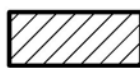




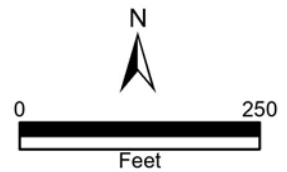
10-H-24-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



1724 Highland Ave. 37916
Ft. Sanders NC

Original Print Date: 10/8/2024
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: John Holmes, Evian Partners





Staff Report

Knoxville Historic Zoning Commission

File Number: 10-H-24-HZ

Meeting: 10/17/2024
Applicant: John Holmes, Evian Partners
Owner: John Holmes, Evian Partners

Property Information

Location: 1724 Highland Ave. **Parcel ID** 94 N L 011
District: Ft. Sanders NC
Zoning: RN-5 (General Residential Neighborhood)
Description: Craftsman, c.1925
1.5-story frame residence with a side gable-roof, an exterior of wood lap siding, and a partial-width front-gable roof porch.

Description of Work

Level II Construction of Addition or Outbuilding, Major Repair or Replacement

Exterior rehabilitation and dormer addition. Existing rear addition to be partially removed. Exterior staircase on the side elevation to be removed.

Exterior rehabilitation scopes include the removal of existing siding and the installation of new fiber cement lap siding, repair and replacement in patches to the brick foundation, and replacement of windows and doors. New window on the façade. The front porch will be reconstructed; the partial-width front gable roof will be reconstructed as a front-gable roof porch that extends the full length of the façade (reflected by existing foundation). The porch will feature four tapered brick columns and a new railing.

New rear dormer addition. Clipped-gable roof dormer to be added to rear roof slope, featuring an exterior clad in lap and shingle siding and two pairs of double-hung windows on the rear elevation.

Applicable Design Guidelines

Fort Sanders NC-1, adopted by the Knoxville City Council on September 13, 2000.

A. Height, Scale, & Massing

1. Foundation heights should be consistent with other pre-1940 buildings in the neighborhood.
2. Single-family detached infill housing should be proportional to other pre-1940 houses in terms of height and width.

B. Roofs

1. Select a roof pitch that is in keeping with other pre-1940 houses of the neighborhood, not being less than an 8/12 pitch.
2. Use variations in the form of the roof above the second story such as gables at different angles, hipped roofs, and dormers.
3. Use roofing materials that are in keeping with the historic development styles. Asphalt, shingle, tile, pressed

metal, and slate were used.

4. Darker shades of shingles were historically used and should be selected in new construction.

C. Porches

1. Provide porches with proportions and materials that complement pre-1940 housing. For clapboard-type construction, wood is the most appropriate primary material. Brick or cut stone are appropriate as foundations or in column supports.

D. Wall Materials

2. Clapboard (or clapboard-like materials such as aluminum or vinyl, shingle (or shingle-like material), or brick should be used.

5. In making additions to existing buildings, wall cladding should complement the original wall covering.

6. Materials that are not typical in pre-1940 construction should not be used. These include cinder block, T-111 siding, and stone facing.

E. Windows and Entrances

1. Window proportions and symmetry should be similar to the pre-1940 styles in the neighborhood.

2. Windows should be double-hung sash windows. Vinyl or metal-clad may be used in place of wood frame windows.

2 [sic]. Egress windows will have to be designed to comply with fire/building code provisions.

6. The proportions of upper level windows should not exceed the proportion of the first level.

7. Upper level windows should be provided and aligned with doors.

8. There should be at least 50% transparency that is created by windows or French doors and balconies on the recessed breaks between sections of buildings, including buildings joined together.

9. Entrances to the building should be provided from the street, using doors that have similar proportions and features to pre-1940 architecture.

10. When parking areas are provided behind buildings, rear entrances are also allowed.

F. Parking

1. In new building construction, the front yard space shall not be used for parking. Do not break up curbs or sidewalks to provide street access.

2. Provide parking access off the alley or off a side street.

7. Surface parking area shall always be to the rear of the building.

G. Landscaping, Fencing, & Retaining Walls

1. Plant one native shade tree (e.g. oak or maple) and one ornamental tree (e.g. dogwood) in both the front and rear yards for every 50 feet of lot width.

H. Additions to Existing Buildings

1. Additions should be made to the rear or side of the building.

3. Transitional space shall be provided between the addition and the existing structure. This should include a courtyard (200 sq. ft. minimum), and a connecting structure (e.g. porch or breezeway). The wall of the new connecting structure should not be continuous with the wall of the existing building, but have a minimum 4' by 6' indentation.

4. Bays at least two feet in depth shall be provided for 50% of the side façade.

5. Windows or French doors and balconies shall provide 10% to 20% transparency on the sides of buildings.

Comments

N/A

Staff Findings

1. 1724 Highland Ave is a contributing resource to the Fort Sanders National Register Historic District and local NC overlay. ☐
2. The application includes the removal of the existing wood siding, and the installation of new fiber cement lap siding which meets the Fort Sanders design guidelines. The existing house has a Tudor Revival-style siding on side gable fields, with shingles in the porch gables and the lower bay on the left side elevation. The project should incorporate appropriately sized vertical cornerboards and window trim. Only the porch roof includes triangular Craftsman-style brackets on the existing house; such details should be incorporated in the new porch roof.
3. The application includes removing the partial-width, front-gable roof front porch and reconstructing a new porch with a full-length front-gable roof and three tapered brick-clad columns to match the existing. Based on the 1924 (revised 1950) Sanborn Fire Insurance Map, the width of the existing porch roof is original. The brick knee wall on the right side looks to be a later addition. The porch width, roof pitch, and roof design (including elements such as eave overhangs, fascia boards, and decorative brackets) should be retained in reconstructing the porch.
4. The window pattern on the side elevations, including the projecting bay on the left side elevation with four adjoining double-hung windows, will be retained. An extra window is proposed for the right bay of the façade; the façade window and door arrangement should be retained.
5. In general, the placement of a new addition on the rear roof slope is appropriate within the design guidelines. The height of the new dormer addition should not exceed the roof peak of the house's original side-gable roof, to reduce visibility from the street. The applicant should clarify the proposed siding for the rear dormer; elevations show shingles on the side and lap siding on the rear, and one siding material may be preferable for design consistency.
6. Final modifications to the site plan will be necessary to meet City Engineering standards for parking. The house and parking should remain within the impervious surface requirements for the base zoning. The final site plan could be approved by staff, provided there are no substantial modifications to the addition's design and placement.

Staff Recommendation

Staff recommends approval of Certificate 10-H-24-HZ, subject to the following conditions: 1) final site plan to meet City Engineering standards and requirements of the base zoning; 2) porch width, roof pitch, and roof design of existing/original porch to be retained; 3) omission of the new window proposed for the façade; 4) height of new dormer addition to be at or beneath the roof peak of the main roofline.



DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

John Holmes

Applicant

9/19/24

10/17/2024

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

John Holmes

Name	Company		
PO Box 1335	Morristown	tn	37816
Address	City	State	Zip
423-231-4980	jholmes6@gmail.com		
Phone	Email		

CURRENT PROPERTY INFO

Evian partners	PO Box 1335, Morristown, TN 37814		
Owner Name (if different from applicant)	Owner Address	Owner Phone	
1724 Highland Ave	094NL011		
Property Address	Parcel ID		
Ft Sanders	RN-5, NC-1		
Neighborhood	Zoning		

AUTHORIZATION

	Lindsay Crockett	9/30/24
Staff Signature	Please Print	Date
	John Holmes	9/30/24
Applicant Signature	Please Print	Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: new siding, new roof, fascia, soffits, all exterior replaced, windows, doors, front porch rebuilt and rebuild brick columns
Replace brick foundation Rebuild front stairs, porch and railings, remove all shutters
Remove old addition, shrink building depth by 2' and build rear dormer.

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:

100

FEE 2:

FEE 3:

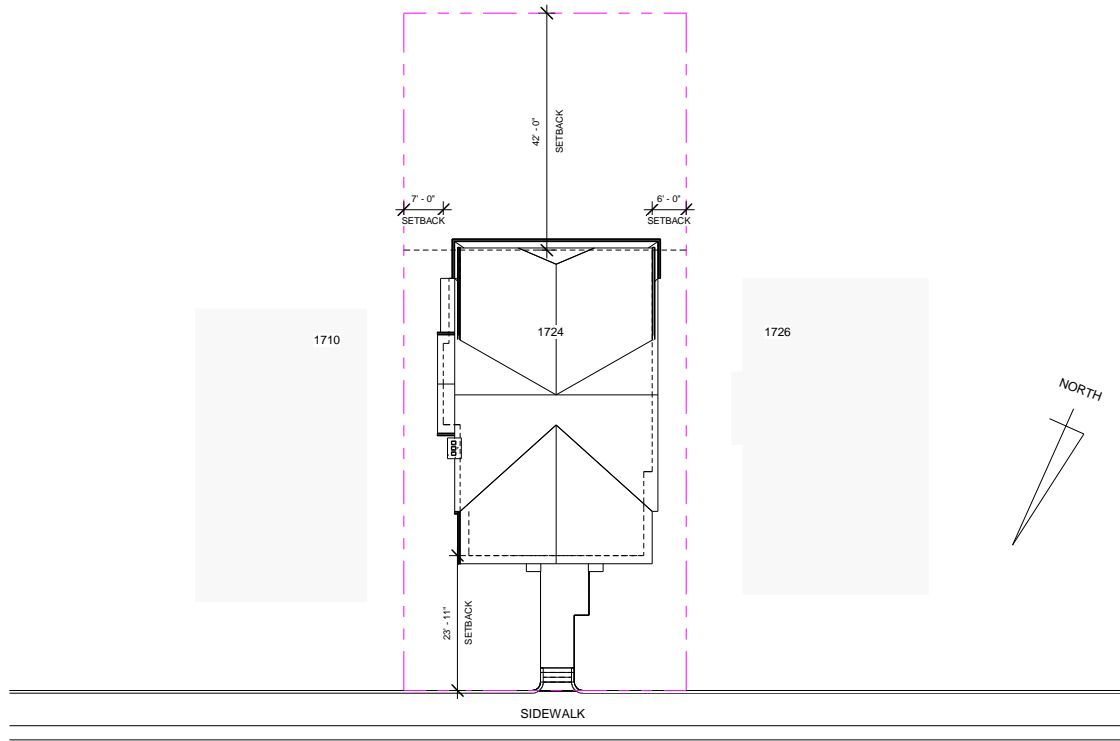
TOTAL:

100

PROPOSED DWELLING AT 1708 HIGHLAND AVE



Owner	
Project Name	
COVER	
Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker
A200	
Scale	

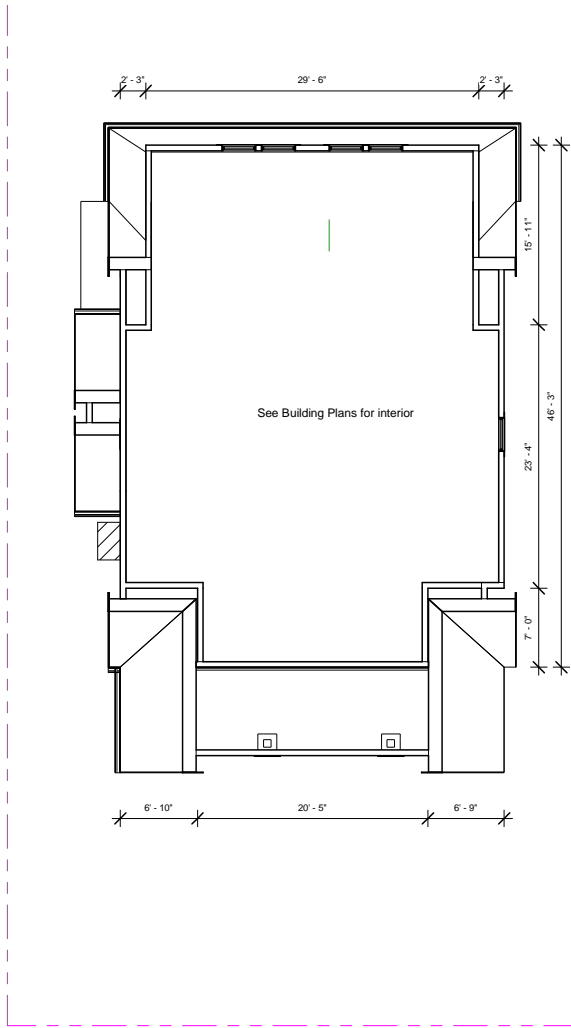


HIGHLAND AVE

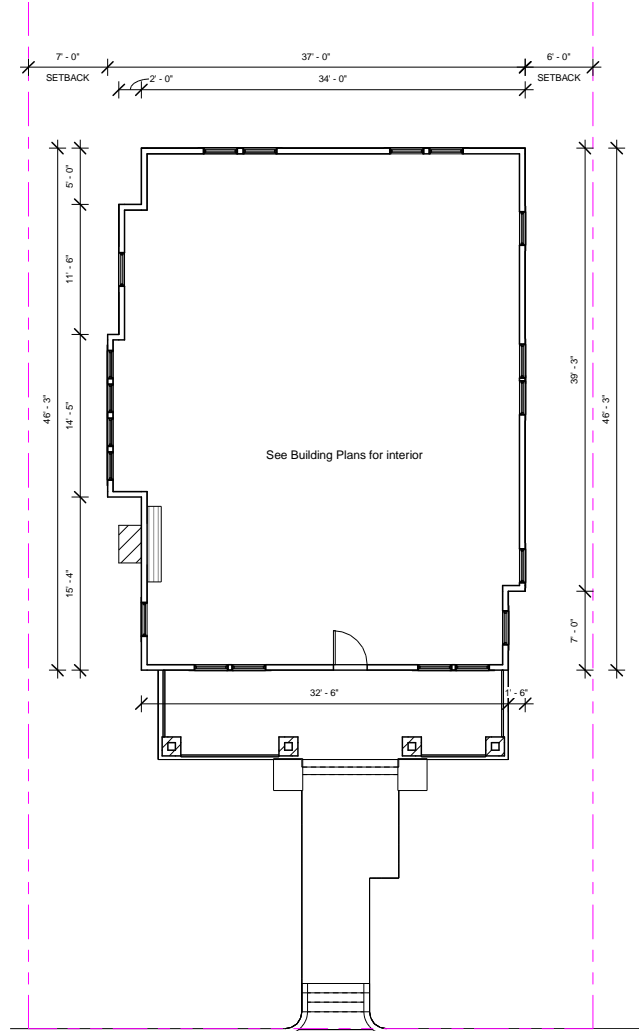
CENTERLINE OF RIGHT-OF-WAY

① SITE PLAN
1/16" = 1'-0"

Owner	
Project Name	
SITE PLAN	
Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker
A201	
Scale	1/16" = 1'-0"



② SECOND FLOOR
1/8" = 1'-0"



① FIRST FLOOR
1/8" = 1'-0"

Owner	
Project Name	
FLOOR PLANS	
Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker
A202	
Scale	1/8" = 1'-0"

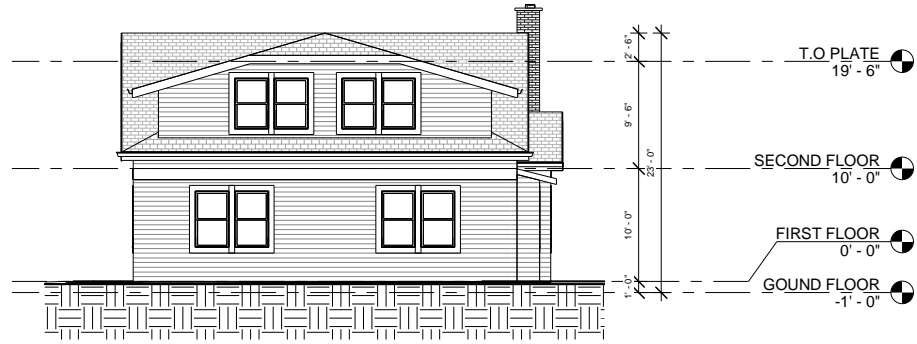


② FRONT ELEVATION
1/8" = 1'-0"



① SIDE ELEVATION 1
1/8" = 1'-0"

Owner Project Name	
ELEVATIONS	
Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker
A203	
Scale	1/8" = 1'-0"



② REAR ELEVATION
1/8" = 1'-0"



① SIDE ELEVATION 2
1/8" = 1'-0"

Owner Project Name	
ELEVATIONS	
Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker
A204	
Scale	1/8" = 1'-0"







