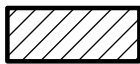


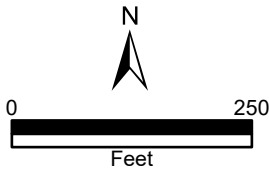
7-I-25-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



2325 Jefferson Ave. 37917
Edgewood-Park City H

Original Print Date: 7/9/2025
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Fred McGuire, M and B Complete
 Home Concepts LLC



Meeting: 7/17/2025
Applicant: Fred McGuire, M and B Complete Home Concepts LLC
Owner: God, Family, Country LLC

Property Information

Location: 2325 Jefferson Ave. **Parcel ID** 82 J U 020
District: Edgewood-Park City H
Zoning: RN-2 (Single-Family Residential Neighborhood)
Description: Folk Victorian with Neoclassical influence. (c.1915)
One story frame with asbestos shingle wall covering. Hip and gable roof with asphalt shingle covering. One story full front porch with square wood columns. Rectangular plan.

Description of Work

Level II Major Repair or Replacement

Installation of new cedar texture LP Smart Siding lap siding (removal of deteriorated asbestos shingles is implied but not confirmed by applicant). Removal of existing asphalt shingle roof and in-kind replacement with dimensional asphalt shingles. Repair and in-kind replacement when necessary of soffit, fascia, trim, and gutters. Removal of plywood porch flooring and installation of tongue-and-groove flooring in its place. Repair and re-installation of original front porch columns. Installation of new aluminum storm window. Repair to existing windows and window trim. Installation of new gable vent in the opening of the original vent.

Applicable Design Guidelines

Wood Features and Siding

1. Repair deteriorated wood elements as character-defining features.
 - a. Repair deteriorated wood surfaces by patching, consolidating, splicing, or otherwise reinforcing deteriorated sections.
 - b. Match repairs to original materials in appearance, profile, texture, and finish.
 - c. When repairing deteriorated components, retain unique details such as beaded edges, bevels, or fish scale patterns.
2. Maintain compatibility when replacing wood features that are deteriorated beyond repair.
 - a. Repair or replace, only as needed, materials and features with components that match the original in material, dimension, detail, profile, and texture.
 - b. Smooth-finished fiber cement board may be utilized as a replacement for wood siding only when it has deteriorated beyond repair and for any other type of siding, as long as the profile and exposure (visible width) is historically appropriate.
 - c. Existing vinyl or aluminum siding may be replaced in-kind as long as no further architectural detailing is covered or removed.
 - d. Utilize a replacement siding that matches the profile and exposure of any original existing siding or matches what

is documented to be the original. In the absence of appropriate documentation, install siding with an exposure to match that of similar buildings in the district.

e. Replace missing wood features with elements based on historical, photographic, or physical evidence of the original feature. In the absence of such evidence, use a design that is compatible with the building in style, scale, and size.

Roofs, Roof Features, and Chimneys

1. Retain original roof shapes, materials, and associated characteristics.

a. Retain and preserve decorative and functional features of the roof such as dormers, finials, cresting, and built-in gutters.

b. It is not appropriate to remove, cover, or wrap original eaves or cornices.

c. It is not appropriate to remove original roof dormers.

4. Replace deteriorated roofing materials with compatible counterparts.

a. Preserve the original roof shape and configuration when installing new cladding materials.

b. Replace deteriorated roofing with in-kind materials, matching original materials in appearance, pattern, color, and composition.

c. Compatible substitute materials can be used if determined an appropriate match for traditional roofing materials. Low-profile asphalt or fiberglass shingles in dark shades may be an appropriate substitute.

5. Minimize the impact of rooftop additions or changes.

f. It is not appropriate to enclose exposed rafters.

Porches

1. Retain and preserve original or early porches, including their individual components.

a. Retain porches that contribute to the historic character of the building, including individual components such as:

i. support columns and posts

ii. masonry piers

iii. balustrades (rails & balusters)

iv. newel posts

v. beadboard ceilings

vi. tongue-and-groove floors

vii. steps and hand rails

viii. ornamentation

d. It is not appropriate to remove or alter a historically character-defining porch.

3. Repair deteriorated or replace missing historic porch components.

a. Repair or replace only the deteriorated or missing section of a historic porch component. Wholesale replacement of intact historic components is not appropriate when only a small section is deteriorated.

b. Repair deteriorated porch components with materials finished to match original or early components.

c. Where historic components are determined to be deteriorated beyond repair, use them as the basis for selecting replacement components in order to match the early or original in design, profile, and material texture.

d. Where historic components are missing, use historical, photographic, or any remaining physical evidence as the basis for replacement components. In the absence of such evidence, reference historic porches on nearby structures of similar style and vintage.

e. Pressure-treated lumber is not appropriate on front porches except where it comes into contact with the ground or is concealed from view. However, pressure-treated tongue-and-groove porch flooring is appropriate.

f. It is not appropriate to replace tongue-and-groove flooring with other types of flooring including board decking. If tongue-and-groove flooring is not existing, then board decking can be installed, although moisture damage to the structure beneath the porch will need to be monitored.

g. It is not appropriate to replace a wood porch floor with a concrete one.

4. Design new porches to be compatible with the character of the historic structure.
- b. Select a design for reconstructed porches based on physical or pictorial evidence. In the absence of sufficient documentation, select a simplified design that is compatible with the building in terms overall design and scale, as well as material and detail.

Windows

1. Retain the original window openings.
 - a. Retain the location, pattern, and size of original window openings.
 - b. It is not appropriate to reduce or enlarge original window openings.
 - c. It is not appropriate to close in original window openings.
2. Preserve original windows and associated features.
 - a. Retain early or original windows, including all functional and decorative elements such as the sash, hardware, and casing, as well as any decorative moldings or hoods.
 - a. It is not appropriate to remove historic leaded, stained, or prismatic glass.
 - b. Burglar bars, security grilles, and other visually-intrusive elements are not appropriate.
3. Improve the energy efficiency of intact original windows rather than replacing them.
 - b. Enhance energy efficiency by installing storm windows.
 - i. Align storm windows within the original opening. Altering an opening to accommodate a storm window is not appropriate.
 - ii. Wood-framed storm windows are most appropriate, but baked-on enamel-finished or anodized aluminum is also acceptable if the finish color matches that of the building's trim. Bare aluminum sashes are not appropriate.
 - iii. Storm windows that do not allow for a full-view of the primary window or do not have a meeting rail that aligns with that of the primary window are not appropriate

Comments

N/A

Staff Findings

1. 2325 Jefferson Avenue is a contributing resource to the National Register District and the local overlay.
2. The in-kind roof, soffit, fascia, gable vent, and gutter replacement is appropriate. The exposed rafter tails should be preserved and protected during the roof replacement. Final gable vent selection should be sent to staff for approval.
3. The porch restoration scopes meet the design guidelines. However, the tongue-and-groove flooring should be made of wood or pressure-treated wood to meet the design guidelines. Scopes including, but not limited to, the installation of a new front door and replacement of the porch ceiling will need to be reviewed in a new application.
4. It is appropriate to repair and retain the existing windows, some of which are original. The new storm windows should be made of anodized aluminum, as opposed to the proposed bare aluminum, and the window openings should not be modified during installation. Any window replacement will need to be reviewed in a new application.
5. The removal of the deteriorated asbestos shingles is appropriate, if planned. The application does not specify if the original wood lap siding under the shingles will be removed.

The application proposes to install cedar texture lap LP Smart Siding as exterior cladding, which is an engineered wood material made from wood strands treated with a mix of zinc borate, waxes, and resins. This material has not been approved as a replacement siding material in any H overlay district. There are two cases where the material

was used as a replacement siding without approval and was reviewed after installation, and it was required to be removed and replaced with fiber cement or wood (Fourth and Gill 12-G-22-HZ, Old North Knoxville 3-C-13-HZ). However, it has been approved for new construction in the Fort Sanders NC overlay, and smooth finish LP Smart Siding was approved as cladding for a secondary structure on a corner lot in Edgewood Park City (7-K-15-HZ). LP Smart Siding is permitted in some historic districts nationwide and is known for being a durable material with a wood-like appearance.

The guidelines recommend that extant wood siding be repaired if possible, replacing only sections deteriorated beyond repair with in-kind wood or smooth finished fiber cement lap siding, advising against removing and replacing all the material unless necessary. The Commission should discuss whether LP Smart Siding is an appropriate replacement for wood lap siding; if deemed appropriate, it should have a smooth finish and a profile comparable to the existing lap siding. The applicant should provide further details on the siding removal process and should retain and repair the existing wood siding if feasible, with documentation provided to staff of the condition if removal is deemed necessary. The replacement trim should match the siding material approved by the Commission.

Staff Recommendation

Staff recommends approval of Certificate 7-I-25-HZ, subject to the following conditions: 1) final gable vent and storm window selection to be approved by staff, with storm windows being anodized aluminum or another approved material; 2) applicant to repair existing wood lap siding if feasible, with documentation provided to staff if removal is necessary; 3) replacement siding as necessary to be smooth-finished fiber cement or LP Smart Siding with an exposure pattern and profile to reflect the original.



DESIGN REVIEW REQUEST

☐ DOWNTOWN DESIGN (DK)

☒ HISTORIC ZONING (H)

☐ INFILL HOUSING (IH)

Fred McGuire

Applicant

12/19/2024

July 16, 2025

7-I-25-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

☐ Owner ☒ Contractor ☐ Engineer ☐ Architect/Landscape Architect

Fred McGuire

M And B Complete Home Concepts LLC

Name

Company

189 Foust Hollow Road

Heiskell

Tn

37754

Address

City

State

Zip

8656606320

mandbhomeconcepts@gmail.com

Phone

Email

CURRENT PROPERTY INFO

God, Family, Country LLC

7318 Redwing Dr., Knoxville Tn., 37931

7146576982

Owner Name (if different from applicant)

Owner Address

Owner Phone

2325 Jefferson Ave

082JU020

Property Address

Parcel ID

Hazen ADD

R-1

Neighborhood

Zoning

AUTHORIZATION

Lindsay Lanois

Staff Signature

Please Print

Date

Fred McGuire

Fred McGuire

12/19/2024

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- ☐ Signs ☒ Alteration of an existing building/structure

Level 2:

- ☐ Addition to an existing building/structure

Level 3:

- ☐ Construction of new building/structure ☐ Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

- ☐ Brief description of work: The exterior work is to replace defective or deteriorating building materials. Siding, windows, roof, and re-floor front porch. In a good note previous owner was able to salvage original porch posts. Interior renovation as well. Building permit applied for. IRC-ALT-24-0849

HISTORIC ZONING

Level 1:

- ☐ Signs ☒ Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- ☐ Major repair, removal, or replacement of architectural elements or materials ☐ Additions and accessory structures

Level 3:

- ☐ Construction of a new primary building

Level 4:

- ☐ Relocation of a contributing structure ☐ Demolition of a contributing structure

See required Historic Zoning attachment for more details.

- ☐ Brief description of work: New windows, siding, roof, facia, and gutters.

INFILL HOUSING

Level 1:

- ☐ Driveways, parking pads, access point, garages or similar facilities ☐ Subdivisions

Level 2:

- ☐ Additions visible from the primary street ☒ Changes to porches visible from the primary street

Level 3:

- ☐ New primary structure
☐ Site built ☐ Modular ☐ Multi-Sectional

See required Infill Housing attachment for more details.

- ☐ Brief description of work: Construction is just to replace rotted/missing building materials. No configuration/style change.

STAFF USE ONLY

ATTACHMENTS

- ☐ Downtown Design Checklist
☐ Historic Zoning Design Checklist
☐ Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- ☐ Property Owners / Option Holders

Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500

FEE 1:

1005 \$100.00

FEE 2:

FEE 3:

TOTAL:

\$100.00

Pd. 06/30/2025, SG

Fred McGuire dba M&B Complete Home
Concepts<mandbhomeconcepts@gmail.com>

Lindsay Lanois

Applications; Malync

Here are the details for the above property.

1. Siding to be replaced by LP Smart Side. A 6 inch horizontal profile to match original siding.
2. New asphalt dimensional shingles to be installed. (Black in color)
3. New aluminum storm windows to be installed to preserve the original windows.
4. Front porch flooring material to be tongue and groove. Oriented from the front of the home to the outside edge of the porch. Original porch supports, salvaged by the previous owners will be reinstalled.

Please see attached for more information.

Fred McGuire, Licensed General Contractor
M&B Complete Home Concepts
mandbhomeconcepts@gmail.com
(865)660 6320

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LP SMARTSIDE, ENGINEERED WOOD LAP SIDING - GULF STREAM



Gulf Stream

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Availability: Usually Ships in 2 to 4 Weeks

Product Code: LP-LAP-GULF-STREAM

Questions?

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2325 JEFFERSON AVE

