



10-J-24-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS


10729 Lake Ridge Dr. 37934
Village of Concord HZ

Original Print Date: 10/8/2024
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Peter Baudendistel



 Feet



Staff Report

Knox County Historic Zoning Commission

File Number: 10-J-24-HZ

Meeting: 10/17/2024
Applicant: Peter Baudendistel
Owner: Peter Baudendistel

Property Information

Location: 10729 Lake Ridge Dr. **Parcel ID** 153 B C 005
District: Village of Concord HZ
Zoning: RA (Low Density Residential)
Description: East Tennessee Vernacular, c. 1868

Two story frame building with aluminum siding wall covering. Side gable roof with asphalt shingle roof covering. Stuccoed brick foundation. Two over two double hung windows. Front porch with wrought iron posts and balustrade. Rear porch with plain wood porch posts with decorative sawn brackets and balustrade. Additions. Irregular plan.

Description of Work

Level II Major Repair or Replacement
Exterior rehabilitation to porches.

Covered porch on west elevation: metal porch supports and handrails to be removed. New porch supports to be 6 by 6 square posts, located at the roof corners and centered on the west elevation, and porch to be enclosed with screen. New screen doors to be installed on north and south sides of enclosed porch.

Deck on façade: existing non-historic deck to be removed and reconstructed with a similar rectangular footprint, extending the full length of the façade, extending an additional 5' into the front setback. The deck is proposed to be constructed with a composite flooring material (TimberTech Composite, Prime Collection) with an aluminum handrail of simple square posts.

Applicable Design Guidelines

Village of Concord Design Guidelines, adopted by the Knox County Commission on October 22, 2001.

Porches

1. Porches on historic houses shall be repaired or replicated in size and design using wood materials for ceilings and floors, balustrades, posts and columns so that they duplicate the original size and design. Reconstruction of the documented original porch is appropriate.
 2. Porches, particularly porches visible from a street, shall not be enclosed.
-

Comments

N/A

Staff Findings

1. 10729 Lake Ridge Drive is a contributing resource to the Village of Concord NRHP district and local HZ overlay.
2. The house is oriented with a side elevation fronting Lake Ridge Drive and a front door facing Spring Street, despite the address oriented to Lake Ridge Drive. The work proposed relates to existing porch and deck features on the house.
3. While enclosing a porch visible from the street is discouraged, installing screening does not fully enclose the porch. Removal and replacement of the non-historic iron porch support and railing is appropriate, and the 6" square posts will be more compatible with the overall design of the house.
4. Design guidelines recommend that porches feature wood materials for ceilings, floors, posts, and columns. Composite porch decking has been approved in other historic districts, especially on uncovered decks or porches, typically including conditions that the flooring materials are tongue-and-groove style and use a smooth finish instead of faux wood graining. In this instance, the porch and deck flooring will not be visible from the right-of-way, due to the elevated height of the floor and the new screening proposed for the side porch. The proposed product is appropriate for the house and the context.
5. The current deck foundation is enclosed with a wood lattice screening. New deck screening should be compatible with the materials and design of the existing house, and the applicant should provide information on foundation screening to staff for approval.
6. The porch and deck currently feature two different railings, one iron and one wood, of different heights. Installing one consistent guardrail across the porch and deck will create a more consistent effect. The thin aluminum balustrade will have a less significant visual impact than the current wood deck railing.

Staff Recommendation

Staff recommends approval of Certificate 10-J-24-HZ, subject to one condition: 1) any deck screening to be compatible with existing house, with details provided to staff for review.



DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Peter Baudendistel

Applicant

09/23/24

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Peter Baudendistel

Name	Company		
10729 Lake Ridge Drive	Knoxville	TN	37934
Address	City	State	Zip
865.249.2358	baudenp@gmail.com		
Phone	Email		

CURRENT PROPERTY INFO

-	10729 Lake Ridge Drive	865.249.2358
Owner Name (if different from applicant)	Owner Address	Owner Phone
10729 Lake Ridge Drive	153BC005	
Property Address	Parcel ID	
Village of Concord	RA / HZ	
Neighborhood	Zoning	

AUTHORIZATION

Lindsay Crockett
Staff Signature

Please Print

Date

Peter Baudendistel

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: Replace south-facing deck in its entirety. Screen in the existing covered front porch.

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:		TOTAL:
FEE 2:		
FEE 3:		

9/27/2024

To whom it may concern,

This letter is to request a certificate of appropriateness to accomplish two efforts at our primary residence located in the historic Village of Concord at 10729 Lake Ridge Drive, Knoxville TN 37934, parcel 153BC005, zoned HZ / RA:

- 1) Replace the dilapidated deck on the southern face of the home, and
- 2) Screen in the covered, west-facing “front” porch

Image 1, below, depicts a view as taken from Lake Ridge (from the south) with highlights of the work to be completed.

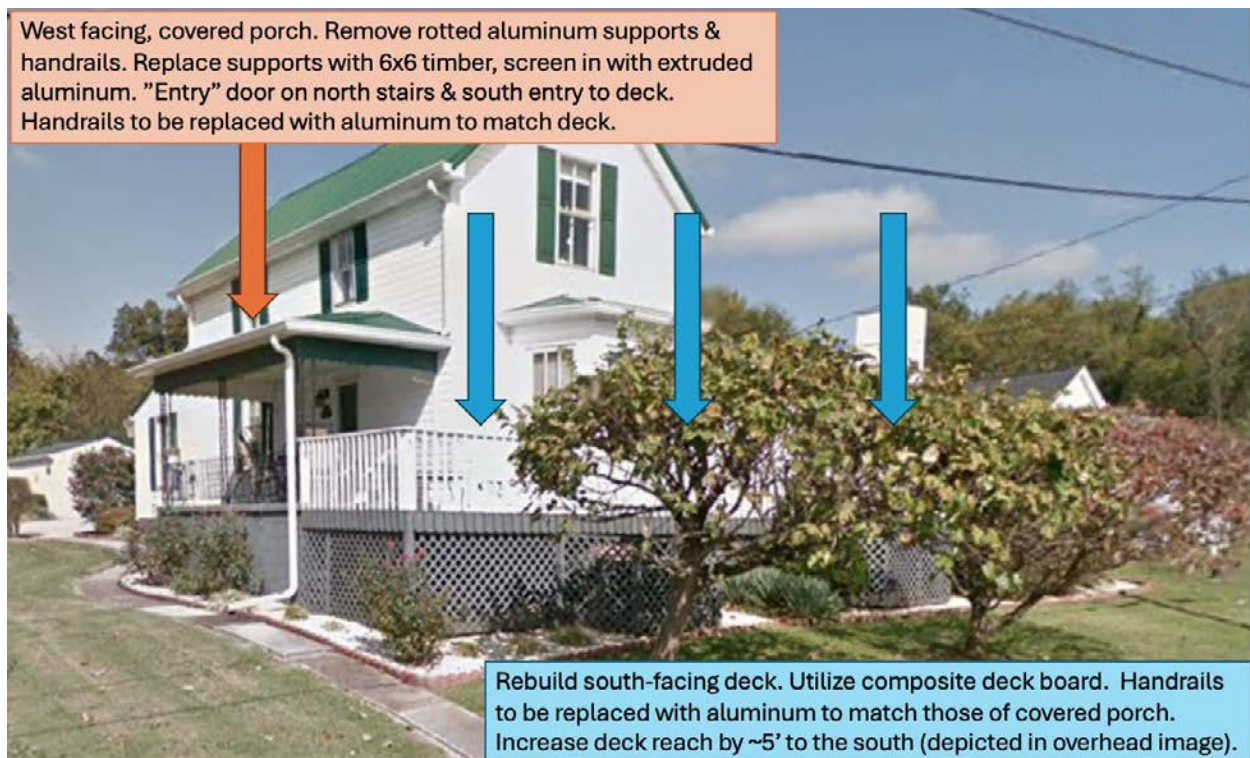


Image 1: Basic Overview of Work

Image 2, also on the second page, showcases the current build of the front porch & tentative proposed design of the screening, pending contract field framing.

Image 2 on the second page will showcase an overhead view of the affected areas.

While the primary effort in this replacement will be to replace deteriorating structures (aluminum supports under the covered porch, deckboards, joists & posts) as noted above, a secondary goal in this effort will be to unify the two spaces by utilizing new aluminum handrails with a composite top that will run through both areas.



Image 2: Proposed Screening of Porch.
Red – New posts / handrails
Yellow – Doorways & supports
Blue – Existing exposed timber to be utilized.



Image 3: Overhead view of effected areas.
Orange – Covered porch
Blue – Deck to be rebuilt
Please note, portions of deck to increase footprint slightly.

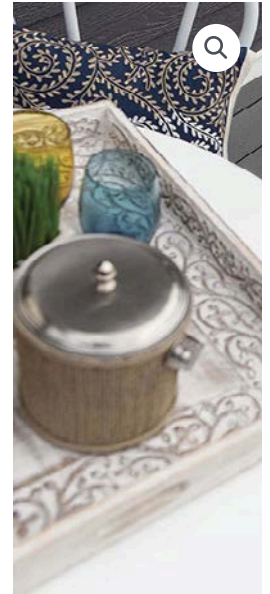
Enclosure and screening of outdoor space we completed at another property in the neighborhood (8-B-21-HZ in 2021) was categorized as a “LEVEL 1” modification under the “Knox County Planning Historic Zoning Checklist”. This deck replacement will mostly be like-for like. As such, it is our hope these efforts can be combined under a single Level 1 approval.

Please let us know if you need anything else regarding this request. My wife and I appreciate your consideration in this matter, and we look forward to receiving your approval & certificate of appropriateness!

Thanks,

Peter & Margaret Baudendistel
10729 Lake Ridge Drive
Knoxville TN 37934
Baudenp@gmail.com
(865) 249-2358

Home > Products > Decking > TimberTech Composite™ > Prime Collection

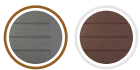


TIMBERTECH COMPOSITE Prime Collection

Painted Wood

Get an opaque stained or painted wood look that endures year after year without the rigorous maintenance of wood. The Prime Collection's scalloped profile polymer capped composite boards offer a lighter weight without compromising a secure underfoot feel and deliver real wood aesthetics you'll never have to sand, stain or seal.

COLOR MARITIME GRAY



SAMPLE SIZE

1' Sample FREE \$0.00

\$0.00

- 1 + **ADD TO CART**




DETAILS
OPTIONS & DIMENSIONS
INSTALLATION & WARRANTY
FAQS
DURABLE

Made of a mix of high-performance and recycled polymers and reclaimed wood fibers, our Composite Decking is made to last and won't splinter, crack, cup, or peel.

LOW MAINTENANCE

Never sand, stain, or seal your deck ever again. An occasional scrub and rinse are all that's needed.

FADE & STAIN RESISTANT

Enjoy a richly hued deck for decades with protective capping that resists UV rays and staining.

MOISTURE RESISTANT

With a protected polymer cap with no wood fibers, our boards are protected from moisture damage like mold, mildew, and rot.

PROTECTIVE WARRANTIES

Rest easy knowing your investment is protected with Limited Product and Fade & Stain Warranties for 25 years.

SUSTAINABLE

Made in the USA from approximately 85% recycled material including plastic bags, milk jugs, and other discarded plastics for an eco-friendly choice.

AUTHENTIC AESTHETICS

TimberTech Composite™ Decking features some of the most realistic wood looks in the marketplace. With advanced color blending and textured grains and finishes pulled directly from nature, you get the beauty of wood without the drawbacks.

What defines the Prime Collection?

Versatile Painted Look

Get a painted wood look that pairs effortlessly with a variety of design schemes.

Straight Wood Grain Finish

Marked by subtle linework for a simple, clean look.

The Beauty of Wood, Worry-Free

Enjoy low-maintenance living with this beautiful, durable upgrade from traditional wood.

