



Staff Report

Knoxville Historic Zoning Commission

File Number: 7-G-25-HZ

Meeting:	7/17/2025				
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Applicant:	Devon Rodriguez, Red Door Homes of East Tennessee				
Owner:	Dwner: Richard and Miranda Brewer				
Property Information					
Location:	700 Morgan St.	Parcel ID 94 D J 029			
District:	Fourth and Gill H				
Zoning:	RN-3 (General Residential Neighborhood)				
Description:	N/A				

Vacant lot.

Description of Work

Level III Construction of New Primary Building

New single-family house fronting Morgan Street, with a side elevation along E. Fourth Avenue. The two-story house will measure 26' wide by 57.5' deep and is proposed to be set 16' from the front property line, with a 17.5' corner side setback and a 10.5' interior side setback. Parking is a 26.3' wide by 28.7' deep concrete pad at the rear of the lot and is accessed via the alley.

The house features an 8/12 pitch, hipped roof with a hipped roof dormer centered on the front roof slope, an exterior of engineered wood lap siding (LP Smart Siding, 8" profile, finish not specified) and a raised block foundation clad in brick veneer. The design features cornerboards, fascia, and 1' overhanging eaves. The façade features a full-length, 6.5' deep front porch with a 4/12 pitch, hipped roof supported by four tapered columns on square bases clad in brick veneer, and it will be accessed via full-length brick steps. The materials for the porch columns and ceiling are not specified. The porch flooring will be brushed concrete and the handrailing with be metal with simple balusters.

The façade (southwest) features three bays, with paired 2/2 double-hung windows flanking a quarter-lite wood paneled door on the first story. The right elevation features three irregular bays of two-over-two, double-hung windows on both the first and second stories. The left elevation features two 2/2 double-hung windows on the first story and three on the second story. The rear elevation features two 2/2 double-hung windows and a fixed single-light window on the second story and two 2/2 double-hung windows. A deck is recessed under the rear left corner of the house. All windows will be made from fiberglass-clad wood (Marvin Elevate product).

Applicable Design Guidelines

Fourth and Gill Design Guidelines, adopted by the Knoxville City Council on April 20, 1999 and June 29, 1999. Roofs

1. The shape and pitch of roofs on new construction should imitate the shape and pitch of roofs on neighboring existing houses or other houses of the same architectural style. Replacement roofs should copy the shape and pitch of original roofs, and the soffit, fascia and trim detail between roof and wall should mimic the original.[MW1.1]

2. The eaves on additions or new buildings should have an overhang that mimics the original eave, or where this is not feasible, mimics the existing buildings near the property. A minimum eave overhang of at least eight inches should be used on new construction. Fascia boards should be included on the gables.

3. Repair or replace roof details (chimneys, roof cresting, finials, attic vent windows, molding, and other unique roof features). Use some of these details in designing new buildings.

4. Materials used in roofing existing buildings or new construction should duplicate the original roofing materials if possible. Asphalt or fiberglass shingles can be appropriate, as are slate, standing seam metal or metal shingle roof coverings. The color of roofing materials should be a dark green, charcoal gray, black or dark reddish brown to simulate the original roof colors.

Porches

New front porches in Fourth and Gill must be large enough to provide seating, i.e., six to eight feet in depth.
 In new construction, the proportion of the porches to the front facades should be consistent with the historic porches in the neighborhood. Details such as columns, posts, piers, balustrades and porch flooring must use materials that present a visually and physically appropriate appearance historically.

Entrances

4. Secondary entrances should be compatible with the originals in size, scale or materials but should not give the appearance of a primary entrance.

Wall Materials

Wood

3. New construction should use wood materials rather that aluminum or vinyl siding. New buildings should also use corner and trim boards and appropriate door and window trim. Concrete composition planks may be appropriate for new construction.

12. Siding or pressboard or particle board, and vertical siding (including T-111) is not appropriate for primary structures in the Fourth & Gill Historic District and should not be used.

Infill Buildings

Width of Houses and Lots

1. Maintain the historic facade lines of streetscapes by locating the front walls of new buildings in the same plane as the facades of adjacent buildings. A new building should continue and reinforce the alignment established by its neighbors. Never violate the existing setback pattern by placing new buildings in front of or behind the historic facade line.

2. Avoid placing buildings at odd angles to the street.

Scale and Massing

1. Relate the size and proportions of new structures to the scale of adjacent buildings.

2. Break up uninteresting boxlike forms into smaller, varied masses like those of most buildings from the historic period. Variety of form and massing are essential to the character of the streetscape.

3. New buildings should be designed with a mix of wall areas with door and window elements in the facade like those found on the neighborhood's historic houses. Also consider the width-to-height ratio of bays in the facade. The placement of openings with respect to the facade's overall composition, symmetry, or balanced asymmetry should be carefully imitated.

4. Relate the vertical, horizontal, or nondirectional façade character of new buildings to the predominant directional alignment of nearby buildings. A new building should continue and reinforce the alignment established by its neighbors.

5. Relate the roof forms of the new buildings to those found in the area. Duplication of the existing or traditional roof shapes, pitches, and materials on new construction is one way of making new structures more visually compatible.

Height of Foundations and Stories

1. As a general rule, construct new buildings to equal the average height of existing buildings on the street.

2. Raised foundations, or the appearance of raised foundations, must be designed for any new housing constructed in Fourth and Gill. The height of the foundation should replicate those of adjoining buildings.

3. If building new structures, the eave lines should conform to those of adjacent properties. Divisions between stories should either be omitted, or should mimic neighborhood buildings.

Materials

1. The materials used for new buildings should be consistent with existing historic building materials along the street.

Features

1. Always design front facades with a strong sense of entry. Strongly emphasized side entries, or entries not defined by a porch or similar transitional element, result in an incompatible flat first-floor facade.

2. Avoid replicating or imitating the styles, motifs, or details of older periods. Such attempts can present a confusing picture of the true character of the historical area.

Comments

N/A

Staff Findings

1. The new house is proposed for a 54' wide lot in Fourth and Gill that has been vacant since at least the 1980s and historically held a rectangular, two-story, wood frame residence with an exterior of wood and a one-story corner porch. The proposed house reflects the shape of the lot, with a rectangular form and the narrow side parallel to the street. The subject property is a corner lot, which typically necessitates additional elaboration on the side elevation.

2. The average front setback of the blockface is 16', and the adjacent house at 704 Morgan Street is set 17' from the front property line, with a corner porch that's flush with the main massing. The proposed setback measures 16' to the full-length front porch, with the main massing set 23' from the front lot line, which will maintain the historic façade line of the streetscape.

The 10.5' interior side setback is consistent with the historic development pattern. Most corner lots in Fourth and Gill have smaller corner side setbacks than the proposed 17.5' or the 12', typically ranging between 5'-13'. The narrow corner side setback is driven by a slightly more narrow house form; the Commission should discuss if the corner side setback is compatible with the context.

3. The proposed parking is a concrete pad at the rear of the lot and is accessed via the alley, which will preserve the existing streetscapes along Morgan Street and E. Fourth Avenue by avoiding curb cuts and reducing visibility. The final site plan should meet City Engineering standards, with minor revisions to be approved by staff.

4. The proposed two-story house uses the American Four-Square style, including typical roof forms, front porch design, brick veneer cladding, and the three-bay façade. Although guidelines recommend that new construction not attempt to replicate historic styles, recent new construction in Fourth and Gill has included contemporary interpretations of historic styles. Overall, the house's style is compatible with the historic context and uses contemporary materials to be sufficiently differentiated from original buildings. However, additional architectural details and elaborations are needed on the side and rear elevations, particularly the street-facing right elevation, to align with the detail and historic proportions of the context.

5. The 26' wide by 57.5' deep two-story house is proposed for a block featuring two-story houses in the Vernacular, Queen Anne, and Craftsman styles, and the opposite side of the street features a historic brick apartment building, contemporary new construction, and a cinderblock commercial building outside of the overlay. The block features

some of the neighborhood's narrower and more modest houses, and the proposed house is comparable in size and form to the houses at 712-722 Morgan Street.

6. The proposed 8/12 pitch hipped roof with a hipped roof dormer on the façade and 1' overhanging eaves is compatible with other American Four-Square houses in the neighborhood and is overall comparable in height and complexity to other houses on the street. However, the design may benefit from additional variation and design elements present on other American Four-Square houses in the neighborhood and houses on the block. The roofing material is not specified, but appears to be asphalt shingles, and should be indicated on the final drawings.

6. The façade features a full-length, 6.5' deep front porch with four tapered columns on 18.75" square bases clad in brick veneer and will be accessed via full-length brick steps. The proposed front porch is compatible with the dimensions of the house and other porches on the block, and it meets the minimum depth recommended by the guidelines. The proposed guardrail is made of metal with balusters, and the flooring is brushed concrete. The materials for the porch columns and ceiling should be included in the final drawings. Concrete has been approved as a flooring material in new construction in Fourth and Gill on residences with a more contemporary style (5-H-22-HZ, 8-B-24-HZ). A wood guardrail with square balusters set into the top and bottom rails would be more compatible with the context than the proposed metal railing.

7. Guidelines recommend "break[ing] up uninteresting boxlike forms into smaller, varied masses" organized into bays and using a "mix of wall areas with door and window elements" like those found on existing buildings. The façade achieves this with its consistent bays, hipped roof dormer, and full-length front porch. However, the side and rear elevations are not organized into bays, and the side elevations feature large swaths of blank siding. Additional windows should be added to the side elevations, and the street-facing right elevation should feature a recessed or projecting feature, such as a chimney, bay, window, or dormer. All elevations should have organized bays with windows and other design features.

8. The house incorporates a raised block foundation clad in brick veneer, which meets the design guidelines. Final drawings should indicate the foundation height.

9. Guidelines recommend that windows on new construction be similar in material, operation, and muntin profile to historic houses in the neighborhood. The design primarily features 2/2 double-hung fiberglass-clad wood windows, which are appropriate and use proportions that will differentiate the house from the historic buildings on the block. However, the house features fixed windows on the dormer, right elevation, and rear elevation and six different window sizes. The picture window on the rear elevation should be revised to have a casement or double-hung operation, and the Commission should discuss whether the variety of window sizes and the other fixed windows are appropriate. The windows should feature projecting sills in addition to the depicted trim and should have simulated or true divided lights. The applicant should either revise the elevation drawings to show window trim and projecting sills, or submit a section depicting the projecting window sills.

10. Guidelines recommend that materials for new buildings be consistent with materials on the street. Brick cladding on the porch posts and foundation is appropriate; the applicant should submit a section indicating the brick foundation aligning with the face of the siding above, instead of protruding outwards from the siding.

The application proposes an exterior of LP Smart Siding with an 8" profile, which is an engineered wood material made from wood strands treated with a mix of zinc borate, waxes, and resins. This material has yet to be approved for new construction within any H overlay districts in the City of Knoxville, although it was approved in the Fort Sanders NC overlay (8-E-18-HZ). In 2021, a new primary structure across the street from the subject property was approved with an exterior of vertical nickel gap poly ash siding, which is made from recycled polymer and fly ash, on the grounds that it was a durable material permitted in historic districts nationwide, was compatible with the building's contemporary style, and was on a property at the edge of the district. LP Smart Siding is similarly permitted in some historic districts nationwide and is known for being a durable material with a wood-like

appearance. The Commission should discuss whether the introduction of this new synthetic material is appropriate for new construction, with the consent of the neighborhood. If deemed appropriate, the siding should have a smooth finish and be approximately 5/16'' thick, with final specifications to be approved by staff. Any siding should have a 4''-5'' exposure pattern instead of 8''.

11. The drawings include a quarter-lite, Craftsman-style wooden front door and a sliding full-lite door and a multipane full-lite door as secondary entrances on the side deck. The proposed front door is appropriate.

Staff Recommendation

Staff recommends postponement of Certificate 7-G-25-HZ, to allow the applicant to revise drawings to indicate projecting sills and trim, clarify window design, place additional windows on side and rear elevation, elaborate the right side elevation massing, and update siding, porch railing, and foundation materials and construction, along with addressing the Commission's comments.



DESIGN REVIEW REQUEST

DOWNTOWN DESIGN (DK)

- HISTORIC ZONING (H)
- □ INFILL HOUSING (IH)

Red Door Homes of East Tn

6/24/25	7/17/25	7-G-25-HZ	
Date Filed	Meeting Date (if applicable)	File Number(s)	

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

🗌 Owner 🔳 Contractor 🔲	Engineer 🗌 Architect/La	ndscape Architect			
Devon Rodriguez		Red Door Homes	Red Door Homes of East Tn		
Name		Company			
115 Circle Lane,		Knoxville	TN	37919	
Address		City	State	Zip	
865-531-1880	drodriguez@re	ddoorhomes.com			
Phone	Email	ale dan ser hina insertation dia and a			

CURRENT PROPERTY INFO

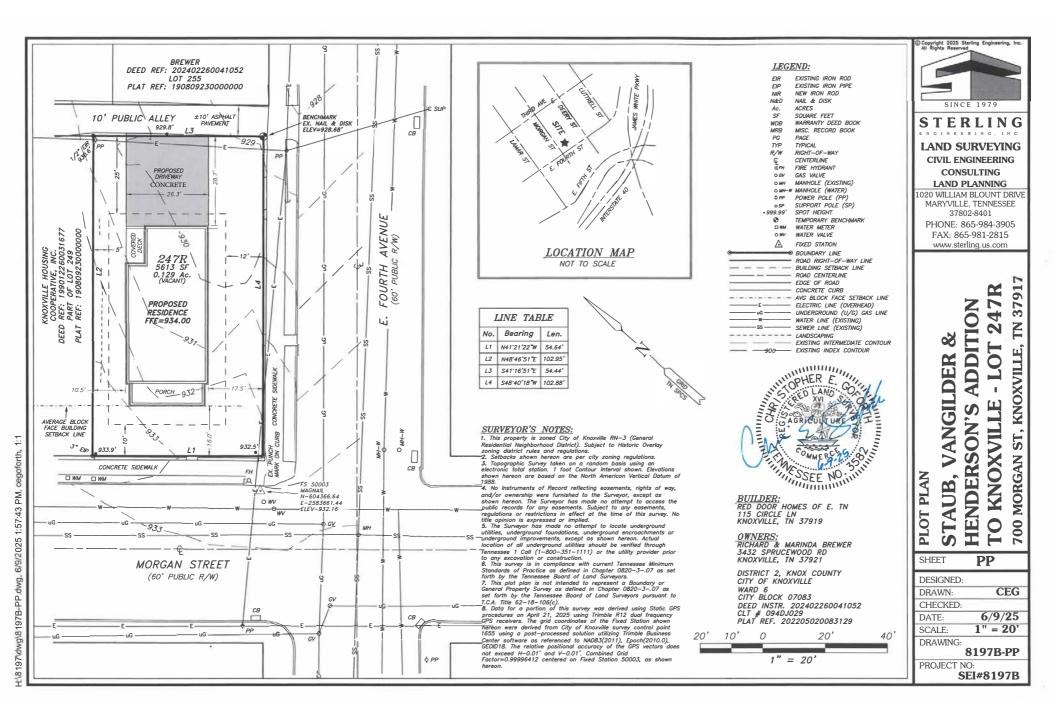
Richard and Miranda Brewer	3432 Sprucewood Rd, Knoxville, Tn 37921	865-385-9083	
Owner Name (if different from applicant)	Owner Address	Owner Phone	
700 Morgan Street	094DJ029		
Property Address	Parcel ID		
Fourth & Gill	RN-3		
Neighborhood	Zoning		

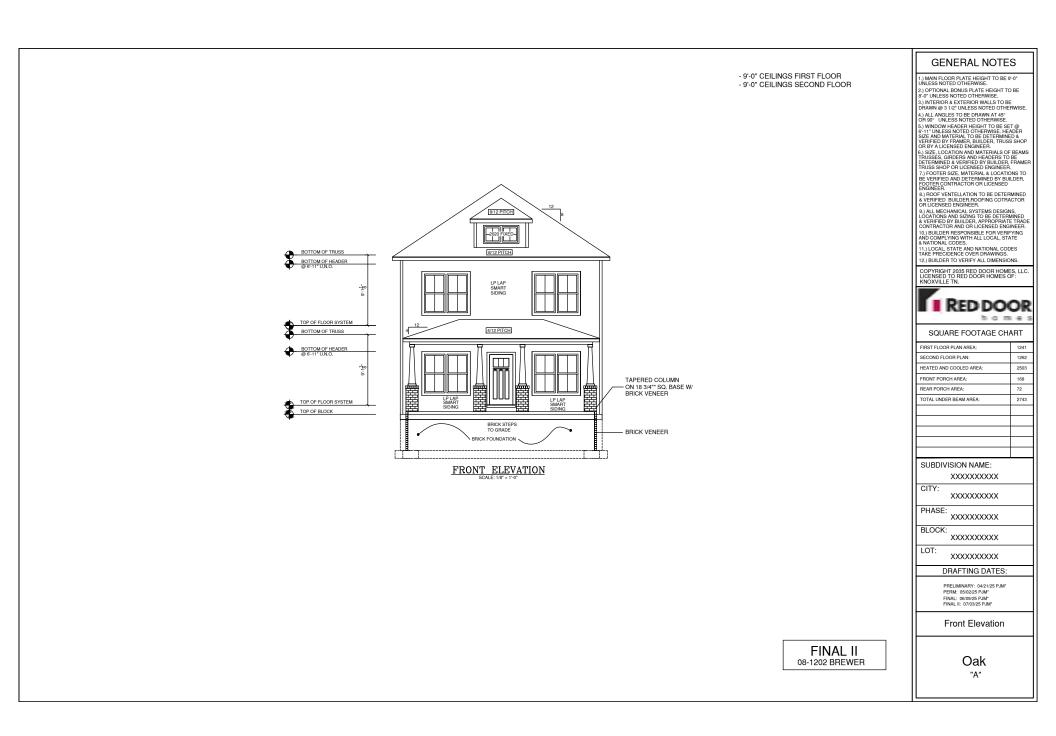
AUTHORIZATION

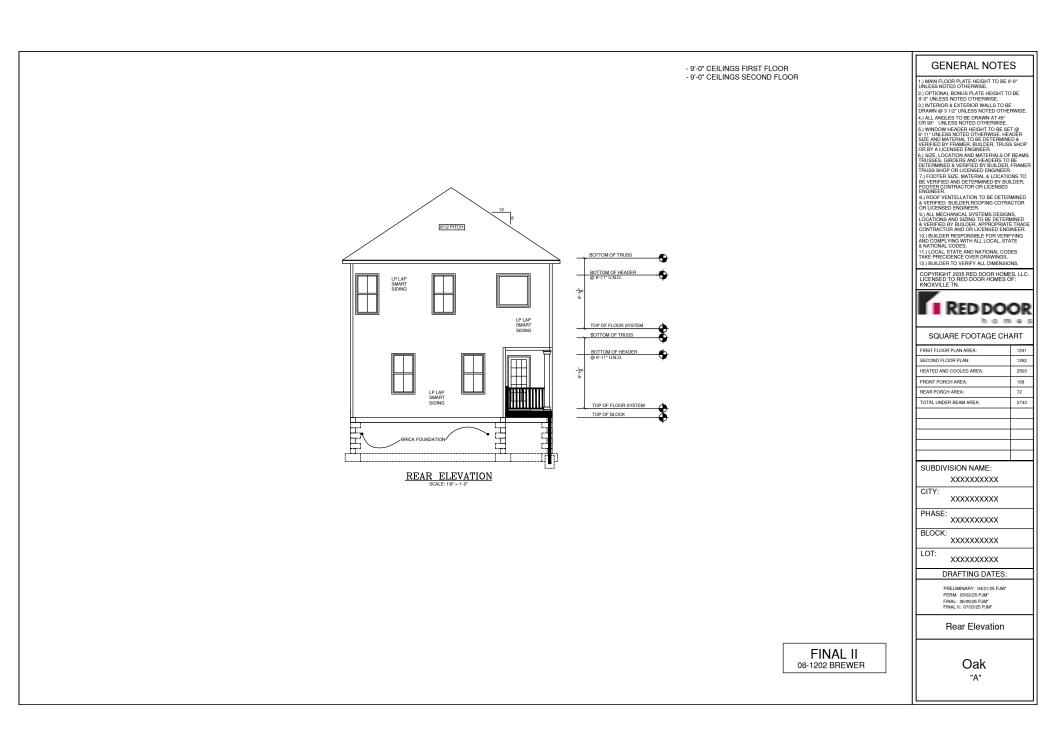
Lindson Lanois		
Staff Signature	Please Print	Date
	Devon Rodriguez	6/24/25
Applicant Signature	Please Print	Date

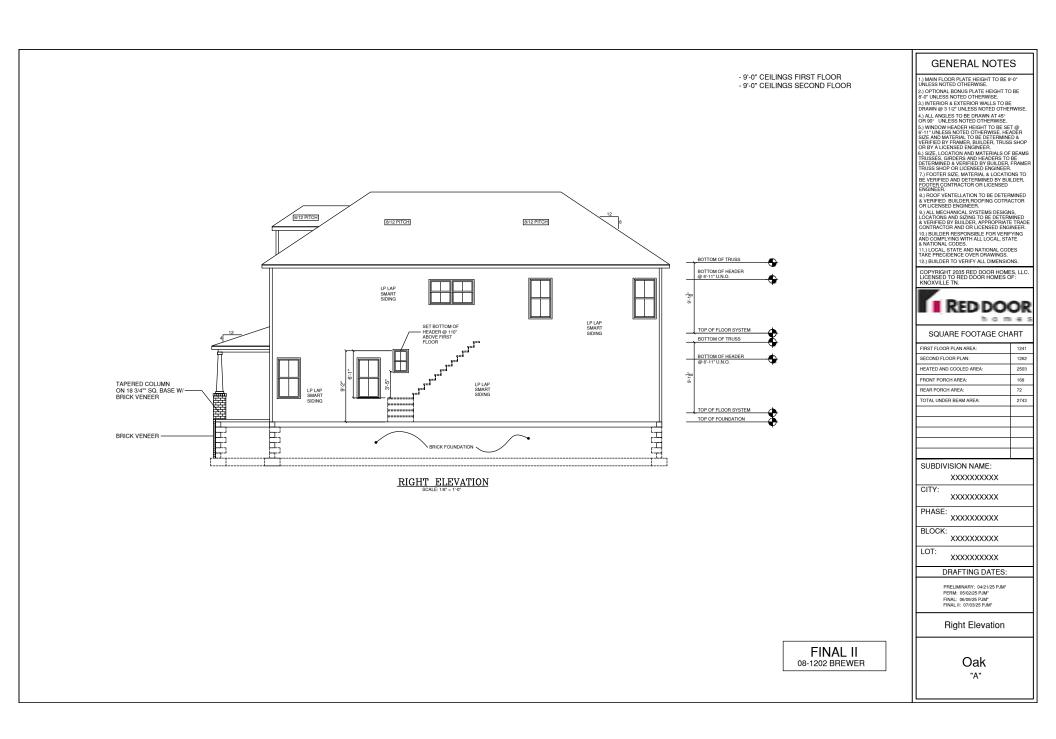
REQUEST

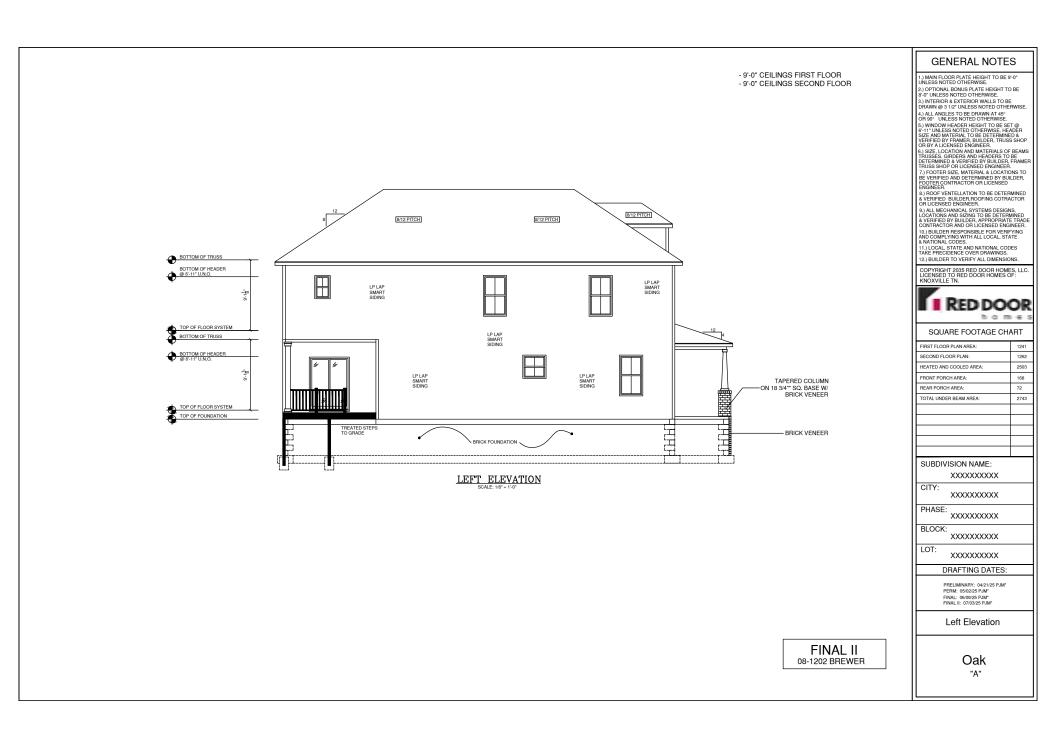
DOWNTOWN DESIGN	Level 1: Signs Alteration of an existing building/structure Level 2: Addition to an existing building/structure Level 3: Construction of new building/structure See required Downtown Design attachment for more details. Brief description of work:		
HISTORIC ZONING	Level 1: Signs Routine repair of siding, windows, roof, or other feature Level 2: Major repair, removal, or replacement of architectural elements or Level 3: Construction of a new primary building Level 4: Demolition of a contributing structure Relocation of a contributing structure Demolition of a contrib See required Historic Zoning attachment for more details. Brief description of work: Construction of new residential home	materials 🗌 Additions	
INFILL HOUSING	Level 1: Driveways, parking pads, access point, garages or similar facilities Level 2: Additions visible from the primary street Changes to porches Level 3: New primary structure Site built Modular Brief description of work:		eet
STAFF USE ONLY	ATTACHMENTS Downtown Design Checklist Historic Zoning Design Checklist Infill Housing Design Checklist ADDITIONAL REQUIREMENTS Property Owners / Option Holders Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500	FEE 1: FEE 2: FEE 3:	TOTAL: Pd.,06/26/2025, SG

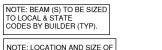










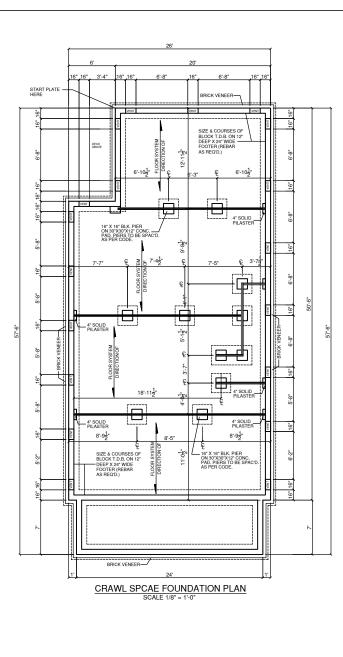


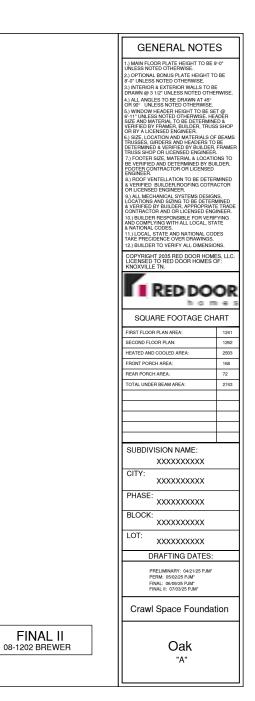
CRAWL ACCESS DOOR T.B.D. AT PRE-CONSTRUCTION / LOT INSPECTION

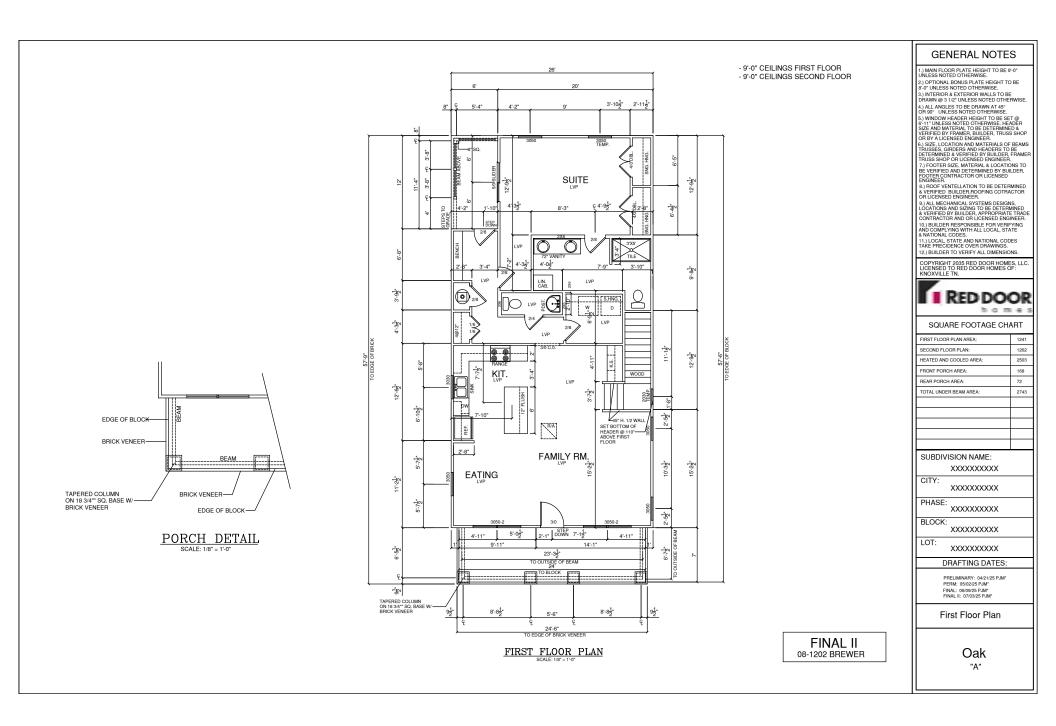
NOTE: PIER SIZE AND LOCATION T.B.D. BY CODE, TRUSS SHOP & BY BUILDER (TYP).

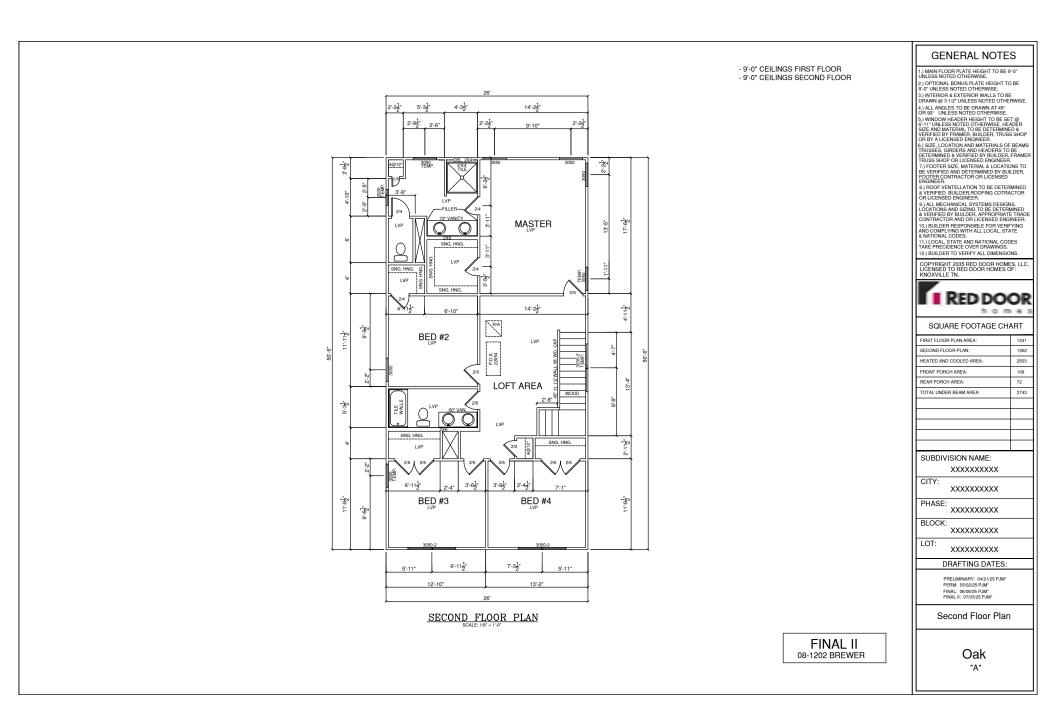
NOTE: LOCATION AND NUMBER OF CRAWL VENTS TO BE VERIFIED PRIOR TO CONST.

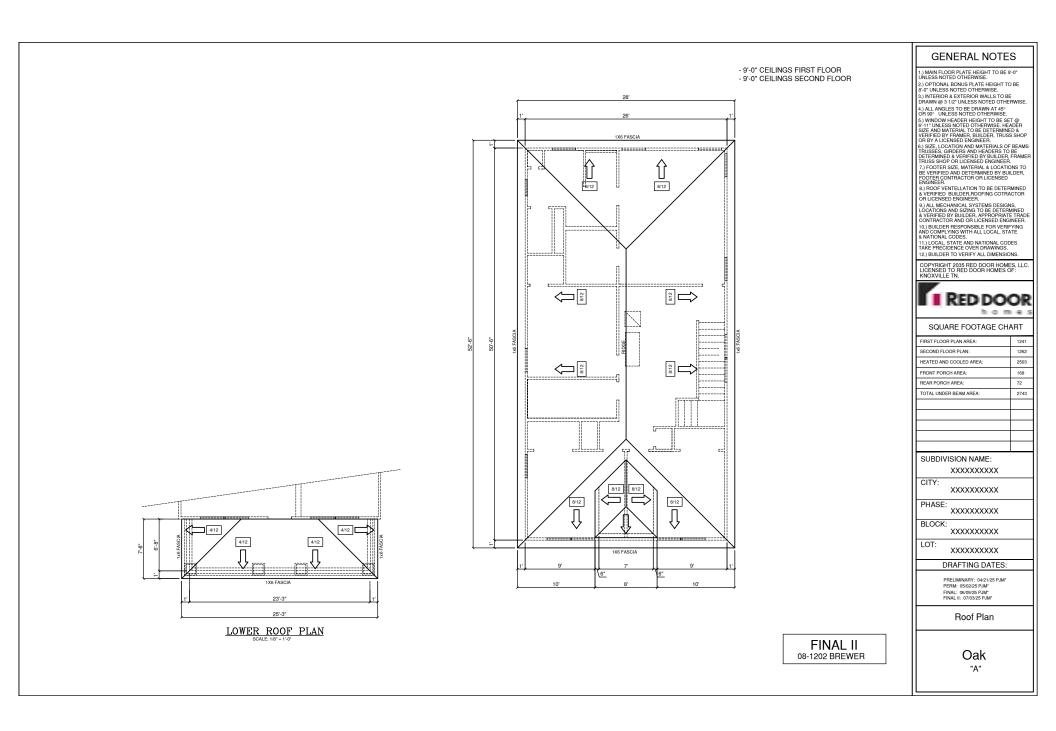
NOTE: FLOOR SYSTEM TYPE, SIZE AND SPACING T.B.D. BY BUILDER & TRUSS SHOP.



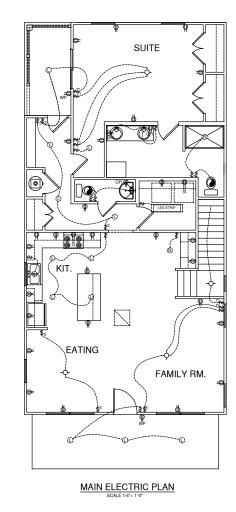








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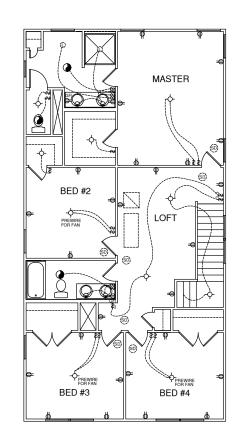
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FINAL II

08-1202 BREWER



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		RECEPTACLE, PHONE		
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FLOOR: SWITCHES 42"				

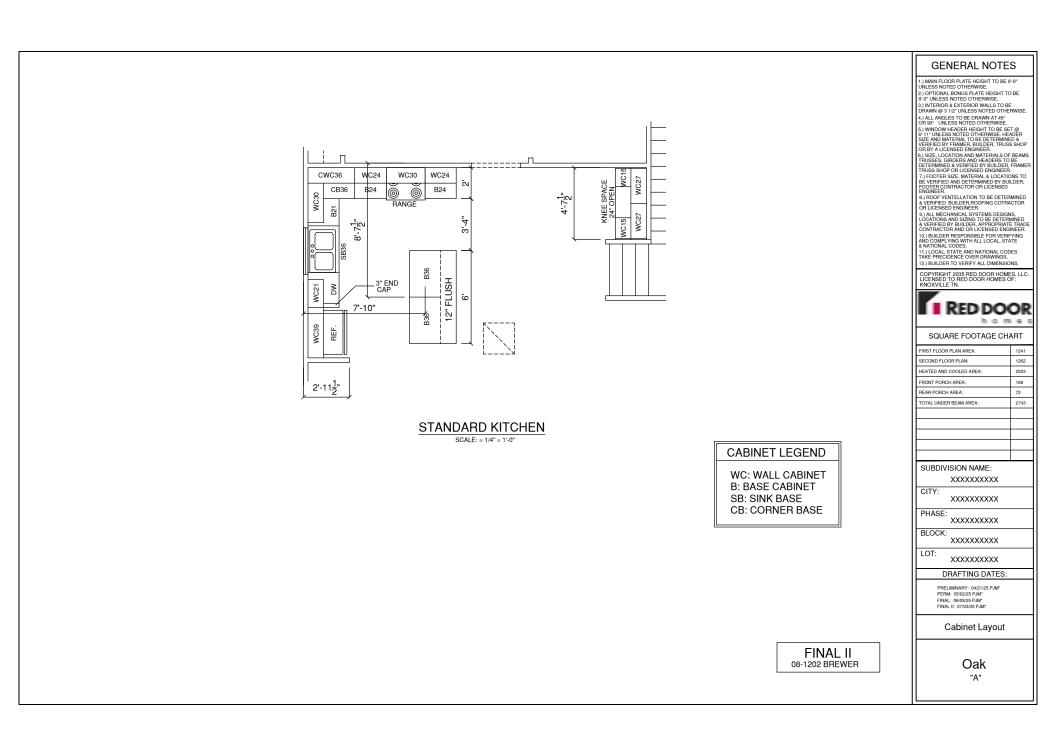


 $\underbrace{ \textbf{SECOND} \quad \textbf{FLOOR} \quad \textbf{ELECTRICAL}}_{\text{SCALE: 1/8"} = 1^{\circ} \cdot 0^{\circ}}$

		-	
S FIRST FLOOR S SECOND FLOOR	I.) MAIN FLOOR PLATE HEIGHT TO BE SUMPLES NOTED OTHERMISE. I.) COPTIONAL BONUS PLATE HEIGHT TO LOT UNLESS NOTED OTHERMISE. I.) INTERIOR & EXTERIOR YMLLSS TO BE DRAWN R4 35' INTERIOR & EXTERIOR YMLLSS TO BE DRAWN R4 35' INTERIOR & EXTERIOR DRAWN R4 35' INTOXIC VULLSSS NOTED OTHERWISE. INTOXIC VULLSSS NOTED OTHERWIS	D BE RWISE. T @ NDER D & S SHOP BEAMS BE FRAMER INS TO LDER, MINED CTOR IS, MINED ETRADE INSED INSE INS	
	SQUARE FOOTAGE CH	ART	
	FIRST FLOOR PLAN AREA:	1241	
	SECOND FLOOR PLAN:	1262	
	HEATED AND COOLED AREA:	2503	
	FRONT PORCH AREA:	168	
	REAR PORCH AREA:	72	
	TOTAL UNDER BEAM AREA:	2743	
	SUBDIVISION NAME:		
	XXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXX		
	CITY:		
	XXXXXXXXXX		
	PHASE: XXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXX		
	LOT:		
	XXXXXXXXXXXX		
	DRAFTING DATES:		
	PRELIMINARY: 04/21/25 PJM* PERM: 05/02/25 PJM* FINAL: 06/09/25 PJM* FINAL II: 07/03/25 PJM*		
	Second Floor Plan		
FINAL II 08-1202 BREWER	Oak "A"		

GENERAL NOTES

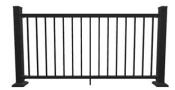
- 9'-0" CEILINGS FIRST FLOOR - 9'-0" CEILINGS SECOND FLOOR







Siding – LP Lap Siding 8" Profile in Cavern and Sand Dune https://lpcorp.com/products/siding-trim/products/lap-siding Windows – Marvin Elevate Wood Clad in Black 3/clear https://www.marvin.com/products/windows/wood Porch Flooring – Broom-Finished Concrete Porch Depth – 6'5" Porch Handrail – Fortress Black Fortress railing - https://fortressbp.com/railing/al13-home Rear Balcony – Pressure-treated lumber floors, Fortress Rail Black Front Door – Fir Wood – Craftsmen with 3 lite windows, Stained. https://www.tuckerdoor.com/exterior/ Brick - https://shop.generalshale.com/generalshale/en/USD/Product-Types/Brick/Everest-Gray-Tudor/p/6042026985







Two distinctive Dentil Shell designs (FSHELFFRE) are available for most any Rogue Valley Door Design.

