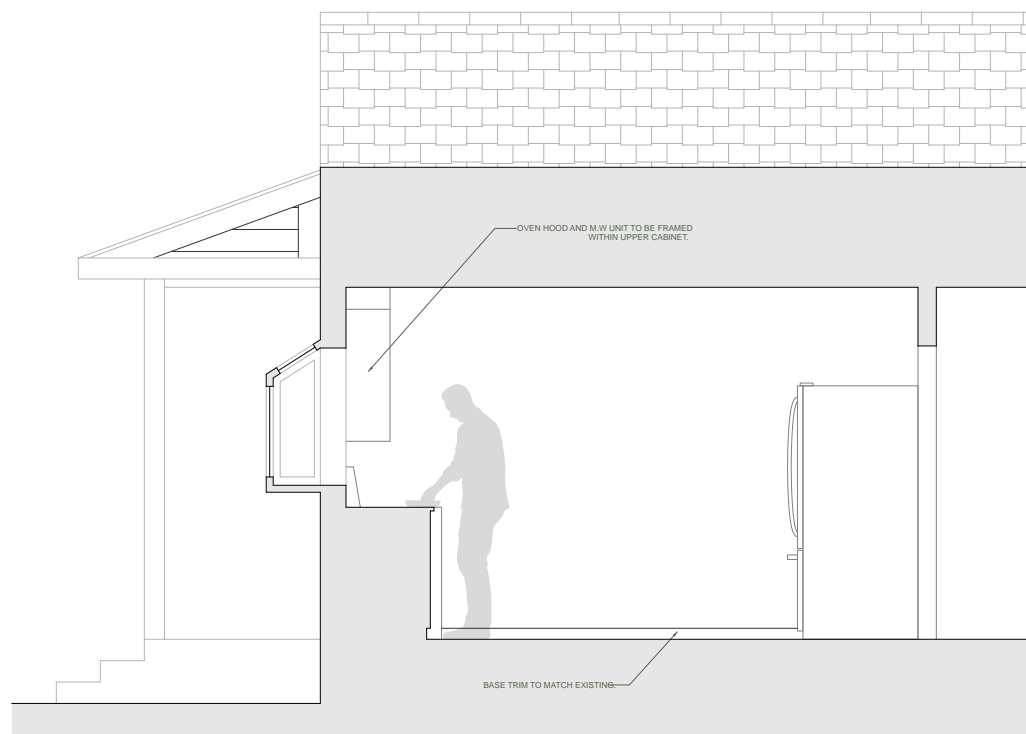


Diagram illustrating the proposed kitchen layout and structural details. The diagram shows a cross-section of the building, including the roof, upper cabinets, countertop, and base trim. A person is shown standing at the countertop, indicating the scale of the space.

Annotations:

- OVEN HOOD AND M.W. UNIT TO BE FRAMED WITHIN UPPER CABINET.
- BASE TRIM TO MATCH EXISTING.

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A105

ELEVATIONS



	A	B	C
SITE PLAN	●	●	
DEMO/CONSTRUCTION PLAN	●	●	
WALL FRAMING PLAN	●	●	
FOUNDATION PLAN	●	●	
LIGHTING PLAN			
EXTERIOR ELEVATIONS	●	●	
INTERIOR SECTIONS			
FOUNDATION DETAILS		●	

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A106

ELEVATIONS



	1	2	3
SITE PLAN	●	●	●
DEMO/CONSTRUCTION PLAN	●	●	●
WALL FRAMING PLAN	●	●	●
FOUNDATION PLAN	●	●	●
LIGHTING PLAN	●	●	●
EXTERIOR ELEVATIONS	●	●	●
INTERIOR SECTIONS	●	●	●
FOUNDATION DETAILS	●	●	●

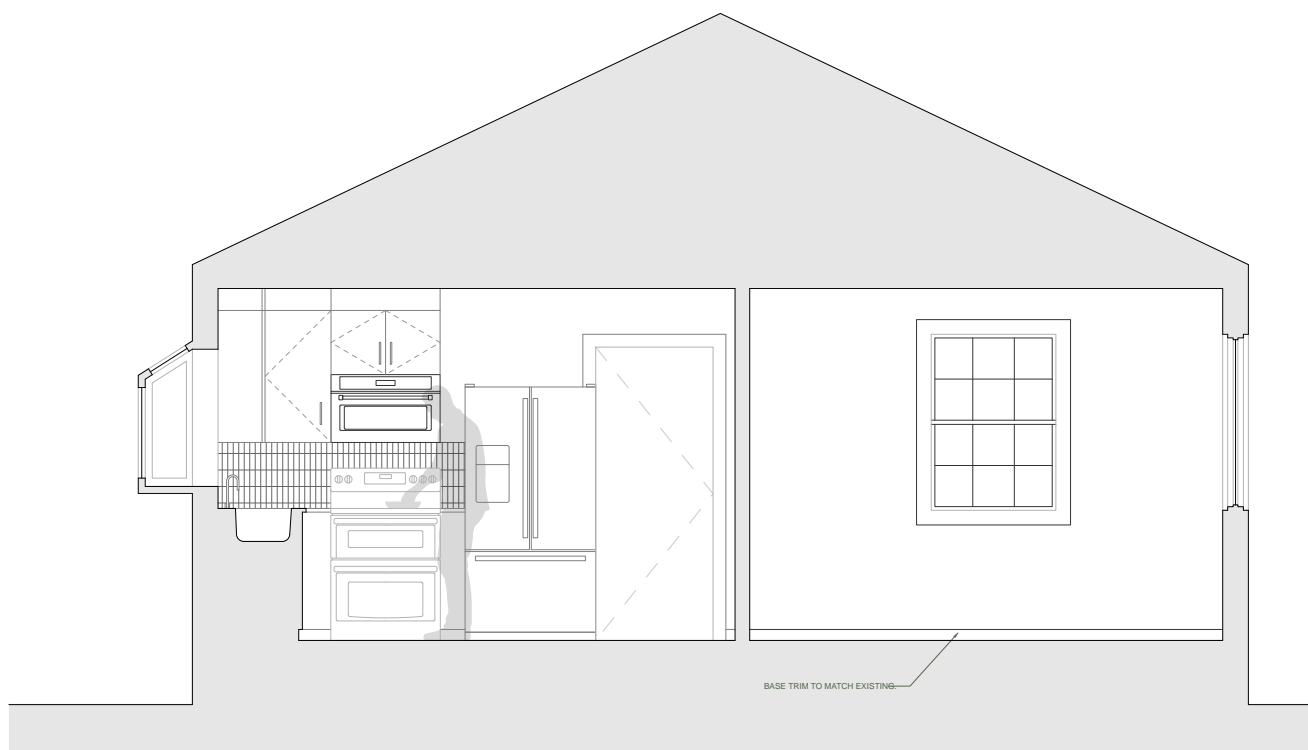
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A107

ELEVATIONS

KEYNOTES



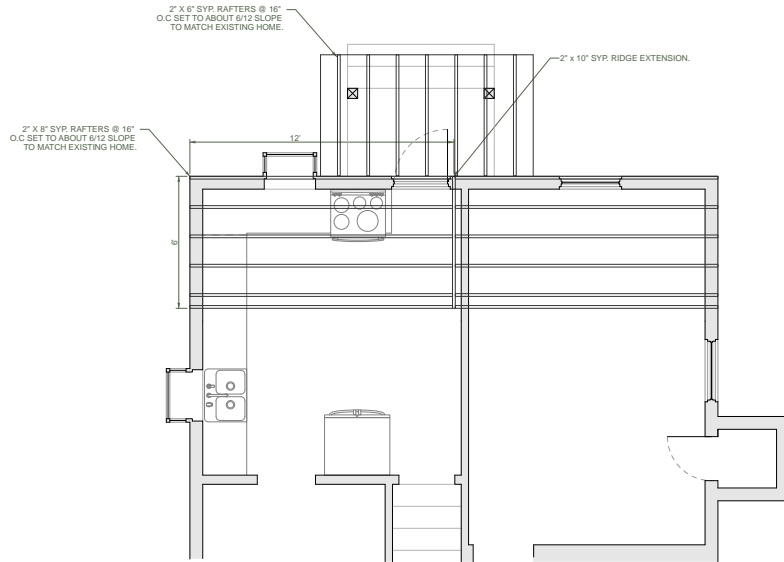
01 Interior Elevation: Looking South West (proposal 02)
Scale: 1/2" = 1'

SITE PLAN	PRELIM SET 4/24/25	REV SET 01 5/7/25	REV SET 02	REV SET 03
DEMO/CONSTRUCTION PLAN	•	•	•	•
WALL FRAMING PLAN	•	•	•	•
FOUNDATION PLAN	•	•	•	•
LIGHTING PLAN	•	•	•	•
EXTERIOR ELEVATIONS	•	•	•	•
INTERIOR SECTIONS	•	•	•	•
FOUNDATION DETAILS	•	•	•	•

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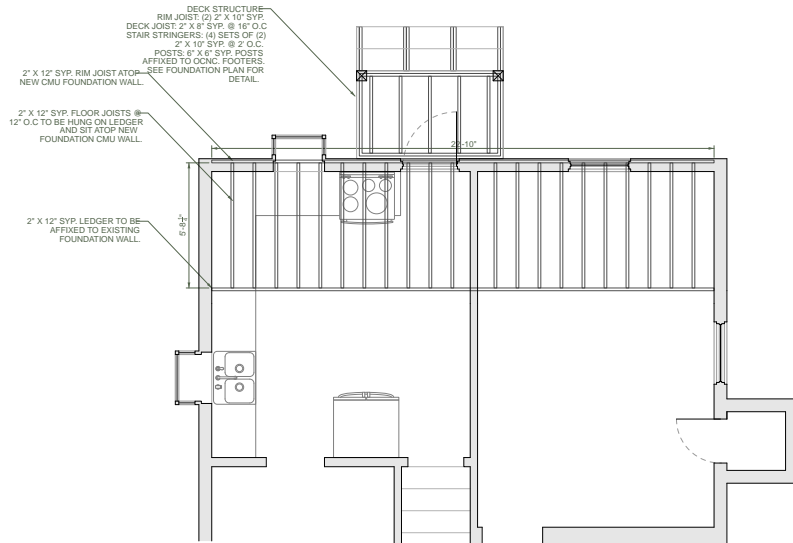
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DESIGNER: PATRICK KEOGH

A108
ELEVATIONS



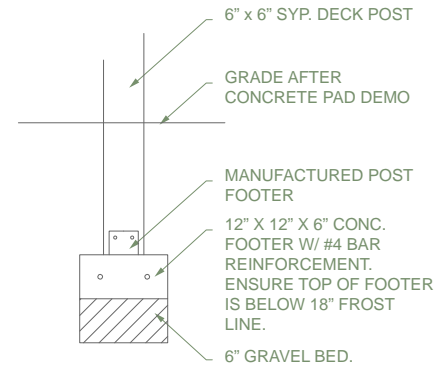
01 Plan: Roof Framing

Scale: 1/4" = 1'



02 Plan: Floor Framing

Scale: 1/4" = 1'



03 Section Detail: Porch Footer

Scale: 1/1" = 1'



KEYNOTES

SITE PLAN	PRELIM SET: 4/24/25	REV SET 01: 5/7/25	REV SET 02:	REV SET 03:
DEMO/CONSTRUCTION PLAN	●	●	●	●
WALL FRAMING PLAN	●	●	●	●
FOUNDATION PLAN	●	●	●	●
LIGHTING PLAN	●	●	●	●
EXTERIOR ELEVATIONS	●	●	●	●
INTERIOR SECTIONS	●	●	●	●
FOUNDATION DETAILS	●	●	●	●

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A102
PLANS