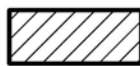




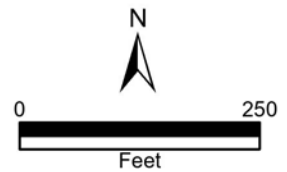
**8-B-24-HZ**  
**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**



**730 Deery St. 37917**  
**Fourth and Gill H**

Original Print Date: 8/6/2024  
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Chad Taylor





# Staff Report

Knoxville Historic Zoning Commission

File Number: 8-B-24-HZ

**Meeting:** 9/19/2024  
**Applicant:** Chad Taylor  
**Owner:** Chad Taylor

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## Property Information

**Location:** 730 Deery St. **Parcel ID** 94 D J 003  
**District:** Fourth and Gill H  
**Zoning:** RN-3 (General Residential Neighborhood)  
**Description:** N/A  
Vacant lot.

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## Description of Work

Level III Construction of New Primary Building

New primary structure fronting Deery Street. The 2-story house measures 32'-8" wide by 43; deep, and is proposed to be set 14' from the front property line. Parking is located to the rear of the house and accessed from the alley, via a 20' wide concrete driveway. The house features a 6/12 pitch, side-gable roof clad in asphalt shingles. A centered, front-gable massing extends to the front, with a one-story front-gable roof massing on the right half of the façade. A 7' deep front porch is recessed under a shed roofline, supported by three 10" square wood posts.

The house will feature an asphalt shingle roof, an exterior of fiber cement lap siding, and a foundation clad in brick veneer with a brick rowlock. Windows are 3/1, double-hung, "wood clad." The façade features a three-light transom window and a full-light entry door topped by a transom underneath the porch, with two 3/1 double-hung windows on the projecting front-gable massing. Three adjoining 3/1 windows are located on a front-gable, second-story massing, with two three-light windows on the primary massing. Front gable fields are clad in fiber cement shake siding.

The left (northwest) elevation features an exterior brick-clad chimney, two bays of 3/1 double-hung windows on the ground floor, and three bays of windows on the upper story. The right side elevation features one three-light fixed window and two 3/1 windows on the upper story. The rear elevation (northeast) features smaller windows and a paired full-light door.

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## Applicable Design Guidelines

Fourth and Gill Design Guidelines, adopted by the Knoxville City Council on April 20, 1999 and June 29, 1999.

### Infill Buildings

There are vacant lots on many of the streets in the Fourth and Gill Historic District. They cause a gap in the streetscape, and should be redeveloped with new buildings that are sympathetic to the historic design of buildings in the neighborhood.

New buildings should be contemporary in spirit. They should not be imitations of buildings of the past; rather they

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should respond to the present time, the environment, and the use for which they are intended. New buildings constructed in historic areas should, however, be compatible with older structures and sensitive to the patterns already in their environment.

The materials that cover its exterior surface largely determine the appearance of a building. Similar materials develop a certain continuity and character. A building should not be visually incompatible or destroy historic relationships within the neighborhood. At the same time, new construction should not imitate historic style or period of architecture. This is also true for freestanding garages, sheds, and other outbuildings.

#### Width of Houses and Lots

Fourth and Gill developed along streetcar tracks, which followed a straight line. This formed the pattern of streets in the neighborhood, and set the pattern for lot sizes. As a result, the lots of Fourth and Gill are usually rectangular, with their narrowest side parallel to the street. The houses are also rectangular, or irregular, with narrow sides facing their street. This development pattern should be respected if new structures are built in the neighborhood. The consistent setbacks of the neighborhood create a visual order, help define public and private space, provide a margin of privacy for residents, and permit landscaping in front of a building.

1. Maintain the historic façade lines of streetscapes by locating the front walls of new buildings in the same plane as the facades of adjacent buildings. A new building should continue and reinforce the alignment established by neighbors. Never violate the existing setback pattern by placing new buildings in front of behind the historic façade line.
2. Avoid placing buildings at odd angles to the street.

#### Scale and Massing

The houses in the Fourth and Gill Historic District have a shape, or bulk, consistent with their time of construction. They appear larger than new buildings, with set back or projecting bays not found on many new buildings. The appearance this lends to the neighborhood is an important design attribute.

1. Relate the size and proportions of new structures to the scale of adjacent buildings.
2. Break up uninteresting boxlike forms into smaller, varied masses like those of most buildings from the historic period. Variety of form and massing are essential to the character of the streetscape.
3. New buildings should be designed with a mix of wall areas with door and window elements in the façade like those found on the neighborhood's historic houses. Also consider the width-to-height ratio of bays in the façade. The placement of openings with respect to the façade's overall composition, symmetry, or balanced asymmetry should be carefully imitated.
4. Relate the vertical, horizontal, or nondirectional façade character of new buildings to the predominant directional alignment of nearby buildings. A new building should continue and reinforce the alignment established by its neighbors. Alignment is basically the arrangement of objects in a straight line. The horizontal alignment of building elements such as porches, roofs, windows, etc., is one of the most effective ways of creating and maintaining a sense of relationship, a sense of connection, and unity among the elements of a street.
5. Relate the roof forms of the new buildings to those found in the area. Duplication of the existing or traditional roof shapes, pitches, and materials on new construction is one way of making new structures more visually compatible.

#### Height of Foundations and Stories

Historic houses in the Fourth and Gill Historic District are not built on slab foundations. They are built on raised foundations, usually of masonry. The color and texture of these brick, stone or stuccoed foundations adds richness to the neighborhood. The height of each story is enough to allow for interior ceilings that are more than eight feet tall. If infill housing is constructed, it should suggest the overall height, as well as the foundation and story height, of adjacent historical houses.

1. As a general rule, construct new buildings to equal the average height of existing buildings on the street.
2. Raised foundations, or the appearance of raised foundations, must be designed for any new housing constructed in Fourth and Gill. The height of the foundation should replicate those of adjoining buildings.
3. If building new structures, the eave lines should conform to those of adjacent properties. Divisions between stories should either be omitted, or should mimic neighborhood buildings

#### Materials

1. The materials used for new buildings should be consistent with existing historic building materials along the street.

#### Features

1. Always design front facades with a strong sense of entry. Strongly emphasized side entries, or entries not defined by a porch or similar transitional element, result in an incompatible flat first-floor façade.
2. Avoid replicating or imitating the styles, motifs, or details of older periods. Such attempts can present a confusing picture of the true character of the historical area.

#### Roofs

1. The shape and pitch of roofs on new construction should imitate the shape and pitch of roofs on neighboring existing houses or other houses of the same architectural style.
2. The eaves on additions or new buildings should have an overhang that mimics [...] the existing buildings near the property. A minimum eave overhang of at least eight inches should be used on new construction. Fascia boards should be included on the gables.
3. Repair or replace roof details (chimneys, roof cresting, finials, attic vent windows, molding, and other unique roof features). Use some of these details in designing new buildings.
4. Materials used in new construction should duplicate the original roofing materials if possible. Asphalt shingles can be appropriate [...] and the color should be a dark green, charcoal gray, black or dark reddish brown to simulate the original roof colors.

#### Porches

3. New front porches in Fourth and Gill must be large enough to provide seating, ie. six to eight feet in depth.
4. In new construction, the proportion of the porches to the front facades should be consistent with the historic porches in the neighborhood. Details such as columns, posts, piers, balustrades, and porch flooring must use materials that present a visually and physically appropriate appearance historically.

#### Entrances

Historic characteristics: The doors originally used on Fourth and Gill houses were wooden, often with beveled glass or stained glass inserts. Screen doors were commonly used.

1. Entry features that should be preserved include sidelights and transoms of plain, patterned, beveled or stained glass, fan light windows, entablatures and the original doors.
3. Service (rear or side) entrances should not be altered to make them appear to be formal entrances by adding paneled doors, fanlights, or sidelights.
4. Secondary entrances should be compatible with the originals in size, scale, or materials but should not give the appearance of a primary entrance.

#### Wall Coverings

3. New construction should use wood materials rather than aluminum or vinyl siding. New buildings should also use corner and trim boards and appropriate window and door trim. Concrete composition planks may be appropriate for new construction.

#### Additional Elements that Define Neighborhood Character

1. Large foundation shrubbery should not be planted or maintained near the older houses of Fourth and Gill. Even

in the new houses, if there is shrubbery at the foundation it should be small when it is mature and should not obscure the foundation or block the windows of the structure.

2. Shade trees were also common in Fourth and Gill. They may have been planted in an informal design, but they may also have been street trees, planted at regular intervals along the curbs. Over time, many of the trees in the neighborhood have died or been cut down because of age and disease, and have not been replaced.
3. The residents of Fourth and Gill are urged to replant the trees, using native varieties such as oak or maple species and taking care that their mature height will not interfere with the houses or utility lines in the area.

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## Comments

The application was postponed at the August 2024 meeting to allow the applicant to meet with the neighborhood and address 1) the front setback; 2) the existing mature trees on the property; 3) the roof pitch; and 4) window placement, in particular on the right side and rear elevations, and specifications, including trim, sills, and shutters; along with style.

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## Staff Findings

### PLACEMENT; HEIGHT, SCALE, & MASSING

1. The new house is proposed for an average-sized lot in Fourth and Gill that historically held a two-story, wood frame residence with an exterior of wood and a one-story, full-length porch. The proposed house reflects the shape of the lot, with a rectangular form and the narrow side parallel to the street.
2. The house has been revised to be set 14' from the front property line. The average front setback of the block is 14', and the adjacent two houses are 13' and 14' from the front property line. The front setback has been selected to maintain the façade line of the streetscape and reinforce the existing alignment of the block. The house maintains consistent side setbacks which meet the base zoning requirements. The site plan includes a walkway from the front door to the sidewalk to further engage the street. At the August meeting, participants discussed on the mature tree in the front of the lot. The proposed front setback will result in the removal of the tree, preservation of which may be compromised by adjacent new construction. The Commission and neighborhood should discuss the proposed front setback in relation to the tree.
3. Guidelines recommend avoiding "replicating or imitating the styles, motifs, or details of older periods," and encourage compatibility in interpretation of historic styles and forms seen in the neighborhood. The revised design adapts a Craftsman style to a two-story Four Square form, and the revisions meet the design guidelines more clearly than the initial Tudor Revival-style house.
3. The overall height of the house, 2 stories and measuring approximately 29' to the top of the roof, is compatible with the existing buildings on the street. The 700 blocks of Deery Street feature a mix of two-story and one-story houses. The foundation appears to be approximately 12" tall, which meets the design guidelines. As shown in the elevation drawings, contemporary brick veneer cladding on a poured concrete or concrete block foundation can often project a wythe out from the exterior wall and feature a rowlock course, almost like a narrow sill. Historic foundations were structural masonry, so the brick is flush with the exterior siding. If possible, the foundation should be constructed to allow for the foundation and the siding to be aligned as much as possible.
4. The house incorporates multiple rooflines, a front-gable roof dormer, and a smaller front-gable roof massing to "break up boxlike forms into smaller massings." The side elevations have been revised to avoid the larger asymmetrical roof slopes.
5. The proposed house is compatible in façade width with other two-story houses on the block. The facade features a "mix of wall areas with windows and door elements" similar to the neighborhood's historic houses, as there is sufficient transparency and the four-bay arrangement is similar to houses in the neighborhood. The front dormer is large in size but breaks up the large front roof massing.

## BUILDING FEATURES

6. Using a centrally-located two-thirds-light door accessed via a recessed corner porch, the design incorporates a strong sense of entry on the façade.
7. The guidelines recommend duplicating traditional roof shapes and pitches to make new structures visually compatible with the neighborhood. The revised application now proposes a more consistent roof pitch, with sufficient complexity to be compatible with the neighborhood. The façade elevation features three front-gable roof massings and a shed-roof porch; the Commission should discuss the façade rooflines.
8. The design includes a 7' deep, 16' wide front porch, recessed under the primary roofline. The porch is proportionate to the house and features a projecting roofline. The porch is supported by 10" square cedar-wrapped posts. The applicant should provide porch flooring and ceiling details to staff for approval.

## MATERIALS

9. Asphalt shingles are an appropriate roofing material within the design guidelines. The final selection should use dark green, dark gray, black, or another dark color to simulate roof colors on original houses.
10. The 2/3rds-light door is appropriate for the neighborhood context and contributes additional transparency to the façade, and the proposed mahogany wood meets the design guidelines.
11. Guidelines recommend wood materials instead of synthetic siding, noting that concrete composition planks may be appropriate for new construction. The applicant proposes fiber cement lap siding as an exterior cladding material. While HardiePlank is appropriate for a new house, the final drawings should specify a smooth-finished product and an exposure pattern similar to historic houses on the block (4"-6" exposure instead of the wider boards shown on elevation drawings).
12. Windows are described as "wood clad" on the application. Aluminum-clad wood may be appropriate for new construction, but final specifications should be submitted for review. The drawings have been revised to incorporate sufficient windows on all elevations. The revised design incorporates window trim and projecting sills should be included.

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## Staff Recommendation

Staff recommends approval of Certificate 8-B-24-HZ, subject to the following conditions: 1) brick foundation cladding to be aligned with the exterior wall as much as possible; 2) window trim to incorporate projecting sills, with detail submitted to staff for review; 3) final window specifications and final material specs (including siding and porch materials) to be submitted to staff for review; and allowing for discussion among the Commission, neighborhood, and applicant on the proposed front setback with respect to the tree.



# DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

TaylorVan LLC.

Applicant

7/15/2024

8/15/2024

8-B-24-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

## CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Chad Taylor

TaylorVan LLC.

Name

Company

11409 Municipal Center Dr. Unit 22116

Knoxville

TN

37933

Address

City

State

Zip

615-429-6801

taylorvan1010@gmail.com

Phone

Email

## CURRENT PROPERTY INFO

Owner Name (if different from applicant)

Owner Address

Owner Phone

730 Deery St

094DJ003

Property Address

Parcel ID

STAUB-VANGILDER & HENDERSON

RN-3

Neighborhood

Zoning

## AUTHORIZATION

*Lindsay Crockett*  
Staff Signature

Please Print

Date

*Chad Taylor*  
Applicant Signature

Chad Taylor

7/15/2024

Please Print

Date

# REQUEST

## DOWNTOWN DESIGN

**Level 1:**

- Signs     Alteration of an existing building/structure

**Level 2:**

- Addition to an existing building/structure

**Level 3:**

- Construction of new building/structure     Site design, parking, plazas, landscape

**See required Downtown Design attachment for more details.**

Brief description of work: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

## HISTORIC ZONING

**Level 1:**

- Signs     Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

**Level 2:**

- Major repair, removal, or replacement of architectural elements or materials     Additions and accessory structures

**Level 3:**

- Construction of a new primary building

**Level 4:**

- Relocation of a contributing structure     Demolition of a contributing structure

**See required Historic Zoning attachment for more details.**

Brief description of work: New residential single family dwelling.  
 \_\_\_\_\_  
 \_\_\_\_\_

## INFILL HOUSING

**Level 1:**

- Driveways, parking pads, access point, garages or similar facilities     Subdivisions

**Level 2:**

- Additions visible from the primary street     Changes to porches visible from the primary street

**Level 3:**

- New primary structure  
      Site built     Modular     Multi-Sectional

**See required Infill Housing attachment for more details.**

Brief description of work: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

## STAFF USE ONLY

**ATTACHMENTS**

- Downtown Design Checklist  
 Historic Zoning Design Checklist  
 Infill Housing Design Checklist

**ADDITIONAL REQUIREMENTS**

- Property Owners / Option Holders

**Level 1:** \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

**FEE 1:**

**FEE 2:**

**FEE 3:**

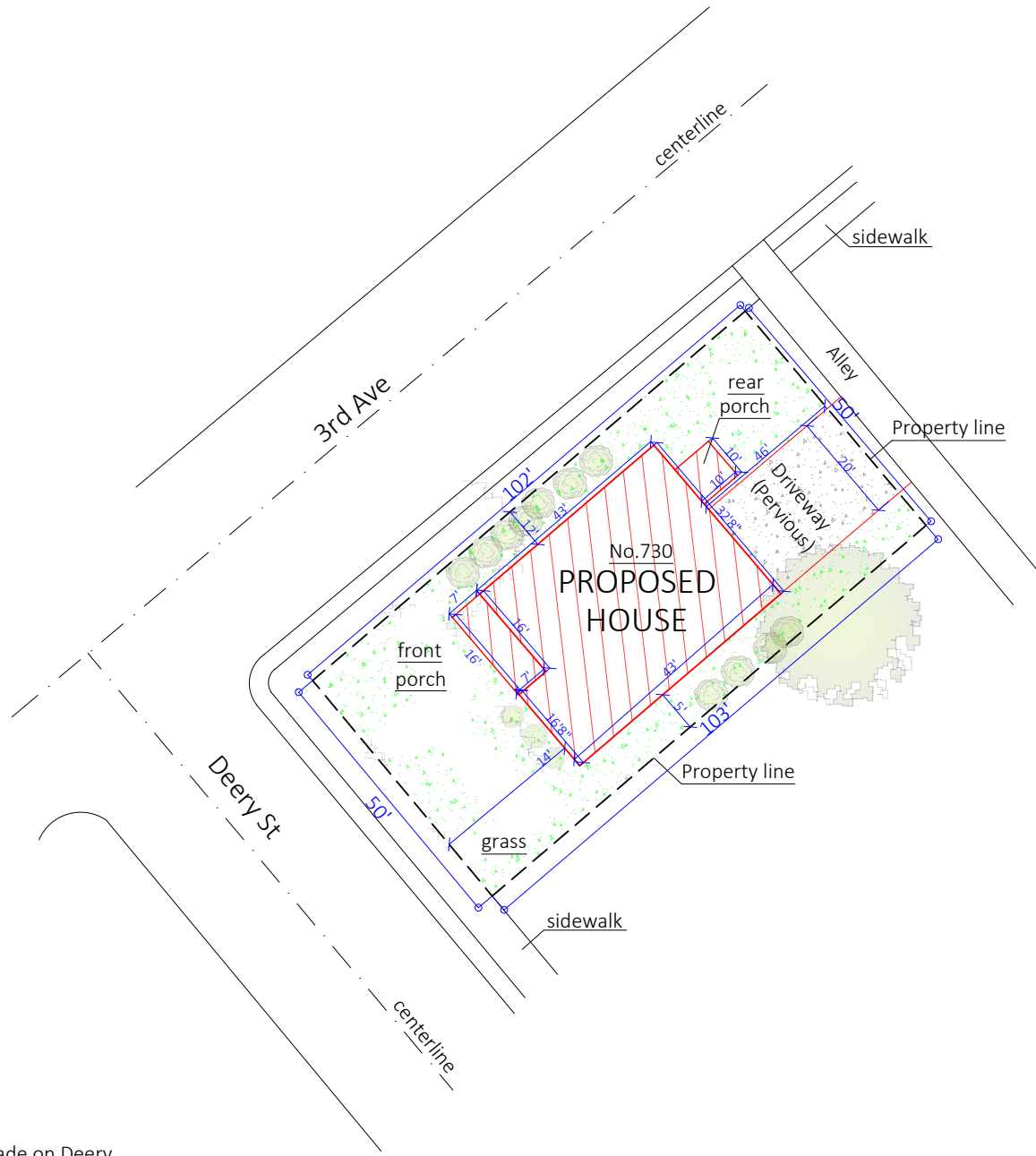
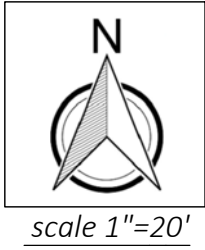
**TOTAL:**

Pd. 07/18/2024, SG



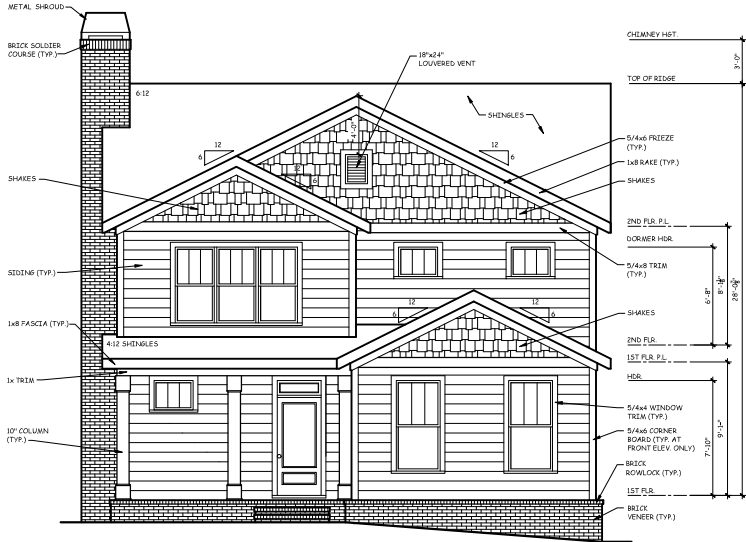
# SITE PLAN

730 Deery St  
Knoxville, TN 37917  
Parcel ID: 094DJ003  
Lot area: 0.12 Acres  
Paper Size: 11"x17"



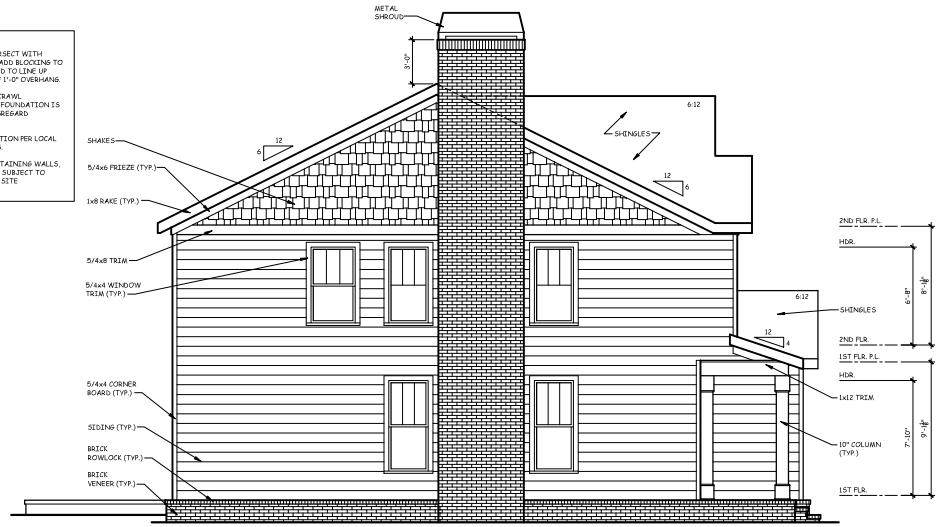
Building Coverage - 1419 sq ft  
Impervious Coverage - 1575 sq ft

Finished floor grade to be 3' above current grade on Deery

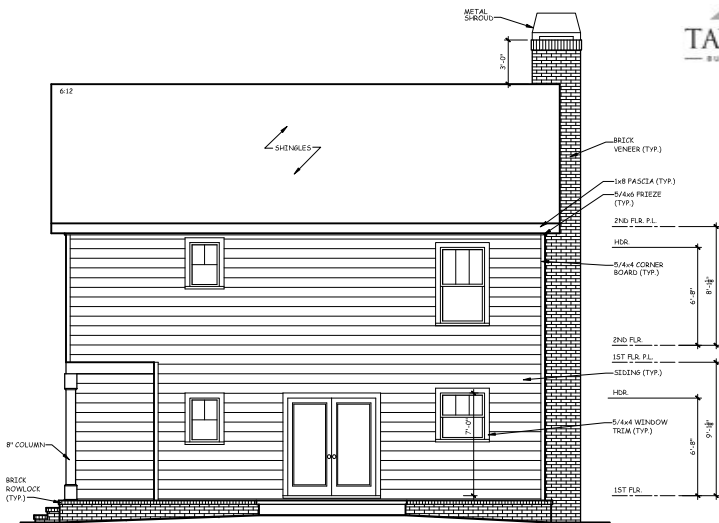


1 FRONT ELEVATION  
ALL SCALE: 1/4" = 1'-0"

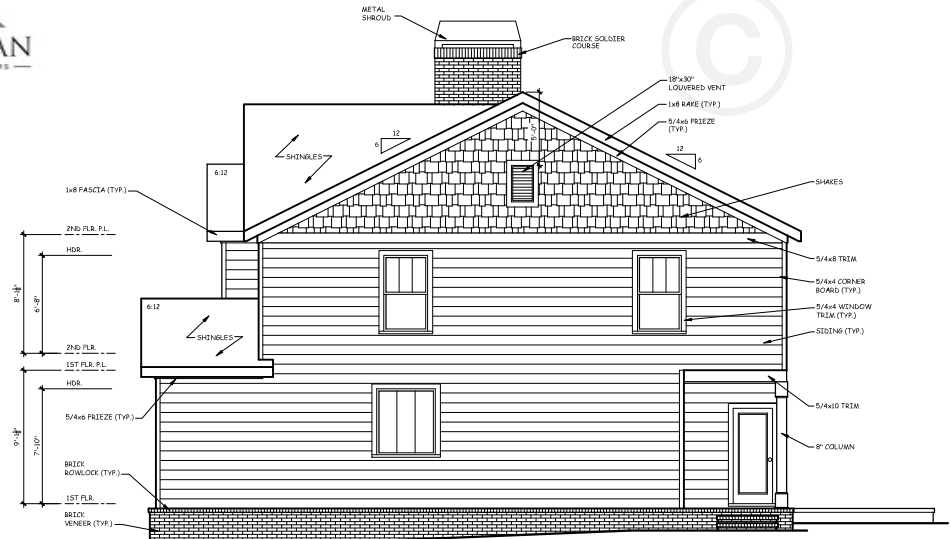
NOTE:  
 1. WHEN TWO ROOFS INTERSECT WITH DIFFERENT ROOF PITCHES, ADD BLOCKING TO STEEPER ROOF AS REQUIRED TO LINE UP FASCIAS AT A MINIMUM OF 1'-0" OVERHANG.  
 2. ELEVATIONS REFLECT A CRAWL FOUNDATION IF ANOTHER FOUNDATION IS USED, BUILDER SHOULD DISREGARD FOUNDATION SHOWN.  
 3. PROVIDE ATTIC VENTILATION PER LOCAL CODES AND REQUIREMENTS.  
 4. FOUNDATION WALLS, RETAINING WALLS, WINDOWS AND DOORS ARE SUBJECT TO CHANGE DUE TO CHANGING SITE CONDITIONS.



3 LEFT ELEVATION  
ALL SCALE: 1/4" = 1'-0"



2 REAR ELEVATION  
ALL SCALE: 1/4" = 1'-0"



4 RIGHT ELEVATION  
ALL SCALE: 1/4" = 1'-0"



730 Deery Street		
Description	Material	Color
Siding	Hardie Lap	White
Shutters	Mastic Board & Batten	Color Match Door
Windows	Wood clad	Black
Fascia	Aluminum	Black
Soffit	Vinyl	Black
Trim	5/4x8 Hardie	White
Trim	1x8 Frieze board	black
Crawl & Chimney	Brick	Castle Rock
Front Door	Mahogany Wood / 4 Lite	Clear Coat
Rear Door	Fiberglass 3/4 Lite	Exterior match white
Roof	Asphalt Shingle	Black
Columns	Cedar Wrappeed	Color Match Door