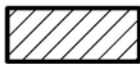




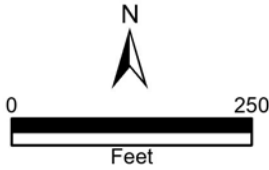
**9-D-24-HZ**  
**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**



**1616 Clinch Ave. 37916**  
**Ft. Sanders NC**

Original Print Date: 9/5/2024  
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Brian Dennison, Goss Design/  
 Development



**Meeting:** 9/19/2024  
**Applicant:** Brian Dennison, Goss Design/Development  
**Owner:** Clinch Development Group LLC

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## Property Information

**Location:** 1616 Clinch Ave. **Parcel ID** 94 N H 014  
**District:** Ft. Sanders NC  
**Zoning:** O (Office)  
**Description:** Queen Anne, c.1905

2.5-story hipped-roof residence with an exterior of wood lap siding, corbeling detail along the roofline, and a flat-roofed porch with Ionic columns.

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## Description of Work

Level II Installation of Gutters, Storm Windows/Doors, Etc, Routine Repair, Construction of Addition or Outbuilding, Major Repair or Replacement

Revision to previously issued COA. Façade now features a new prominent access ramp. The new concrete accessibility ramp will originate from the sidewalk adjacent to the existing gravel entrance and have a 90 degree turn 19.6' from the sidewalk. The ramp extends 40.5' parallel to the façade, turning 90 degrees and continuing 13'-8" before once again turning 90 degrees. It continues for 26'-10" as it becomes flush with the existing porch opening. The ramp will have a handrail with balusters of unspecified material and height. The ramp exterior will be clad in brick veneer. Removal of existing concrete porch steps.

The existing concrete step and walkway leading to the entrance will be retained for approximately 12.5.' Two steps will be added to connect the walkway with the ADA ramp, creating a 5' landing. Five steps continue after the landing to connect with the top of the ADA ramp, as it becomes flush with the existing porch opening.

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## Applicable Design Guidelines

Fort Sanders NC-1, adopted by the Knoxville City Council on September 13, 2000.

### New Construction

5. In making additions to existing buildings, wall cladding should complement the original wall covering. Acceptable materials are clapboard, vinyl siding, cement fiber board, brick and stucco.
6. Materials that are not typical in pre-1940 construction should not be used. These include cinder block, "T-111" siding and stone facing.

### Parking

8. Primary or secondary entrances to the building from parking areas are allowable.

### Additions

1. Additions should be made to the rear or side of the building.
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## Comments

N/A

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## Staff Findings

1. 1616 Clinch Avenue is a contributing resource to the Fort Sanders National Register Historic District and local overlay. The overall exterior rehabilitation project was reviewed by the HZC in June and July 2024 (6-F-24-HZ).
  2. Due to the size of the new “duplex” and the number of bedrooms in each unit, the project must adhere to building code requirements for fire separation and accessibility. An access ramp is required. Due to the structure’s foundation height, including a full basement, and the location of accessible parking spaces, existing conditions on the site require the new access ramp to lead to the front.
  3. A smaller ramp at 1610 Clinch Avenue has been approved administratively as it does not constitute an addition or require modifications to the house’s façade; the new ramp exceeds the scope of what can be approved administratively.
  4. The proposed ramp is large in size, and will result in 13’-8” of additional projecting depth on the left side. Due to the height of the existing foundation, the ramp is also substantial in height, and will be approximately 5’ tall at points. The ramp will obscure the original porch foundation.
  5. The ramp is proposed to be constructed of concrete; in the opinion of staff, cladding the ramp in brick to match the existing foundation would reduce the ramp’s visual impact. The ramp’s railing should match or be compatible with the materials and design of the existing porch railing.
- 

## Staff Recommendation

Staff recommends approval of Certificate 9-D-24-HZ, subject to the following condition: 1) access ramp to be clad in brick veneer to match house’s foundation and feature a railing compatible in materials and design with the porch.



## DESIGN REVIEW REQUEST

☐ DOWNTOWN DESIGN (DK)

☒ HISTORIC ZONING (H)

☐ INFILL HOUSING (IH)

Goss Design/Development

Applicant

August 30, 2024

September 19, 2024

9-D-24-HZ

~~9-D-24-HZ\_COA~~

Date Filed

Meeting Date (if applicable)

File Number(s)

## CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

☐ Owner ☐ Contractor ☐ Engineer ☒ Architect/Landscape Architect

Brian Dennison

Goss Design/Development

Name

Company

110 W. Summit Hill Drive

Knoxville

TN

37902

Address

City

State

Zip

703.855.5619

brian@marblealley.com

Phone

Email

## CURRENT PROPERTY INFO

Clinch Development Group LLC

110 W. Summit Hill Dr Knoxville TN 37902

865.805.1363

Owner Name (if different from applicant)

Owner Address

Owner Phone

1616 Clinch Ave

094NH014

Property Address

Parcel ID

Fort Sanders

Office

Neighborhood

Zoning

## AUTHORIZATION

Lindsay Crockett

Lindsay Crockett

08/30/2024

Staff Signature

Please Print

Date

Buzz Goss

Buzz Goss

8.30.24

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

☐ Signs    ☐ Alteration of an existing building/structure

Level 2:

☐ Addition to an existing building/structure

Level 3:

☐ Construction of new building/structure    ☐ Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

☐ Brief description of work: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

HISTORIC ZONING

Level 1:

☐ Signs    ☐ Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

☒ Major repair, removal, or replacement of architectural elements or materials    ☐ Additions and accessory structures

Level 3:

☐ Construction of a new primary building

Level 4:

☐ Relocation of a contributing structure    ☐ Demolition of a contributing structure

See required Historic Zoning attachment for more details.

☒ Brief description of work: Review of proposed accessible ramp as required by code  
\_\_\_\_\_  
\_\_\_\_\_

INFILL HOUSING

Level 1:

☐ Driveways, parking pads, access point, garages or similar facilities    ☐ Subdivisions

Level 2:

☐ Additions visible from the primary street    ☐ Changes to porches visible from the primary street

Level 3:

☐ New primary structure  
☐ Site built    ☐ Modular    ☐ Multi-Sectional

See required Infill Housing attachment for more details.

☐ Brief description of work: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

STAFF USE ONLY

ATTACHMENTS

- ☐ Downtown Design Checklist  
☐ Historic Zoning Design Checklist  
☐ Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

☐ Property Owners / Option Holders

Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500

FEE 1:

1004    \$50.00

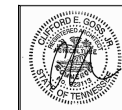
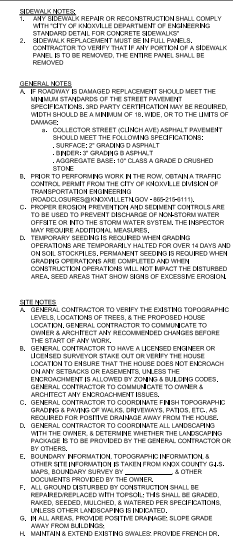
FEE 2:

FEE 3:

TOTAL:

\$50.00

Pd. 08/30/2024, SG



Job No:  
Date: 08.09.2024  
Title: SITE PLAN  
Revisions:

SHEET

A.01

# CLINCH AVENUE

EDGE OF CURB, TYP.

EXISTING PUBLIC SIDEWALK

EXIST. STEP TO REMAIN

ELEV. -3'-2'-4 1/2"

12" EXTENSION, TYP.

RAMP 1:12 MAX SLOPE

DN

ELEV. -3'-4'-7 1/2"

LANDING

DN

ELEV. -2'-4"

LANDING

DN

ELEV. 0'0" DATUM

DN

FLUSH

EXIST. PORCH TO REMAIN

ELEV. -1'-0"

LANDING

DN

ELEV. -1'-0"

LANDING

DN

ELEV. -1'-0"

LANDING

DN

ELEV. -1'-0"

LANDING

DN

ELEV. -1'-0"

LANDING

DN

ELEV. -1'-0"

LANDING

DN

1 1616 RAMP DETAIL  
SCALE: 1/4" = 1'-0"



12" EXTENSION, TYP.

ELEV. -2'-2'-0 1/2"

RAMP 1:12 MAX SLOPE

DN

ELEV. -1'-0'-0 1/2"

LANDING

DN

ELEV. -1'-3'-3 1/2"

LANDING

DN

ELEV. -0'-2'-4 1/2"

LANDING

DN

ELEV. 0'0" DATUM

DN

ELEV. -0'-2'-4 1/2"

LANDING

DN

ELEV. -0'-2'-4 1/2"

LANDING

DN

ELEV. -0'-2'-4 1/2"

LANDING

DN

ELEV. -0'-2'-4 1/2"

LANDING

DN

ELEV. -0'-2'-4 1/2"

LANDING

DN

ELEV. -0'-2'-4 1/2"

LANDING

DN

ELEV. -0'-2'-4 1/2"

LANDING

DN

2 1610 RAMP DETAIL  
SCALE: 1/4" = 1'-0"



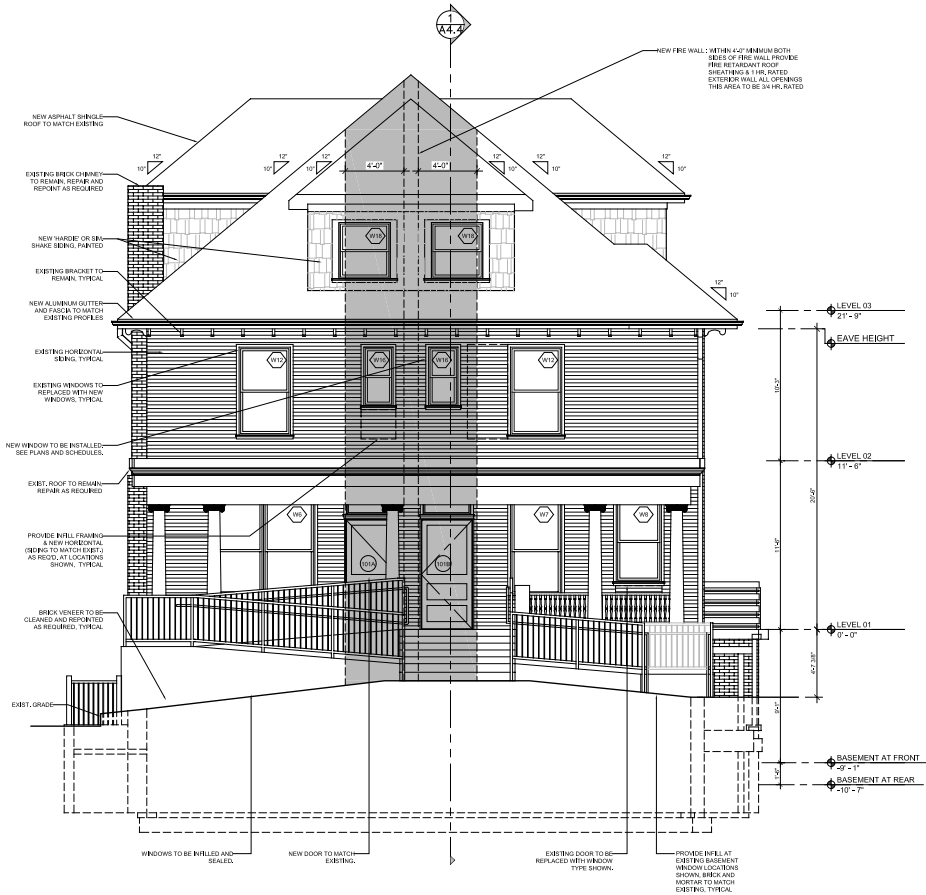
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CONSTRUCTION DOCUMENTS FOR:  
**CLINCH AVENUE APARTMENTS**  
1616 CLINCH AVENUE  
KNOXVILLE, TENNESSEE 37916

Job No:  
Date: 08.09.2024  
Title: RAMP DETAILS  
Revisions:

SHEET  
**A.02**



1  
A4.0  
ELEVATION - FRONT  
SCALE: 1/4" = 1'-0"  
1616 CLINCH



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**CLINCH AVENUE APARTMENTS**  
1616 CLINCH AVENUE  
KNOXVILLE, TENNESSEE 37916

Job No:  
Date: 08.09.2024  
Title: ELEVATION - FRONT

Revisions:

SHEET  
**A4.0**





1  
A4.2  
ELEVATION - LEFT  
SCALE: 1/4" = 1'-0"  
1616 CLINCH



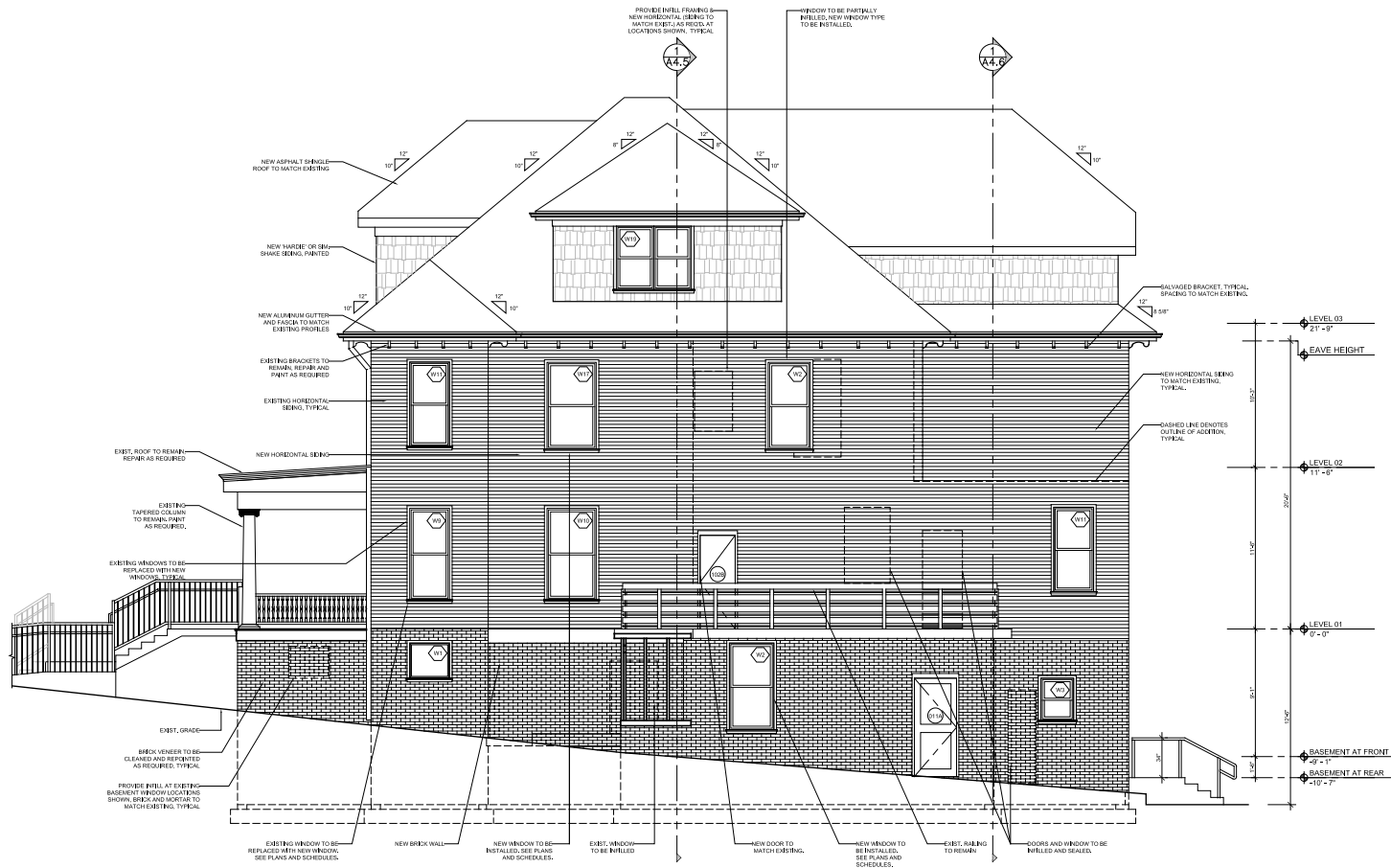
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1616 CLINCH AVENUE  
KNOXVILLE, TENNESSEE 37916

Job No:  
Date: 08.09.2024  
Title: ELEVATION - LEFT  
Revisions:

SHEET  
**A4.2**



1 ELEVATION - RIGHT  
A4.3 SCALE: 1/4" = 1'-0" 1616 CLINCH



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KNOXVILLE, TENNESSEE 37916

Job No:  
Date: 08.09.2024  
Title: ELEVATION - RIGHT  
Revisions:

SHEET  
**A4.3**