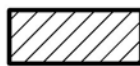




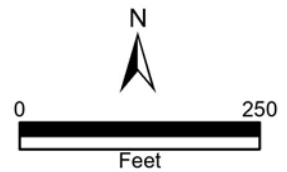
2-C-25-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



827 Morgan St. 37917
Fourth and Gill H

Original Print Date: 2/10/2025
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Sean Martin, Open Door
 Architecture





Staff Report

Knoxville Historic Zoning Commission

File Number: 2-C-25-HZ

Meeting: 2/20/2025
Applicant: Sean Martin, Open Door Architecture
Owner: Bess Connally

Property Information

Location: 827 Morgan St. **Parcel ID** 94 D L 005
District: Fourth and Gill H
Zoning: RN-3 (General Residential Neighborhood)
Description: Craftsman, c.1930

One story double gabled asphalt shingle roof frame house with overhanging eaves, a projecting side gable roof, a rear enclosed porch with a flat roof, and painted horizontal wood siding with wooden shingles on the projecting gable field. The house rests on a brick foundation and features a front porch with two tapered wooden columns supported by brick bases.

Description of Work

Level II Major Repair or Replacement
Exterior rehabilitation of existing rear addition.

Removal of the wall enclosing the back porch, including the existing window and door. The roofline, roof brackets, and floor structure will remain. A 3' tall knee wall clad in bead board siding with a PVC wall cap will be installed on the back porch, if an original knee wall is not revealed with the removal of the existing wall. New 4x4 columns made from pressure-treated wood from the knee wall to the roof, with new aluminum tracks and screens to enclose the porch and a new wood screen door. New pressure-treated wood stairs and railing, to feature square balusters with chamfered corners. Existing brick piers will be enclosed with pressure-treated wood skirt boards.

Applicable Design Guidelines

Fourth and Gill Design Guidelines, adopted by the Knoxville City Council on April 20, 1999 and June 29, 1999.

Porches

1. Repair porches on historic houses using wood floors, balustrades, posts and columns, or replace duplicating the original size and design. Reconstruction of the documented original porch is also appropriate.
2. Porches visible from a street may not be completely enclosed.
6. Screening porches may be acceptable if screening is translucent and the open appearance of the porch is maintained.

Entrances

4. Secondary entrances should be compatible with the originals in size, scale or materials but should not give the appearance of a primary entrance.
 6. Retain, repair or replace screened doors.
-

Wood

3. New construction should use wood materials rather than aluminum or vinyl siding. New buildings should also use corner and trim boards and appropriate door and window trim. Concrete composition planks may be appropriate for new construction.

4. Repair wooden features by patching, piecing-in, or otherwise reinforcing the wood. Repair may also include limited replacement with matching or with other compatible substitute materials, when elements remain and can be copied.

Comments

Staff Findings

1. 827 Morgan St. is a contributing resource to the Fourth and Gill National Register Historic District and the local overlay.
 2. All work is concentrated on the rear elevation, a non-character-defining elevation which is not visible from the right of way. The existing rear addition is the original porch that was enclosed sometime after 1950. The footprint of the porch will be retained.
 3. The proposed scope of work uses materials and details that are compatible with the design guidelines and the original elements of the house.
-

Staff Recommendation

Staff recommends approval of 2-C-25-HZ as submitted.



DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Sean Martin

Applicant

1/28/2025

2/20/2025

2-C-25-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Sean Martin

Open Door Architecture

Name

Company

800 Luttrell Street

Knoxville

TN

37917

Address

City

State

Zip

865-386-8909

sean@opendoorarchitecture.com

Phone

Email

CURRENT PROPERTY INFO

Bess Connally

827 Morgan Street

865-382-1313

Owner Name (if different from applicant)

Owner Address

Owner Phone

827 Morgan Street. Knoxville, TN 37917

094DL005

Property Address

Parcel ID

Fourth & Gill

H-1 / RN-3

Neighborhood

Zoning

AUTHORIZATION

Staff Signature

Please Print

Date

Sean R. Martin

1/28/2025

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: Remove inappropriate wall enclosure, window, and doors from original back porch. Original roof, roof brackets, and floor structure to remain. Install new 4x4 columns and 3'-0" tall knee wall (the current configuration implies an original knee wall may be under the current cladding). Install new screens, screen door, and wood steps.

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:

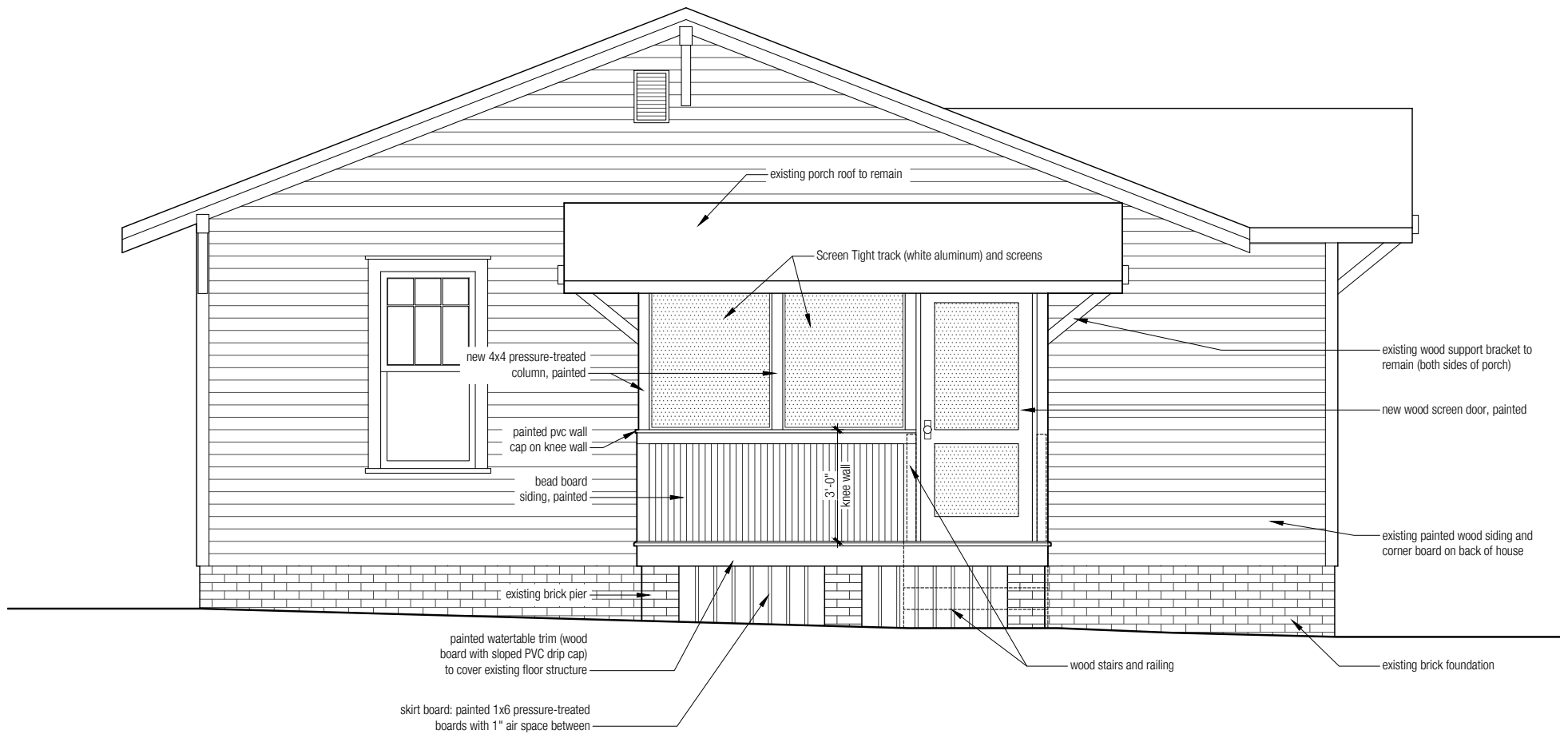
FEE 2:

FEE 3:

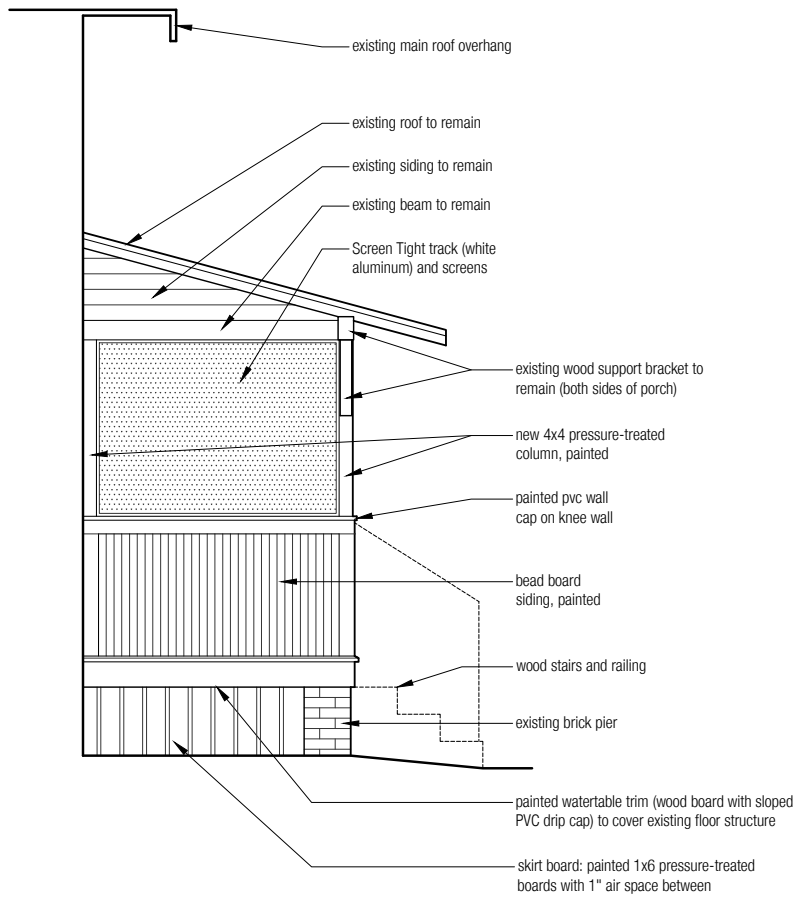
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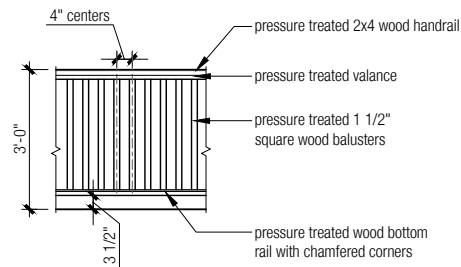
CONNALLY RESIDENCE: EXISTING CONDITION
existing rear elevation



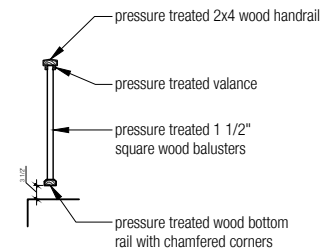
CONNALLY RESIDENCE: BACK PORCH RENOVATION
 rear elevation



SIDE ELEVATION (same for both sides)



ELEVATION



SECTION

STAIR RAILING DETAILS